



**NORTH AURORA VILLAGE BOARD MEETING
MONDAY, DECEMBER 16, 2024 – 7:00 P.M.
NORTH AURORA VILLAGE HALL - 25 E. STATE ST.**

ZOOM VIEWING INFORMATION

Website Address: <https://us02web.zoom.us/j/86342827658>

Meeting ID: 863 4282 7658 | **Dial In:** +1 312 626 6799

AGENDA

CALL TO ORDER - SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE

ROLL CALL

AUDIENCE COMMENTS

CONSENT AGENDA

1. Village Board Minutes dated 12/02/2024; Committee of the Whole Minutes dated 12/02/2024
2. Bills List Dated 12/16/2024 in the Amount of **\$371,916.34**
3. Approval of Purchase for Water Reagents Pick and Ship Program with Hach Company

NEW BUSINESS

1. Approval of a Special Use for a Planned Unit Development for a Gas 'N Wash on 4.76 Acres of Property at 230 South Lincolnway in the Village of North Aurora
2. Approval of Three-Year Contract of Cloudpermit Software for Community Development Permitting Software in the Amount of **\$44,708.00**
3. Approval of Ordinance to Update Regulation of Abandoned, Inoperable and Overweight and/or Overdimension Vehicles
4. Approval to Purchase 2026 Freightliner Truck with Trans Chicago Truck Group in the Amount of **\$114,440.00**
5. Approval of Notification of Intent to Award for the Princeton Drive Elevated Water Storage Tank Project to CB&I

VILLAGE PRESIDENT

TRUSTEE COMMENTS

ADMINISTRATOR'S REPORT

VILLAGE DEPARTMENT REPORTS

ADJOURN

Initials: SB

**NORTH AURORA VILLAGE BOARD MEETING
VILLAGE BOARD MEETING MINUTES
Monday, December 2, 2024**

CALL TO ORDER

Mayor Gaffino called the meeting to order.

SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE

ROLL CALL

In attendance: Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Mike Lowery, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

Staff in attendance: Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community Development Director Nathan Darga, Village Attorney Kevin Drendel, Police Chief Joe DeLeo.

AWARD PRESENTATION- Mayor Gaffino distributed awards to the North Aurora Beautification Committee's Halloween Property Recognition Contest winners.

AUDIENCE COMMENTS – None

PUBLIC HEARINGS-

1. Special Service Area 4- Mayor Gaffino opened the Public Hearing, there were no speakers, and the Public Hearing was closed.
2. Special Service Area 7- Mayor Gaffino opened the Public Hearing, there were no speakers, and the Public Hearing was closed.
3. Special Service Area 8- Mayor Gaffino opened the Public Hearing, there were no speakers, and the Public Hearing was closed.
4. Special Service Area 9- Mayor Gaffino opened the Public Hearing, there were no speakers, and the Public Hearing was closed.
5. Truth in Taxation- Mayor Gaffino opened the Public Hearing, there were no speakers, and the Public Hearing was closed.

CONSENT AGENDA

1. Village Board Minutes Dated 11/18/2024; Committee of the Whole Minutes Dated 11//18/2024
2. Bills List Dated 12/02/2024 in the Amount of \$453,124.78
3. Travel and Business Expenses in the Amount of \$75.00
4. Approval of a Resolution Authorizing Participation as a Member in the Illinois Emergency Management Mutual Aid System Response Pursuant to an Intergovernmental Agreement for the Establishment of a Mutual Aid Intergovernmental Service Agreement
5. Approval of 2025 Village of North Aurora Meeting Schedules

Motion for approval made by Trustee Lowery and seconded by Trustee Guethle. **Roll Call Vote:** Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (6-0).**

NEW BUSINESS

1. Approval of a Resolution Adopting the Tourism Investment Agreement with the Aurora Area Convention and Visitors Bureau

Administrator Bosco stated that the agenda item had previously been discussed at a Committee of the Whole meeting. The item pertained to the expired agreement between the Village and the AACVB. As discussed at the Committee of the Whole meeting, Bosco reminded the Board that in the past, all members of the Convention Bureau were part of an Intergovernmental Agreement, however now each municipality was going to have separate agreements with separate terms.

Motion for approval made by Trustee Guethle and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –No. **Motion approved (5-1).**

2. Approval of July 3rd 2025 and 2026 Fireworks Shows Contract with Pyrotecnico Fireworks

Administrator Bosco stated the agenda item was for the approval of a contract for two fireworks displays. One was for Independence Day 2025 and the second was Independence Day 2026, locking in the pricing for the second year of the contract. Bosco said that the fireworks with Pyrotecnico for the July 3rd 2024 display was \$30,750 and the price was slightly increasing to \$31,650.

Motion for approval made by Trustee Salazar and seconded by Trustee Niedzwiedz. **Roll Call Vote:** Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes. **Motion approved (6-0).**

3. Approval to Award Contract for Oak Hill Pond Stabilization Project to Semper Fi Landscaping, Inc. in an Amount Not to Exceed \$437,600.00

Administrator Bosco reminded the Board that this agenda item had been discussed at previous Committee of the Whole meetings where there had been presentations on determining a course of action to address the erosion in the pond in that neighborhood. The Village requested proposals and received a couple. Staff also had just recently held a meeting with Oak Hill subdivision residents at the Police Department, so that residents were able to learn more about the project and have questions answered. This project would be directly effecting the Oak Hill SSAs that were to be voted on later in this meeting. There would be a substantial increase in their SSA due to the project.

Motion for approval made by Trustee Lowery and seconded by Trustee Christiansen. **Roll Call Vote:** Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (6-0).**

4. Approval of Resolution Approving a Collective Bargaining Agreement Between the Village of North Aurora and the International Union of Operating Engineers, Local 150, Public Employees Division

Administrator Bosco stated that the International Union of Operating Engineers, Local 150, Public Employee Division represented Public Works employees that were in the Streets and Water Divisions. The current agreement expired on May 31, 2024, the new agreement would be retroactive back to June 1, 2024. Bosco said that would be a three year agreement set to expire May 31, 2027.

Motion for approval made by Trustee Guethle and seconded by Trustee Salazar. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (6-0).**

5. Approval of the Messenger Public Library Resolution of the Board of Library Trustees for .02% Maintenance Tax

Director Paprocki stated that this had been approved by the Library's Board at their October 10th meeting. This agenda item would be used on the next item for actual approval of the overall Village and Library ordinance.

Motion for approval made by Trustee Guethle and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (6-0).**

6. Approval of Ordinance for the Levy and Assessment of Taxes in and for the Village of North Aurora and the Messenger Public Library, Kane County, Illinois for the Fiscal Year Beginning June 1, 2025 and Ending May 31, 2025

Director Paprocki explained that this item included the Village's total 2024 tax levy request of \$2,919,000, which used the 2.5% CPI and new construction allowance and it also included the Library Board's Levy.

Motion for approval made by Trustee Salazar and seconded by Trustee Christiansen. **Roll Call Vote:** Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – No. **Motion approved (5-1).**

7. Approval of an Ordinance Levying the Taxes for the Waterford Oaks Special Service Area #4 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the amount levied was \$22,190, which was an increase of \$3,590 or 19.3%. The Public Hearing was held because the increase was over 5% from last year. The increase related to catching up on common area mowing. Previous years the Village had not increased the Levy because reserve had been used.

Motion for approval made by Trustee Niedzwiedz and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes. **Motion approved (6-0).**

8. Approval of an Ordinance Levying the Taxes for the Oak Hill Special Service Area #7 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the Levy total was \$40,500 which was a \$15,500 or 62% increase over last year. This increase primarily related to the project that had been approved previously in the evening.

Motion for approval made by Trustee Lowery and seconded by Trustee Salazar. **Roll Call Vote:** Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (6-0).**

9. Approval of an Ordinance Levying the Taxes for the Timber Oaks Special Service Area #8 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the amount Levied was \$10,225 which was a \$2,725 increase or 36.3% increase over last year. This increase was related to common area mowing and catching up to contract costs.

Motion for approval made by Trustee Christiansen and seconded by Trustee Niedzwiedz. **Roll Call Vote:** Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes. **Motion approved (6-0).**

10. Approval of an Ordinance Levying the Taxes for the Pinecreek (Phase III) Special Service Area #9 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the amount Levied was \$3,435 which was a \$1,435 or 71.8% increase over last year. This was related to common area mowing cost increases.

Motion for approval made by Trustee Christiansen and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes. **Motion approved (6-0).**

11. Approval of an Ordinance Levying the Taxes for the Willow Lakes Special Service Area #11 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the Levy total was \$10,530 which was \$330 or 3.2% increase over last year.

