



**NORTH AURORA VILLAGE BOARD MEETING
MONDAY, JANUARY 6, 2025 – 7:00 P.M.
NORTH AURORA VILLAGE HALL - 25 E. STATE ST.**

ZOOM VIEWING INFORMATION

Website Address: <https://us02web.zoom.us/j/83308751212>

Meeting ID: 833 0875 1212 | **Dial In:** +1 312 626 6799

AGENDA

CALL TO ORDER - SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE

ROLL CALL

AUDIENCE COMMENTS

APPOINTMENTS

1. Police Pension Board – Janet Godek

CONSENT AGENDA

1. Village Board Minutes dated 12/16/2024; Committee of the Whole Minutes dated 12/16/2024
2. Bills List Dated 01/06/2025 in the Amount of **\$1,391,105.50**
3. Approval of Resolution for Maintenance of Streets and Highways by North Aurora

NEW BUSINESS

1. Approval of Ordinance Approving the Second Amendment to Ordinance 05-05-02-02, Which Granted a Special Use for a Planned Unit Development for the North Aurora Towne Centre in the Village of North Aurora
2. Approval to Waive Bid Process for Public Works Facility Elevator and Award Contract to Schindler Elevator in the Amount of **\$127,440.00**

VILLAGE PRESIDENT

TRUSTEE COMMENTS

ADMINISTRATOR'S REPORT

VILLAGE DEPARTMENT REPORTS

ADJOURN

Initials: JB

**NORTH AURORA VILLAGE BOARD MEETING
VILLAGE BOARD MEETING MINUTES
Monday, December 16, 2024**

CALL TO ORDER

Mayor Gaffino called the meeting to order.

SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE

ROLL CALL

In attendance: Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

Staff in attendance: Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community Development Director Nathan Darga, Village Attorney Kevin Drendel, Public Works Director Brian Richter, Police Chief Joe DeLeo.

AUDIENCE COMMENTS – None

CONSENT AGENDA

1. Village Board Minutes Dated 12/02/2024; Committee of the Whole Minutes Dated 12/02/2024
2. Bills List Dated 12/16/2024 in the Amount of \$371,916.34
3. Approval of Purchase for Water Reagents Pick and Ship Program with Hach Company

Motion for approval made by Trustee Guethle and seconded by Trustee Curtis. **Roll Call Vote:** Trustee Guethle – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (5-0).**

NEW BUSINESS

1. **Approval of a Special Use for a Planned Unit Development for Gas ‘N Wash on 4.76 Acres of Property of 230 South Lincolnway in the Village of North Aurora**

Director Darga reminded the Village Board that Gas ‘N Wash was to be a quick service restaurant with an 8,000 square foot convenience store with space for two restaurants, a drive-thru for one of the restaurants, separate diesel lane, and a separate drive-thru car wash. Darga stated that at the Committee of the Whole meeting, the Board had asked to improve the landscaping along the border between the car wash and Asbury Gardens. The developers were able to revise the plan to install a berm with evergreen trees.

Motion for approval made by Trustee Guethle and seconded by Trustee Curtis. **Roll Call Vote:** Trustee Guethle – yes, Trustee Niedzwiedz – yes, Trustee Salazar – no, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (4-1).**

2. **Approval of Three-Year Contract of Cloudpermit Software for Community Development Permitting Software in the Amount of \$44,708.00**

Director Darga stated that the software would allow the Village to conduct online permitting, allow residents to apply and pay online, and to submit documents.

Motion for approval made by Trustee Salazar and seconded by Trustee Niedzwiedz. **Roll Call Vote:** Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Niedzwiedz – yes. **Motion approved (5-0).**

3. Approval of Ordinance to Update Regulation of Abandoned, Inoperable and Overweight and/or Over Dimension Vehicles

Administrator Bosco stated that this was the 10,000 pound limits that the Village was imposing on residential roads, it was also update the Village Code for abandoned and inoperable vehicles. Bosco also stated that during the discussion regarding this agenda item at the Committee of the Whole meeting, e-bikes were mentioned, the Board asked to not only include e-bikes and scooters but to amend the ordinance to include motorized bikes. The section was now to be called propelled motor bikes and scooters.

Motion for approval made by Trustee Christiansen and seconded by Trustee Niedzwiedz. **Roll Call Vote:** Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes. **Motion approved (5-0).**

4. Approval to Purchase 2026 Freightliner Truck with Trans Chicago Truck Group in the Amount of \$114,440.00

Director Richter reminded the Village Board that at the June 14, 2023 meeting the Board gave the Streets Division the approval to purchase a new truck. After 18 months, the truck had not been ordered, nor was there a build or delivery date. Staff reached out to other companies seeking quotes from three companies. All three provided quotes, and all could deliver a truck by the end of the Village's fiscal year. Trans Chicago Truck Group provided the Village with the lowest price on a new Freightliner truck. Staff was recommending cancelling the purchase of the International truck from Rush Truck Center and purchasing the Freightliner truck from Trans Chicago Truck Group.

Motion for approval made by Trustee Niedzwiedz and seconded by Trustee Salazar. **Roll Call Vote:** Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (5-0).**

5. Approval of Notification of Intent to Award for the Princeton Drive Elevated Water Storage Tank Project to CB&I

Administrator Bosco stated that this Letter of Intent comes from a process that was started in September at a Committee of the Whole meeting when the Board gave staff direction to negotiate a contract for a water tower directly with CB&I. At that time, the staff had been focused on a 1.25 million gallon water tower, as well as a 1 million gallon tower. The intention shifted to a 1.25 million gallon tower due to the Village's storage capacity needs and the half a million dollar price difference. Bosco stated that the processes with CB&I had been good in the sense that the Village had been able to come to a proposal. CB&I had followed all of the specs that the Village had provided that had gone through the public bidding process. Bosco also mentioned that he and Director Paprocki would be conducting a review of the water rates to talk about appropriate funding levels for the water fund.

Director Richter stated that the Village had been working with EEI and CB&I looking for cost saving measurements, some of which included paint containment savings, revised foundation work, and a construction bond deduct which was to be discussed during the evening's Committee of the Whole meeting. Director Richter stated that in order to keep the project moving forward, CB&I would be willing to continue working if the Village provided a Notification of Intent to Award for the project.

Motion for approval made by Trustee Guethle and seconded by Trustee Christiansen. **Roll Call Vote:** Trustee Guethle – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (5-0).**

VILLAGE PRESIDENT – None

TRUSTEES COMMENTS – Trustee Salazar extended thanks to Public Works and everyone who worked on the park's decorations, stating that they look great.

ADMINISTRATOR'S REPORT – Administrator Bosco stated that maintaining the decorations in the park was an ongoing task, as repairs to lights were currently happening, although people love it. He stated that there are people in the park every evening.

VILLAGE DEPARTMENT REPORTS

1. **Finance** – None
2. **Community Development** – None
3. **Police** – None
4. **Public Works** – None
5. **Village Attorney**- None

ADJOURNMENT

Motion to adjourn was made by Trustee Guethle and seconded by Trustee Niedzwiedz. All in favor.
Motion approved.

Respectfully Submitted,

Jessi Watkins
Village Clerk

**VILLAGE OF NORTH AURORA
COMMITTEE OF THE WHOLE MEETING MINUTES
Monday, December 16, 2024**

CALL TO ORDER

Mayor Gaffino called the meeting to order.

ROLL CALL

In attendance: Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

Staff in attendance: Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community Development Director Nathan Darga, Village Attorney Kevin Drendel, Public Works Director Brian Richter, Police Chief Joe DeLeo.

AUDIENCE COMMENTS – None

TRUSTEE COMMENTS - None

DISCUSSION

1. Parent Company Guarantee for New Water Tower

Administrator Bosco stated that this agenda item was in regard to a Parent Company Guarantee that was being offered by CB&I as part of the Water Tower Project. The Village was seeking to bring a final contract to the Board in January. Bosco explained that while CB&I was still working under the Letter of Intent, a total contract price was still being finalized. Bosco stated that this item was before the Board to discuss the type of surety that was being offered. It was not the typical surety that the Village had used like cash, bond, or letter of credit. A parent company guarantee was not something the Village had done in Administrator Bosco's tenure, however it was something that CB&I had done in their history. Bosco stated that he wanted to ensure that the Village Board was in agreement with moving forward with the Parent Company Guarantee.

Attorney Drendel stated that the surety was a bit unusual. He said that the code calls for public improvements that developers put in a letter of credit, and unless the Village had negotiated under an annexation agreement, the statute allows a developer to offer a bond which the Village would accept in place of a letter of credit. Drendel explained that the cost of a bond would ultimately get passed on to the Village. The sample Parent Company Guarantee provided to the Village by CB&I contained language that would be seen in a letter of credit or bond and could be a creative way for the Village to keep costs of the Water Tower Project down.

Trustee Guethle stated that he was in favor of accepting the Parent Company Guarantee.

Trustee Curtis asked if there was a greater risk associated with moving forward with the Parent Company Guarantee rather than a Letter of Credit. Drendel stated that if the Village had to enforce its' rights under a Bond, the Village would be dealing with an insurance company. If the Village had to enforce its' rights under a PCG, the Village would be dealing directly with the parent company. While there are some different legal principles that apply, they are very similar. Drendel stated that he did not see it as a big risk.

Trustee Salazar sought clarification on the process of enforcing the PCG. Drendel stated that if CB&I defaults, that would trigger the guarantor's obligation and the Village could go after the parent company in court.

Trustee Niedzwiedz stated that he was comfortable with the PCG.

Mayor Gaffino stated that if the Village staff and attorney support the idea, he did as well.

2. Petition #24-07: Clover Communities North Aurora LLC

Administrator Bosco reminded the Board that Clover had been before them earlier in the spring with a concept plan. At that time the Board said that they were okay with concept, which had since gone to the Plan Commission and had now returned to the Committee of the Whole for a decision on whether the plan will move forward.

Community Development Director Darga stated that Clover was looking to locate on Orchard Gateway, in the Towne Center development. Darga reminded the Board that Towne Center had been originally approved in 2005, the original Towne Center PUD had a residential component to it. It had approval for town homes and apartments, in 2013 that was amended. The PUD was amended and warehouses were approved in the location. Earlier in the year when Clover presented their concept, the Board expressed interest in adding the residential component back in. Darga explained that what staff was bringing before the Board was a PUD amendment to the Towne Center to designate residential use area.

Trustee Curtis asked if there had been studies done to determine whether the land, with its close proximity to the wetlands, was buildable. Darga explained in some detail that studies had been conducted and the lots along Orchard Gateway Blvd were all buildable lots and the wetland area would be the detention for the development. There was additional discussion regarding what maintenance had been done with the area in the last 20 years.

Darga presented information about the proposed development. He stated that it would be an independent living, 55 and over age restricted development. It would be a 124 unit building, six (6) one bedroom/one bath, 78 two bedroom/one bath, 32 two bedroom/1.5 bath, and eight (8) two bedroom/two bath units. Each unit would have a full kitchen, stainless steel appliances, there are planned activity rooms, and a fitness center. There would be no communal kitchen or nursing staff on site.

Darga explained that senior living required less than the two spaces per unit that regular apartment developments require, requiring only one space per unit. Clover's proposal included 148 parking spaces. The Plan Commission requested Clover to revise their parking, Clover's concept now included potential additional parking spaces. The site currently had two access point on Orchard Gateway.

Russell Caplin, representing Clover Development was on hand to present the concept to the Board. He stated that Clover had been in the age restricted/multi-family business since 1985 and have over 50 communities, totaling almost 6,000 units located across eight states.

Trustee Niedzwiedz asked if the Village had any other four story apartment buildings in town. Director Darga stated that it would be the first, although there were several other proposals in the works. Niedzwiedz asked if the height of the building was within the code requirements, Darga explained that part of the PUD amendment would be adopting new standards allowing four stories.

Niedzwiedz stated that he was in agreement with the Plan Commission's concerns for the parking and commented on the additional parking that was marked out in the updated proposal. He asked why not just plan on making those spaces right away. Caplin stated that their developments average 1-1.2 spaces per unit and this had consistently worked for them. Niedzwiedz stated that he was in favor of moving forward with the project.

Trustee Christiansen asked how the height of the building compared to some of the warehouses in the area. Darga stated that the buildings would be similar in height.

Christiansen asked for clarification on what Darga was seeking approval for. Darga stated that staff was seeking approval that residential developments could go in the designated area as well as the site plan for Clover.

Niedzwiedz asked for clarification on whether the approval would allow for four story buildings throughout the Village or in this designated area. Darga stated that it would be approved for this designated area.

Trustee Salazar stated that she liked the project, stating that because of the location and the wetlands behind the buildings she did not take issue with the proposed development being four stories.

The discussion circled back to parking with Trustee Christiansen asking about visitor parking and Mr. Caplin stating that he believed that the development had enough parking.

There was discussion regarding proposed crosswalks and whether one would be enough.

Mayor Gaffino and Trustee Guethle expressed favor for the project.

3. Randall Oaks (Shodeen) Concept Plan

Administrator Bosco stated that the property being discussed was unincorporated yet surrounded by North Aurora on all sides. He stated that Shodeen was before the Board in 2016 and proposed a concept plan but did not move forward with that concept plan at the time but had now returned to go over a similar plan. Bosco stated that anything that moved forward would need an annexation agreement.

Director Darga stated that the plan would connect Miller Drive through with full access to Randall Road. The proposal included a four story building that would be a mixed use building with ground floor commercial and residential above.

David Patzelt, a representative from Shodeen was on hand to present the concept plan. He began with examples of Shodeen's previous work in the area.

Patzelt stated that the plan called for nine buildings, buildings 1-7 and buildings A and B. Buildings A and B would be for commercial users, building B would have a drive-up, building A would be either retail or a restaurant. Patzelt stated that Shodeen would like to retain the flexibility of allowing one or both of the buildings to have drive-up capabilities. Building number 2 was a mixed use building, using that building to transition zoning from commercial on the east to residential on the west. Building number 2, the mixed use building would be a double fronted building. The commercial aspect of the building would front Miller Drive with on street parking. Buildings one, three, four, five, six, and seven would all be residential buildings. Each would be three floors of residential units over one floor of underground parking. There would be an outdoor pool and communal space.

Trustee Curtis asked how many residential units were being proposed. Patzelt stated 183 residential units, consisting of studio, one bedroom, and two bedroom units. Curtis asked if Patzelt foresaw an impact on the school district. Patzelt stated that since there were no three bedroom units, they do not typically see many children, the product was geared more toward empty nesters.

Patzelt stated that there would be 17,000 square feet of commercial space on the first floor of the mixed use building, and approximately 15,000 square feet of commercial space between buildings A and B.

Patzelt said that there would be 264 parking spaces in the garage and approximately 300 surface spaces.

Patzelt spoke about landscaping and stated that he believed that the landscaping would exceed the landscaping requirements of the Village.

Patzelt spoke about parking and explained that they would be asking for a reduction in the two spaces for each unit requirement requesting a 1.3 per unit ratio. There was further discussion regarding this.

Trustee Curtis asked if based on the Village's ordinance, would this development be too high density for the use. Director Darga stated that the newer developments have not have the parking issues that some of the older developments have had. He said that compared to our neighboring communities, the Village's two spaces per unit requirement was high. He stated that most applicants have thought it to be high too, Darga stated that he would do more research to compare surrounding communities and what their requirements were.

There was further discussion on the density of the development compared to other developments.

Trustee Salazar asked for clarification on the garage space. It was confirmed that the garage would be underground and three floors of residential space would be above ground.

Trustee Niedzwiedz asked if all of the parking for residents would be underground. Patzelt stated that there would be a 1:1 ratio of underground parking spots to units. The rest of the spaces would be surface parking.

Niedzwiedz asked about the number of floor planned for building two. Patzelt stated there would be one floor of underground parking, one floor of retail and three floors of residential.

Trustee Curtis spoke about the architectural style and expressed that she would like to see more detailing in the architecture. There was discussion regarding what architectural designs were planned for the development.

Trustee Guethle and Niedzwiedz were in favor of the development.

Trustee Christiansen stated that he did not like the four stories above ground planned for building two. He felt it should be consistent kept to three stories above ground like the other buildings.

Trustee Salazar stated that she liked the Shodeen development that she has seen in Geneva. She did not like the idea of the above ground four story plan for building two, however that is just building two and that would be situated closer to the commercial side of the development. She stated that she was in favor of the development moving forward.

Mayor Gaffino stated that he was in favor of the project, and that he liked the idea of continuity of design between the buildings. He also stated that he would like to see restaurants move in to the commercial buildings.

EXECUTIVE SESSION – None

ADJOURNMENT

Motion to adjourn made by Trustee Guethle and seconded by Trustee Curtis. All in favor. **Motion approved.**