Motion for approval made by Trustee Salazar and seconded by Trustee Christiansen. **Roll Call Vote:** Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes. **Motion approved (6-0).**

12. Approval of an Ordinance Levying the Taxes for the North Towne Center Special Service Area #32 for the Fiscal Year beginning June 1, 2024 and ending May 31, 2025

Director Paprocki stated that the amount Levied was \$30,000 which was no change from the previous year.

Motion for approval made by Trustee Christiansen and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes. **Motion approved (6-0).**

13. Approval of an ordinance Abating the Tax Heretofore Levied for the Years 2024-2027 to Pay Debt Service on \$6,885,000 General Obligation Refunding Bonds, Series 2014 (Alternate Revenue Source)

Director Paprocki stated that these bonds had been fully repaid, the Village needed to communicate to the county to take them off. The Village would be abating for the tax years of 2024 to 2027.

Motion for approval made by Trustee Niedzwiedz and seconded by Trustee Christiansen. **Roll Call Vote:** Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes. **Motion approved (6-0).**

14. Approval of an Ordinance Abating the Tax Heretofore Levied for the Year 2024 to Pay Debt Service on \$5,800,000 General Obligation Bonds Series 2017 (Alternate Revenue Source)

Director Paprocki stated that these were alternate revenue source bonds, they were repaid by Water Funds. It was necessary to communicate to remove them from the taxes.

Motion for approval made by Trustee Salazar and seconded by Trustee Curtis. **Roll Call Vote:** Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes. **Motion approved (6-0).**

15. Approval of an Ordinance Abating Tax Heretofore Levied for the Year 2024 to Pay Debt Service on \$13,665,000 General Obligation Bonds, Series 2024 (Alternate Revenue Source)

Director Paprocki stated that these were alternate revenue source bonds that were repaid by pledged sales tax.

Motion for approval made by Trustee Lowery and seconded by Trustee Curtis. **Roll Call Vote:** Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (6-0).**

VILLAGE PRESIDENT – Mayor Gaffino reminded everyone of the Making Spirits Bright event being held Saturday, December 7th at 5pm.

TRUSTEES COMMENTS – None

ADMINISTRATOR’S REPORT – Administrator Bosco stated that the Public Works Department had been working hard to put the lights up for the Making Spirits Bright event. The IT manager Dave Arndt and the crew went out to the site to test the lighting features.

Bosco also mentioned the Government 101 course that was to be held on December 10th and 16th at 6:30 pm.

VILLAGE DEPARTMENT REPORTS

1. **Finance** – None
2. **Community Development** – None
3. **Police** – None
4. **Public Works** – None
5. **Village Attorney**- None

ADJOURNMENT

Motion to adjourn was made by Trustee Guethle and seconded by Trustee Curtis. All in favor. **Motion approved.**

Respectfully Submitted,

Jessi Watkins
Village Clerk

**VILLAGE OF NORTH AURORA
COMMITTEE OF THE WHOLE MEETING MINUTES
Monday, December 2, 2024**

CALL TO ORDER

Mayor Gaffino called the meeting to order.

ROLL CALL

In attendance: Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Mike Lowery, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

Staff in attendance: Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community Development Director Nathan Darga, Village Attorney Kevin Drendel, Police Chief Joe DeLeo.

AUDIENCE COMMENTS – None

TRUSTEE COMMENTS - None

DISCUSSION

1. Petition #24-13: Gas N Wash Planned Unit Development

Administrator Bosco reminded the Village Board that this agenda item had gone before the Committee of the Whole as well as the Plan Commission as a concept review in the past. The item had now returned before the Board for review of Plan Commission comments, to ask any questions and to decide whether to move the development forward for approval.

Director Darga stated that the Gas N Wash was looking to go in at the corner of Airport Road and Route 31 on the Asbury property. This property had been vacant for several decades and was zoned B2. Gas N Wash was proposing to purchase the whole 4.7 acre property and improve it with a gas station that would also have a convenience store, two quick service restaurants, a long tunnel car wash with vacuum cleaners, seven island gas pumps, as well as two separate diesel islands. The location would have a drive through window for one of the two quick service restaurants. The building would be a little over 8,000 square feet and would include both of those restaurants, the convenience store, and video gaming.

Darga explained that the Village Code, for the project which was a car wash and a gas station, would require 19 parking spaces, however the applicant was proposing 71. The developer had submitted a traffic study, IDOT would be requiring improvements to Route 31. They require the installation of left and right turn lanes for the location's access points. The site had an existing access point in the middle, the developer would be adding a "right in, right out" all of the way to the south. There was also an access point off of Airport Road. The traffic pulling through the diesel island was one way, there were no trucks allowed in front, truck and car traffic were to be kept separate.

Darga mentioned the landscape plan with a focus on the landscaping between the development and Asbury Gardens. Asbury Gardens, which is situated directly to the west of the development, the northernmost Asbury building had windows facing the new development, while the building to the south

of that did not have windows on the side facing the proposed development. Darga explained that the heavier landscaping was to be between the northernmost building and the development.

Darga stated that this item was being approved as a PUD because it was greater than two acres. He explained that many of the code exceptions were for setbacks. Because of the road improvements there would be an IDOT dedication. The existing parking lot was paved all the way up to the right of way line, so there was currently no setback on the property, with IDOT pushing everything back there will be a setback. The North Aurora code calls for a 50 foot landscape buffer along Route 31, however the Village typically ends up varying projects along Route 31 because there is not enough space on lots along Route 31 to have 50 foot setbacks.

Darga spoke about the list of exemptions that were included in the meeting packet, which included setbacks, exemptions for the number of signs, as well as several general conditions.

Darga presented the renderings for the development, stating that elevations were very nice and met the Village's design guidelines.

Chris Kalischefski, the project architect with the WT Group was on hand to answer questions. He spoke about the requested variances. Kalischefski addressed the setback exemption and then spoke about the signage. He stated that there would be five businesses on the site, the two food vendors, the convenience store, the car wash, and the fueling component. The developer would like signage, in an appropriate size, to accommodate each business.

Trustee Guethle asked what restaurants would be going in. Kalischefski stated that typically there would be a donut and coffee offering as well as a second restaurant that would be determined with the desire of the community in mind.

Trustee Salazar asked what the size of the landscaping would be along the side facing Asbury Gardens. Kalischefski stated that they would be meeting the requirements in terms of the diameter and density of the trees. They would be adding 93 trees and choosing trees with a fast grow rate. Kalischefski stated that there would be 69 shade trees, 9 evergreens, and 15 ornamentals along with 166 evergreen shrubs.

Trustee Salazar expressed concerns, stating that the Asbury Gardens buildings were very close to the lot lines and this may be disruptive to the elderly people living there. She expressed that the landscaping, due to the time it takes for the plantings to mature, may not be enough.

Trustee Salazar also expressed concerns about the video gaming aspect of the site.

Mayor Gaffino stated that he would prefer to see more conifers along the side of the property adjacent to Asbury Gardens.

Administrator Bosco added that the Village subdivision requirements for shade trees were two and a half inch caliper, and evergreens along with ornamentals have to be at least six feet tall.

There was additional discussion regarding the landscaping and comparisons were made to the project on Mitchell Road that had recently been discussed with the Committee of the Whole.

Trustee Curtis stated that she was glad that there was something going in on a property that had been vacant for so long, however she echoed Trustee Salazar's comparison to the issues that had arisen with the Mitchell Road development.

Mr. Kalischefski spoke about the design steps that they had taken to mitigate the truck traffic and noise to the site.

Trustee Guethle stated that he visits other locations and enjoys the experience.

Trustee Niedzwiedz agreed with the idea that more landscaping should be implemented, foliage that would last throughout the winter. He also agreed with Trustee Guethle, stating that the other location on Jericho was very nice.

Trustee Christiansen agreed with previous comments and expressed dislike for the video gaming.

Trustee Lowery stated that he was in favor of the development but expressed concerns about northbound Route 31 traffic turning left into the gas station causing congestion issues. Mr. Kalischefski stated that there would be a left turn lane created on Route 31 in the northbound lanes.

There was discussion about IDOT's plans to repave Route 31 in 2025.

Administrator Bosco stated that this would be the time to discuss fencing, should the Board feel it is appropriate. The discussion circled back to landscaping along the west side of the property. Trustee Niedzwiedz suggested creating a berm along that side of the property. The developer agreed to look further into that idea.

2. Cloudpermit Permitting Software

Administrator Bosco stated that the Village has had a system in place for permits for many years. The Village was seeking to be more user friendly for both internal use and for residents during the building permit process.

Director Darga explained that the goal to be able to have online permit submittals had been part of the strategic plan for a while. Currently, a resident could go to the website and download a PDF to print out, this could then be emailed or walked in to the Village. The goal was to be able to do all steps of the process online and the current software was not capable of that. Darga stated that David and Morgan of the Community Development department put together a matrix and assembled information to compare software offerings. They compared City View, Cloudpermit, Civic Review, Smart Gov, and Open Gov. The options were narrowed down to Cloudpermit and Open Gov, Cloudpermit was \$18,400 for the first year while Open Gov was \$77,000. City View, the Village's current software provider was charging \$94,000 to upgrade the product the Village was currently utilizing. Staff recommended contracting with Cloudpermit.

Trustee Salazar asked if people could still come in to apply for permits, her concern was for those that are not technologically savvy. Darga replied that they could.

Administrator Bosco stated that the intention was never to eliminate the face to face interaction.

Bosco went on to briefly mention credit card processing fees and that the Village may have to rethink the approach of absorbing the fees.

EXECUTIVE SESSION – None

ADJOURNMENT

Motion to adjourn made by Trustee Guethle and seconded by Trustee Curtis. All in favor. **Motion approved.**

Respectfully Submitted,

Jessi Watkins
Village Clerk

Accounts Payable

To Be Paid Proof List

User: ablasr
 Printed: 12/12/2024 - 9:42AM
 Batch: 00502.12.2024



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description		Reference				
ABC Carpet Cleaning									
038040									
11182024	11/18/2024	1,050.00	0.00	12/16/2024				No	0
01-445-4520 Public Buildings Rpr & Mtce			Carpet Cleaning- VH						
11182024 Total:		1,050.00							
ABC Carpet Cleaning Tota		1,050.00							
ACSI Mechanical Group									
468558									
30467	11/12/2024	1,046.00	0.00	12/16/2024				No	0
01-445-4520 Public Buildings Rpr & Mtce			Boiler Repair- PD						
30467 Total:		1,046.00							
ACSI Mechanical Group T		1,046.00							
AIM									
046510									
1002561	12/1/2024	126.00	0.00	12/16/2024				No	0
01-435-4267 Finance Services			Flex- Nov 2024						
1002561 Total:		126.00							
AIM Total:		126.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
Anderson Pest Solutions 019770									
70272498	11/3/2024	101.15	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Pest Control- TP					
	70272498 Total:	101.15							
	Anderson Pest Solutions T	101.15							
Anna Helene Tuohy 044040									
12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 12/3/24					
	12032024 Total:	50.00							
	Anna Helene Tuohy Total:	50.00							
AT&T Mobility 468386									
*** 287322262314	11/19/2024	324.55	0.00	12/16/2024				No	0
01-430-4652 Phones and Connectivity				Cell Phone 10/20 - 11/19- Admin					
	287322262314 Total:	324.55							
28732226247	11/19/2024	126.45	0.00	12/16/2024				No	0
01-430-4652 Phones and Connectivity				Cell Phone 10/20 - 11/19- CommDev					
	28732226247 Total:	126.45							
*** 287322277733	11/19/2024	750.76	0.00	12/16/2024				No	0
01-445-4652 Phones and Connectivity				Cell Phone 10/20 - 11/19- PW					
	287322277733 Total:	750.76							
*** 287322279371	11/19/2024	566.97	0.00	12/16/2024				No	0
60-445-4652 Phones and Connectivity				Cell Phone 10/20 - 11/19- Water					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	287322279371 Total:	566.97							
*** 287322279713	11/19/2024	1,465.51	0.00	12/16/2024				No	0
01-440-4652	Phones and Connectivity			Cell Phone 10/20 - 11/19- PD					
	287322279713 Total:	1,465.51							
	AT&T Mobility Total:	3,234.24							
Aurora Area Convention									
003770									
11122024	11/12/2024	3,927.01	0.00	12/16/2024				No	0
15-430-4752	90% Tourism Council			Akshar Hotel Tax/ Oct 2024					
	11122024 Total:	3,927.01							
11252024	11/25/2024	3,183.49	0.00	12/16/2024				No	0
15-430-4752	90% Tourism Council			Red Roof Inn Hotel Tax/ Oct 2024					
	11252024 Total:	3,183.49							
	Aurora Area Convention To	7,110.50							
Aurora Fastprint									
029610									
47193	12/5/2024	357.05	0.00	12/16/2024				No	0
60-445-4505	Postage			OT Water Tickets (2500)					
	47193 Total:	357.05							
	Aurora Fastprint Total:	357.05							
B & F Construction									
015600									
20208	11/26/2024	5,572.97	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Inspections- Sept 2024					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	20208 Total:	5,572.97							
66838	11/12/2024	150.00	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- Kid's Empire					
	66838 Total:	150.00							
66868	11/14/2024	450.00	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- Bimbo Racking					
	66868 Total:	450.00							
66878	11/14/2024	1,047.22	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- 435 Prairie Ridge Ln					
	66878 Total:	1,047.22							
66879	11/14/2024	1,410.55	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- 557 Quail Str					
	66879 Total:	1,410.55							
66923	11/20/2024	225.00	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- Comfort Inn & Suites					
	66923 Total:	225.00							
66924	11/20/2024	225.00	0.00	12/16/2024				No	0
01-441-4276	Inspection Services			Plan Review- Hometowne Studios					
	66924 Total:	225.00							
	B & F Construction Total:	9,080.74							
Camic Johnson, LTD. 03989 *** 167	11/26/2024	350.00	0.00	12/16/2024				No	0
01-440-4260	Legal			Adjudication Hearing 11/20/24					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description		Reference				
	167 Total:	350.00							
	Camic Johnson, LTD. Total:	350.00							
Carus Corporation									
033300									
SLS 10117602	11/14/2024	3,871.84	0.00	12/16/2024				No	0
60-445-4437	Chemicals - Water Treatment		HMO Chem- WTP						
	SLS 10117602 Total:	3,871.84							
SLS 10117606	11/14/2024	3,560.52	0.00	12/16/2024				No	0
60-445-4437	Chemicals - Water Treatment		HMO Chem- ETP						
	SLS 10117606 Total:	3,560.52							
	Carus Corporation Total:	7,432.36							
Certified Laboratories Division									
048600									
8919313	11/12/2024	1,358.17	0.00	12/16/2024				No	0
01-445-4511	Vehicle Repair and Maint		Grease, Adhesive, Glass Cleaner, Gasket Maker						
	8919313 Total:	1,358.17							
	Certified Laboratories Divi	1,358.17							
Cintas Corporation									
041590									
4211887373	11/18/2024	105.87	0.00	12/16/2024				No	0
01-445-4520	Public Buildings Rpr & Mtce		Towel & Rug Cleaning- PW Garage						
	4211887373 Total:	105.87							
5239326914	11/12/2024	35.20	0.00	12/16/2024				No	0
60-445-4422	Safety Supplies		First Aid Supplies- ETP						