Respectfully Submitted,

Jessi Watkins
Village Clerk

Accounts Payable

To Be Paid Proof List

User: ablasr
Printed: 12/30/2024 - 1:13PM
Batch: 00501.01.2025



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
<hr/>									
110 Customs 468557									
3398-02	5/30/2024	2,478.60	0.00	01/06/2025				No	0
71-430-4870 Equipment			Install For Cap & Accessories						
		<hr/>							
3398-02 Total:		2,478.60							
		<hr/>							
110 Customs Total:		2,478.60							
<hr/>									
ACSI Mechanical Group									
468558									
30641	12/3/2024	795.00	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce			Boiler Repair- VH						
		<hr/>							
30641 Total:		795.00							
		<hr/>							
ACSI Mechanical Group T		795.00							
<hr/>									
Allegiant Fire Protection LLC									
467757									
SO078263	12/6/2024	2,850.00	0.00	01/06/2025				No	0
60-445-4567 Treatment Plant Repair/Maint			5yr Fire System Inspection- WTP						
		<hr/>							
SO078263 Total:		2,850.00							
<hr/>									
SO078493	12/10/2024	2,850.00	0.00	01/06/2025				No	0
60-445-4567 Treatment Plant Repair/Maint			5yr Fire Inspection- ETP						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
SO078493 Total:		2,850.00							
SO078494	12/10/2024	5,425.00	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce			Inspect/ Repair- PW Garage						
SO078494 Total:		5,425.00							
Allegiant Fire Protection LL		11,125.00							
Amundsen Davis, LLC									
039030									
732829	12/4/2024	1,225.00	0.00	01/06/2025				No	0
01-430-4260 Legal			Nov 24 Legal						
732829 Total:		1,225.00							
Amundsen Davis, LLC Tot		1,225.00							
Aurora Area Convention									
003770									
12052024	12/5/2024	3,641.91	0.00	01/06/2025				No	0
15-430-4752 90% Tourism Council			Akshar Hotel Tax/ Nov 2024						
12052024 Total:		3,641.91							
12112024	12/11/2024	2,125.17	0.00	01/06/2025				No	0
15-430-4752 90% Tourism Council			NA Lodging Hotel Tax/ Oct 2024						
12112024 Total:		2,125.17							
Aurora Area Convention To		5,767.08							
B & F Construction									
015600									
67030	11/27/2024	675.00	0.00	01/06/2025				No	0
01-441-4276 Inspection Services			Plan Review- EV Chargers Gas Station						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
	67030 Total:	675.00							
67053	12/3/2024	1,564.89	0.00	01/06/2025				No	0
01-441-4276	Inspection Services		Plan Review- 410 Smoke Tree Plaza						
	67053 Total:	1,564.89							
67133	12/11/2024	200.00	0.00	01/06/2025				No	0
01-441-4276	Inspection Services		Plan Review- Gerald Ford						
	67133 Total:	200.00							
	B & F Construction Total:	2,439.89							
Bass/ Schuler Entertainment									
467912									
83360	11/22/2024	1,000.00	0.00	01/06/2025				No	0
15-430-4751	North Aurora Days Expenses		NA Days Band- The Right Stuff/ Deposit						
	83360 Total:	1,000.00							
83362	11/22/2024	1,000.00	0.00	01/06/2025				No	0
15-430-4751	North Aurora Days Expenses		NA Days Band- Justin Sattazahn/ Deposit						
	83362 Total:	1,000.00							
	Bass/ Schuler Entertainmen	2,000.00							
BDK Door Company									
030150									
805072997	12/12/2024	783.72	0.00	01/06/2025				No	0
01-445-4520	Public Buildings Rpr & Mtce		Door Repair- 2 Monroe St						
	805072997 Total:	783.72							
	BDK Door Company Tota	783.72							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
<hr/>									
Bonnell Industries 035410									
*** 0216744-IN	8/5/2024	125.00	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint					Leaf Vac Repair- Short Paid Original Invoice				
	0216744-IN Total:	125.00							
*** 0217808-IN	10/31/2024	139.60	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint					Shipping Fee- Leaf Vac Hose				
	0217808-IN Total:	139.60							
	Bonnell Industries Total:	264.60							
<hr/>									
Capital Printing & Die Cutting, Inc 468305									
INV-5425	12/6/2024	402.21	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint					Graphics				
	INV-5425 Total:	402.21							
	Capital Printing & Die Cut	402.21							
<hr/>									
Cintas Corporation 041590									
4213441932	12/3/2024	105.87	0.00	01/06/2025				No	0
01-445-4422 Safety Supplies					Towel & Rug Cleaning- PW Garage				
	4213441932 Total:	105.87							
5241983803	11/27/2024	271.98	0.00	01/06/2025				No	0
01-445-4422 Safety Supplies					First Aid Supplies- PW Garage				
	5241983803 Total:	271.98							
5243472810	12/9/2024	38.58	0.00	01/06/2025				No	0
60-445-4422 Safety Supplies					First Aid Supplies- ETP				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
5243472810	Total:	38.58							
5243472811	12/9/2024	40.80	0.00	01/06/2025				No	0
60-445-4422	Safety Supplies				First Aid Supplies- WTP				
5243472811	Total:	40.80							
Cintas Corporation	Total:	457.23							
Classic Towing									
468258									
24-45239	12/10/2024	410.00	0.00	01/06/2025				No	0
01-440-4555	Investigations				Investigation Tow				
24-45239	Total:	410.00							
Classic Towing	Total:	410.00							
Comcast Business									
468904									
061 0455178	11/26/2024	58.56	0.00	01/06/2025				No	0
01-440-4652	Phones and Connectivity				TV Service- PD				
061 0455178	Total:	58.56							
Comcast Business	Total:	58.56							
Commonwealth Edison									
000330									
5456181222	11/6/2024	109.54	0.00	01/06/2025				No	0
17-007-4662	Utility				Oak Hill Entrance Light				
5456181222	Total:	109.54							
Commonwealth Edison	Tot	109.54							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
Core & Main									
039040									
W139394	12/10/2024	395.00	0.00	01/06/2025				No	0
60-445-4568	Watermain Rprs. & Rplemnts.		8" Repair Clips						
	W139394 Total:	395.00							
	Core & Main Total:	395.00							
Creekside Compost, LLC									
467909									
24-12-7179	12/3/2024	1,112.50	0.00	01/06/2025				No	0
01-445-4532	Tree Service		Leaf Disposal						
	24-12-7179 Total:	1,112.50							
	Creekside Compost, LLC T	1,112.50							
DACRA Adjudication Systems									
467842									
DT 20247-11-113	11/30/2024	232.26	0.00	01/06/2025				No	0
01-440-4505	Postage		Postage						
	DT 20247-11-113 Total:	232.26							
	DACRA Adjudication Syst	232.26							
De Nora MIOX Corporation									
038050									
9200096451	12/2/2024	1,308.31	0.00	01/06/2025				No	0
60-445-4567	Treatment Plant Repair/Maint		MIOX Parts						
	9200096451 Total:	1,308.31							
9200096671	12/9/2024	837.66	0.00	01/06/2025				No	0
60-445-4567	Treatment Plant Repair/Maint		MIOX Parts						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	9200096671 Total:	837.66							
	De Nora MIOX Corporatio	2,145.97							
Drendel & Jansons Law Group									
028580									
12073	10/31/2024	3,000.00	0.00	01/06/2025				No	0
01-440-4260 Legal				Legal Services- PD/ Oct 2024					
	12073 Total:	3,000.00							
12075	10/31/2024	73.33	0.00	01/06/2025				No	0
60-445-4260 Legal				Legal Services- City Of Aurora Antenna/ Oct 2024					
	12075 Total:	73.33							
12080	10/31/2024	1,796.67	0.00	01/06/2025				No	0
01-441-4260 Legal				Legal Services- CommDev/ Oct 2024					
	12080 Total:	1,796.67							
12081	11/30/2024	5,118.99	0.00	01/06/2025				No	0
01-430-4260 Legal				Legal Services- Gen, Admin, Fin/ Oct 2024					
	12081 Total:	5,118.99							
12393	11/30/2024	2,977.97	0.00	01/06/2025				No	0
01-430-4260 Legal				Legal Services- Gen, Admin, Fin/ Nov 2024					
	12393 Total:	2,977.97							
12394	11/30/2024	1,635.00	0.00	01/06/2025				No	0
01-440-4260 Legal				Legal Services- PD/ Nov 2024					
	12394 Total:	1,635.00							
12399	11/30/2024	1,140.00	0.00	01/06/2025				No	0
01-441-4260 Legal				Legal Services- CommDev/ Nov 2024					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
12399 Total:		1,140.00							
Drendel & Jansons Law Gr		15,741.96							
EM Benefits 049670									
12152024	12/15/2024	466.73	0.00	01/06/2025				No	0
01-000-2057 Short-Term Disability					Short-Term Disability/ January 2025				
12152024 Total:		466.73							
EM Benefits Total:		466.73							
Engineering Enterprises, Inc. 467917									
82192	12/19/2024	1,371.50	0.00	01/06/2025				No	0
19-438-4255 Engineering					Airport Rd & Rt 31 Engineering				
82192 Total:		1,371.50							
82193	12/19/2024	4,477.00	0.00	01/06/2025				No	0
60-445-4255 Engineering					Water System Model				
82193 Total:		4,477.00							
82194	12/19/2024	1,620.50	0.00	01/06/2025				No	0
21-450-4255 Engineering					Orchard Gateway Ph2				
82194 Total:		1,620.50							
82195	12/19/2024	2,500.00	0.00	01/06/2025				No	0
21-450-4875 Capital Improvements					Orchard Gateway ROW- ComEd				
82195 Total:		2,500.00							
82196	12/19/2024	2,376.00	0.00	01/06/2025				No	0
60-445-4255 Engineering					Water System Master Plan				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	82196 Total:	2,376.00							
82197	12/19/2024	5,552.00	0.00	01/06/2025				No	0
60-472-4255 Engineering				Water Tower Design					
	82197 Total:	5,552.00							
82198	12/19/2024	991.50	0.00	01/06/2025				No	0
60-445-4255 Engineering				HMO System Engineering					
	82198 Total:	991.50							
82201	12/19/2024	180.75	0.00	01/06/2025				No	0
60-445-4255 Engineering				SCADA System IEPA Permitting					
	82201 Total:	180.75							
	Engineering Enterprises, In	19,069.25							
Fifth Third Bank 028450									
AH10282024-01	10/8/2024	16.99	0.00	01/06/2025				No	0
60-445-4564 SCADA Repair & Maintenance				Network Switch/ Amazon					
	AH10282024-01 Total:	16.99							
AH10282024-02	10/19/2024	48.35	0.00	01/06/2025				No	0
60-445-4440 Gas & Oil				Fuel For Truck/ BP					
	AH10282024-02 Total:	48.35							
AH10282024-03	10/21/2024	42.84	0.00	01/06/2025				No	0
60-445-4505 Postage				Shipping For Hach DR300/ UPS Store					
	AH10282024-03 Total:	42.84							
BR10282024-01	10/2/2024	75.81	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Bobcat Switch/ Bobcat Company					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
	BR10282024-01 Total:	75.81							
BR10282024-02	10/9/2024	12.59	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint					Chain Saw Filters/ Amazon				
	BR10282024-02 Total:	12.59							
BR10282024-03	10/9/2024	50.00	0.00	01/06/2025				No	0
01-445-4380 Training					Locator Training/ Staking University				
	BR10282024-03 Total:	50.00							
BR10282024-04	10/9/2024	880.32	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint					Mirror- Ford F-350/ Tasca Automotive Group				
	BR10282024-04 Total:	880.32							
BR10282024-05	10/17/2024	222.74	0.00	01/06/2025				No	0
01-445-4799 Misc. Expenditures					Lunch- OAC Mtg/ Maciano's Pizza				
	BR10282024-05 Total:	222.74							
BR10282024-06	10/22/2024	493.85	0.00	01/06/2025				No	0
01-445-4422 Safety Supplies					Respirator Mask/ Amazon				
	BR10282024-06 Total:	493.85							
BT10282024-01	10/15/2024	8.29	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce					Screen Repair- VH/ Amazon				
	BT10282024-01 Total:	8.29							
BT10282024-02	10/15/2024	71.60	0.00	01/06/2025				No	0
01-445-4411 Office Expenses					Office Supplies/ Amazon				
	BT10282024-02 Total:	71.60							
BT10282024-03	10/15/2024	428.16	0.00	01/06/2025				No	0
01-445-4423 Tools					Measuring Wheels/ Amazon				
	BT10282024-03 Total:	428.16							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
CW10282024-01	10/2/2024	180.00	0.00	01/06/2025				No	0
01-440-4799 Misc.				Fall Displays (4)/ Lions Club					
	CW10282024-01 Total:	180.00							
CW10282024-02	10/7/2024	73.36	0.00	01/06/2025				No	0
01-440-4460 Comfort Dog Supplies				New Harness- Zelda/ Elite K-9					
	CW10282024-02 Total:	73.36							
CW10282024-03	10/15/2024	18.90	0.00	01/06/2025				No	0
01-440-4498 Community Service				Halloween Decorations- Squads/ Dollar Tree					
	CW10282024-03 Total:	18.90							
CW10282024-04	10/15/2024	23.75	0.00	01/06/2025				No	0
01-440-4460 Comfort Dog Supplies				Bone Chew Toy/ Petco					
	CW10282024-04 Total:	23.75							
CW10282024-05	10/16/2024	16.99	0.00	01/06/2025				No	0
01-440-4498 Community Service				Trunk Or Treat Accessories/ Amazon					
	CW10282024-05 Total:	16.99							
CW10282024-06	10/16/2024	14.99	0.00	01/06/2025				No	0
01-440-4411 Office Expenses				2025 Calendar/ Amazon					
	CW10282024-06 Total:	14.99							
CW10282024-07	10/16/2024	35.60	0.00	01/06/2025				No	0
01-440-4498 Community Service				Halloween Costume- Zelda/ Amazon					
	CW10282024-07 Total:	35.60							
CW10282024-08	12/17/2024	351.08	0.00	01/06/2025				No	0
01-440-4498 Community Service				Candy- Trunk Or Treat/ Sam's Club					
	CW10282024-08 Total:	351.08							
CW10282024-09	12/20/2024	30.00	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel- Squad #80/ Speedway					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	CW10282024-09 Total:	30.00							
CW10282024-10	12/23/2024	47.10	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel- Squad #80/ Speedway					
	CW10282024-10 Total:	47.10							
DA10282024-01	9/27/2024	54.41	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				12V AC To DC Converter/ Amazon					
	DA10282024-01 Total:	54.41							
DA10282024-02	10/1/2024	18.49	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				iPhone Case/ Amazon					
	DA10282024-02 Total:	18.49							
DA10282024-03	10/6/2024	33.64	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				iPhone 12 Case/ Amazon					
	DA10282024-03 Total:	33.64							
DA10282024-04	10/16/2024	33.98	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				Computer Backpack/ Amazon					
	DA10282024-04 Total:	33.98							
DA10282024-05	10/15/2024	135.03	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				Zebra Print Cradle/ Paragon					
	DA10282024-05 Total:	135.03							
DA10282024-06	10/16/2024	-33.64	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				iPhone 12 Case Return/ Amazon					
	DA10282024-06 Total:	-33.64							
DA10282024-07	10/17/2024	38.16	0.00	01/06/2025				No	0
01-430-4420 IT Supplies				iPhone Case, Glass Protector/ Amazon					
	DA10282024-07 Total:	38.16							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
DA10282024-08	10/23/2024	60.70	0.00	01/06/2025				No	0
01-430-4420 IT Supplies					Zebra Printer DC Power Cable/ Barcode Inc				
	DA10282024-08 Total:	60.70							
DA10282024-09	10/24/2024	9.89	0.00	01/06/2025				No	0
01-430-4420 IT Supplies					Zebra Printer DC Power Cable/ Barcode Inc				
	DA10282024-09 Total:	9.89							
DA10282024-10	10/24/2024	19.98	0.00	01/06/2025				No	0
01-430-4420 IT Supplies					Socket Tool Set				
	DA10282024-10 Total:	19.98							
DA10282024-11	10/25/2024	15.98	0.00	01/06/2025				No	0
01-430-4420 IT Supplies					Desktop Microphone/ Amazon				
	DA10282024-11 Total:	15.98							
JD10282024-01	10/1/2024	1.00	0.00	01/06/2025				No	0
01-440-4870 Equipment					Fitness Equipment Repair Deposit/ Huff N Puff				
	JD10282024-01 Total:	1.00							
JD10282024-02	10/7/2024	166.99	0.00	01/06/2025				No	0
01-440-4411 Office Expenses					Office Supplies/ Office Depot				
	JD10282024-02 Total:	166.99							
JD10282024-03	10/9/2024	19.88	0.00	01/06/2025				No	0
01-440-4411 Office Expenses					Office Supplies/ Office Depot				
	JD10282024-03 Total:	19.88							
JD10282024-04	10/9/2024	40.30	0.00	01/06/2025				No	0
01-440-4411 Office Expenses					Office Supplies/ Office Depot				
	JD10282024-04 Total:	40.30							
JD10282024-05	12/9/2024	120.94	0.00	01/06/2025				No	0
01-440-4799 Misc.					NAPD Patch Wall/ Home Depot				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description			Reference			
	JD10282024-05 Total:	120.94							
JD10282024-06	10/12/2024	45.21	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Thorton's					
	JD10282024-06 Total:	45.21							
JD10282024-07	10/13/2024	32.16	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Casey's					
	JD10282024-07 Total:	32.16							
JD10282024-08	10/13/2024	37.31	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Casey's					
	JD10282024-08 Total:	37.31							
JD10282024-09	10/13/2024	40.55	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Casey's					
	JD10282024-09 Total:	40.55							
JD10282024-10	10/14/2024	40.93	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Speedway					
	JD10282024-10 Total:	40.93							
JD10282024-11	10/13/2024	57.12	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Thorton's					
	JD10282024-11 Total:	57.12							
JD10282024-12	10/14/2024	64.21	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-12 Total:	64.21							
JD10282024-13	10/14/2024	71.67	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-13 Total:	71.67							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
JD10282024-14	10/14/2024	77.39	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-14 Total:	77.39							
JD10282024-15	10/16/2024	154.40	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint				Registration Renewal/ ILSOS					
	JD10282024-15 Total:	154.40							
JD10282024-16	10/18/2024	38.68	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Speedway					
	JD10282024-16 Total:	38.68							
JD10282024-17	10/18/2024	42.84	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-17 Total:	42.84							
JD10282024-18	10/19/2024	53.27	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-18 Total:	53.27							
JD10282024-19	10/18/2024	69.53	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Speedway					
	JD10282024-19 Total:	69.53							
JD10282024-20	10/20/2024	45.12	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Casey/s					
	JD10282024-20 Total:	45.12							
JD10282024-21	10/20/2024	60.98	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	JD10282024-21 Total:	60.98							
JD10282024-22	12/21/2024	32.33	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Squad Fuel/ Shell					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	JD10282024-22 Total:	32.33							
JD10282024-23	12/21/2024	55.18	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Squad Fuel/ Shell					
	JD10282024-23 Total:	55.18							
JD10282024-24	12/21/2024	57.49	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Squad Fuel/ Shell					
	JD10282024-24 Total:	57.49							
JD10282024-25	12/24/2024	31.83	0.00	01/06/2025				No	0
01-440-4799 Misc.				Drinks For Training Class/ Target					
	JD10282024-25 Total:	31.83							
JD10282024-26	12/24/2024	161.57	0.00	01/06/2025				No	0
01-440-4799 Misc.				Pizza For Training Class/ Macianos					
	JD10282024-26 Total:	161.57							
JG10282024-01	10/1/2024	186.00	0.00	01/06/2025				No	0
01-440-4555 Investigations				Investigations App/ TLO TransUnion					
	JG10282024-01 Total:	186.00							
JG10282024-02	10/2/2024	115.00	0.00	01/06/2025				No	0
01-440-4390 Dues & Meetings				Yearly Dues/ ILACP					
	JG10282024-02 Total:	115.00							
JG10282024-03	10/11/2024	297.50	0.00	01/06/2025				No	0
01-440-4160 Uniform Allowance				Badge Order/ Entenmann-Rovin					
	JG10282024-03 Total:	297.50							
JG10282024-04	10/14/2024	10.79	0.00	01/06/2025				No	0
01-440-4555 Investigations				Investigations App/ Apple.com					
	JG10282024-04 Total:	10.79							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
JG10282024-05	10/14/2024	825.21	0.00	01/06/2025				No	0
01-440-4555 Investigations					Cold Case Investigation/ DNA Labs				
JG10282024-05 Total:		825.21							
JG10282024-06	10/18/2024	53.00	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil					Gas For Squad/ Casey's				
JG10282024-06 Total:		53.00							
JG10282024-07	10/21/2024	95.00	0.00	01/06/2025				No	0
01-440-4411 Office Expenses					Investigations- Patrol Reference/ Driver's License Guide				
JG10282024-07 Total:		95.00							
JG10282024-08	10/25/2024	416.15	0.00	01/06/2025				No	0
01-440-4799 Misc.					Lobby Cleaning/ Servicemaster				
JG10282024-08 Total:		416.15							
KL10282024-01	9/27/2024	42.07	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil					Fuel For Squad/ Circle K				
KL10282024-01 Total:		42.07							
KL10282024-02	9/27/2024	433.44	0.00	01/06/2025				No	0
01-440-4370 Conferences & Travel					Hotel- Conference/ Embassy Suites				
KL10282024-02 Total:		433.44							
KL10282024-03	10/11/2024	15.00	0.00	01/06/2025				No	0
01-440-4160 Uniform Allowance					Uniform/ Inital Impressions				
KL10282024-03 Total:		15.00							
KL10282024-04	10/15/2024	76.05	0.00	01/06/2025				No	0
01-440-4160 Uniform Allowance					Honor Guard Uniform Ray O'Herrons				
KL10282024-04 Total:		76.05							
KL10282024-05	10/15/2024	44.50	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil					Fuel For Squad/ Shell				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	KL10282024-05 Total:	44.50							
KL10282024-06	10/19/2024	49.97	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Shell					
	KL10282024-06 Total:	49.97							
KL10282024-07	10/20/2024	51.17	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel For Squad/ Thorton's					
	KL10282024-07 Total:	51.17							
KL10282024-08	10/21/2024	12.00	0.00	01/06/2025				No	0
01-440-4799 Misc.				Parking/ Lurie Children's Hospital Pkg Lot					
	KL10282024-08 Total:	12.00							
KL10282024-09	10/22/2024	39.95	0.00	01/06/2025				No	0
01-440-4498 Community Service				Picture Frame- Cold Case/ Walgreens					
	KL10282024-09 Total:	39.95							
KL10282024-10	10/26/2024	88.83	0.00	01/06/2025				No	0
01-440-4799 Misc.				Meals For Officer Attending Wake/ Monicals					
	KL10282024-10 Total:	88.83							
MF10282024-01	9/30/2024	150.00	0.00	01/06/2025				No	0
01-435-4390 Dues & Meetings				Membership/ GFOA					
	MF10282024-01 Total:	150.00							
MF10282024-02	10/4/2024	40.00	0.00	01/06/2025				No	0
01-445-4799 Misc. Expenditures				Tolls Refill/ iPass					
	MF10282024-02 Total:	40.00							
MQ10282024-01	9/25/2024	443.53	0.00	01/06/2025				No	0
01-440-4557 Evidence Processing				Evidence Processing/ Sirchie					
	MQ10282024-01 Total:	443.53							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
MQ10282024-02	10/1/2024	17.06	0.00	01/06/2025				No	0
01-440-4557	Evidence Processing				Evidence Processing/ Sirchie				
MQ10282024-02 Total:		17.06							
MQ10282024-03	10/4/2024	43.54	0.00	01/06/2025				No	0
01-440-4557	Evidence Processing				Evidence Processing/ Amazon				
MQ10282024-03 Total:		43.54							
MQ10282024-04	10/3/2024	115.00	0.00	01/06/2025				No	0
01-440-4390	Dues & Meetings				Membership/ ILACP				
MQ10282024-04 Total:		115.00							
MQ10282024-05	10/4/2024	355.00	0.00	01/06/2025				No	0
01-440-4383	Firearm Training				Training Class/ IL Tactical AFP				
MQ10282024-05 Total:		355.00							
MQ10282024-06	10/4/2024	17.12	0.00	01/06/2025				No	0
01-440-4411	Office Expenses				Lamination/ UPS				
MQ10282024-06 Total:		17.12							
MQ10282024-07	10/4/2024	1,424.85	0.00	01/06/2025				No	0
01-440-4870	Equipment				Safety Devices/ Guardian Angel Devices				
MQ10282024-07 Total:		1,424.85							
MQ10282024-08	10/7/2024	147.00	0.00	01/06/2025				No	0
01-440-4380	Training				Online Training Notary/ Notary Public Training				
MQ10282024-08 Total:		147.00							
MQ10282024-09	10/10/2024	27.13	0.00	01/06/2025				No	0
01-440-4799	Misc.				Reimbursed Charge/ Imagination				
MQ10282024-09 Total:		27.13							
MQ10282024-10	10/11/2024	423.75	0.00	01/06/2025				No	0
01-440-4383	Firearm Training				Hotel At Training/ Holiday Inn				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	MQ10282024-10 Total:	423.75							
MQ10282024-11	10/14/2024	40.40	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel/ Speedway					
	MQ10282024-11 Total:	40.40							
MQ10282024-12	10/15/2024	111.66	0.00	01/06/2025				No	0
01-440-4870 Equipment				Equipment Patrol/ Amazon					
	MQ10282024-12 Total:	111.66							
MQ10282024-13	10/18/2024	47.33	0.00	01/06/2025				No	0
01-440-4440 Gas & Oil				Fuel/ Speedway					
	MQ10282024-13 Total:	47.33							
MQ10282024-14	10/18/2024	300.00	0.00	01/06/2025				No	0
01-440-4370 Conferences & Travel				Midwest Conference Traffic/ ITEA					
	MQ10282024-14 Total:	300.00							
MQ10282024-15	10/22/2024	174.85	0.00	01/06/2025				No	0
01-440-4931 Vehicle Equip Fund Charges				Fleet Registration/ ILSOS Registration					
	MQ10282024-15 Total:	174.85							
MQ10282024-16	10/22/2024	174.85	0.00	01/06/2025				No	0
01-440-4931 Vehicle Equip Fund Charges				Fleet Registration/ ILSOS Registration					
	MQ10282024-16 Total:	174.85							
MQ10282024-17	10/22/2024	174.85	0.00	01/06/2025				No	0
01-440-4931 Vehicle Equip Fund Charges				Fleet Registration/ ILSOS Registration					
	MQ10282024-17 Total:	174.85							
MQ10282024-18	10/22/2024	300.00	0.00	01/06/2025				No	0
01-440-4370 Conferences & Travel				Conference/ Active Threat					
	MQ10282024-18 Total:	300.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
MQ10282024-19	10/23/2024	300.00	0.00	01/06/2025				No	0
01-440-4370	Conferences & Travel			Midwest Conference Traffic/ ITEA					
	MQ10282024-19 Total:	300.00							
ND10282024-01	9/30/2024	471.46	0.00	01/06/2025				No	0
01-441-4370	Conferences & Travel			Hotel For State Conference/ Holiday Inn					
	ND10282024-01 Total:	471.46							
NS10282024-01	9/27/2024	36.00	0.00	01/06/2025				No	0
01-410-4799	Misc. Expenditures			Donuts For Leadership Academy/ Harner's Bakery					
	NS10282024-01 Total:	36.00							
NS10282024-02	9/27/2024	105.00	0.00	01/06/2025				No	0
01-430-4380	Training & Testing			Leadership Academy Class/ NIU Outreach					
	NS10282024-02 Total:	105.00							
NS10282024-03	10/2/2024	84.99	0.00	01/06/2025				No	0
01-430-4411	Office Expenses			Paper Shredder/ Amazon					
	NS10282024-03 Total:	84.99							
NS10282024-04	10/2/2024	85.00	0.00	01/06/2025				No	0
01-435-4411	Office Expenses			Paper Shredder/ Amazon					
	NS10282024-04 Total:	85.00							
NS10282024-05	10/2/2024	85.00	0.00	01/06/2025				No	0
01-441-4411	Office Expenses			Paper Shredder/ Amazon					
	NS10282024-05 Total:	85.00							
NS10282024-06	10/2/2024	299.04	0.00	01/06/2025				No	0
01-490-4759	Community Events			Candy- PW Trunk Or Treat/ Walmart.com					
	NS10282024-06 Total:	299.04							
NS10282024-07	10/7/2024	4.79	0.00	01/06/2025				No	0
01-490-4759	Community Events			Water- PW Groundbreaking/ Target					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
	NS10282024-07 Total:	4.79							
NS10282024-08	10/7/2024	44.02	0.00	01/06/2025				No	0
01-440-4411 Office Expenses					Billing Stamp- Quinn/ Rubber Stamp Warehouse				
	NS10282024-08 Total:	44.02							
NS10282024-09	10/7/2024	48.00	0.00	01/06/2025				No	0
01-490-4759 Community Events					Cookies- PW Groundbreaking/ Harner's Bakery				
	NS10282024-09 Total:	48.00							
NS10282024-10	10/8/2024	40.00	0.00	01/06/2025				No	0
01-430-4411 Office Expenses					Newspaper Subscription/ Chicago Tribune				
	NS10282024-10 Total:	40.00							
NS10282024-11	10/15/2024	-32.05	0.00	01/06/2025				No	0
01-430-4411 Office Expenses					Newspaper Subscription Adjustment/ Chicago Tribune				
	NS10282024-11 Total:	-32.05							
NS10282024-12	10/15/2024	35.00	0.00	01/06/2025				No	0
01-430-4380 Training & Testing					Professional Development Course/ ILCMA				
	NS10282024-12 Total:	35.00							
NS10282024-13	10/22/2024	72.91	0.00	01/06/2025				No	0
01-435-4870 Equipment					Attendance Calendar/ HR Direct				
	NS10282024-13 Total:	72.91							
SB10282024-01	10/5/2024	86.86	0.00	01/06/2025				No	0
01-410-4799 Misc. Expenditures					Donuts And Coffee For Meeting With Mayor/ Dunkin				
	SB10282024-01 Total:	86.86							
	Fifth Third Bank Total:	14,294.38							