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	5239326914 Total:	35.20							
5239326915	11/12/2024	69.04	0.00	12/16/2024				No	0
60-445-4422	Safety Supplies			First Aid Supplies- WTP					
	5239326915 Total:	69.04							
5240655409	11/20/2024	72.82	0.00	12/16/2024				No	0
01-445-4422	Safety Supplies			First Aid Supplies- PW Garage					
	5240655409 Total:	72.82							
	Cintas Corporation Total:	282.93							
City of Aurora									
027870									
237310	12/14/2024	939.00	0.00	12/16/2024				No	0
60-445-4562	Testing (water)			Monthly Testing- October 2024					
	237310 Total:	939.00							
	City of Aurora Total:	939.00							
Comcast Business									
468904									
11012024	11/1/2024	42.08	0.00	12/16/2024				No	0
01-440-4652	Phones and Connectivity			TV Service- PD					
	11012024 Total:	42.08							
	Comcast Business Total:	42.08							
Commercial Tire Services, Inc.									
038680									
3330047742	11/21/2024	3,143.80	0.00	12/16/2024				No	0
01-445-4511	Vehicle Repair and Maint			Tires (18)- PW					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	3330047742 Total:	3,143.80							
	Commercial Tire Services, I	3,143.80							
Commonwealth Edison 000330									
*** 0048252222	11/8/2024	46.11	0.00	12/16/2024				No	0
60-445-4662 Utility				Water Tower Electric					
	0048252222 Total:	46.11							
*** 1100211222	11/7/2024	44.77	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ Deerpath & Orchard Gateway					
	1100211222 Total:	44.77							
*** 1392693000	11/15/2024	2,861.54	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ 211 River Rd					
	1392693000 Total:	2,861.54							
*** 1715162000	11/7/2024	104.79	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ Orchard & White Oak					
	1715162000 Total:	104.79							
*** 1982048000	11/14/2024	10.36	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ 355 Moorfield					
	1982048000 Total:	10.36							
*** 2223921222	11/7/2024	197.95	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ Orchard & Oak					
	2223921222 Total:	197.95							
*** 2640852222	11/7/2024	138.49	0.00	12/16/2024				No	0
10-445-4660 Street Lighting and Poles				Streetlight/ 1200 Orchard Gateway					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	2640852222 Total:	138.49							
*** 3059412222	11/7/2024	108.93	0.00	12/16/2024				No	0
01-445-4660	Street Lighting			Silo Lighting/ 8 W State Street					
	3059412222 Total:	108.93							
*** 4475962222	11/15/2024	41.80	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ Rt56 & Rt25					
	4475962222 Total:	41.80							
*** 4479349000	11/14/2024	10.36	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1197 Comiskey					
	4479349000 Total:	10.36							
*** 4966085000	11/7/2024	98.81	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1802 Orchard Gateway					
	4966085000 Total:	98.81							
*** 5673211222	11/14/2024	10.36	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1193 Comiskey					
	5673211222 Total:	10.36							
*** 5818778000	11/6/2024	51.65	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1901 Orchard Gateway					
	5818778000 Total:	51.65							
*** 6292668000	11/7/2024	50.15	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 19 N Lincolnway					
	6292668000 Total:	50.15							
*** 6997063000	11/14/2024	2,546.88	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight					
	6997063000 Total:	2,546.88							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
*** 7192223333	11/6/2024	17.72	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1051 Kettle					
	7192223333 Total:	17.72							
*** 7866272222	11/7/2024	105.21	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 4 S. Willowway					
	7866272222 Total:	105.21							
*** 8845681222	11/7/2024	120.61	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ Orchard & Comiskey					
	8845681222 Total:	120.61							
*** 9669222000	11/7/2024	98.44	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ 1600 Orchard Gateway					
	9669222000 Total:	98.44							
*** 9954382000	11/7/2024	263.56	0.00	12/16/2024				No	0
10-445-4660	Street Lighting and Poles			Streetlight/ Orchard & Orchard Gateway					
	9954382000 Total:	263.56							
	Commonwealth Edison Tot	6,928.49							
Core & Main 039040 V934199	11/4/2024	87.36	0.00	12/16/2024				No	0
60-445-4423	Tools			Probe & Hook Tools					
	V934199 Total:	87.36							
	Core & Main Total:	87.36							
Creekside Compost, LLC 467909 24-11-7105	11/19/2024	4,000.00	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-445-4532 Tree Service				Leaf Disposal					
	24-11-7105 Total:	4,000.00							
24-11-7143	11/26/2024	2,775.00	0.00	12/16/2024				No	0
01-445-4532 Tree Service				Leaf Disposal					
	24-11-7143 Total:	2,775.00							
	Creekside Compost, LLC T	6,775.00							
D. R. Horton									
052580									
12102024	12/10/2024	120.46	0.00	12/16/2024				No	0
60-320-3340 Water Collections				Water Credit Refund- 1007 Homerton					
	12102024 Total:	120.46							
	D. R. Horton Total:	120.46							
DACRA Adjudication Systems									
467842									
DT 2024-11-006	11/30/2024	2,500.00	0.00	12/16/2024				No	0
01-440-4513 Software Maintenance				Adjudication Software					
	DT 2024-11-006 Total:	2,500.00							
	DACRA Adjudication Syst	2,500.00							
Davey Resource Group, Inc.									
468410									
919054250	11/15/2024	36,596.00	0.00	12/16/2024				No	0
01-445-4532 Tree Service				Tree Trimming					
	919054250 Total:	36,596.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	Davey Resource Group, In	36,596.00							
De Nora MIOX Corporation 038050									
9200096199	11/25/2024	1,822.33	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint			MIOX Control Valve					
	9200096199 Total:	1,822.33							
	De Nora MIOX Corporatio	1,822.33							
Doug Botkin 047330									
12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016	Per Diem - Plan Commission			Plan/ Zoning Commission Meeting 12/3/24					
	12032024 Total:	50.00							
	Doug Botkin Total:	50.00							
Drendel & Jansons Law Group 028580									
11904	9/30/2024	2,026.67	0.00	12/16/2024				No	0
01-440-4260	Legal			Legal Services- PD/ Sept 2024					
	11904 Total:	2,026.67							
11905	9/30/2024	133.34	0.00	12/16/2024				No	0
60-445-4260	Legal			Legal Services- Water/ Sept 2024					
	11905 Total:	133.34							
11908	9/30/2024	799.58	0.00	12/16/2024				No	0
60-445-4260	Legal			Legal Services- Aurora Pack/ Sept 2024					
	11908 Total:	799.58							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
11909	9/30/2024	1,786.31	0.00	12/16/2024				No	0
01-441-4260 Legal				Legal Services- CommDev/ Sept 2024					
	11909 Total:	1,786.31							
11910	9/30/2024	1,664.24	0.00	12/16/2024				No	0
01-430-4260 Legal				Legal Services- General/ Sept 2024					
	11910 Total:	1,664.24							
	Drendel & Jansons Law Gr	6,410.14							
Duke & Lee's Johnson's Garage & Towing, Inc.									
045190									
083109	11/20/2024	1,418.22	0.00	12/16/2024				No	0
01-445-4511 Vehicle Repair and Maint				Brake Repair- Truck #180					
	083109 Total:	1,418.22							
	Duke & Lee's Johnson's Ga	1,418.22							
Eaton Corporation									
042220									
64821001	7/24/2024	2,273.00	0.00	12/16/2024				No	0
60-445-4565 Water Well Rpr & Mtce				VFD Troubleshooting- Well #4					
	64821001 Total:	2,273.00							
	Eaton Corporation Total:	2,273.00							
Feece Oil									
031060									
4126077	11/13/2024	115.83	0.00	12/16/2024				No	0
01-445-4440 Gas & Oil				Generator Fuel- VH					
	4126077 Total:	115.83							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
4126078	11/13/2024	292.12	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Generator Fuel- WTP					
	4126078 Total:	292.12							
4126079	11/13/2024	561.19	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Generator Fuel- ETP					
	4126079 Total:	561.19							
4126080	11/13/2024	268.61	0.00	12/16/2024				No	0
01-445-4440 Gas & Oil				Generator Fuel- PD					
	4126080 Total:	268.61							
4128292	11/19/2024	2,837.87	0.00	12/16/2024				No	0
71-000-1340 Gas/Diesel Escrow				Diesel Fuel					
	4128292 Total:	2,837.87							
4128303	11/19/2024	2,933.43	0.00	12/16/2024				No	0
71-000-1340 Gas/Diesel Escrow				Mid-Grade Fuel					
	4128303 Total:	2,933.43							
	Feece Oil Total:	7,009.05							
Fleet Safety Supply									
024730									
84082	11/22/2024	6,096.25	0.00	12/16/2024				No	0
71-430-4870 Equipment				Truck Outfitting					
	84082 Total:	6,096.25							
	Fleet Safety Supply Total:	6,096.25							
Fox Valley West Properties									
049560									
12062024	12/6/2024	864.69	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
91-000-2237 Sewer Recapture				Sewer Recapture- 3 Permits Issued Thru Dec 2024					
	12062024 Total:	864.69							
	Fox Valley West Properties	864.69							
Frank Marshall Electric 028510									
92230	11/8/2024	5,470.50	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Cabinet Door Replacement- TPs					
	92230 Total:	5,470.50							
92254	11/22/2024	2,588.00	0.00	12/16/2024				No	0
60-445-4565 Water Well Rpr & Mtce				Preventative Maintenance- Well #5,6,7,8,9					
	92254 Total:	2,588.00							
92259	11/27/2024	447.00	0.00	12/16/2024				No	0
17-007-4533 Maintenance				Monument Lights Repair					
	92259 Total:	447.00							
	Frank Marshall Electric To	8,505.50							
Fulton Siren Services 467664									
2809	11/18/2024	837.63	0.00	12/16/2024				No	0
01-445-4520 Public Buildings Rpr & Mtce				Siren Battery Repair					
	2809 Total:	837.63							
	Fulton Siren Services Total	837.63							
Gerald Ford 467768									
6076656	10/30/2024	1,363.18	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-440-4511	Vehicle Repair and Maint			Squad Parts					
	6076656 Total:	1,363.18							
	Gerald Ford Total:	1,363.18							
Global Water Technology, Inc.									
467862									
133823	11/15/2024	226.90	0.00	12/16/2024				No	0
01-445-4520	Public Buildings Rpr & Mtce			Monthly Water Testing- VH, PD					
	133823 Total:	226.90							
	Global Water Technology, I	226.90							
Hach Company									
014100									
14247158	11/4/2024	315.16	0.00	12/16/2024				No	0
60-445-4562	Testing (water)			Chem Keys					
	14247158 Total:	315.16							
14251472	11/6/2024	639.20	0.00	12/16/2024				No	0
60-445-4562	Testing (water)			Chem Keys					
	14251472 Total:	639.20							
14259038	11/14/2024	187.40	0.00	12/16/2024				No	0
60-445-4562	Testing (water)			Chem Keys					
	14259038 Total:	187.40							
	Hach Company Total:	1,141.76							
Heartland Business Systems, LLC									
468486									
744455-H	11/13/2024	5,317.67	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-430-4513	Software Maintenance			Network Equipment Annual Maintenance					
	744455-H Total:	5,317.67							
747893-H	11/20/2024	1,245.65	0.00	12/16/2024				No	0
01-430-4513	Software Maintenance			Microsoft SharePoint					
	747893-H Total:	1,245.65							
	Heartland Business System	6,563.32							
Henderson Products, Inc.									
044440									
409561	11/20/2024	2,151.30	0.00	12/16/2024				No	0
01-445-4510	Equipment/IT Maint			Snowplow Mount Kit					
	409561 Total:	2,151.30							
	Henderson Products, Inc. T	2,151.30							
Hey and Associates, Inc.									
040900									
23-0389-19468	12/6/2024	775.00	0.00	12/16/2024				No	0
17-032-4533	Maintenance			Vegetation Management Towne Center					
	23-0389-19468 Total:	775.00							
	Hey and Associates, Inc. T	775.00							
High Star Traffic									
021520									
9309	11/4/2024	149.30	0.00	12/16/2024				No	0
60-445-4565	Water Well Rpr & Mtce			Well #6 Sign					
	9309 Total:	149.30							
9488	11/11/2024	280.85	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number			Description		Reference				
60-445-4567	Treatment Plant Repair/Maint				Signage				
	9488 Total:	280.85							
	High Star Traffic Total:	430.15							
Homer Tree Care, Inc. 467615									
59189	11/25/2024	1,850.00	0.00	12/16/2024				No	0
01-445-4532	Tree Service				Tree Removal- 14 Juniper				
	59189 Total:	1,850.00							
	Homer Tree Care, Inc. Tota	1,850.00							
ILLCO Inc. 040110									
143772	11/1/2024	163.16	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint				Filters & Fitting				
	143772 Total:	163.16							
	ILLCO Inc. Total:	163.16							
JSN Contractors Supply 041440									
87452	11/5/2024	163.80	0.00	12/16/2024				No	0
60-445-4568	Watermain Rprs. & Rplcmnts.				Blue Marking Pait				
	87452 Total:	163.80							
	JSN Contractors Supply T	163.80							

Kimball Midwest
467916

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
102816340	11/20/2024	570.65	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Truck Parts					
	102816340 Total:	570.65							
102817302	11/20/2024	415.00	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Hoses					
	102817302 Total:	415.00							
102819834	11/20/2024	253.40	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Washers, Screws, Nuts					
	102819834 Total:	253.40							
	Kimball Midwest Total:	1,239.05							
Kirhofer's Sports									
033380									
58622	10/30/2024	537.00	0.00	12/16/2024				No	0
01-410-4799 Misc. Expenditures				NA Clothing Order					
	58622 Total:	537.00							
58622-02	10/30/2024	420.00	0.00	12/16/2024				No	0
01-430-4799 Misc.				NA Clothing Order					
	58622-02 Total:	420.00							
58622-03	10/30/2024	389.00	0.00	12/16/2024				No	0
01-445-4799 Misc. Expenditures				NA Clothing Order					
	58622-03 Total:	389.00							
58622-04	10/30/2024	328.00	0.00	12/16/2024				No	0
01-435-4799 Misc.				NA Clothing Order					
	58622-04 Total:	328.00							
58622-05	10/30/2024	360.00	0.00	12/16/2024				No	0
01-441-4160 Uniform Allowance				NA Clothing Order					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	58622-05 Total:	360.00							
	Kirhofer's Sports Total:	2,034.00							
Konica Minolta									
024860									
9009995996	6/28/2024	50.72	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Copier Maintenance- PW Garage 6/28/24 - 7/19/24					
	9009995996 Total:	50.72							
9010030996	7/20/2024	26.58	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Copier Maintenance- PW Garage 7/20/24 - 8/19/24					
	9010030996 Total:	26.58							
9010075231	8/20/2024	71.15	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Copier Maintenance- PW Garage 8/20/24 - 9/19/24					
	9010075231 Total:	71.15							
9010160201	10/20/2024	71.15	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Copier Maintenance- PW Garage 12/20/24 - 11/19/24					
	9010160201 Total:	71.15							
9010203722	11/20/2024	71.15	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Copier Maintenance- PW Garage 11/20/24 - 12/19/24					
	9010203722 Total:	71.15							
	Konica Minolta Total:	290.75							
Kramer Tree Specialists, Inc									
038300									
20579	11/15/2024	900.00	0.00	12/16/2024				No	0
01-445-4532 Tree Service				Tree Removal- 544 Hammer					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	20579 Total:	900.00							
	Kramer Tree Specialists, In	900.00							
Lauterbach & Amen, LLP 467663									
98204	11/23/2024	6,230.00	0.00	12/16/2024				No	0
01-435-4265 Audit Services				FY24 Audit					
	98204 Total:	6,230.00							
98204-02	11/23/2024	1,025.00	0.00	12/16/2024				No	0
12-438-4265 Audit Services				FY24 TIF Audit					
	98204-02 Total:	1,025.00							
98204-03	11/23/2024	1,025.00	0.00	12/16/2024				No	0
19-438-4265 Audit Services				FY24 TIF Audit					
	98204-03 Total:	1,025.00							
	Lauterbach & Amen, LLP T	8,280.00							
LionHeart Critical Power Specialists Inc. 468857									
64241	10/31/2024	2,876.43	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Troubleshoot Generator- WTP					
	64241 Total:	2,876.43							
64363	11/7/2024	2,349.00	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Generator Cleaning & Gauge Replacement- WTP					
	64363 Total:	2,349.00							
	LionHeart Critical Power S	5,225.43							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
LTM Water Treatment Inc									
468097									
2846	11/7/2024	155.00	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint			Water Softener Service- ETP					
	2846 Total:	155.00							
2847	11/7/2024	160.98	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint			Water Softener Service- WTP					
	2847 Total:	160.98							
	LTM Water Treatment Inc	315.98							
Menards									
016070									
38648	11/4/2024	8.30	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint			Moth Balls					
	38648 Total:	8.30							
38741	11/6/2024	36.98	0.00	12/16/2024				No	0
60-445-4423	Tools			Rachet					
	38741 Total:	36.98							
38741-02	11/6/2024	2.24	0.00	12/16/2024				No	0
60-445-4423	Tools			Air Vent- Well #6					
	38741-02 Total:	2.24							
38741-03	11/6/2024	86.76	0.00	12/16/2024				No	0
60-445-4569	Water Tower Rpr & Mtce			Step Repair- East Tower					
	38741-03 Total:	86.76							
39201	11/14/2024	143.55	0.00	12/16/2024				No	0
01-445-4510	Equipment/IT Maint			Air Compressor Repair					
	39201 Total:	143.55							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
39270	11/15/2024	99.18	0.00	12/16/2024				No	0
01-445-4421				Garbage Bags, Paper Towels, Sponge					
	39270 Total:	99.18							
39287	11/15/2024	59.87	0.00	12/16/2024				No	0
01-490-4759				Zip Ties, Electrical Tape					
	39287 Total:	59.87							
39500	11/19/2024	18.12	0.00	12/16/2024				No	0
60-445-4565				Sample House- Well #6					
	39500 Total:	18.12							
39500-02	11/19/2024	4.58	0.00	12/16/2024				No	0
60-445-4423				Pin For WM Valve Wrench					
	39500-02 Total:	4.58							
39730	11/23/2024	589.58	0.00	12/16/2024				No	0
01-490-4759				Christmas Lights, Extension Cords					
	39730 Total:	589.58							
39837	11/25/2024	25.92	0.00	12/16/2024				No	0
60-445-4562				Sample Supplies					
	39837 Total:	25.92							
39837-02	11/25/2024	105.93	0.00	12/16/2024				No	0
60-445-4567				Bleach Pump					
	39837-02 Total:	105.93							
	Menards Total:	1,181.01							
Michael Brackett 005890									
12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016				Plan/ Zoning Commission Meeting 12/3/24					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	12032024 Total:	50.00							
	Michael Brackett Total:	50.00							
Michels Plumbing, Inc.									
468196									
66775	7/25/2024	2,073.00	0.00	12/16/2024				No	0
60-466-4875	Capital Improvements			RPZ Install, Plumbing New CL-18					
	66775 Total:	2,073.00							
66775-02	7/25/2024	2,073.00	0.00	12/16/2024				No	0
60-467-4875	Capital Improvements			RPZ Install, Plumbing New CL-18					
	66775-02 Total:	2,073.00							
66822	7/30/2024	309.05	0.00	12/16/2024				No	0
60-445-4567	Treatment Plant Repair/Maint			Tested & Repair RPZ & Faucet					
	66822 Total:	309.05							
	Michels Plumbing, Inc. Tot	4,455.05							
Mid American Water									
013680									
240445A	10/16/2024	48.24	0.00	12/16/2024				No	0
60-445-4568	Watermain Rprs. & Rplcmts.			Copper Discs					
	240445A Total:	48.24							
241395A	11/4/2024	124.00	0.00	12/16/2024				No	0
60-445-4423	Tools			Hydrant Wrench					
	241395A Total:	124.00							
	Mid American Water Total:	172.24							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
MOSCA Design, Inc 468884 41967	12/2/2024	2,737.24	0.00	12/16/2024				No	0
01-490-4759 Community Events				Christmas Lights					
41967 Total:		2,737.24							
MOSCA Design, Inc Total:		2,737.24							
North Aurora NAPA, Inc. 038730 478260	11/12/2024	350.42	0.00	12/16/2024				No	0
01-445-4511 Vehicle Repair and Maint				Air Chamber, Slack Adj					
478260 Total:		350.42							
478852	11/21/2024	379.00	0.00	12/16/2024				No	0
01-445-4511 Vehicle Repair and Maint				Batteries (2)					
478852 Total:		379.00							
478868	11/21/2024	93.11	0.00	12/16/2024				No	0
01-445-4511 Vehicle Repair and Maint				Truck Repair- 2000 Ford					
478868 Total:		93.11							
478908	11/21/2024	6.75	0.00	12/16/2024				No	0
01-445-4511 Vehicle Repair and Maint				Connector For Trailer					
478908 Total:		6.75							
North Aurora NAPA, Inc. T		829.28							
North East Multi-Regional Training, Inc. 001520 365557	11/7/2024	200.00	0.00	12/16/2024				No	0
01-440-4380 Training				Training Class/ Smolik-Valles					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	365557 Total:	200.00							
	North East Multi-Regional	200.00							
Office Depot 039370									
392956171001	11/8/2024	590.98	0.00	12/16/2024				No	0
01-435-4870 Equipment				Office Chair- Werner, Mahon					
	392956171001 Total:	590.98							
392973441001	11/8/2024	295.49	0.00	12/16/2024				No	0
01-435-4870 Equipment				Office Chair- Toth					
	392973441001 Total:	295.49							
393370577001	11/1/2024	299.99	0.00	12/16/2024				No	0
01-435-4870 Equipment				Office Chair- Blaser					
	393370577001 Total:	299.99							
393370577001-02	11/1/2024	2.19	0.00	12/16/2024				No	0
01-430-4411 Office Expenses				Office Supplies					
	393370577001-02 Total:	2.19							
393370577001-03	11/1/2024	2.19	0.00	12/16/2024				No	0
01-445-4411 Office Expenses				Office Supplies					
	393370577001-03 Total:	2.19							
393370577001-04	11/1/2024	2.19	0.00	12/16/2024				No	0
60-445-4411 Office Expenses				Office Supplies					
	393370577001-04 Total:	2.19							
393370577001-05	11/1/2024	2.19	0.00	12/16/2024				No	0
01-440-4411 Office Expenses				Office Supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
		393370577001-05 Total:		2.19					
394827176001	11/5/2024	37.63	0.00	12/16/2024				No	0
01-430-4411				Office Expenses		Office Supplies			
		394827176001 Total:		37.63					
394827176001-02	11/5/2024	37.62	0.00	12/16/2024				No	0
01-445-4411				Office Expenses		Office Supplies			
		394827176001-02 Total:		37.62					
394827176001-03	11/5/2024	37.62	0.00	12/16/2024				No	0
60-445-4411				Office Expenses		Office Supplies			
		394827176001-03 Total:		37.62					
394827176001-04	11/5/2024	37.62	0.00	12/16/2024				No	0
01-441-4411				Office Expenses		Office Supplies			
		394827176001-04 Total:		37.62					
		Office Depot Total:		1,345.71					
Paddock Publications, Inc.									
026910									
310882	10/28/2024	358.80	0.00	12/16/2024				No	0
90-000-E298				Gas N Wash 230 S Lincolnway		Public Notice			
		310882 Total:		358.80					
310882-02	10/28/2024	112.70	0.00	12/16/2024				No	0
90-000-E299				Towne Centre Senior Apartments		Public Notice			
		310882-02 Total:		112.70					
		Paddock Publications, Inc.		471.50					