Fox Metro

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
029650									
12032024	12/3/2024	30.00	0.00	01/06/2025				No	0
60-445-4480 New Meters,rprs. & Rplcmts.				New Service Inspection (1)					
	12032024 Total:	30.00							
	Fox Metro Total:	30.00							
Frank Marshall Electric									
028510									
92266	12/4/2024	1,043.00	0.00	01/06/2025				No	0
01-445-4530 Public Grounds/Parks Maint				Light Removal- VH Sign					
	92266 Total:	1,043.00							
92267	12/4/2024	3,610.79	0.00	01/06/2025				No	0
01-445-4530 Public Grounds/Parks Maint				GFI Receptacles- Riverfront Park					
	92267 Total:	3,610.79							
	Frank Marshall Electric To	4,653.79							
Frederick Quinn Corporation									
468882									
*** FQC #564	12/17/2024	62,100.00	0.00	01/06/2025				No	0
21-452-4501 Contractual Services				Construction Management					
	FQC #564 Total:	62,100.00							
FQC #564-2	12/17/2024	1,019,795.00	0.00	01/06/2025				No	0
21-452-4501 Contractual Services				PW Construction Facility					
	FQC #564-2 Total:	1,019,795.00							
	Frederick Quinn Corporatio	1,081,895.00							
Fulton Siren Services									

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
467664									
2831	12/9/2024	2,656.05	0.00	01/06/2025				No	0
01-445-4530	Public Grounds/Parks Maint		Maintenance & Annual Siren Test						
	2831 Total:	2,656.05							
	Fulton Siren Services Total	2,656.05							
Gerald Ford									
467768									
5049044	11/7/2024	444.90	0.00	01/06/2025				No	0
01-440-4511	Vehicle Repair and Maint		Squad Repair						
	5049044 Total:	444.90							
6077042	11/7/2024	2,352.98	0.00	01/06/2025				No	0
01-440-4511	Vehicle Repair and Maint		Squad Repair						
	6077042 Total:	2,352.98							
	Gerald Ford Total:	2,797.88							
Gerald Realty Holdings LLC									
468332									
12112024	12/11/2024	31,646.44	0.00	01/06/2025				No	0
01-490-4781	Sales Tax Rebates		Gerald Genesis Rebate - Jul 24 - Sep 24						
	12112024 Total:	31,646.44							
	Gerald Realty Holdings LL	31,646.44							
Grainger									
031900									
9337382866	12/6/2024	28.25	0.00	01/06/2025				No	0
60-445-4567	Treatment Plant Repair/Maint		Filter Housing- TP						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
9337382866 Total:		28.25							
9337382874	12/6/2024	212.94	0.00	01/06/2025				No	0
60-445-4423 Tools			Saw Blades						
9337382874 Total:		212.94							
9338165450	12/6/2024	141.25	0.00	01/06/2025				No	0
60-445-4567 Treatment Plant Repair/Maint			Filter Housing- TP						
9338165450 Total:		141.25							
Grainger Total:		382.44							
Griffon Systems, Inc.									
052520									
14145	12/11/2024	6,113.00	0.00	01/06/2025				No	0
01-430-4870 Equipment			Police Camera- Vault & Gate						
14145 Total:		6,113.00							
14146	12/11/2024	1,840.00	0.00	01/06/2025				No	0
01-430-4870 Equipment			PW Camera- Construction						
14146 Total:		1,840.00							
14154	12/20/2024	1,035.00	0.00	01/06/2025				No	0
01-430-4870 Equipment			License Upgrade- VH						
14154 Total:		1,035.00							
Griffon Systems, Inc. Tota		8,988.00							
Hach Company									
014100									
14277353	12/2/2024	315.16	0.00	01/06/2025				No	0
60-445-4562 Testing (water)			Reagents And Supplies						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
14277353	Total:	315.16							
Hach Company	Total:	315.16							
Hollywood Tools, LLC 468498									
09262441646	9/26/2024	-110.10	0.00	01/06/2025				No	0
01-445-4870 Equipment				Tool Return					
09262441646	Total:	-110.10							
10242443108	10/24/2024	-86.10	0.00	01/06/2025				No	0
01-445-4870 Equipment				Prybar Return					
10242443108	Total:	-86.10							
12122445653	12/12/2024	208.15	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Rachet					
12122445653	Total:	208.15							
Hollywood Tools, LLC	To	11.95							
Illinois LEAP, C/O Leanora Schloesser 467921									
12092024	12/9/2024	75.00	0.00	01/06/2025				No	0
01-440-4390 Dues & Meetings				IL LEAP Dues- Wagner					
12092024	Total:	75.00							
Illinois LEAP, C/O Leanora		75.00							
Illinois Public Works 039690									
2959	12/3/2024	250.00	0.00	01/06/2025				No	0
01-445-4390 Dues & Meetings				IPWMAN Membership 2025					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
	2959 Total:	250.00							
	Illinois Public Works Total:	250.00							
InQuest, LLC 468471 *** 133500717	9/19/2024	3,805.00	0.00	01/06/2025				No	0
01-430-4513 Software Maintenance				Spam Filter					
	133500717 Total:	3,805.00							
	InQuest, LLC Total:	3,805.00							
Interstate Billing Service, Inc. 049760 3039719941	12/2/2024	170.00	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Transfer Pump- Truck #176					
	3039719941 Total:	170.00							
	Interstate Billing Service, In	170.00							
Intoximeters, Inc. 033220 775557	12/10/2024	692.00	0.00	01/06/2025				No	0
01-440-4870 Equipment				Repair					
	775557 Total:	692.00							
	Intoximeters, Inc. Total:	692.00							
JSN Contractors Supply 041440 87505	12/11/2024	54.60	0.00	01/06/2025				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description				Reference		
10-445-4661 Street Light Repair/Maint					Red Marking Paint				
87505 Total:		54.60							
87505-02	12/11/2024	114.00	0.00	01/06/2025				No	0
18-445-4570 Sewers Rpr & Mtce					Green Marking Paint				
87505-02 Total:		114.00							
87505-03	12/11/2024	163.80	0.00	01/06/2025				No	0
60-445-4568 Watermain Rprs. & Rplcmnts.					Blue Marking Paint				
87505-03 Total:		163.80							
JSN Contractors Supply T		332.40							
Judges 2008 LLC									
468520									
241	12/3/2024	373.94	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint					Squad Washes- Nov 2024				
241 Total:		373.94							
Judges 2008 LLC Total:		373.94							
Kane County Animal Control									
031620									
12092024	12/9/2024	192.00	0.00	01/06/2025				No	0
01-440-4523 Animal Control					Animal Control- Nov 2024				
12092024 Total:		192.00							
Kane County Animal Cont		192.00							
Kane County Chiefs of									
001920									
1717	12/1/2024	200.00	0.00	01/06/2025				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description				Reference		
01-440-4390 Dues & Meetings				2025 Annual Dues					
1717 Total:		200.00							
Kane County Chiefs of Tot		200.00							
Kane County Division of 036170									
T-FY24-Q4-009	12/6/2024	613.71	0.00	01/06/2025				No	0
01-445-4545 Traffic Signs & Signals				Traffic Lights- 4th Quarter					
T-FY24-Q4-009 Total:		613.71							
Kane County Division of T		613.71							
Kane County Recorder 010600									
10312024	10/31/2024	312.00	0.00	01/06/2025				No	0
60-445-4506 Publishing				Recording Fees					
10312024 Total:		312.00							
10312024-02	10/31/2024	167.00	0.00	01/06/2025				No	0
01-441-4506 Publishing				Recording Fees					
10312024-02 Total:		167.00							
Kane County Recorder Tot		479.00							
KenCom 467776									
643	12/4/2024	18,954.44	0.00	01/06/2025				No	0
01-440-4513 Software Maintenance				Records Maintenance Software					
643 Total:		18,954.44							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
KenCom Total:		18,954.44							
Konica Minolta 024860									
297196992	11/30/2024	70.62	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297196992 Total:		70.62							
297197193	11/30/2024	71.15	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297197193 Total:		71.15							
297197698	11/30/2024	130.99	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297197698 Total:		130.99							
297197704	11/30/2024	71.15	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297197704 Total:		71.15							
297199942	11/30/2024	106.85	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297199942 Total:		106.85							
297201040	11/30/2024	38.69	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 11/1 - 11/30					
297201040 Total:		38.69							
297331758	12/2/2024	61.48	0.00	01/06/2025				No	0
01-440-4510 Equipment/IT Maint				Copier Maintenance- 12/1-12/2					
297331758 Total:		61.48							
9010218460	11/30/2024	10.99	0.00	01/06/2025				No	0
01-430-4411 Office Expenses				AP Printer Maintenance 11/21 - 12/20					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
9010218460 Total:		10.99							
9010224527	12/1/2024	27.81	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				Copier Maintenance- PW Garage					
9010224527 Total:		27.81							
Konica Minolta Total:		589.73							
Lee Jensen Sales Co., Inc.									
044070									
0031037-00	12/12/2024	264.30	0.00	01/06/2025				No	0
60-445-4422 Safety Supplies				Gas Det Repair					
0031037-00 Total:		264.30							
Lee Jensen Sales Co., Inc. T		264.30							
Lund Industries, Inc.									
024470									
NAU605	12/16/2024	1,542.92	0.00	01/06/2025				No	0
01-440-4383 Firearm Training				Firearms Equipment					
NAU605 Total:		1,542.92							
Lund Industries, Inc. Total:		1,542.92							
Marberry Cleaners									
008430									
8FAFEB	11/1/2024	26.42	0.00	01/06/2025				No	0
01-440-4450 Prisoner Mtce & Supplies				Prisoner Blanket Cleaning					
8FAFEB Total:		26.42							
Marberry Cleaners Total:		26.42							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
Mc Cue Builders									
031350									
20230800845	12/10/2024	5,000.00	0.00	01/06/2025				No	0
90-000-2225	Due To Others - Damage Bond		Bond Return- 310 Lake Run Lane						
	20230800845 Total:	5,000.00							
20231101043	12/10/2024	5,000.00	0.00	01/06/2025				No	0
90-000-2225	Due To Others - Damage Bond		Bond Return- 345 Pheasant Hill Dr						
	20231101043 Total:	5,000.00							
20231101046	12/10/2024	5,000.00	0.00	01/06/2025				No	0
90-000-2225	Due To Others - Damage Bond		Bond Return- 2926 Hampton Ave						
	20231101046 Total:	5,000.00							
20240200047	12/10/2024	5,000.00	0.00	01/06/2025				No	0
90-000-2225	Due To Others - Damage Bond		Bond Return- 452 Prairie Ridge						
	20240200047 Total:	5,000.00							
20240200055	12/10/2024	5,000.00	0.00	01/06/2025				No	0
90-000-2225	Due To Others - Damage Bond		Bond Return- 365 Pheasant Hill Dr						
	20240200055 Total:	5,000.00							
	Mc Cue Builders Total:	25,000.00							
Meade Electric Company, Inc.									
027140									
711163	12/5/2024	919.66	0.00	01/06/2025				No	0
01-445-4545	Traffic Signs & Signals		Traffic Light Repair- Randall/ Dogwood/ Ritter						
	711163 Total:	919.66							
	Meade Electric Company,	919.66							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description				Reference		
Menards									
016070									
40212	12/2/2024	45.96	0.00	01/06/2025				No	0
60-445-4799 Misc. Expenditures					Heater & Thermostat				
40212 Total:		45.96							
40212-02	12/2/2024	39.72	0.00	01/06/2025				No	0
60-445-4562 Testing (water)					Sample Tap- Truck #125				
40212-02 Total:		39.72							
40212-03	12/2/2024	67.88	0.00	01/06/2025				No	0
60-445-4423 Tools					Wire Wheels, Brushes				
40212-03 Total:		67.88							
40212-04	12/2/2024	3.92	0.00	01/06/2025				No	0
60-445-4799 Misc. Expenditures					Dwell				
40212-04 Total:		3.92							
40212-05	12/2/2024	294.97	0.00	01/06/2025				No	0
60-445-4567 Treatment Plant Repair/Maint					Supplies/ Parts- TPs				
40212-05 Total:		294.97							
40212-06	12/2/2024	5.98	0.00	01/06/2025				No	0
60-445-4565 Water Well Rpr & Mtce					Thermometer- Wells				
40212-06 Total:		5.98							
40277	12/3/2024	246.60	0.00	01/06/2025				No	0
01-490-4759 Community Events					Christmas Decorations				
40277 Total:		246.60							
40405	12/5/2024	5.58	0.00	01/06/2025				No	0
01-445-4421 Custodial Supplies					Febreze				
40405 Total:		5.58							
40405-02	12/5/2024	68.92	0.00	01/06/2025				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-445-4520 Public Buildings Rpr & Mtce				Conduit/ Coupler					
40405-02 Total:		68.92							
40407	12/5/2024	48.15	0.00	01/06/2025				No	0
60-445-4870 Equipment				Air Tank & Install- Truck #183					
40407 Total:		48.15							
40421	12/5/2024	1,044.78	0.00	01/06/2025				No	0
60-445-4423 Tools				Tools- Branson					
40421 Total:		1,044.78							
40424	12/5/2024	383.54	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Tool Cart, Tools					
40424 Total:		383.54							
40425	12/5/2024	29.88	0.00	01/06/2025				No	0
60-445-4511 Vehicle Repair and Maint				Seat Cover- Truck #125					
40425 Total:		29.88							
40425-02	12/5/2024	80.94	0.00	01/06/2025				No	0
60-445-4423 Tools				Map Gas					
40425-02 Total:		80.94							
40425-03	12/5/2024	192.36	0.00	01/06/2025				No	0
60-445-4870 Equipment				Air Tank & Install					
40425-03 Total:		192.36							
40430	12/5/2024	42.99	0.00	01/06/2025				No	0
60-445-4567 Treatment Plant Repair/Maint				Water Filter					
40430 Total:		42.99							
40485	12/6/2024	-24.99	0.00	01/06/2025				No	0
60-445-4870 Equipment				Rachet Strap Return					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	40485 Total:	-24.99							
40486	12/6/2024	36.92	0.00	01/06/2025				No	0
60-445-4870 Equipment				Air Tank & Install- Truck #158					
	40486 Total:	36.92							
40656	12/9/2024	111.61	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				NA Fire Garage Supplies/ Repair					
	40656 Total:	111.61							
40656-02	12/9/2024	11.99	0.00	01/06/2025				No	0
60-445-4799 Misc. Expenditures				Folgers Coffee					
	40656-02 Total:	11.99							
40660	12/9/2024	-42.99	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint				House Flt Sys Return					
	40660 Total:	-42.99							
40769	12/11/2024	275.15	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				Supplies- 22 Monroe Street					
	40769 Total:	275.15							
40822	12/12/2024	118.87	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Kerosene, Paper Towels, Degreaser					
	40822 Total:	118.87							
40822-02	12/12/2024	16.96	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				Coat Hooks, Stainless Steel Cleaner					
	40822-02 Total:	16.96							
40861	12/12/2024	19.94	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				Toggle Bolts					
	40861 Total:	19.94							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
	Menards Total:	3,125.63							
Michael Ramsey 468395									
12062024	12/6/2024	425.00	0.00	01/06/2025				No	0
60-445-4380 Training				Water Class Training- Branson					
12062024 Total:		425.00							
Michael Ramsey Total:		425.00							
Mooney & Thomas, Pc 001040									
9218665	11/30/2024	1,100.00	0.00	01/06/2025				No	0
01-435-4267 Finance Services				Payroll Processing- Nov 2024					
9218665 Total:		1,100.00							
9218667	11/30/2024	75.00	0.00	01/06/2025				No	0
80-430-4581 Banking Services/Fees				Police Pension- Dec 2024					
9218667 Total:		75.00							
Mooney & Thomas, Pc To		1,175.00							
MOSCA Design, Inc 468884									
42406	12/20/2024	831.96	0.00	01/06/2025				No	0
01-490-4759 Community Events				Christmas Decorations					
42406 Total:		831.96							
MOSCA Design, Inc Total:		831.96							

Motorola Solutions- STARCOM21

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
002980									
8965320241101	12/1/2024	734.00	0.00	01/06/2025				No	0
01-440-4652 Phones and Connectivity				StarCom- Dec 2024					
	8965320241101 Total:	734.00							
	Motorola Solutions- STAR	734.00							
MSC Industrial Supply									
051190									
52958449	12/2/2024	122.00	0.00	01/06/2025				No	0
01-445-4870 Equipment				Cotton, Knit And Disposable Gloves					
	52958449 Total:	122.00							
	MSC Industrial Supply To	122.00							
North American Valuation and Consulting LLC									
468906									
194-2024-2089	12/16/2024	2,400.00	0.00	01/06/2025				No	0
19-438-4280 Professional/Consulting Fees				5 S Lincolnway Appraisal					
	194-2024-2089 Total:	2,400.00							
	North American Valuation a	2,400.00							
North Aurora NAPA, Inc.									
038730									
460384	3/4/2024	41.98	0.00	01/06/2025				No	0
60-445-4511 Vehicle Repair and Maint				Wiper Blades					
	460384 Total:	41.98							
477865	11/6/2024	97.66	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Mirror- Truck #147					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	477865 Total:	97.66							
478738	11/19/2024	136.05	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Hydraulic Filter- Truck #168					
	478738 Total:	136.05							
478904	11/21/2024	9.68	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Lug Nuts- Truck #128					
	478904 Total:	9.68							
478998	11/22/2024	60.45	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Air Filters- Truck #192					
	478998 Total:	60.45							
479337	11/27/2024	37.76	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Fuse Holders					
	479337 Total:	37.76							
479464	12/2/2024	229.99	0.00	01/06/2025				No	0
01-440-4511	Vehicle Repair and Maint			Squad Parts					
	479464 Total:	229.99							
479466	12/2/2024	293.01	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Fuel Pump- Truck #195					
	479466 Total:	293.01							
479469	12/2/2024	1,108.83	0.00	01/06/2025				No	0
01-445-4511	Vehicle Repair and Maint			Battery (3)- Truck #186					
	479469 Total:	1,108.83							
479498	12/2/2024	199.99	0.00	01/06/2025				No	0
01-445-4870	Equipment			Wrench					
	479498 Total:	199.99							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
479818	12/5/2024	372.87	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Alternator Belts- Truck #195					
479818 Total:		372.87							
479819	12/5/2024	81.75	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint				Squad Parts					
479819 Total:		81.75							
479833	12/6/2024	22.30	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Battery Cable					
479833 Total:		22.30							
479844	12/6/2024	181.20	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint				Squad Parts					
479844 Total:		181.20							
479851	12/6/2024	186.99	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Brake Pads- 2020 Ford					
479851 Total:		186.99							
480009	12/9/2024	63.28	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Air Filters					
480009 Total:		63.28							
480016	12/9/2024	76.50	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Electrical Tape					
480016 Total:		76.50							
480049	12/9/2024	83.90	0.00	01/06/2025				No	0
01-445-4870 Equipment				Core Deposit Credit					
480049 Total:		83.90							
480062	12/9/2024	-99.00	0.00	01/06/2025				No	0
01-445-4511 Vehicle Repair and Maint				Core Deposit Credit					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
480062 Total:		-99.00							
480265	12/12/2024	294.00	0.00	01/06/2025				No	0
01-440-4511 Vehicle Repair and Maint				Squad Parts					
480265 Total:		294.00							
North Aurora NAPA, Inc. T		3,479.19							
Office Depot 039370									
394950324001	11/5/2024	21.50	0.00	01/06/2025				No	0
01-430-4411 Office Expenses				Office Supplies					
394950324001 Total:		21.50							
394950324001-02	11/5/2024	21.50	0.00	01/06/2025				No	0
01-445-4411 Office Expenses				Office Supplies					
394950324001-02 Total:		21.50							
394950324001-03	11/5/2024	21.50	0.00	01/06/2025				No	0
60-445-4411 Office Expenses				Office Supplies					
394950324001-03 Total:		21.50							
394950324001-04	11/5/2024	21.50	0.00	01/06/2025				No	0
01-441-4411 Office Expenses				Office Supplies					
394950324001-04 Total:		21.50							
396296566001	12/3/2024	17.38	0.00	01/06/2025				No	0
01-430-4411 Office Expenses				Office Supplies					
396296566001 Total:		17.38							
396296566001-02	12/3/2024	17.38	0.00	01/06/2025				No	0
01-445-4411 Office Expenses				Office Supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
396296566001-02 Total:		17.38							
396296566001-03	12/3/2024	17.39	0.00	01/06/2025				No	0
60-445-4411 Office Expenses			Office Supplies						
396296566001-03 Total:		17.39							
396296566001-04	12/3/2024	17.39	0.00	01/06/2025				No	0
01-441-4411 Office Expenses			Office Supplies						
396296566001-04 Total:		17.39							
401099059001	12/11/2024	14.35	0.00	01/06/2025				No	0
01-430-4411 Office Expenses			Office Supplies						
401099059001 Total:		14.35							
401099059001-02	12/11/2024	14.35	0.00	01/06/2025				No	0
01-445-4411 Office Expenses			Office Supplies						
401099059001-02 Total:		14.35							
401099059001-03	12/11/2024	14.36	0.00	01/06/2025				No	0
60-445-4411 Office Expenses			Office Supplies						
401099059001-03 Total:		14.36							
401099059001-04	12/11/2024	14.36	0.00	01/06/2025				No	0
01-441-4411 Office Expenses			Office Supplies						
401099059001-04 Total:		14.36							
401704052001	12/12/2024	0.74	0.00	01/06/2025				No	0
01-430-4411 Office Expenses			Office Supplies						
401704052001 Total:		0.74							
401704052001-02	12/12/2024	0.74	0.00	01/06/2025				No	0
01-445-4411 Office Expenses			Office Supplies						
401704052001-02 Total:		0.74							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
401704052001-03	12/12/2024	6.77	0.00	01/06/2025				No	0
60-445-4411 Office Expenses				Office Supplies					
401704052001-03 Total:		6.77							
401704052001-04	12/12/2024	0.74	0.00	01/06/2025				No	0
01-441-4411 Office Expenses				Office Supplies					
401704052001-04 Total:		0.74							
401704806001	12/13/2024	15.16	0.00	01/06/2025				No	0
60-445-4411 Office Expenses				Office Supplies					
401704806001 Total:		15.16							
Office Depot Total:		237.11							
Old Second National Bank									
026970									
24114	12/17/2024	18.20	0.00	01/06/2025				No	0
01-440-4555 Investigations				Subpoena/ SW Fee					
24114 Total:		18.20							
Old Second National Bank		18.20							
Olsson Roofing Company, Inc.									
042370									
24003775	11/29/2024	880.25	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				Leak Repair- PD					
24003775 Total:		880.25							
Olsson Roofing Company,		880.25							
Ottosen DiNolfo Hasenbalg & Castaldo, Ltd.									
031590									