Petty Cash, Joe DeLeo

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
007570									
08202024	8/20/2024	8.62	0.00	12/16/2024				No	0
01-440-4411 Office Expenses				Office Supplies					
	08202024 Total:	8.62							
08252024	8/25/2024	72.65	0.00	12/16/2024				No	0
01-440-4380 Training				Joint NAPD/ NAFD Training					
	08252024 Total:	72.65							
09232024	9/23/2024	6.39	0.00	12/16/2024				No	0
01-440-4450 Prisoner Mtce & Supplies				Prisoner Supplies					
	09232024 Total:	6.39							
10082024	10/8/2024	233.02	0.00	12/16/2024				No	0
01-440-4799 Misc.				Miscellaneous Supplies					
	10082024 Total:	233.02							
10282024	10/28/2024	20.40	0.00	12/16/2024				No	0
01-440-4460 Comfort Dog Supplies				Nail Trim- Zelda					
	10282024 Total:	20.40							
	Petty Cash, Joe DeLeo Tot	341.08							
ProFlow Pumping Solutions									
039420									
INV30328	11/14/2024	1,960.06	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Hypo Skid Gages					
	INV30328 Total:	1,960.06							
INV30423	11/18/2024	1,483.01	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Hypo Check Valves					
	INV30423 Total:	1,483.01							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
		3,443.07							
ProFlow Pumping Solution									
R. J. O'Neil, Inc. 029370									
00125582	11/13/2024	985.00	0.00	12/16/2024				No	0
01-445-4520 Public Buildings Rpr & Mtce				HVAC Repair- PD					
		985.00							
00125582 Total:		985.00							
		985.00							
R. J. O'Neil, Inc. Total:		985.00							
Richard Newell 468236									
12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 12/3/24					
		50.00							
12032024 Total:		50.00							
		50.00							
Richard Newell Total:		50.00							
Ryan Herco Products, Corp. 044700									
B338888	11/4/2024	684.00	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Valves For MIOX					
		684.00							
B338888 Total:		684.00							
		684.00							
Ryan Herco Products, Corp		684.00							
Scott Branson 468155									
12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 12/3/24					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	12032024 Total:	50.00							
	Scott Branson Total:	50.00							
Sebert Landscaping 032840									
283841	11/30/2024	1,207.00	0.00	12/16/2024				No	0
17-004-4533 Maintenance				Mowing- SSA4					
	283841 Total:	1,207.00							
283841-02	11/30/2024	1,115.00	0.00	12/16/2024				No	0
17-008-4533 Maintenance				Mowing- SSA8					
	283841-02 Total:	1,115.00							
283841-03	11/30/2024	381.00	0.00	12/16/2024				No	0
17-009-4533 Maintenance				Mowing- SSA9					
	283841-03 Total:	381.00							
283841-04	11/30/2024	63.00	0.00	12/16/2024				No	0
17-011-4533 Maintenance				Mowing- SSA11					
	283841-04 Total:	63.00							
283841-05	11/30/2024	4,142.00	0.00	12/16/2024				No	0
01-445-4531 Grass Cutting				Public Mowing					
	283841-05 Total:	4,142.00							
	Sebert Landscaping Total:	6,908.00							
Signarama 029780									
INV-20932	11/19/2024	257.40	0.00	12/16/2024				No	0
01-445-4530 Public Grounds/Parks Maint				Pond Restoration- Oak Hill					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	INV-20932 Total:	257.40							
INV-20951	12/2/2024	240.00	0.00	12/16/2024				No	0
01-490-4759	Community Events			Signs For Christmas Tree Sponsorship					
	INV-20951 Total:	240.00							
	Signarama Total:	497.40							
Smoke Tree Business Park									
468538									
12102024	12/10/2024	9.87	0.00	12/16/2024				No	0
60-320-3340	Water Collections			Water Credit Refund- 346 Smoke Tree					
	12102024 Total:	9.87							
	Smoke Tree Business Park	9.87							
Speer Financial, Inc.									
011710									
d11/24-44	12/5/2024	500.00	0.00	12/16/2024				No	0
01-430-4267	Finance Services			2024 Debt Disclosure					
	d11/24-44 Total:	500.00							
	Speer Financial, Inc. Total:	500.00							
Standard Equipment Company									
036350									
P00739	12/14/2024	60.70	0.00	12/16/2024				No	0
18-445-4510	Equipment/IT Maint			Water Lance					
	P00739 Total:	60.70							
P00890	11/20/2024	954.64	0.00	12/16/2024				No	0
18-445-4510	Equipment/IT Maint			Repair Parts- Sewer Truck					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	P00890 Total:	954.64							
	Standard Equipment Comp	1,015.34							
Testing Service Corporaton									
014450									
IN132583	10/31/2024	2,334.00	0.00	12/16/2024				No	0
24-452-4875 Capital Improvements				Material Testing- PW Facility					
	IN132583 Total:	2,334.00							
	Testing Service Corporaton	2,334.00							
The Fields on Caton Farm, Inc									
468516									
4641	11/22/2024	34,220.00	0.00	12/16/2024				No	0
01-445-4532 Tree Service				Tree Replacements (100)					
	4641 Total:	34,220.00							
	The Fields on Caton Farm,	34,220.00							
Therma-Stor, LLC									
036270									
3182046 RI	11/11/2024	1,227.91	0.00	12/16/2024				No	0
60-445-4567 Treatment Plant Repair/Maint				Dehumidifier Blower					
	3182046 RI Total:	1,227.91							
	Therma-Stor, LLC Total:	1,227.91							
Third Millennium Assoc. , Inc.									
033470									
32176	11/26/2024	582.58	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
60-445-4507 Printing				Late/ Final Bills- Nov 2024					
	32176 Total:	582.58							
	Third Millennium Assoc. ,	582.58							
Thomas Lenkart 032550 12032024	12/3/2024	50.00	0.00	12/16/2024				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 12/3/24					
	12032024 Total:	50.00							
	Thomas Lenkart Total:	50.00							
Tim Kearney 468510 12072024	12/7/2024	750.00	0.00	12/16/2024				No	0
01-490-4759 Community Events				Santa- Making Spirits Brights					
	12072024 Total:	750.00							
	Tim Kearney Total:	750.00							
TRI-R Systems Incorporated 468416 006232	11/26/2024	1,020.00	0.00	12/16/2024				No	0
60-445-4564 SCADA Repair & Maintenance				Service Call- Programing & Well 6 Transducer					
	006232 Total:	1,020.00							
	TRI-R Systems Incorporat	1,020.00							
Uline, Inc 468220									

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
186072213	11/25/2024	619.03	0.00	12/16/2024				No	0
01-445-4421 Custodial Supplies				Custodial Supplies- PD					
	186072213 Total:	619.03							
	Uline, Inc Total:	619.03							
USABlueBook									
035680									
INV00530726	11/1/2024	311.00	0.00	12/16/2024				No	0
60-445-4562 Testing (water)				Chem Keys					
	INV00530726 Total:	311.00							
	USABlueBook Total:	311.00							
Water Products Company									
001170									
0326002	11/5/2024	3,158.25	0.00	12/16/2024				No	0
60-445-4480 New Meters,rprs. & Rplcmts.				1" Dual Checks					
	0326002 Total:	3,158.25							
0326378	11/22/2024	85.00	0.00	12/16/2024				No	0
60-445-4423 Tools				Probe					
	0326378 Total:	85.00							
	Water Products Company T	3,243.25							
Water Resources									
010380									
37688	11/11/2024	2,811.00	0.00	12/16/2024				No	0
60-445-4480 New Meters,rprs. & Rplcmts.				3" Meter & Flange Kit					
	37688 Total:	2,811.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
37693	11/11/2024	9,159.25	0.00	12/16/2024				No	0
60-445-4513				Meter Reader Annual Maintenance Subscription					
	37693 Total:	9,159.25							
	Water Resources Total:	11,970.25							
Water Services									
005990									
39282	11/7/2024	350.00	0.00	12/16/2024				No	0
60-445-4568				Leak Detection- 106 Hickory					
	39282 Total:	350.00							
	Water Services Total:	350.00							
WBK Engineering, LLC									
467655									
26018	9/12/2024	625.00	0.00	12/16/2024				No	0
01-441-4255				Plan Review- 573 Quail Str					
	26018 Total:	625.00							
26019	9/12/2024	625.00	0.00	12/16/2024				No	0
01-441-4255				Plan Review- 2148 Bartram Rd					
	26019 Total:	625.00							
26020	9/12/2024	625.00	0.00	12/16/2024				No	0
01-441-4255				Plan Review- 410 Mallard Point Dr					
	26020 Total:	625.00							
26021	9/12/2024	625.00	0.00	12/16/2024				No	0
01-441-4255				Plan Review- 541 Quail St					
	26021 Total:	625.00							
26022	9/12/2024	625.00	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-441-4255 Engineering				Plan Review- 1015 Churchill Dr					
	26022 Total:	625.00							
26023	9/12/2024	578.74	0.00	12/16/2024				No	0
01-441-4255 Engineering				Engineering Consult					
	26023 Total:	578.74							
26024	9/12/2024	807.21	0.00	12/16/2024				No	0
90-000-E279 ESI Constructors - Aurora Pack				Site Inspection- Aurora Packing					
	26024 Total:	807.21							
26025	9/12/2024	14,721.82	0.00	12/16/2024				No	0
90-000-E110 NW Corner Randall & Oak(Lot 6)				Site Inspection- Randall Square					
	26025 Total:	14,721.82							
26026	9/12/2024	743.97	0.00	12/16/2024				No	0
90-000-E274 Randall Terrace LLC - Next Gen				Site Inspection- Randall Terrace					
	26026 Total:	743.97							
26027	9/12/2024	2,136.26	0.00	12/16/2024				No	0
90-000-E288 NA Fire Department				Site Inspection- NA FD Station No. 1					
	26027 Total:	2,136.26							
26028	9/12/2024	12,138.07	0.00	12/16/2024				No	0
90-000-E273 Phelan Development - Park 88				Site Inspection- Park 88 Logistics					
	26028 Total:	12,138.07							
26029	9/12/2024	535.16	0.00	12/16/2024				No	0
90-000-E284 Building C - Opus				Site Inspection- Valley Green Bldg C					
	26029 Total:	535.16							
26030	9/12/2024	282.00	0.00	12/16/2024				No	0
90-000-E287 721 Airport Rd Dock				Site Inspection- BEI Properties Pkg Lot					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
		282.00							
	26030 Total:	282.00							
26031	9/12/2024	637.00	0.00	12/16/2024				No	0
90-000-E232	DR Horton - FV Golf Course			Site Inspection- LV Ph2 & Ph3					
	26031 Total:	637.00							
26032	9/12/2024	3,111.63	0.00	12/16/2024				No	0
90-000-E264	McCue - Mooselakes			Site Inspection- Moose Lake Estates Unit 3					
	26032 Total:	3,111.63							
26033	9/12/2024	2,831.58	0.00	12/16/2024				No	0
90-000-E286	River Front RAM Truck Facility			Site Inspection- River Front Ram					
	26033 Total:	2,831.58							
26034	9/12/2024	4,531.16	0.00	12/16/2024				No	0
90-000-E293	Opus - Euclid Expansion			Site Inspection- Euclid Beverage Bldg Expansion					
	26034 Total:	4,531.16							
26035	9/12/2024	3,004.90	0.00	12/16/2024				No	0
90-000-E296	300 Mitchell Rd - Liberty IL			Site Inspection- 300 Mitchell Road					
	26035 Total:	3,004.90							
26036	9/12/2024	496.69	0.00	12/16/2024				No	0
90-000-E260	200 Poplar Parking Lot			Site Inspection- 200 Poplar Place Bldg Addition					
	26036 Total:	496.69							
26037	9/12/2024	6,021.12	0.00	12/16/2024				No	0
90-000-E270	Seasons at North Aurora			Site Inspection- Seasons					
	26037 Total:	6,021.12							
26209	11/6/2024	625.00	0.00	12/16/2024				No	0
01-441-4255	Engineering			Plan Review- 1799 Breton Ave					
	26209 Total:	625.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
26210	11/6/2024	625.00	0.00	12/16/2024				No	0
01-441-4255 Engineering				Plan Review- 1013 Churchill Dr					
	26210 Total:	625.00							
26211	11/6/2024	625.00	0.00	12/16/2024				No	0
01-441-4255 Engineering				Plan Review- 557 Quail St					
	26211 Total:	625.00							
26212	11/6/2024	625.00	0.00	12/16/2024				No	0
01-441-4255 Engineering				Plan Review- 435 Prairie Ridge Lane					
	26212 Total:	625.00							
26215	11/6/2024	860.74	0.00	12/16/2024				No	0
01-441-4255 Engineering				Engineering Consult					
	26215 Total:	860.74							
26216	11/6/2024	1,201.82	0.00	12/16/2024				No	0
90-000-E279 ESI Constructors - Aurora Pack				Site Inspection- Aurora Packing					
	26216 Total:	1,201.82							
26217	11/6/2024	10,855.62	0.00	12/16/2024				No	0
90-000-E110 NW Corner Randall & Oak(Lot 6)				Site Inspection- Randall Square					
	26217 Total:	10,855.62							
26218	11/6/2024	334.58	0.00	12/16/2024				No	0
90-000-E274 Randall Terrace LLC - Next Gen				Site Inspection- Randall Terrace					
	26218 Total:	334.58							
26219	11/6/2024	231.92	0.00	12/16/2024				No	0
90-000-E275 NICOR Project - Weaver				Site Inspection- Nicor Gas Trans Central Station 238					
	26219 Total:	231.92							
26220	11/6/2024	3,778.63	0.00	12/16/2024				No	0
90-000-E288 NA Fire Department				Site Inspections- NAFD Station No. 1					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	26220 Total:	3,778.63							
26221	11/6/2024	1,685.00	0.00	12/16/2024				No	0
90-000-E273	Phelan Development - Park 88			Site Inspections- Park 88 Logistics					
	26221 Total:	1,685.00							
26222	11/6/2024	873.00	0.00	12/16/2024				No	0
90-000-E284	Building C - Opus			Site Inspection- Valley Green Bldg C					
	26222 Total:	873.00							
26223	11/6/2024	1,524.96	0.00	12/16/2024				No	0
90-000-E250	Opus - Valley Green Project			Site Close Out- Valley Green Redevelopment					
	26223 Total:	1,524.96							
26224	11/6/2024	5,583.06	0.00	12/16/2024				No	0
90-000-E264	McCue - Mooselakes			Site Inspection- Moose Lake Estates Unit 3					
	26224 Total:	5,583.06							
26225	11/6/2024	5,505.47	0.00	12/16/2024				No	0
90-000-E293	Opus - Euclid Expansion			Site Inspection- Euclid Beverage					
	26225 Total:	5,505.47							
26226	11/6/2024	6,549.88	0.00	12/16/2024				No	0
90-000-E296	300 Mitchell Rd - Liberty IL			Site Review & Inspection- 300 Mitchell Rd					
	26226 Total:	6,549.88							
26227	11/6/2024	5,183.00	0.00	12/16/2024				No	0
90-000-E299	Towne Centre Senior Apartments			Site Review- Clover Development					
	26227 Total:	5,183.00							
26228	11/6/2024	1,742.00	0.00	12/16/2024				No	0
90-000-E298	Gas N Wash 230 S Lincolnway			Site Review- Gas N Wash					
	26228 Total:	1,742.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
26229	11/6/2024	969.29	0.00	12/16/2024				No	0
90-000-E142 Fortunato Restaurant				Site Inspection- Fortunato Restaurant					
26229 Total:		969.29							
26230	11/6/2024	1,011.19	0.00	12/16/2024				No	0
90-000-E260 200 Poplar Parking Lot				Site Review & Inspection- 200 Poplar Place					
26230 Total:		1,011.19							
26231	11/6/2024	1,728.29	0.00	12/16/2024				No	0
90-000-E270 Seasons at North Aurora				Site Review & Inspection- Seasons					
26231 Total:		1,728.29							
26260	11/7/2024	2,584.00	0.00	12/16/2024				No	0
19-438-4255 Engineering				Pole Engineering- IL 31& Oak					
26260 Total:		2,584.00							
WBK Engineering, LLC To		110,404.76							
Weblinx Incorporated 031420									
34441	11/3/2024	200.00	0.00	12/16/2024				No	0
01-430-4512 Website Maintenance				Website Maintenance- Nov 2024					
34441 Total:		200.00							
34474	11/21/2024	2,435.00	0.00	12/16/2024				No	0
01-430-4512 Website Maintenance				Annual AccessiBe License & Install					
34474 Total:		2,435.00							
Weblinx Incorporated Total		2,635.00							
Williams Associates Architects, Ltd. 024930									
0022930	11/22/2024	19,160.85	0.00	12/16/2024				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
21-452-4501	Contractual Services			Construction Architect Services- PW Facility					
	0022930 Total:	19,160.85							
	Williams Associates Archit	19,160.85							
	Report Total:	371,916.34							