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
11107	11/30/2024	220.50	0.00	01/06/2025				No	0
01-430-4260 Legal				Nov 24 Legal					
	11107 Total:	220.50							
	Ottosen DiNolfo Hasenbal	220.50							
Paddock Publications, Inc.									
026910									
315644	12/1/2024	289.80	0.00	01/06/2025				No	0
01-435-4506 Publishing/Advertising				Truth In Taxation Notice					
	315644 Total:	289.80							
315644-02	12/1/2024	922.53	0.00	01/06/2025				No	0
01-435-4506 Publishing/Advertising				Treasures Report Notice					
	315644-02 Total:	922.53							
	Paddock Publications, Inc.	1,212.33							
R. J. O'Neil, Inc.									
029370									
00125807	12/6/2024	310.00	0.00	01/06/2025				No	0
01-445-4520 Public Buildings Rpr & Mtce				HVAC Repair- VH Boardroom					
	00125807 Total:	310.00							
	R. J. O'Neil, Inc. Total:	310.00							
RAY O'HERRON Co., INC									
044220									
2380240	12/2/2024	858.00	0.00	01/06/2025				No	0
01-440-4160 Uniform Allowance				New Vest					
	2380240 Total:	858.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
2380780	12/4/2024	858.00	0.00	01/06/2025				No	0
01-440-4160 Uniform Allowance				New Vest					
2380780 Total:		858.00							
RAY O'HERRON Co., INC		1,716.00							
Springbrook Software LLC									
467920									
INV-019196	11/30/2024	149.00	0.00	01/06/2025				No	0
60-445-4510 Equipment/IT Maint				IVR Payments- Nov 2024					
INV-019196 Total:		149.00							
Springbrook Software LLC		149.00							
Sunbelt Rentals, Inc.									
043800									
162925320-0001	12/9/2024	1,054.50	0.00	01/06/2025				No	0
01-490-4759 Community Events				Light Towers					
162925320-0001 Total:		1,054.50							
Sunbelt Rentals, Inc. Total:		1,054.50							
Superior Asphalt Materials LLC									
031440									
20241425	10/2/2024	183.04	0.00	01/06/2025				No	0
01-445-4540 Streets & Alleys Rpr & Mtce				Asphalt					
20241425 Total:		183.04							
Superior Asphalt Materials		183.04							

Technology Management Rev Fund

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
007390									
T2509677	11/18/2024	517.01	0.00	01/06/2025				No	0
01-440-4652	Phones and Connectivity			LEADS					
	T2509677 Total:	517.01							
	Technology Management R	517.01							
Terminix Anderson									
019770									
71416933	12/1/2024	114.35	0.00	01/06/2025				No	0
01-445-4520	Public Buildings Rpr & Mtce			Pest Control- VH					
	71416933 Total:	114.35							
71417436	12/1/2024	108.30	0.00	01/06/2025				No	0
01-445-4520	Public Buildings Rpr & Mtce			Pest Control- PD					
	71417436 Total:	108.30							
71417477	12/1/2024	101.15	0.00	01/06/2025				No	0
60-445-4567	Treatment Plant Repair/Maint			Pest Control- TPs					
	71417477 Total:	101.15							
	Terminix Anderson Total:	323.80							
Testing Service Corporaton									
014450									
IN132940	11/30/2024	5,726.00	0.00	01/06/2025				No	0
21-452-4501	Contractual Services			PW Building Material Testing					
	IN132940 Total:	5,726.00							
	Testing Service Corporaton	5,726.00							

The Cincinnati Insurance Company

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
468905									
1000759986	12/9/2024	22,286.00	0.00	01/06/2025				No	0
24-452-4944 Insurance					Builders Risk Policy- PW Building				
	1000759986 Total:	22,286.00							
	The Cincinnati Insurance C	22,286.00							
The Fields on Caton Farm, Inc									
468516									
4685	12/17/2024	335.00	0.00	01/06/2025				No	0
01-445-4532 Tree Service					Parkway Tree Replacement				
	4685 Total:	335.00							
	The Fields on Caton Farm,	335.00							
The Way Maker Group, LLC									
468907									
12/19/24	12/19/2024	831.21	0.00	01/06/2025				No	0
60-000-2215 Hydrant Meter Deposits					Hydrant Meter Deposit Less Usage				
	12/19/24 Total:	831.21							
	The Way Maker Group, LL	831.21							
Uline, Inc									
468220									
186446003	12/4/2024	413.77	0.00	01/06/2025				No	0
01-445-4521 Mosquito Control					Custodial Supplies- PD				
	186446003 Total:	413.77							
186482195	12/5/2024	1,065.61	0.00	01/06/2025				No	0
01-440-4557 Evidence Processing					Evidence Supplies				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
186482195 Total:		1,065.61							
186645771	12/10/2024	166.30	0.00	01/06/2025				No	0
01-440-4411 Office Expenses			Labels						
186645771 Total:		166.30							
186652465	12/10/2024	213.14	0.00	01/06/2025				No	0
01-445-4521 Mosquito Control			Custodial Supplies- PD						
186652465 Total:		213.14							
186829050	12/12/2024	446.45	0.00	01/06/2025				No	0
60-445-4411 Office Expenses			Laminator & Sheets						
186829050 Total:		446.45							
Uline, Inc Total:		2,305.27							
USABlueBook									
035680									
INV00546719	11/19/2024	359.56	0.00	01/06/2025				No	0
60-445-4562 Testing (water)			DI Water						
INV00546719 Total:		359.56							
INV00561485	12/6/2024	605.28	0.00	01/06/2025				No	0
60-445-4870 Equipment			Water Service Box Lock						
INV00561485 Total:		605.28							
USABlueBook Total:		964.84							
Water Products Company									
001170									
0326653	12/11/2024	224.50	0.00	01/06/2025				No	0
60-445-4423 Tools			Tools- Branson						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description		Reference						
0326653 Total:		224.50							
Water Products Company T		224.50							
Water Resources									
010380									
37759	12/10/2024	1,285.50	0.00	01/06/2025				No	0
60-445-4480 New Meters,rprs. & Rplcmts.					2" Meter & Flange/ MIU				
37759 Total:		1,285.50							
Water Resources Total:		1,285.50							
WBK Engineering, LLC									
467655									
26307	12/10/2024	625.00	0.00	01/06/2025				No	0
01-441-4255 Engineering					Site Inspection- 1783 Breton				
26307 Total:		625.00							
26308	12/10/2024	625.00	0.00	01/06/2025				No	0
01-441-4255 Engineering					Site Inspection- 1775 Breton				
26308 Total:		625.00							
26310	12/10/2024	665.37	0.00	01/06/2025				No	0
01-441-4255 Engineering					Engineering Consult				
26310 Total:		665.37							
26311	12/10/2024	1,093.63	0.00	01/06/2025				No	0
90-000-E279 ESI Constructors - Aurora Pack					Site Inspection- Aurora Pack				
26311 Total:		1,093.63							
26312	12/10/2024	12,587.13	0.00	01/06/2025				No	0
90-000-E110 NW Corner Randall & Oak(Lot 6)					Site Inspection- Randall Square				

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	26312 Total:	12,587.13							
26313	12/10/2024	162.50	0.00	01/06/2025				No	0
90-000-E274	Randall Terrace LLC - Next Gen			Site Inspection- Randall Terrace					
	26313 Total:	162.50							
26314	12/10/2024	5,621.87	0.00	01/06/2025				No	0
90-000-E288	NA Fire Department			Site Inspection- NAFD Station No. 1					
	26314 Total:	5,621.87							
26315	12/10/2024	3,347.43	0.00	01/06/2025				No	0
90-000-E273	Phelan Development - Park 88			Site Inspection- Park 88 Logistics Center					
	26315 Total:	3,347.43							
26316	12/10/2024	564.00	0.00	01/06/2025				No	0
90-000-E284	Building C - Opus			Site Closeout- Valley Green Bldg C					
	26316 Total:	564.00							
26317	12/10/2024	109.19	0.00	01/06/2025				No	0
90-000-E283	Adventist Church Sewer Connect			Site Inspection- 7th Day Adventist					
	26317 Total:	109.19							
26318	12/10/2024	141.00	0.00	01/06/2025				No	0
90-000-E289	Fox Valley Park District			Site Closeout- Lippold Park Renovation					
	26318 Total:	141.00							
26319	12/10/2024	2,479.20	0.00	01/06/2025				No	0
90-000-E264	McCue - Mooselakes			Site Inspection- Moose Lake Estates Unit 3					
	26319 Total:	2,479.20							
26320	12/10/2024	711.50	0.00	01/06/2025				No	0
90-000-E286	River Front RAM Truck Facility			Site Revies & Inspection- River Front Ram					
	26320 Total:	711.50							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description		Reference				
26321	12/10/2024	2,686.81	0.00	01/06/2025				No	0
90-000-E293 Opus - Euclid Expansion					Site Review & Inspection- Euclid Beverage Bldg				
26321 Total:		2,686.81							
26322	12/10/2024	3,360.16	0.00	01/06/2025				No	0
90-000-E296 300 Mitchell Rd - Liberty IL					Site Inspection- 300 Mitchell Rd				
26322 Total:		3,360.16							
26323	12/10/2024	1,861.37	0.00	01/06/2025				No	0
90-000-E299 Towne Centre Senior Apartments					Plan Review- Clover Development				
26323 Total:		1,861.37							
26324	12/10/2024	1,232.00	0.00	01/06/2025				No	0
01-441-4255 Engineering					Plan Review- Autumn Ridge Subdivision Re-Grade				
26324 Total:		1,232.00							
26325	12/10/2024	491.50	0.00	01/06/2025				No	0
90-000-E142 Fortunato Restaurant					Project Closeout- Fortunato				
26325 Total:		491.50							
26326	12/10/2024	1,000.00	0.00	01/06/2025				No	0
21-452-4255 Engineering					PW Site Design				
26326 Total:		1,000.00							
26327	12/10/2024	5,655.77	0.00	01/06/2025				No	0
21-452-4255 Engineering					PW Construction Engineering				
26327 Total:		5,655.77							
26340	12/11/2024	3,587.00	0.00	01/06/2025				No	0
19-438-4255 Engineering					IL 31 & Oak- Pole Engineering				
26340 Total:		3,587.00							
WBK Engineering, LLC To		48,607.43							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
<hr/>									
Weblinx Incorporated 031420									
34537	12/3/2024	200.00	0.00	01/06/2025				No	0
01-430-4512 Website Maintenance				Website Maintenance- Dec 2024					
		<hr/>							
34537 Total:		200.00							
		<hr/>							
Weblinx Incorporated Total		200.00							
Weldstar Company 014090									
0002352099	12/2/2024	60.00	0.00	01/06/2025				No	0
01-445-4870 Equipment				Jacket & Gloves					
		<hr/>							
0002352099 Total:		60.00							
0002352881	12/5/2024	61.38	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint				Nitrogen					
		<hr/>							
0002352881 Total:		61.38							
0002353204	12/6/2024	30.69	0.00	01/06/2025				No	0
01-445-4510 Equipment/IT Maint				Nitrogen					
		<hr/>							
0002353204 Total:		30.69							
		<hr/>							
Weldstar Company Total:		152.07							
Williams Associates Architects, Ltd. 024930									
0022987	12/16/2024	19,441.45	0.00	01/06/2025				No	0
21-452-4501 Contractual Services				Construction Architect Services- PW Facility					
		<hr/>							
0022987 Total:		19,441.45							
		<hr/>							
Williams Associates Archit		19,441.45							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			

Report Total:		1,391,105.50



Memorandum

To: Mark Gaffino, Village President & Board of Trustees
Cc: Steven Bosco, Village Administrator
From: Brian Richter, Public Works Director
Date: January 6, 2025
Re: Resolution to Perform Work in State Right of Way

IDOT typically requires any entity performing work in the Right of Way (R.O.W.) to furnish a surety bond in the amount that cover the restoration costs. In lieu of this requirement, IDOT allows municipalities to pass a resolution acknowledging the Village will restore the disturbed areas. This resolution would remain in effect for two years.

Even in emergency situations like water main breaks, the Village of North Aurora is required to obtain written permission. However verbal authorization can be granted prior to the receipt of a written permit. If the emergency occurs after hours or on weekends, the Village can receive permission from the Communications Center.

RESOLUTION NO. _____

RESOLUTION FOR MAINTENANCE OF STREETS AND HIGHWAYS BY NORTH AURORA

WHEREAS, the Village of North Aurora. hereinafter referred to as MUNICIPALITY, located in the County of Kane, State of Illinois, desires to undertake, in the years 2025 and 2026, the location, construction, operation and maintenance of driveways and street returns, watermain, sanitary and storm sewers, street light, traffic signals, sidewalk, landscaping, etc., on State highways, within said MUNICIPALITY, which by law and/or agreement come under the jurisdiction and control of the Department of Transportation of the State of Illinois hereinafter referred to as Department; and,

WHEREAS, an individual working permit must be obtained from the Department prior to any of the aforesaid installations being constructed either by the MUNICIPALITY or by a private person of firm under contract and supervision of the MUNICIPALITY.

NOW, THEREFORE, be it resolved by the Village President and the Board of Trustees as follows:

FIRST, that MUNICIPALITY hereby pledges its good faith and guarantees that all work shall be performed in accordance with conditions of the permit to be granted by the Department, and to hold State of Illinois harmless during the prosecution of such work, and assume all liability for damages to person or property due to accidents or otherwise by reason of the work which it to be performed under the provision of said permit.

SECOND, that all authorized officials of the MUNICIPALITY are hereby instructed and authorized to sign said working permit on behalf of the MUNICIPALITY.

This Resolution shall take immediate full force and effect from and after its passage and approval.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2025

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2025

Laura Curtis _____

Michael Lowery _____

Jason Christiansen _____

Todd Niedzwiedz _____

Mark Guethle _____

Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2025.

Mark Gaffino, Village President

ATTEST :

Jessi Watkins, Village Clerk

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: PETITION #24-07: CLOVER COMMUNITIES NORTH AURORA LLC
AGENDA: JANUARY 6, 2025 BOARD MEETING

DISCUSSION

The subject property is located in the B-2 General Commercial District. It is also part of the “Towne Center Planned Unit Development”, which was adopted as a special use for a general mixed-use planned unit development by Ordinance No. 05-05-02-02. The PUD Ordinance approved a mix of uses including a residential component on Lot 20. The PUD Ordinance was amended by Ordinance No. 13-04-01-01, that approved warehouse uses on Lot 20 instead of residential uses.

Clover reached out to the Village in late 2023 regarding a residential use for this area. Staff brought the concept plan to the Village Board for review in early 2024. The Village Board supported adding residential back into the Towne Center PUD and had a favorable opinion of the proposed development.

The 2005 PUD Ordinance included residential standards in Exhibit F. These standards included details that are no longer applicable to the property such as townhome dwelling density requirements. The standards for the new residential area are outlined in Exhibit D in the 2nd amendment ordinance. These standards are designed for multi-family buildings and uses. The standards were created in partnership with Clover Development and their proposed site plan meets these new standards. The standards are applicable to any future development in the new residential area.

The proposed PUD Amendment will add a residential area in the Towne Center PUD. The total acreage for the new proposed residential area is approximately 11.34 acres. The 11.34-acre vacant tract is situated directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney). The property is currently comprised of two separate parcels. A 9.28-acre parcel and 2.06-acre parcel. The petitioner intends to subdivide the eastern 9.28-acre parcel into two parcels and build the independent living facility on the eastern 5.45 acres.

The petitioner is proposing a senior (55 and older) apartment independent living facility. The 5.45-acre property would be improved with a four-story, 124 unit building with detached garages. The floorplan shows six (6) one-bedroom one-bath units, seventy-eight (78) two-bedroom one-bath units, thirty-two (32) two-bedroom one and half bath units, and eight (8) two-bedroom one-bath extended units. Unit amenities include a full kitchen, stainless steel appliances, walk-in showers, indoor mailboxes and emergency pull cords in each unit. The overall building also includes amenities and activities for residents. Amenities include a large community room, coffee bar, fireplace lounge, fitness center, game room / library, and onsite beauty salon / barbershop. Activities include book clubs, knitting clubs, bingo, and various seasonal/social gatherings.

The Independent Living Facility use requires one (1) parking space per dwelling unit plus two (2) parking spaces per 1,000 square feet of gross floor area of office. According to the petitioner there are 124 units and less than 1,000 square feet of gross floor area of office. As such, the Zoning Ordinance would require a total of 126 parking spaces for the entire site. The applicant has proposed 148 parking spaces for the site, which includes 40 detached garages. They are also showing 50 land banked spaces that could be added in the future if the need arises. The site currently has two access points. The western access point has a dedicated turn lane. The eastern access point is located at a four way stop but does not have a dedicated turn lane. The applicant is conducting a traffic study. This study will evaluate options including adding an additional left turn lane or converting the eastern access point to right in and right out.

The Plan Commission reviewed the proposal at the November 5, 2024 meeting. They tabled the item and made several suggestions to the petitioner. Clover came back to the Plan Commission on December 3, 2024 with revisions and the Commission voted to recommend approval of the project. The Board reviewed the project at the December 16, 2024 Committee of the Whole meeting. Based on the positive feedback, the project is now ready for final approval.



**VILLAGE OF NORTH AURORA
KANE COUNTY, ILLINOIS**

Ordinance No. _____

AN ORDINANCE APPROVING THE SECOND AMENDMENT TO ORDINANCE 05-05-02-02, WHICH GRANTED A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT FOR THE NORTH AURORA TOWNE CENTRE, IN THE VILLAGE OF NORTH AURORA

**Adopted by the
Board of Trustees and President
of the Village of North Aurora
this ____ day of _____, 2025**

**Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of North Aurora, Kane County, Illinois,
this ____ day of _____, 2025
by _____.**

Signed _____

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE SECOND AMENDMENT TO ORDINANCE 05-05-02-02, WHICH GRANTED A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT FOR THE NORTH AURORA TOWNE CENTRE, IN THE VILLAGE OF NORTH AURORA

WHEREAS, The North Aurora Towne Centre development was approved as a Planned Unit Development by Ordinance No. 05-05-02-02, dated May 2, 2005, recorded as Document No. 2005K053995 (“PUD Ordinance”); and,

WHEREAS, the PUD Ordinance approved a mix of uses including a residential component on lot 20; and,

WHEREAS, the PUD Ordinance was amended by Ordinance No. 13-04-01-01, dated April 1, 2013, recorded as document No. 2013K050345 (“1st Amendment”); and,

WHEREAS, the 1st Amendment approved warehouse uses on lot 20 instead of residential uses; and,

WHEREAS, a petition for a second amendment to the Planned Unit Development (the “2nd Amendment”) has been filed with the Village of North Aurora, an Illinois municipal corporation (“Village”) by Lancaster Land, L.P. (“Developer”) as described in the application package attached as Exhibit C; and,

WHEREAS, the 2nd amendment includes the parcels of land located on the north side of Orchard Gateway Blvd. which are legally described and attached hereto and incorporated herein as Exhibit A (“2nd Amendment Property”); and,

WHEREAS, the 2nd Amendment Property is currently zoned B-2, General Business District; and,

WHEREAS, the Developer has further applied for Site Plan approval for a portion of the 2nd Amendment Property which is legally described and attached hereto and incorporated herein as Exhibit B (“Subject Property”); and,

WHEREAS, the North Aurora Plan Commission (“Plan Commission”) held a public hearing on November 5, 2024 on the Petition for the 2nd Amendment Property to be the new residential area of the Towne Centre Planned Unit Development and site plan review for the Subject Property, in accordance with State and local laws, including the notice requirements for the public hearings; and,

WHEREAS, the North Aurora Village Board (“Village Board”) has received and reviewed the favorable recommendation of the Plan Commission with certain conditions in keeping with all the factors required to be considered for Special Use/PUDs and has determined that granting the Special Use/PUD and site plan requests is warranted and in the best interests of the Village.

NOW, THEREFORE, be it ordained by the President and Trustee of the Village of North Aurora, Kane County, Illinois, as follows:

SECTION 1: USE OF THE 2ND AMENDMENT PROPERTY

The second amendment to the PUD ordinance shall be and hereby is granted to allow the 2nd Amendment property to be developed with residential uses including multi-family dwelling, independent living facility, and assisted living facility. Such uses are in addition to those uses previously approved in the PUD Ordinance which shall remain as approved uses on the 2nd amendment property.

SECTION 2: DEVELOPMENT OF THE 2ND AMENDMENT PROPERTY

Development of the 2nd Amendment Property shall be in conformity with all applicable ordinances of the Village as now in effect, including the provisions for B-2, General Business District zoning and Site Plan Review, except as otherwise provided or specifically varied in the PUD Ordinance, the 1st amendment, and including the additional procedures, definitions, uses, and restrictions contained herein.

A. DEVELOPMENT STANDARDS

New residential development of the 2nd Amendment Property shall be governed by the standards attached as Exhibit D. New commercial development of the 2nd Amendment Property shall be governed by the provisions for B-2, General Business District zoning and Site Plan Review, except as otherwise provided or specifically varied in the PUD Ordinance, the 1st amendment.

B. SITE PLAN, PLAT OF SUBDIVISION, ELEVATIONS, AND LANDSCAPE PLANS

The Site Plan, Landscape Plan, and other supporting and explanatory development documents for the Subject Property are attached hereto as Exhibit E as hereinafter shown, and are incorporated herein. Such Exhibits have been reviewed by the Plan Commission and are hereby approved by the Village Board. Developer shall be entitled to approval of a final plat of subdivision and final engineering plans for the Subject Property so long as such final plat, final engineering plans and other submissions substantially conform to the plans herein approved. The Community Development Director has the authority to approve any final plans that are in substantial conformance with the Development plans as confirmed by the Village Engineer for technical provisions. The final plat and final engineering plans shall be prepared and submitted in accordance with the Village's Subdivision Regulations, except as specifically amended or otherwise provided herein.

SECTION 3: GUARANTY FOR PUBLIC IMPROVEMENTS

After approval of the final plat and prior to signature by the President, Developer shall present a letter of credit to guarantee completion of water distribution lines, sanitary sewer lines, storm water sewer lines, and other applicable subdivision improvements identified in the Final Development Plans to be dedicated to the Village or other governmental body (“Public Improvements”) for the development so platted as required by this Ordinance (guaranteeing completion and payment of the Public Improvements), herein sometimes collectively referred to as the “Guarantee for Completion”, naming the Village as beneficiary or obligee, as required and in keeping with the Village Code requirements.

SECTION 4: BUILDING CODE AND SUBDIVISION CONTROL ORDINANCE

Developer shall comply in all respects with the generally applicable provisions of Village of North Aurora Subdivision provisions, Building Code provisions, and other provisions of the North Aurora Municipal pertaining to the development and construction.

SECTION 5: COMPLIANCE WITH STATE STATUTES

In the event that any one or more provisions of this Ordinance do not comply with any one or more provisions of the Illinois Compiled Statutes, the Village and Developer, and all of their respective successors and assigns, agree to cooperate to comply with said provisions which shall include, but not limited to, the passage of resolutions and ordinances to accomplish such compliance.

SECTION 6: CONFLICT IN REGULATIONS AND ORDINANCES

The provisions of this Ordinance shall supersede the provisions of any ordinance, code, or regulation of the Village which may be in conflict with the provisions of this Ordinance. However, all ordinances which are not inconsistent with or contrary to this Ordinance shall be applicable to the Subject Property.

SECTION 7: INCORPORATION OF EXHIBITS

All exhibits attached to this Ordinance are hereby incorporated herein and made a part of the substance hereof.

SECTION 8: EFFECTIVE DATE

This Ordinance shall become effective from and after its passage and approval in accordance with law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois
this ____ day of _____, 2025, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois
this ____ day of _____, 2025, A.D.

Jason Christiansen _____

Laura Curtis _____

Todd Niedzwiedz _____

Mark Guethle _____

Michael Lowery _____

Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane
County, Illinois this _____ day of _____ 2025, A.D.

Mark Gaffino, Village President

ATTEST:

Jessica Watkins, Village Clerk

Exhibit A

2nd Amendment Property

LOTS 2 AND 3 OF THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA
TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS,
ACCORDING TO THE DOCUMENT THEREOF RECORDED MARCH 22, 2006, AS
DOCUMENT NO. 2006K031047.

Exhibit B

Subject Property

THE EAST 771.00 FEET OF LOT 3 IN THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS, ACCORDING TO THE DOCUMENT THEREOF RECORDED MARCH 22, 2006, AS DOCUMENT NO. 2006K031047.

Exhibit C

Application Package

September 27, 2024

Nathan Darga
Community Development Director
Village of North Aurora
Via email

RE: Towne Center Senior Apartments

Dear Nathan,

Clover Development is pleased to present Towne Centre Senior Apartments. The project will consist of 124 market-rate, age restricted multifamily units in a single, four-story building located on the north side of Orchard Gateway in the Towne Centre PUD.

We are requesting that the existing PUD is modified to allow for the development of the project. Submitted with this letter are the following:

- Application for Special Use Planned Unit Development
- Project Narrative
- Site Location map with existing land use and zoning of all properties within 200'
- Preliminary Development Plan
- Statement of Compliance with Planned Unit Development Standards
- Statement of Compliance with Special Use Standards
- Written certified list identifying all properties within 250' of the property, including mailing addresses and public hearing and notice requirements statement
- Deed for the subject property
- Survey of the property
- Site location map with all structures within 600'
- Site plan including building footprints, heights, dimensions of setbacks, parking, photoelectric
- Building Elevations
- Schematic Floorplans
- Preliminary Drainage Plan
- Evidence of Water & Sewer availability
- Landscape Plan
- Exceptions Schedule

We anticipate continuing to provide additional documentation as it is prepared further illustrating the project in street perspective as well as any additional required or requested items.

Please feel free to contact me to further discuss. We look forward to working with you on this exciting project.

Thanks,

Russell Caplin

Russell Caplin
Development Director
Clover Development



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

APPLICATION FOR SPECIAL USE PLANNED UNIT DEVELOPMENT (PUD)

Project Name:	Towne Centre Senior Apartments		
Subject Property/Location:	Lot 16, North Aurora Towne Centre - North of Orchard Gateway		
PIN(s):	15-06-426-003 [portion of]		
Parcel(s) Acreage:	5.45 Acres	Number of Lots:	Number of Units: 124
Current Zoning District:	B-2 / PUD	Present Use:	Vacant
Proposed Zoning District:	B-2 / PUD	Intended Use:	Age-restricted multifamily
Comprehensive Plan Designation for this Property:	Regional Commercial		
Contiguous Zoning:	B-2 / PUD		
Is this an Amendment to an existing PUD?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	PUD Name:	North Aurora Towne Centre

CONTACT INFORMATION:

Applicant Name: Michael Joseph on behalf of entity to be formed by Lancaster Land, L.P. Phone: 314.21.2110
Applicant Address: 348 Harris Hill Rd, Williamsville, NY 14221
Applicant Email: rcaplin@cloverdevelopment.com
Signature of Applicant: [Signature] Signature Date: 9.27.2024
Property Owner(s): Orchard11 LLC Phone: (630) 244-4141
Owner Address: 333 N Randall Rd #120, St. Charles, IL 60174
Owner Email: andersonclinton@colonialcafe.com
Signature of Owner*: _____ Signature Date: _____

*A signed letter by the owner authorizing the applicant to apply for a special use PUD may be submitted in lieu of signing this form. If Applicant is other than owner, please attach letter of authorization from Owner.

FOR OFFICE USE

Petition Number: _____	File Name: _____
Filing Date: _____	Fee Received: _____



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

PUBLIC HEARING AND NOTICE REQUIREMENTS

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for sending mail notices to properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing. The Village will publish a legal notice in the newspaper, which the applicant shall reimburse the Village for any fees associated with it. Please see Chapter 3.3 and 3.4 of the Village Zoning Ordinance, Title 17, for all public hearing and notice requirements.

The undersigned hereby also agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Chapter 15.56 of the North Aurora Municipal Code. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

[Signature]
Applicant or Authorized Agent

9.27.2024
Date

STATE OF NEW YORK)
COUNTY OF ERIE) SS

I, Michael Joseph, being first duly sworn on oath depose and say that I am Manager of on behalf of entity to be formed by Lancaster Land, L.P. and that the following are all of the beneficiaries of the properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing.

SUBSCRIBED AND SWORN TO
Before me this 27th day of September, 2024.

Erie County, Susan J. Simonick
A Notary Public in and for such County

[Signature]
Manager

SUSAN J. SIMONICK
Notary Public-State of New York
No. 01SI6194093
Qualified in Erie County
Commission Expires September 29, 2028



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

Below is a template for PINs, names and mailing addresses of all property owners within 250 feet of the property in questions for which the Special Use PUD is being requested. An attached spreadsheet or list matching the template below also is permitted.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-06-476-015	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-016	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-017	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, STE 260, Henderson, NV 89052-2703
15-06-476-018	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-019	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-009	Penney Property Sub Holdings LLC	6501 Legacy Dr., MS #5213, Plano, TX 75024-3698
15-06-451-002	Target Corporation	PO Box 9456, Minneapolis, MN 55440
15-05-301-002	Oper Plasterers & Cement Masons	1102Rail Dr., Woodstock, IL 60098-9430
15-05-301-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-004	BA Leasing BSC LLC	6000 Windward Pkwy, Alpharetta, GA 30005-8882
15-06-401-006	WM Financial Group LLC	200 Hansen Blvd., North Aurora, IL 60542
15-05-426-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200 Rockford, IL 61108

I, Michael Joseph, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Applicant Signature

9.27.2024
Date

CLOVER OVERVIEW AND PROJECT NARRATIVE

Who is Clover?

Clover Management started in 1987 by our current owner and President, Mr. Michael Joseph. Clover Management owns and manages (47) market rate, Senior Independent Living communities, totaling over 6,000 units in New York, Ohio, and Pennsylvania, Indiana, Kentucky. We also have another (7) Senior Independent Living properties under construction currently. Additionally, Clover manages many condo associations, and commercial space. Our portfolio consists of more than 150 properties.



Over the past 15 years the company's strategy has been to focus on Market Rate, Senior Independent Living communities.

- Clover develops, owns, and operates the communities for the long term.
- Clover has never converted a Senior community to Low Income.
- Clover has never converted a Senior community to an All-Age community.
- Clover has no HUD funded properties in its portfolio.

What is Clover Independent Living?

- Clover provides a market rate alternative for senior (55+) Independent Living for those residents who no longer desire to own but do not want to move into an expensive full-service retirement community.
- Our senior residents typically come from a three to five - mile radius around the Community. They prefer to stay in the area to be close to family and friends.
- Our developments allow for these senior citizens to remain in the community that they grew up and raised their families in, to continue attending their place of worship, to enjoy their local restaurants and entertainment facilities, and to continue seeing their own doctors which in turn contributes to the economic welfare of the community.

North Aurora Project Narrative:

Clover Communities North Aurora LLC is proposing a four-story/ 124-unit Market Rate – Senior Independent Living Community on Orchard Gateway Blvd. The units will be Age-Restricted 55+ consistent with Fair Housing Guidelines.

Clover Communities generally draw from 3-5 miles of the property and allow for residents to age in place, staying close to family and friends and familiar places of business. This in turn frees up housing stock for young families moving into the area.

The proposed use is consistent with the Goals set forth in the 2024-2025 Strategic Plan, including the goal of Economic Development. This meets two of stated objectives:

- Review zoning use classifications for all non-residential districts
- Enhance the Towne Centre Development.

Additional Notes:

- Architecture: Traditional style architecture with Versetta LedgeStone accents at the building entrance on the front elevation and with the balance of the building clad in multi-color durable vinyl siding.
- Proposed parking is 150 spaces (including 40 garages) or 1.2 spaces/unit - consistent with other Clover Senior Living properties.
- Driveway locations: The proposed driveways will be existing curb cuts at the eastern edge of the property [across from shopping center entrance] and a drive on the western edge of the property allowing access to the remaining parcel north of Orchard Gateway.
- Traffic: Our senior communities don't impact peak traffic. Our residents control their schedules and can choose when they want to be on the road. Typically, our peak hour is between 2 pm and 3 pm with a traffic count of 33 cars per hour during that timeframe.
- Amenities and Activities: Our Senior independent living apartments provide a friendly place to live where you can spend less time worrying about daily chores and maintenance, and gain more time pursuing the things you enjoy, like hobbies, travel, reading, or visiting friends.

- 1st Floor: On the first floor of every building is a large Community Room- a hotspot for social gatherings. The Community Room holds many activities such as weekly Bingo, Pinochle, Yahtzee, and game and trivia nights. It is also a meeting point for many clubs among residents- such as Book Clubs, Knitting Clubs, Card Clubs, Puzzle Fanatics, and even Singing Club. The Community Room also holds seasonal gatherings and catered dinners, as well as exercise classes, chair yoga, ceramics classes, and much more. The large TV provides endless entertainment with Wii Bowling tournaments and Friday Night Movies.



- The Fireplace Lounge has comfy chairs, couches, and a coffee table for residents to sit back and relax by the fire. A TV above the mantel allows residents to catch up on news and events.
- 2nd Floor: The Community Room isn't the only place where residents can meet, talk, and enjoy some conversation- the Coffee Bar is a great place for residents to have their morning coffee, read the paper, watch tv in front of the fireplace, or simply relax- just steps out their front door.



- Residents can focus on their physical health at our on-site Fitness Center. Fully equipped with cardio equipment as well as dumbbells for strength training, residents are encouraged to maintain their strength and wellness. Many residents undergoing physical therapy will also use the space to work with their therapists, a great way to ensure residents can stay in their homes while receiving therapy.
- Residents are thrilled to know that an onsite beauty salon/barbershop is located within the building to serve all their beauty needs- A stylist works several days a week and will perform salon services from a wash and set, to a full haircut and/or shave. This amenity is exclusive to residents only and does not compete with the outside public.
- 3rd Floor: A Family room: Residents can enjoy a space to socialize with each other or guests. A great place for activities, or to read a book, do crafts or host small meetings.
- Fourth Floor: Game Rooms/Library are home to shuffleboards, checkers/chess tables, and a full-size poker table for the residents to enjoy. The Game Room/Library is also a place for residents to sit and enjoy a good book, attend a Bible Study, watch TV, or simply socialize.
- Outside Areas: When the weather permits, our communities offer great exterior amenities as well. The community patio hosts many warm weather gatherings where residents can socialize and soak up the summer sun. There, residents can enjoy outdoor grilling, seasonal speakers and seminars, and hosted cookouts on holidays like Memorial Day and the 4th of July. Residents take part in lawn games, such as cornhole or horseshoes; some communities also have a walking club that walks the sidewalk loop of the building.



Unit Amenities:

- Full/Modern kitchen with breakfast bar and pantry
- Stainless Steel Appliances including refrigerator, microwave, range, dishwasher and in-unit washer/dryer.
- Walk-in showers
- Master bedroom
- Slider patio doors
- Private patio or balcony
- Indoor Mailboxes
- Individually controlled heat and A/C
- Emergency Pull Cords in each Unit.
- Pet Friendly

**Community Amenities:**

In addition to the Amenities and Activities previously mentioned, Clover Communities also offer the following:

- Controlled access building entry system
- Central Elevator Service
- Convenient Indoor Trash Facilities on every floor
- Central Indoor Mail System
- On-site parking – including leasable garages.
- Indoor Storage Units
- Camera Monitored Vestibule
- Smoke Free Community
- Activities Director
- Day Trips (shows, etc.)
- Safety Seminars

Project Schedule:

- Approvals/Permits: completed 4Q24.
- Start Construction: 3Q25.
- Anticipated Opening: 1Q27



Mr. Nathan Darga
Village of North Aurora
Community Development Director
25 East State Street
North Aurora, IL 60542

September 24, 2024

RE: Proposed Clover Senior Independent Living
Development

A portion of Tax PIN 15-06-426-003 (± 5.45 acres) -see
attached site drawing

Orchard Gateway Blvd
North Aurora, IL 60542

Dear Mr. Darga,

Orchard11 LLC is the owner of Tax PIN 15-06-426-003 (± 9.28 acres) with an address of Orchard Gateway Blvd, Village of North Aurora, Kane County, IL. We authorize Clover Communities North Aurora LLC to submit plans, applications, and related info for the purpose of obtaining City approvals - including amending the existing planned unit development for development of the additional permitted use of a Senior Living Community on the referenced parcel.

As the property owner we feel this is a great compliment to the existing center and the Village of North Aurora.

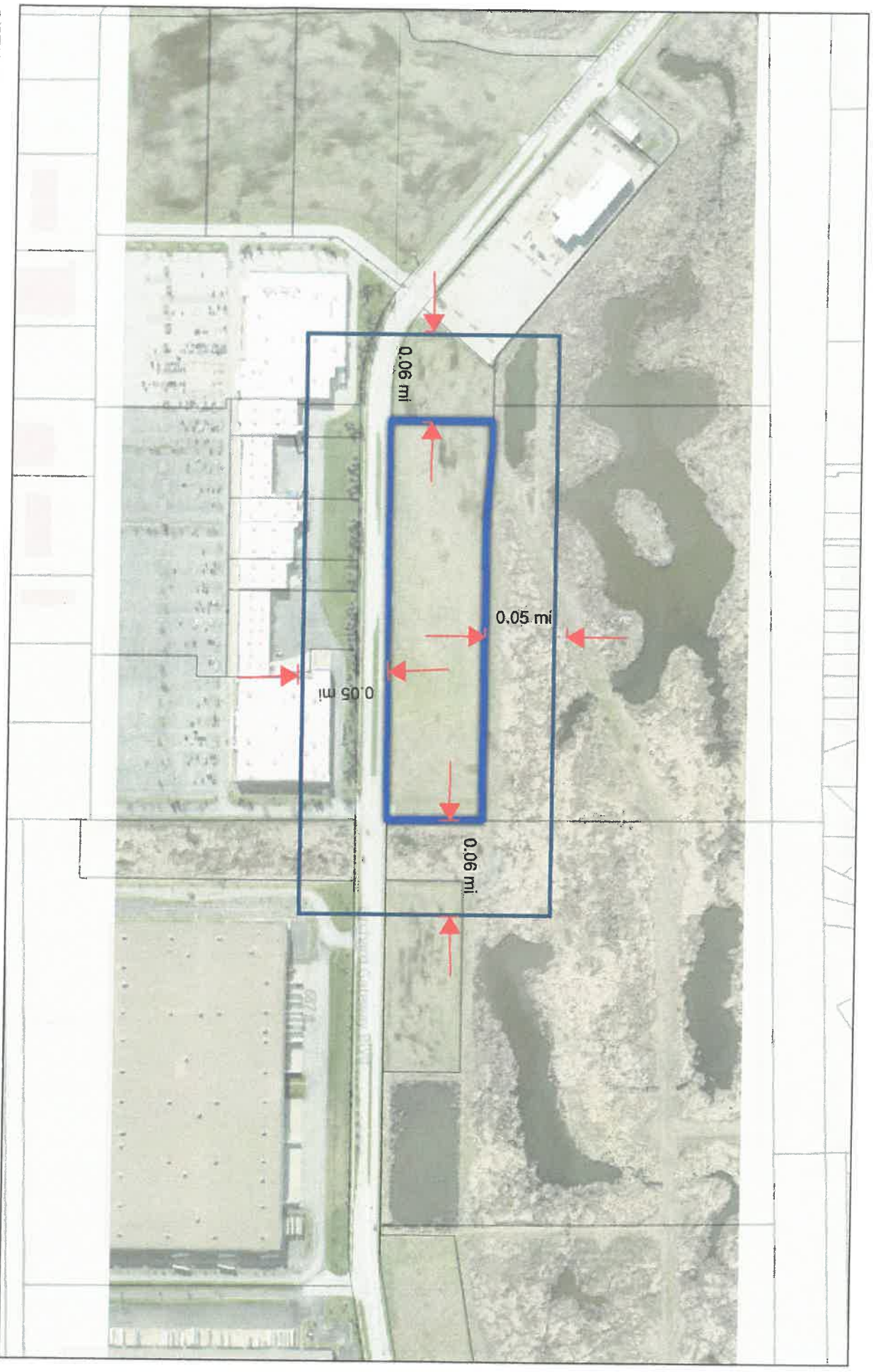
Sincerely,

A handwritten signature in dark ink, appearing to read "Clinton T. Anderson", written in a cursive style.

Clinton T Anderson
Manager
Orchard 11 LLC

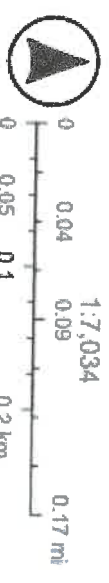
Cc: file

Kane County Illinois - KaneGIS4



9/27/2024

PinLayer



Esri, NASA, NOAA, USGS, FEMA, Esri Community Maps Contributors, City of Aurora, IL, County of Kane, © OpenStreetMap, Microsoft, Esri, TomTom. These layers do not represent a survey. No Accuracy is assumed for the data records, including plots, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

Planned Unit Development Standards Statment

- 1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?**

Clover: The site is adaptable to the unified development. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 2. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?**

Clover: The proposed development will not impede neither the existing uses nor the future potential uses. The project does not limit the viability of the center or the ability of the center to market existing vacant storefronts or pads to potential users.

- 3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted**

Clover: The proposed development will not impede the current property uses and users already in the development. It will strengthen these users by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- 4. Will the proposed planned unit development not diminish or impair property values within the neighborhood**

Clover: Property values will not be impaired by the new development. Higer density residential is a complementary use to the neighborhood. and will free up housing stock for younger families in the area, many of whom will choose to renovate and upgrade. This will raise the value of the existing stock.

- 5. Will the proposed planned development not impede the normal and orderly development and improvement of surrounding property for uses permitting in the zoning district?**

Clover: The proposed development will not impede the development and improvement of surrounding uses. Our residents will further strengthen the surrounding retail and create demand for additional goods and services in the area.

6. Is there provision for adequate utilities, drainage off-street parking and loading, pedestrian access and all other necessary facilities?

Clover: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clover engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic upon public streets?

Clover: The property has adequate ingress and egress. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for 'Senior Adult Housing Attached' the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?

Clover: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

9. Are the areas of the proposed planned unit development which are not used for structured, parking, and loading areas, or access ways, suitably landscaped?

Clover: The landscaping is typical for an active adult community. Any areas not covered by improvements will be greenspace, enhanced with plantings as appropriate.

10. Is the proposed planned unit development, in the specific location proposed, consistent with the spirit and intent of this Ordinance and the adopted comprehensive plan?

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

Clover: The project is designed to meet the needs of an underserved population of seniors, desiring to age in place while utilizing the community shopping, dining, healthcare, and places of worship to which they have become accustomed. They are seeking market rate housing, designed with hard and soft programming to suit their changing housing needs.

Special Use Standards

- 1. That the establishment, maintenance, and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.**

Clover: The property will not endanger the health, safety, comfort or welfare of anyone in the community. Furthermore, seniors choosing to live at the property will be able to remain in the community, aging in place in a facility with hard and soft programming designed to further their comfort and well-being.

- 2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.**

Clover: The proposed project is compatible with the adjacent properties. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 3. That the special use in the specific location proposed is consistent with the spirit and intent of the zoning ordinance and the adopted Comprehensive Plan**

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: "At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population"

- 4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard individually.**

- The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.**

Clover: A Planned Unit Development is an authorized special use in B-2 Zoning.

- The proposed special use does not create excessive additional impacts at public expense for the public facilities and services and will be beneficial to the economic welfare of the community.**

Clover: The proposed development will not create excessive impacts at public expense or public facilities. It will strengthen the economic welfare of the

community by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- **The proposed use is in conformance with the goals and policies of the comprehensive Plan and all Village codes and regulations**

Clover: The proposed development is consistent with ordinances and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

- **The proposed special use will not significantly diminish the safety, use, enjoyment, and value of the other property in the neighborhood in which it is located**

Clover: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

- **The proposed special uses minimizes potentially dangerous traffic movements and provides adequate and safe access to the site**

Clover: The property minimizes dangerous traffic and has safe and adequate access. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for ‘Senior Adult Housing Attached’ the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

- **The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of the Ordinance.**

Clover: Per Chapter 14 of the Municipal Code, Independent Living Facilities require one space per dwelling unit + two spaces for every 1,000 sqft of gross office area. Based on this, the minimum off-street parking requirement would be 126 spaces. We are currently projecting to provide 148 spaces, including 110 surface parking spaces and 40 detached garages.

- **The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.**

Clover: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clover engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

- **The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.**

Clover: To the best of our knowledge, The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Exhibit D

The following standards are applicable to Multi-Family Residential Uses. Any standards that are not mentioned shall default to the PUD Ordinance and the Village's Zoning Ordinance (Title 17) requirements.

Multi-Family Uses

Permitted Uses: Residential uses permitted for this area will include multi-family dwelling, independent living facility, and assisted living facility.

Yard and Bulk Regulations for Multi-Family Dwellings

- Setbacks and the Floor Area Ratio (FAR) shall meet the Village's B-2 General Commercial District.
- Building Height: No residential buildings shall exceed fifty (50) feet in height.
- Accessory Building and Structures standards shall meet the Village's Zoning Ordinance for Accessory Buildings (Non-Residential Districts) except for the following:
 - Location. May be located in front of the principal building but not in any required yard in the B-2 District setback.
 - Height. Shall not exceed the peak height of the principal structure (when measured to the highest point on the roof or parapet) or twenty (20) feet in height, whichever is less.
 - Area. The combined square footage of all detached accessory buildings shall be included in the applicable floor area ratio (FAR) requirement and shall not exceed the maximum lot coverage allowed in each zoning district.
 - Style. The exterior elevations of accessory buildings shall be architecturally compatible, and comprised of the same material and color, as the principal structure.

Development Standards for Multi-Family Dwellings

- Parking standards including location, design, required number of off-street parking spaces shall adhere to Chapter 13 of the Village's Zoning Ordinance.
- Lighting Standards shall adhere to Chapter 8.32 – Outdoor Lighting Ordinance - of the Village's Municipal Code.
- Signage Standards shall adhere to Chapter 15.48 – Signs - of the Village's Municipal Code except for the following for monument signage:
 - Number. One monument sign shall be permitted per site access entrance.
 - Material. The brick façade shall match the brick elevation of the principal building.
 - Area. Monument sign area shall be 8'-2" by 12'-2" by 2'-6" in dimension.
- Landscaping Standards and Plans shall adhere to Chapter 14 of the Village's Zoning Ordinance with the following exceptions:
 - Plans are exempt from the on-lot landscaping required trees landscape standard outlined in section 17.14.5.B.1.

Exhibit E

Development Plans for Subject Property

Nov 21, 2024 - 10:32am
\\cscos.com\cscos\Eng\Projects\F53 - Affordable Senior Housing\F53\F53.dwg



A1 COLORED LANDSCAPE PLAN
SCALE: 1"=30'

0 30' 60'
N



C&S Engineers, Inc.
141 Elm Street, Suite 100
Buffalo, New York 14203
Phone: 716-847-1630
Fax: 716-847-1454
www.cscos.com

C&S ENGINEERS, INC. REGISTRATION NO. F6256-923-9



EXPIRES 11/30/2025
10/04/2024



NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	F53.546.002	
DATE:	OCTOBER 25, 2024	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:		

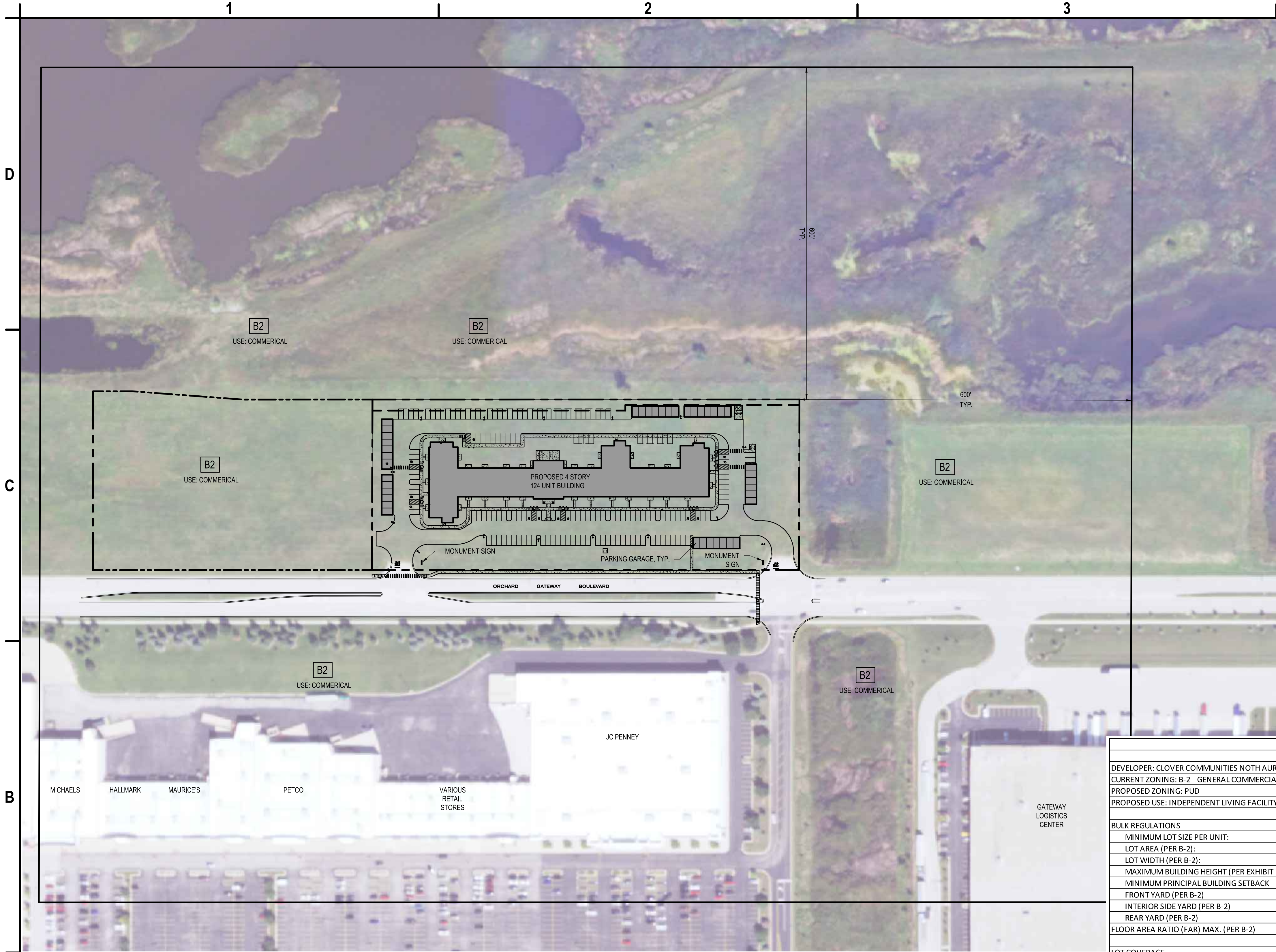
PRELIMINARY

EXHIBIT 1:
COLORED
LANDSCAPE PLAN

C-104.B

Copyright ©

Nov 21, 2024 - 2:57pm
F:\Project\F53 - Affordable Senior Housing\F5346002 - North Aurora - 1L Design\Design\CADD\Sheet Files\F5346002_C-100.dwg



- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY VANDERSTAPPEN LAND SURVEYING, INC. DATED 08-. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

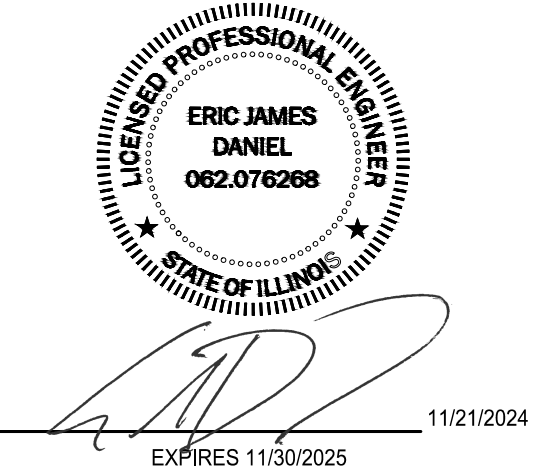
DEVELOPMENT SUMMARY		
DEVELOPER: CLOVER COMMUNITIES NOTH AURORA LLC		
CURRENT ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
PROPOSED ZONING: PUD		
PROPOSED USE: INDEPENDENT LIVING FACILITY		
BULK REGULATIONS	REQUIRED:	PROVIDED:
MINIMUM LOT SIZE PER UNIT:		
LOT AREA (PER B-2):	7,500 SF	5.45ACRES +/- (237,359 SF)
LOT WIDTH (PER B-2):	75'	771'
MAXIMUM BUILDING HEIGHT (PER EXHIBIT D):	45'	4 STORIES/43'-10" (MEDIAN)
MINIMUM PRINCIPAL BUILDING SETBACK		
FRONT YARD (PER B-2)	35'	85.51'
INTERIOR SIDE YARD (PER B-2)	10'	102.40'
REAR YARD (PER B-2)	20'	76.80'
FLOOR AREA RATIO (FAR) MAX. (PER B-2)	2.0	0.65
LOT COVERAGE		19.29%
ACCESSORY STRUCTURE SETBACK		
FRONT YARD (PER EXHIBIT D)	35'	38.73'
SIDE YARD	10'	16.78'
REAR YARD	10'	11.62'
DENSITY		22.75 UNITS PER ACRE
BUILDING SQUARE FOOTAGE		36,154 FIRST FLOOR (144,616 TOTAL)
NUMBER OF DWELLINGS		124
MAXIMUM GARAGE HEIGHT:	20' MAX.	13'-11 3/4" (PEAK) STANDARD GARAGE 15'-11 3/4" (PEAK) ACCESSIBLE GARAGE
GARAGE SQUARE FOOTAGE	NOT TO EXCEED MAX LOT COVERAGE	4.1% (9,746 SF)
INTERIOR GREENSPACE	1 TREE PER ISLAND + 1 TREE PER 300SF LANDSCAPED AREA	49
ON LOT REQUIRED TREES	N/A PER EXHIBIT D	N/A
AUTO PARKING:		
INDEPENDENT LIVING FACILITY	ONE PER DWELLING UNIT = 124 2 PER 1000 GROSS SF OFFICE AREA = 2	146 2
PARKING		
STANDARD PARKING	126	148
BANKED PARKING	N/A	50
TOTAL PARKING		198

A1 OVERALL SITE PLAN
SCALE: 1" = 100'



C&S Engineers, Inc.
141 Elm Street, Suite 100
Buffalo, New York 14203
Phone: 716-847-1630
Fax: 716-847-1454
www.cscos.com

C&S ENGINEERS, INC. REGISTRATION NO. F6256-923-9



**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

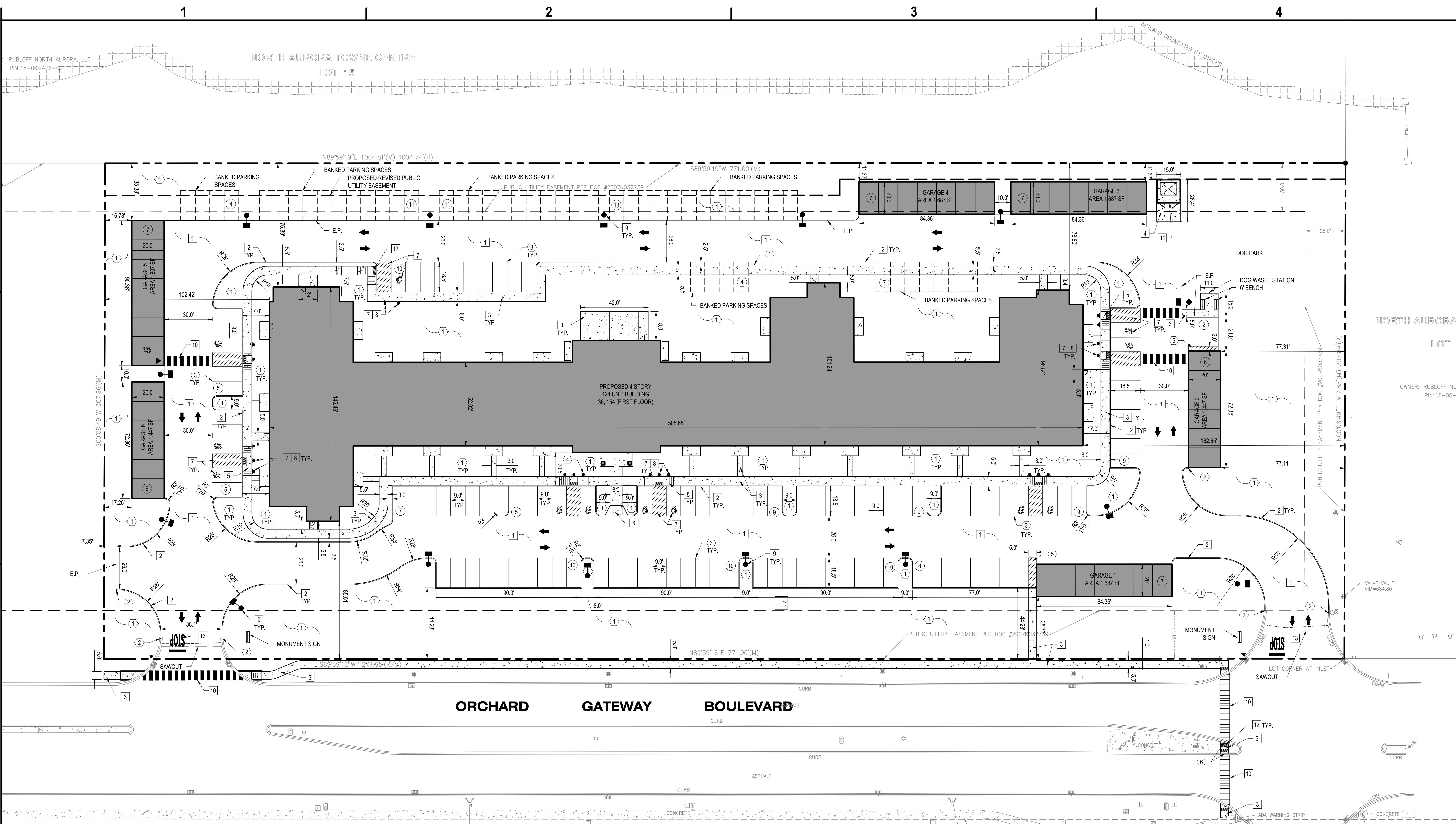
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	F53.546.002	
DATE:	OCTOBER 25, 2024	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:		

PRELIMINARY

**OVERALL
SITE PLAN**

C-100

Nov 21, 2024 - 3:09pm
F:\Project\F33 - Affordable Senior Housing\F3346002 - North Aurora - L1 Design\Design\CADD\Sheet\F3346002_C-101.dwg



SITE PLAN DETAIL LEGEND

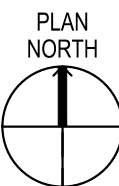
- 1 STANDARD DUTY ASPHALT - SEE DETAIL D1/C-501
- 2 CONCRETE CURB - SEE DETAIL C1/C-501
- 3 CONCRETE SIDEWALK - SEE DETAIL B1/C-501
- 4 EXTERIOR CONCRETE SLAB-ON-GRADE - SEE DETAIL A1/C-501
- 5 ACCESSIBLE CURB RAMP 'A' - SEE DETAIL D2/C-501
- 6 ACCESSIBLE CURB RAMP 'B' - SEE DETAIL C5/C-501
- 7 ACCESSIBLE SIGNS & MARKINGS - SEE DETAIL D3/C-501
- 8 SIGN POST 'A' - SEE DETAIL C3/C-501
- 9 LIGHT POLE FOUNDATION - SEE DETAIL A3/C-501
- 10 PAINTED PEDESTRIAN CROSSWALK - SEE DETAIL D4/C-501
- 11 DUMPSTER ENCLOSURE - SEE DETAIL C1/C-502
- 12 DETECTABLE WARNING SURFACE - SEE DETAIL A2/C-501
- 13 STOP BAR/STOP SIGN - SEE DETAIL C4/C-501

SITE PLAN SHEET KEYNOTES

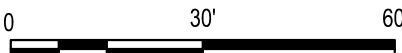
- 1 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN
- 2 MATCH EXISTING CURB OR RUN OUT IN 2'-0"
- 3 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
- 4 INSTALL "RESERVED FOR LEASING OFFICE USE" SIGN
- 5 4" WIDE PAINTED YELLOW PAVEMENT STRIPES AT 45° AND 2'-0" O.C.
- 6 SAW CUT CURB AND SIDEWALK TO FACILITATE INSTALLATION OF FLUSH WALKWAY REFUGE AREA

SITE PLAN LEGEND

- PROPERTY LINE
- PROPOSED SIGN
- PROPOSED CONCRETE PAVEMENT/SIDEWALK
- PROPOSED CURB
- NUMBER OF PARKING SPACES
- DOOR LOCATION
- EDGE OF PAVEMENT
- LIGHTING FIXTURES
- SAW CUT LINE
- DETECTABLE WARNING SURFACE

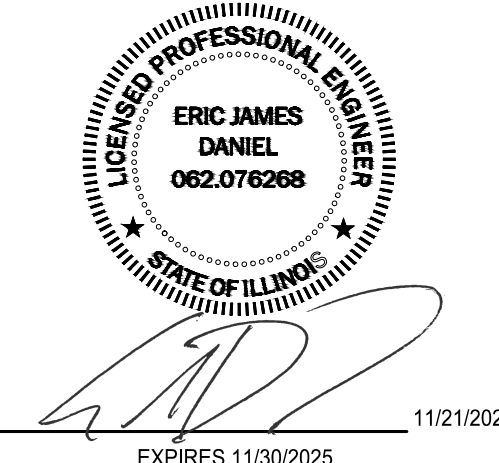


A1 SITE PLAN
SCALE: 1"=30'



C&S Engineers, Inc.
141 Elm Street, Suite 100
Buffalo, New York 14203
Phone: 716-847-1630
Fax: 716-847-1454
www.cscos.com

C&S ENGINEERS, INC. REGISTRATION NO. F6256-923-9



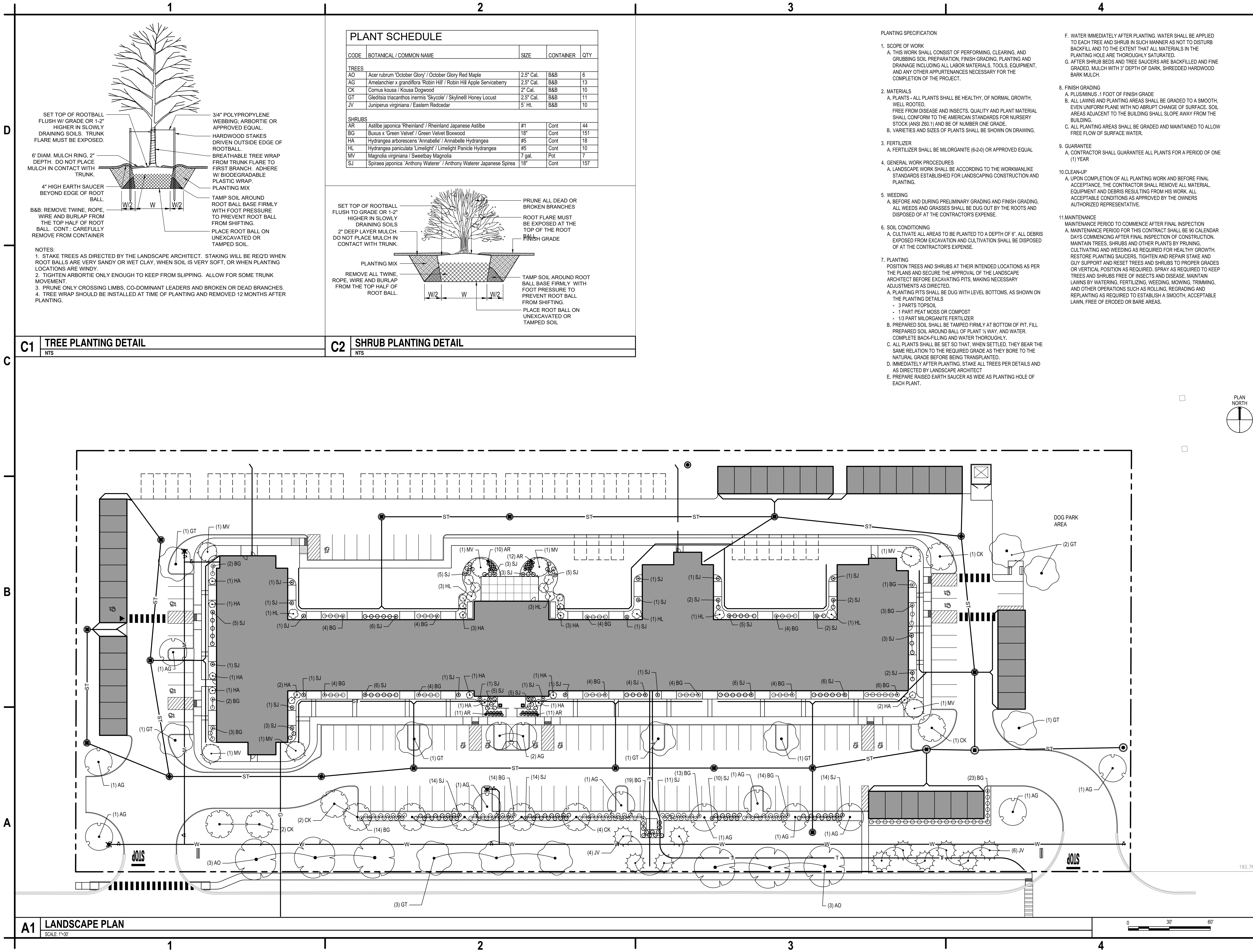
NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL

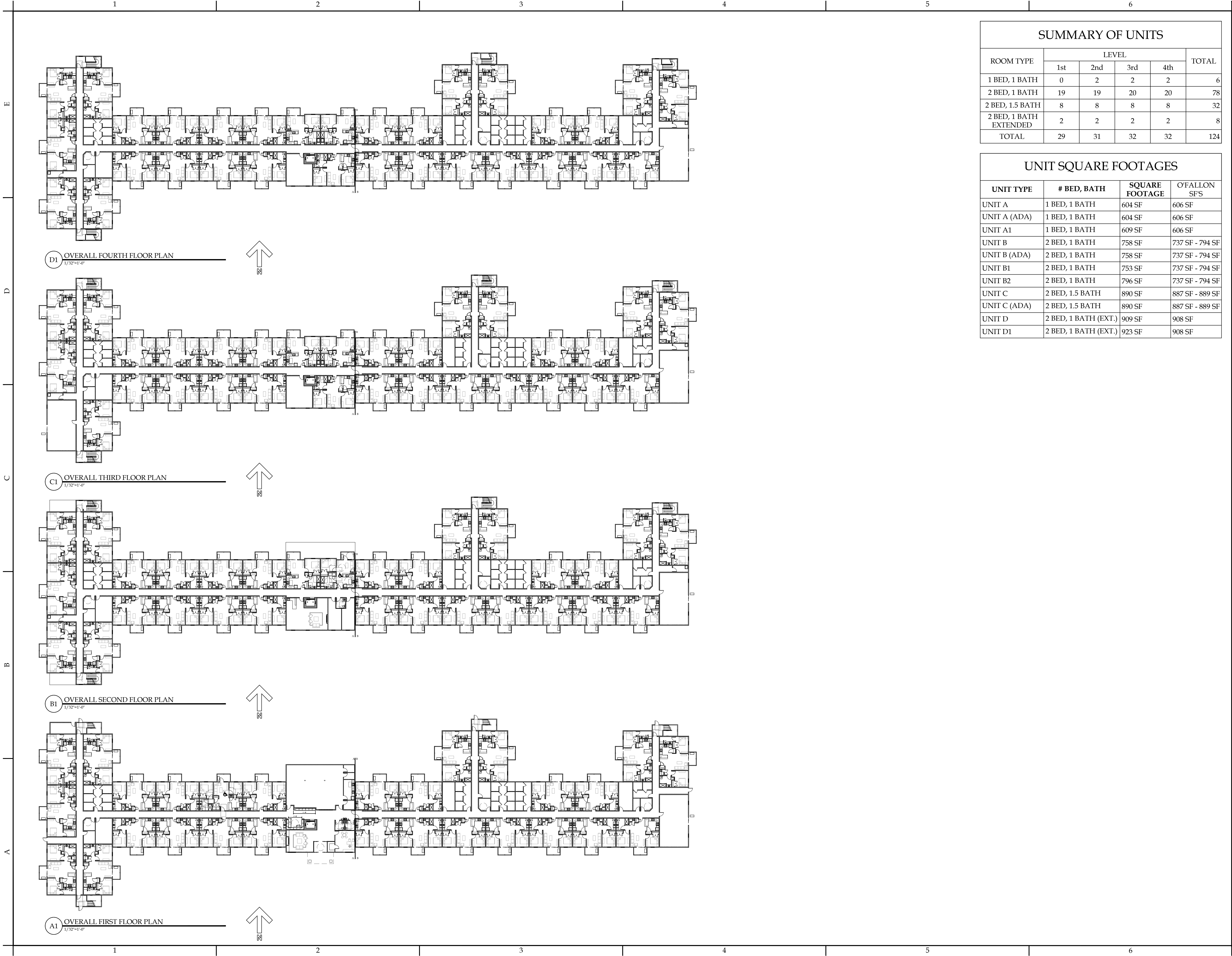
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	F53.546.002	
DATE:	OCTOBER 25, 2024	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:		

PRELIMINARY

SITE PLAN

C-101





SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

OVERALL
FLOOR PLANS



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

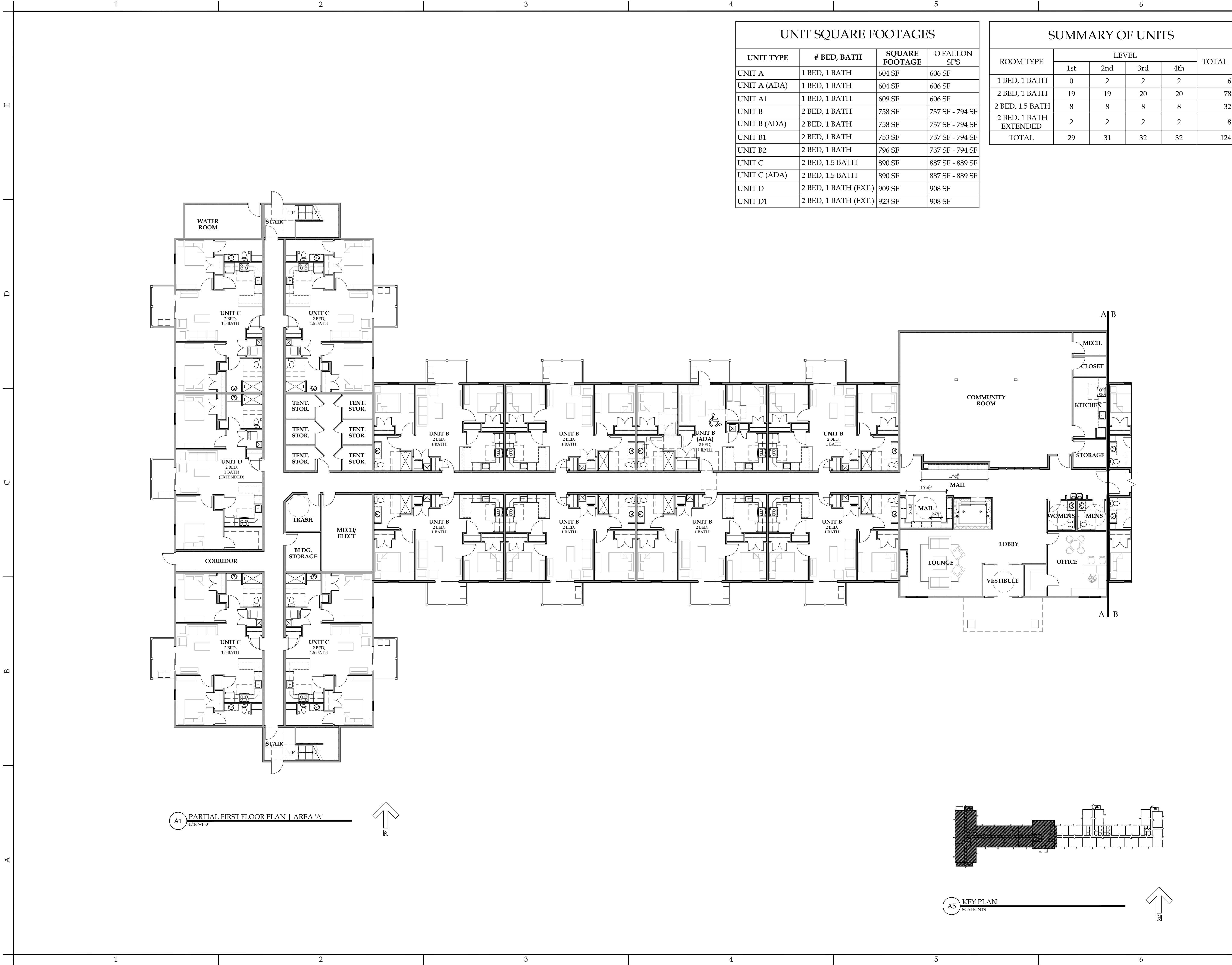
24074.01

DATE:

10-01-24

DRAWING #:

A-101



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
FIRST FLOOR
PLAN - AREA 'A'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

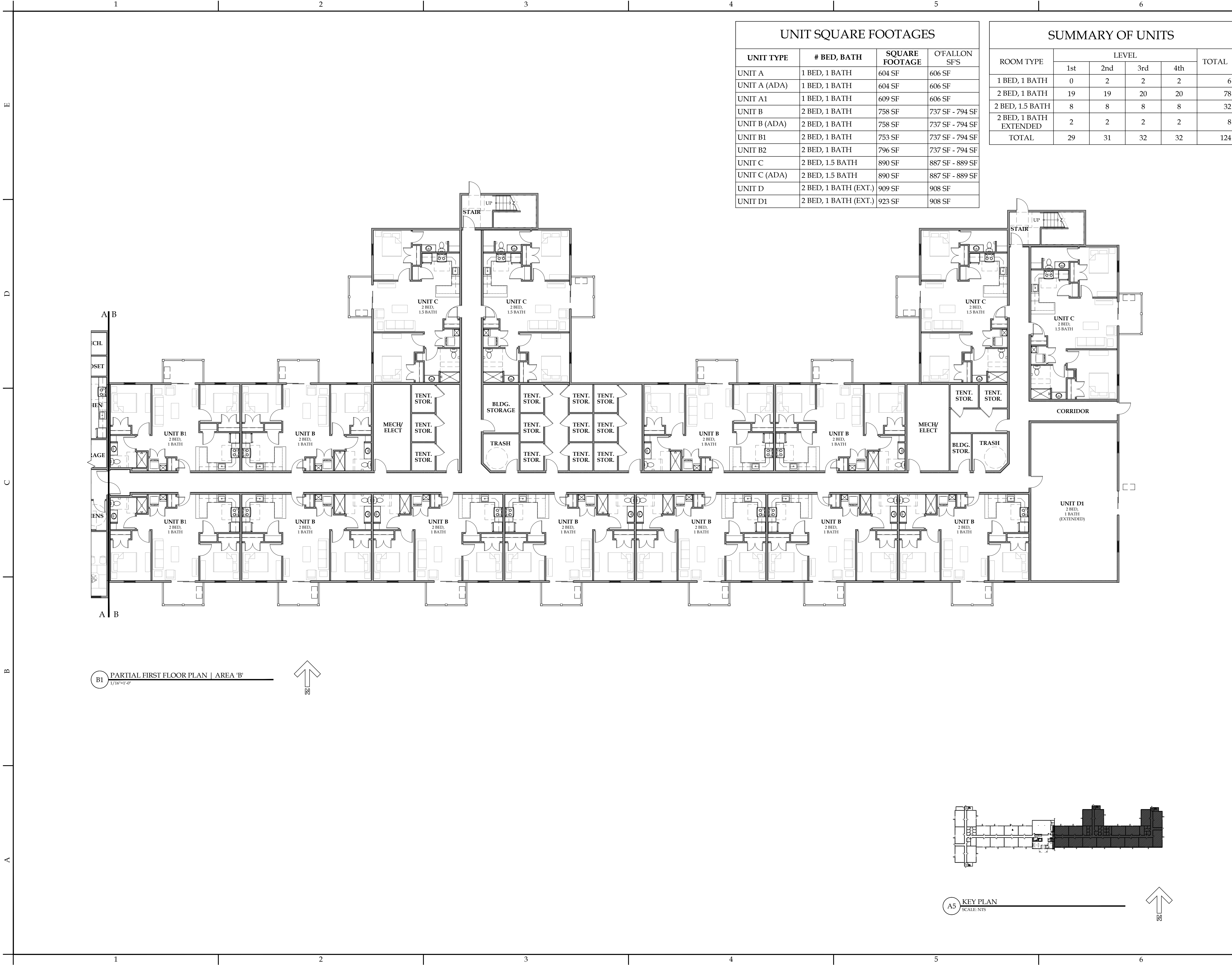
24074.01

DATE:

10-01-24

DRAWING #:

A-102



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
FIRST FLOOR
PLAN - AREA 'B'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

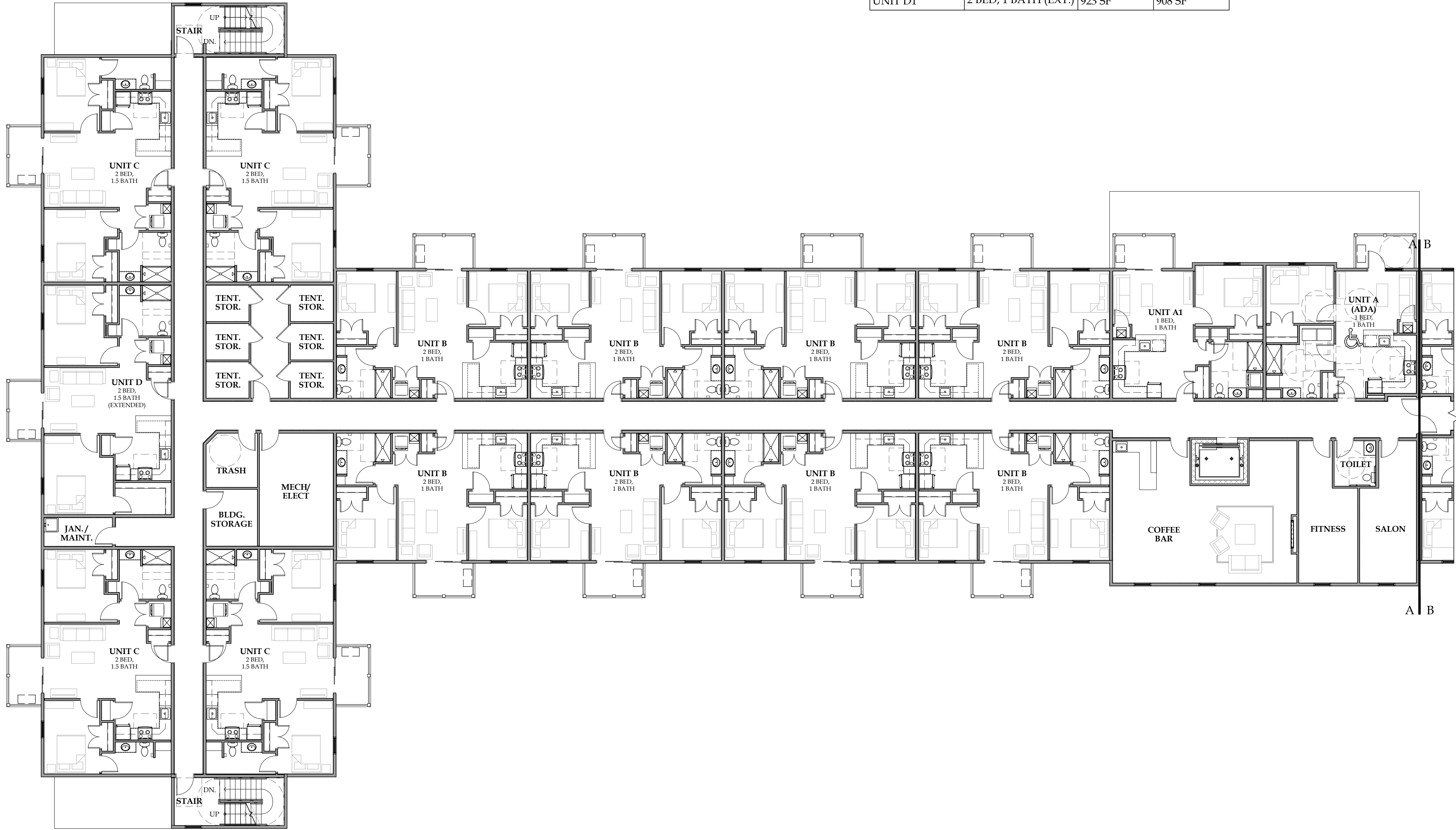
24074.01

DATE:

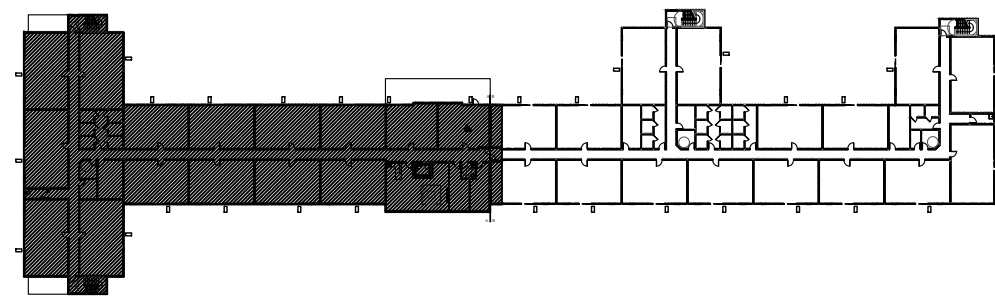
10-01-24

DRAWING #:

A-103



A1 PARTIAL SECOND FLOOR PLAN | AREA 'A'
1/16"=1'-0"



A5 KEY PLAN
SCALE: NTS

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
SECOND FLOOR
PLAN - AREA 'A'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

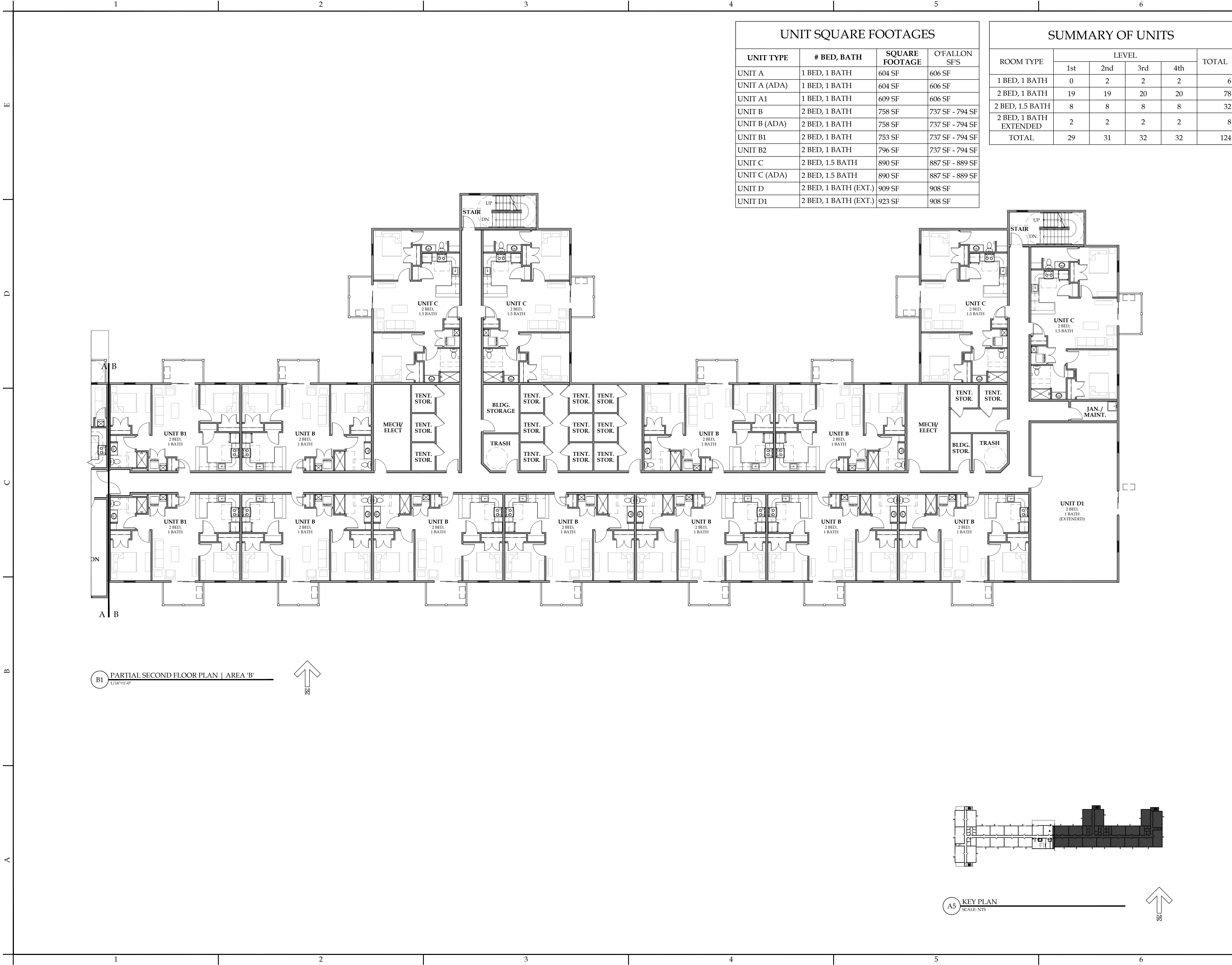
24074.01

DATE:

10-01-24

DRAWING #:

A-104



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
SECOND FLOOR
PLAN - AREA 'B'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

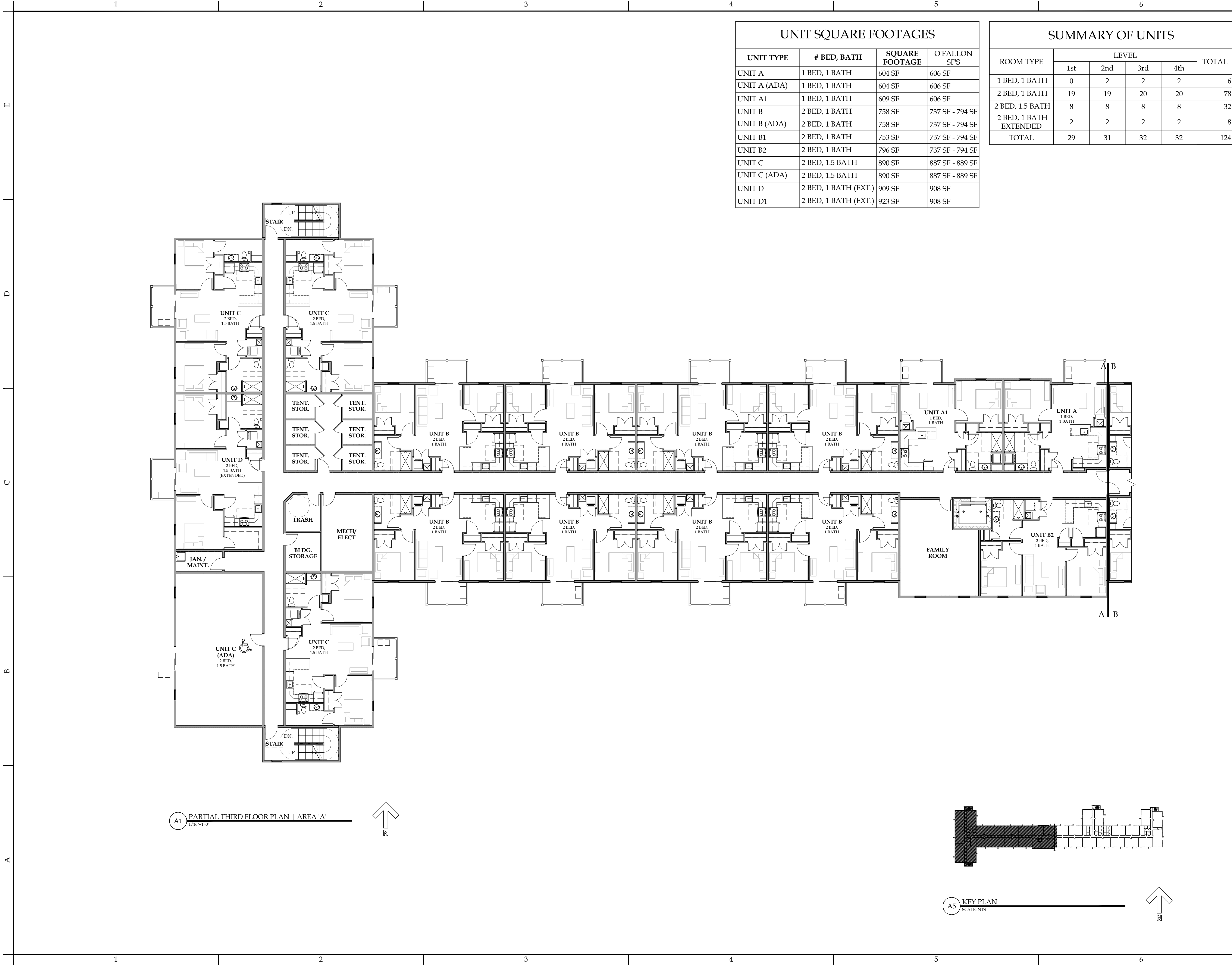
24074.01

DATE:

10-01-24

DRAWING #:

A-105



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

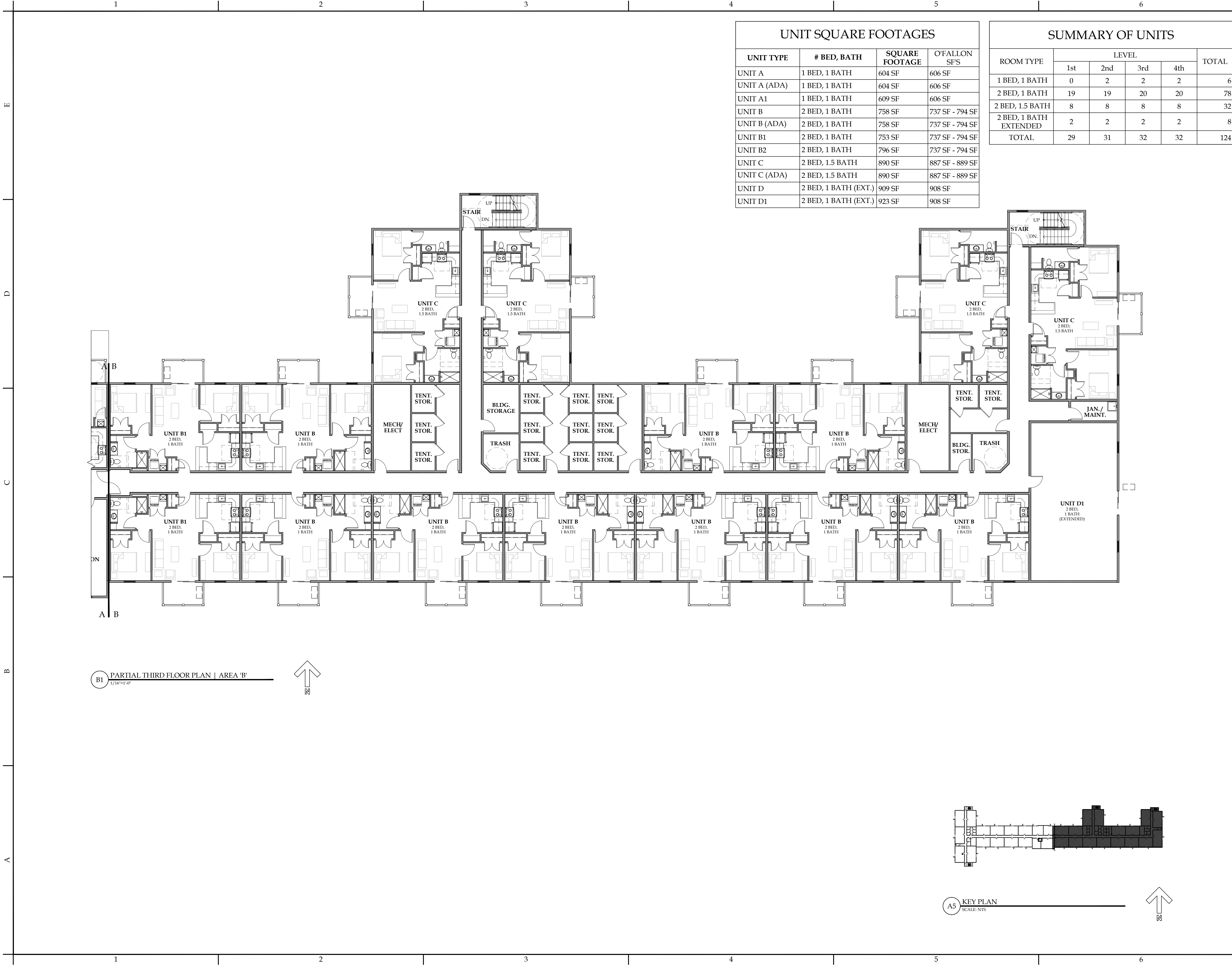
PARTIAL THIRD FLOOR PLAN - AREA 'A'

SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-106**



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
THIRD FLOOR
PLAN - AREA 'B'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

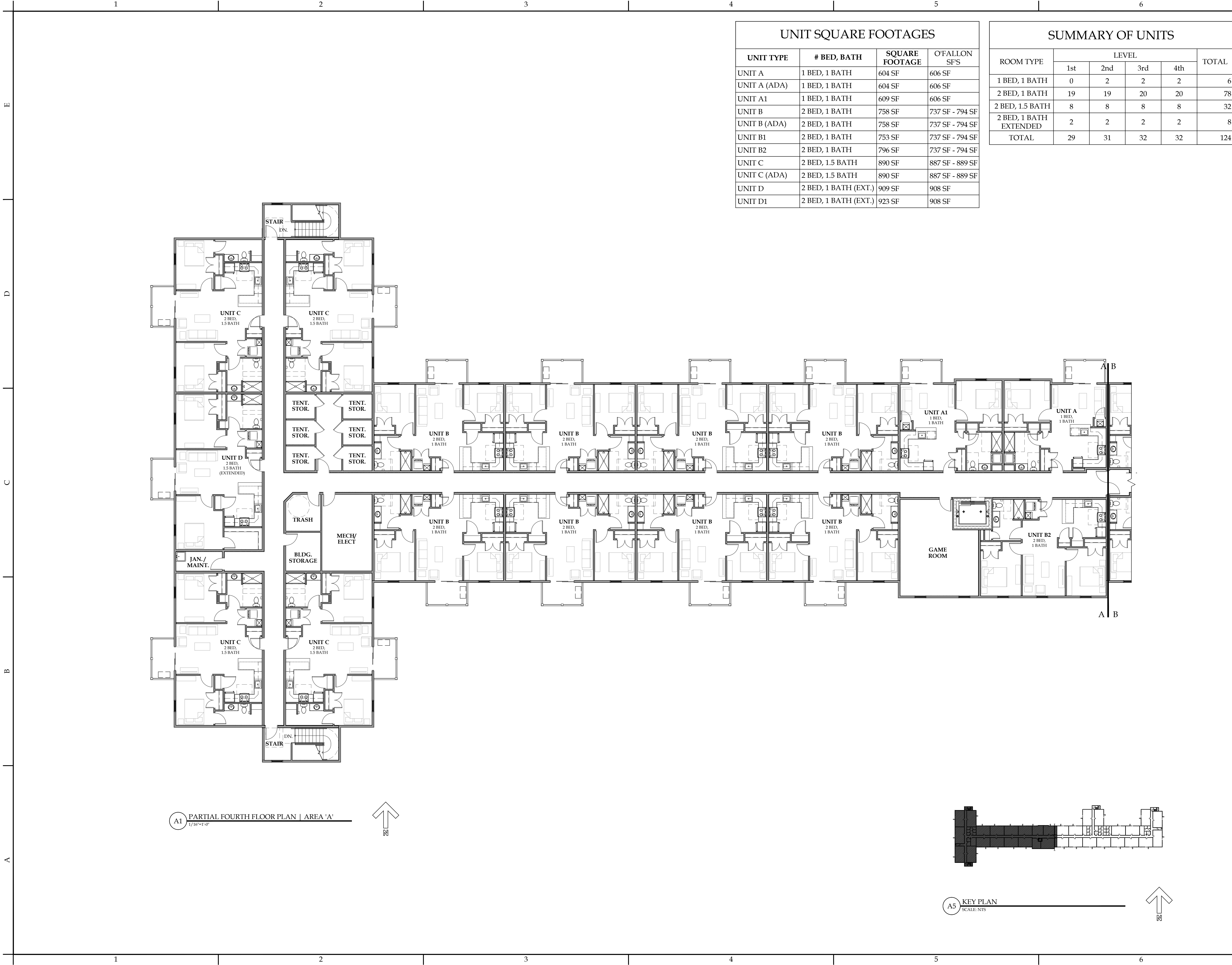
24074.01

DATE:

10-01-24

DRAWING #:

A-107



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
PROJ. ARCH. S. Hunt DRAFTER _____
JOB CAPT. J. Somers INTERIORS A. Nagle

SEAL:

TITLE:

PARTIAL
FOURTH FLOOR
PLAN - AREA 'A'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

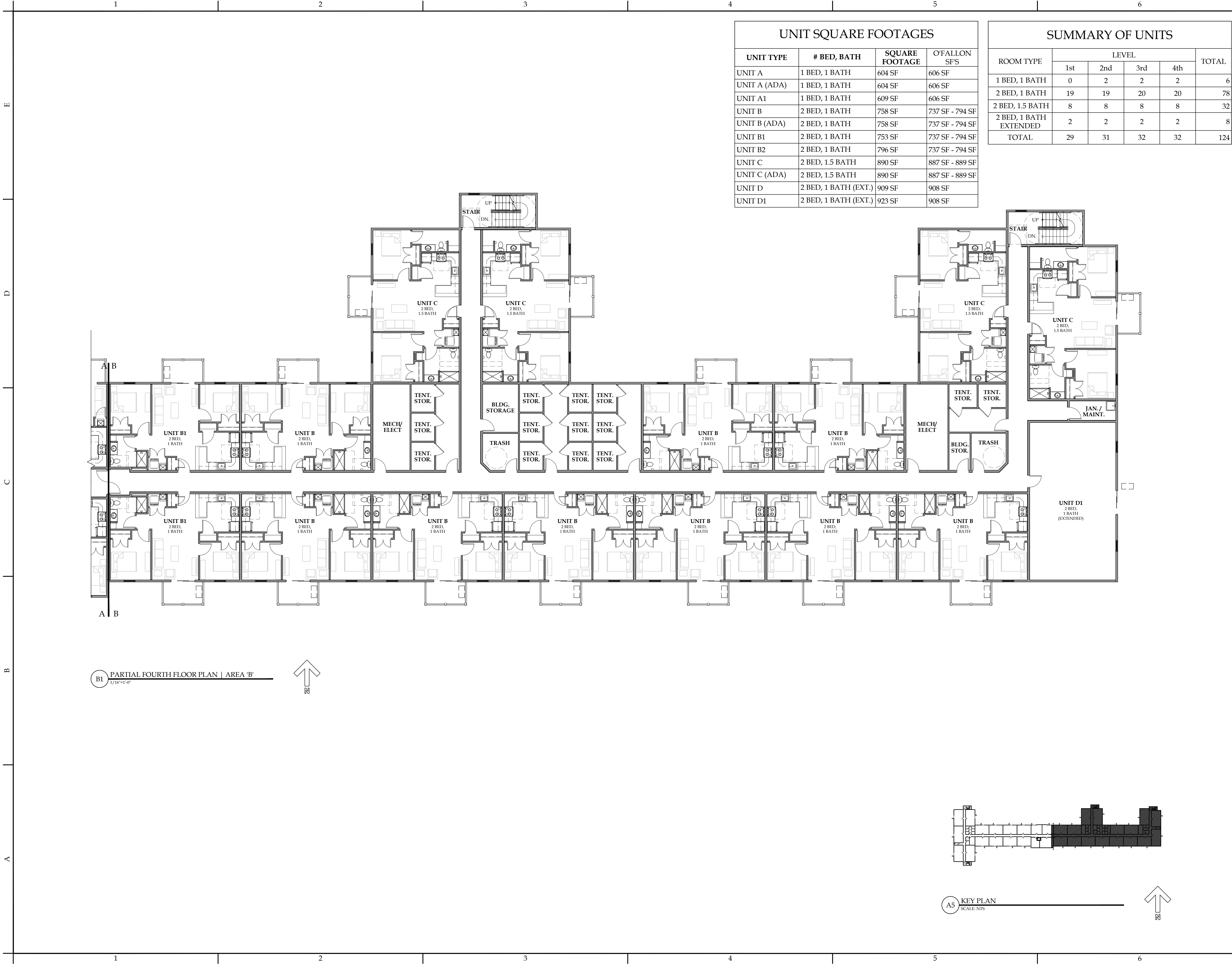
24074.01

DATE:

10-01-24

DRAWING #:

A-108



UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

PARTIAL
FOURTH FLOOR
PLAN - AREA 'B'



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24074.01

DATE:

10-01-24

DRAWING #:

A-109



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

EXTERIOR ELEVATIONS



SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-201**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

EXTERIOR ELEVATIONS - OPTION "A"



SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-202**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-203**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

EXTERIOR ELEVATIONS



SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-204**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

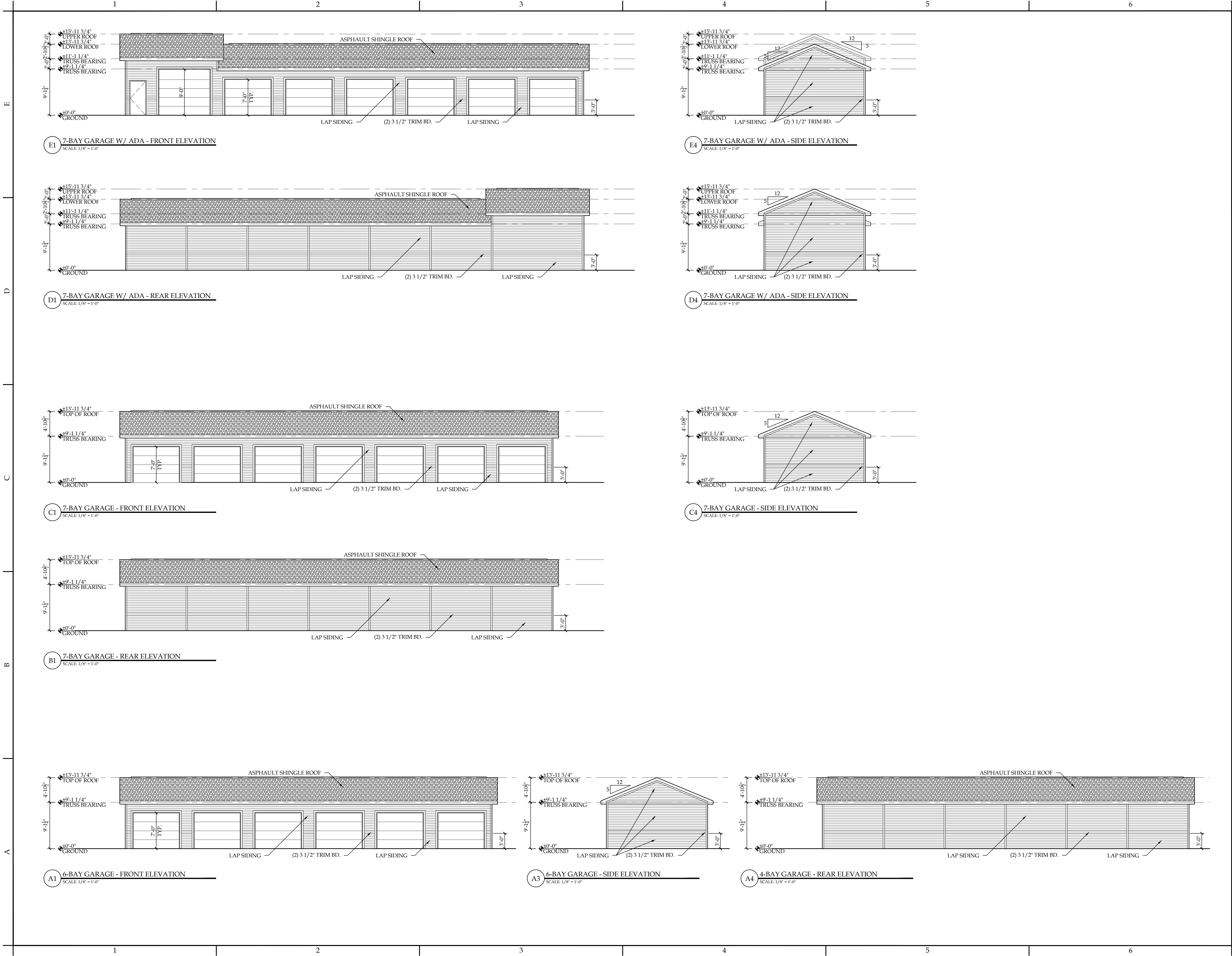
SEAL:

EXTERIOR ELEVATIONS



SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-205**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

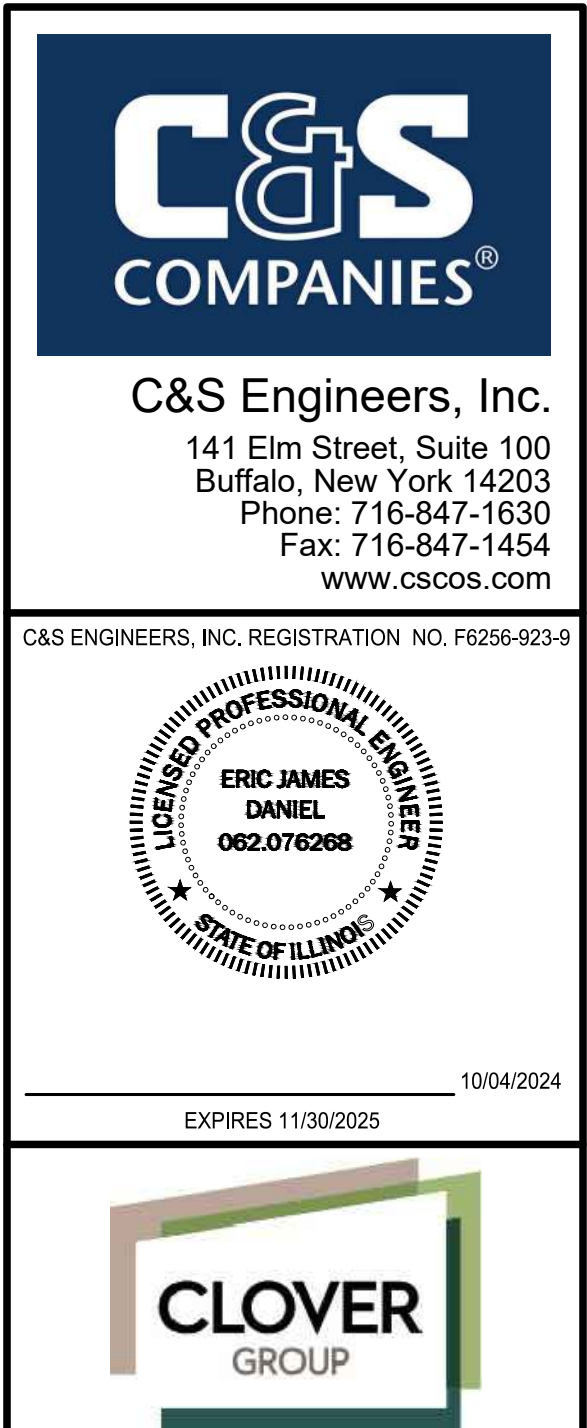
TITLE:

GARAGE ELEVATIONS

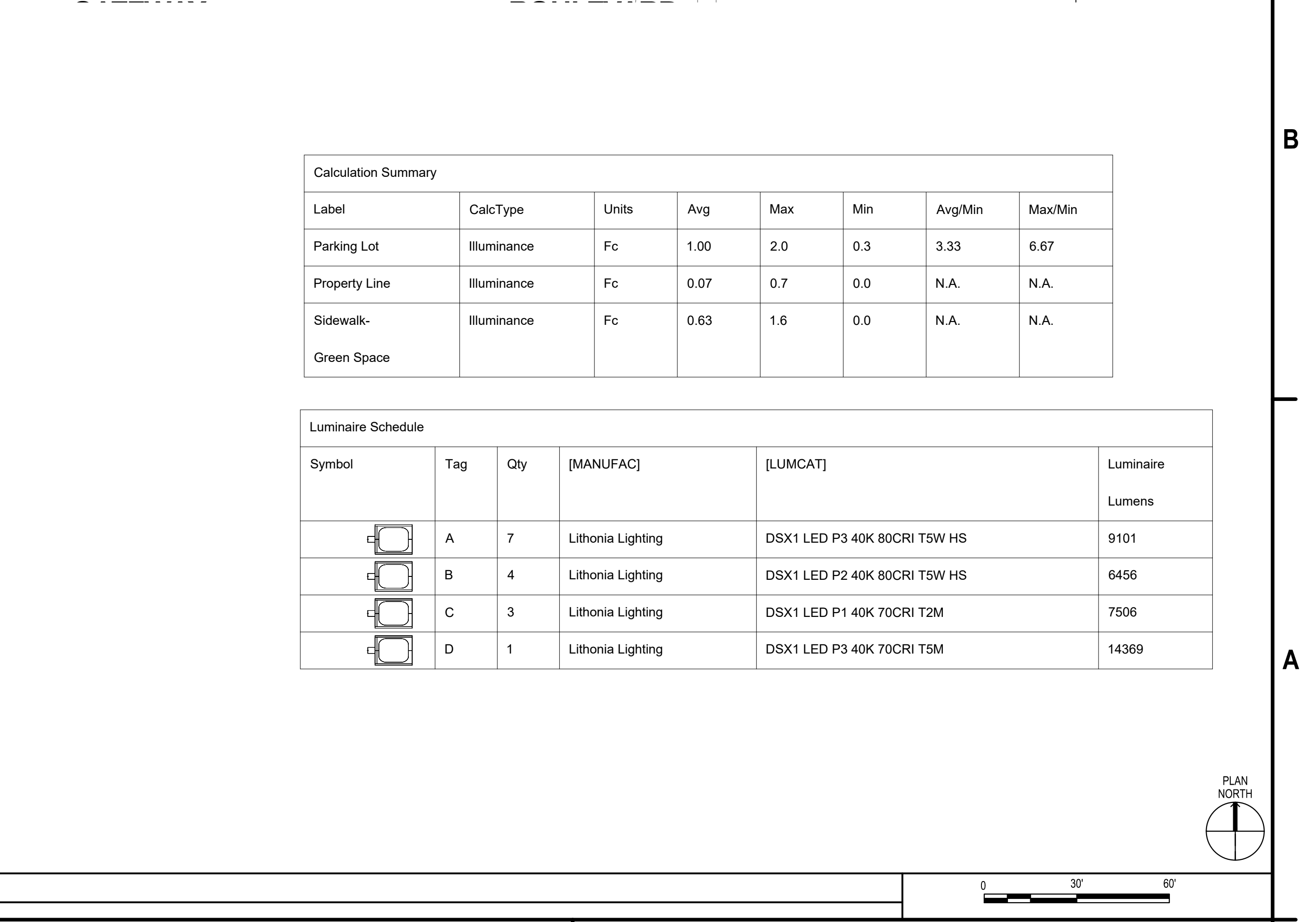


SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-206**



MARK	DATE	DESCRIPTION	
REVISIONS			
PROJECT NO: F53.546.002			
DATE:		OCTOBER 25, 2024	
DRAWN BY:		S. SCHIENER	
DESIGNED BY:		E. DANIEL	
CHECKED BY:			
PRELIMINARY			
PHOTOMETRIC PLAN			
C-105			





Memorandum

To: Mark Gaffino, Village President & Board of Trustees
CC: Steve Bosco, Village Administrator
From: Brian Richter, Public Works Director
Date: December 30, 2024
Re: Waive Elevator Bid and Award Elevator Bid

On August 1, 2024, bids were received for the construction of the new Public Works Facility. Frederick Quinn Corporation (FQC) was responsible for opening and reviewing the bid packages, 31 in total. At the August 14, 2024, board meeting 30 of the bid packages were awarded including the installation of the elevator. Otis Elevator Company was the lowest bidder, \$123,552.00, and only bidder for the elevator package. At the time of the award FQC did not recommend awarding the bid due as they were still reviewing the proposal. The bid amount for the elevator was used to determine the grand maximum pricing (GMP) for the Villages contract with FQC.

Since September, FQC has been going back and forth with Otis Elevator on the terms of the contract for the installation of the elevator. The primary issues have been over accepting indemnification language, insurance requirements, and payment terms that were part of the bidding documents. FQC responded with changes in the contract language to see if they could come to terms that were agreeable for both parties. On December 9, 2024, FQC received an email from Otis Elevator with terms that were not favorable to the Village and demanded a five percent (5%) increase to the contracted price. At that time FQC recommended that they terminate negotiations with Otis and procure an alternate elevator vendor. The Village agreed with recommendation from FQC.

During our weekly construction update meeting on Thursday, December 19, 2024, FQC updated the Village that they had been working with Schindler Elevator on

procuring a contract for the installation of the elevator at the new Public Works Facility. FQC was able to come to terms with Schindler on a contract for the bid package for the elevator. On December 26, 2024, FQC provided the Village with a recommendation letter to award a contract to Schindler Elevator in the amount of \$127,440.00. This is \$3,888.00 over the budgeted amount that was used determine the GMP. FQC is recommending that the difference be funded from the contingency allowance within the approved GMP budget.

There is a limited number of companies in the area that install new elevators and FQC was unable to come to terms with Otis Elevator Company. Going out for bid again for this contract would add extra weeks to the construction schedule and put the elevator construction behind schedule. Schindler Elevator accepted the terms of the bid package, and their price fell within the anticipated budgeted amount for this service. The staff and FQC is recommending waving the bid process for the installation of the elevator at the new Public Works Facility and recommend approving the bid from Schindler Elevator in the amount of \$127,440.00. The recommendation letter from FQC is attached for you to review.

December 26, 2024

Mr. Brian Richter
Public Works Director
Village of North Aurora
25 East State Street
North Aurora, IL 60542

RE: Village of North Aurora
New Public Works Facility
Award Recommendation – BP#1 - 14
FQC #564

Dear Mr. Richter:

On August 1, 2024, bids were received for thirty-one (31) trade packages with a total of 136 individual bids received. The public bid opening for BP# 1 followed legal advertisement for bids on July 11, 2024, issuance of electronic invitations to bid from Frederick Quinn Corporation to over 500 trade contractors and a pre-bid meeting held on July 18, 2024.

On August 14, 2024, FQC provided recommendations for award of trade contract work. The Village of North Aurora accepted the recommendations provided by FQC at the August 19, 2024, regular VONA Board Meeting. As a part of the award recommendation and approval FQC indicated that an attempt would be made to enter into a contract with Otis, Inc for furnishing and installing the elevator as required by BP#1-14. After multiple attempts Otis, Inc. will not agree to contract terms as outlined in the bidding documents, or reasonable modifications which would be acceptable to FQC and VONA.

After approval from VONA FQC solicited proposals from other vendors for BP#1-14 work. The purpose of this letter is to provide a recommendation of award of a trade contract for BP#1-14.

1. **Bid Package #1-14 Elevator – Schindler Elevator of Itasca, IL provided a proposal for BP#11-14 work.** The proposal included multiple clarifications and modifications. FQC has reviewed the proposal and found that Schindler will agree to provide an elevator which meets the project requirements and will agree to contract terms which can be accepted. We recommend that the contract tendered to Otis Elevator be formally withdrawn and that a contract for BP#1-14 be awarded to Schindler Elevator for the base bid amount inclusive of a VE alternate to add stainless steel cab interiors for a total award amount of **One Hundred Twenty-Seven Thousand Four Hundred Forty Dollars. (\$127,440.00)**

The total value of the award recommended exceeds the budgeted amount for this trade work by \$3,888.00. We recommend that the difference be funded from the Contingency allowance within the approved GMP budget.

If the above meets with your approval, please sign and return one copy of this correspondence indicating your acceptance. Upon receipt of your approval, Frederick Quinn Corporation will issue subcontracts to the approved subcontractors.

Mr. Brian Richter
Village of North Aurora
December 26, 2024
Page 2

Sincerely,

FREDERICK QUINN CORPORATION

FRED MARANO / [Signature]
Frederick J. Marano
Executive VP / Estimating

cc: Steve Bosco / VoNA
Brandon Tonarelli / NAPW
Marc Rohde / WA
Vince De Primo / WBK
Jack Hayes / FQC
John Eallonardo / FQC
File / FQC

ACCEPTANCE: _____ **Date:** _____