Memorandum

To: Mark Gaffino, Village President & Board of Trustees
CC: Steve Bosco, Village Administrator
From: Adam Hake, Water Superintendent
Cory Kennedy, Lead Water Operator
Date: December 16, 2024
Re: Water Reagents Pick and Ship Program

The Public Works Department's Water Division utilizes chemical reagents and other necessary consumable lab testing supplies throughout the year. These supplies are utilized for monitoring water quality in the distribution system, as well as water production and process control. The testing equipment that the Water division utilizes is manufactured by the Hach Company. This past calendar year, the Water Division utilized Hach's "Pick and Ship" program. Normally, purchases of supplies like these would be done throughout the year; however utilizing this program allows the Village to lock in pricing for a 12 month period and automatically ships predetermined orders each month, which streamlines the Water Division's process for maintaining stock of these necessary consumable laboratory products.

Water Division Staff have analyzed our quantities over the past year to project the amount needed for the next calendar year. Supply projections have increased due to the Village's Nitrification Action Plan. During this past year, in order to comply with IEPA requirements, the Water Division has launched a Nitrification Action Program to monitor water quality throughout the water system. Additional items may also need to be purchased throughout the year, depending on variations in sampling demands.

The quote covers projected materials with 12 monthly shipments throughout the year. Quantities of items *included* in the quote *can* be adjusted if more are needed and still maintain the quoted cost per unit. Invoices are sent when items ship.

This fiscal year, \$20,000 was budgeted for Nitrification Action Plan Sampling, and an additional \$15,000 was budgeted for other testing reagents. Hach has provided a quoted price of \$34,465.01 for the projected reagent materials (shipping costs will be added with each monthly shipment). The quote is attached for your review. We are requesting approval to move forward with this program, and authorize a Purchase Order with the Hach Company.



Be Right™

Pick & Ship Quotation

Quote Number: 101122707v2
Use quote number at time of order to ensure that you receive prices quoted

Hach
PO Box 608
Loveland, CO 80539-0608
Phone: (800) 227-4224
Email: quotes@hach.com
Website: www.hach.com

Quote Date: 06-Dec-2024

Quote Expiration: 04-Feb-2025

VILLAGE OF NORTH AURORA
25 E STATE ST
NORTH AURORA, IL 60542-1668

Name: cory kennedy
Phone: (331) 758-4149
Email: ckennedy@northaurora.org

Customer Account Number : 218242
Customer Quote Reference: Pick & Ship Quotation

Sales Contact: Mike Johnson Email: michael.johnson@hach.com Phone: 847-917-4365

PRICING QUOTATION

Line	Part Number	Description	Qty	Unit Price	Extended Price
Shipment 1					
1	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
2	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
3	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
4	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
5	203832	Sulfuric Acid Standard Solution, 19.2 N, 100 mL MDB. Standard lead time 3 days.	2	35.89	71.78
6	102233	Magnesium Sulfate Standard, 29 mL, for Calcium Titration and Hardness Monitor, 10,000 mg/L as CaCO ₃ , for SP510. Standard lead time 3 days.	2	34.85	69.70
7	102133	0.100 M TitraVer Titrant, 29 mL. Standard lead time 3 days.	2	21.85	43.70
8	96299	UniVer 3 Hardness Reagent Powder Pillows, pk/100. Standard lead time 3 days.	2	29.69	59.38

Line	Part Number	Description	Qty	Unit Price	Extended Price
9	42632	Hardness 3 Solution, 100 mL MDB. Standard lead time 3 days.	2	14.75	29.50
10	1406428	DPD Total Chlorine Reagent Powder Pillows, 25 mL, pk/1000. Standard lead time 3 days.	2	308.00	616.00
11	2105628	DPD Total Chlorine Reagent Powder Pillows, 10 mL, pk/1000. Standard lead time 3 days.	6	266.00	1,596.00
12	2105528	DPD Free Chlorine Reagent Powder Pillows, 10 mL, pk/1000. Standard lead time 3 days.	2	246.00	492.00
13	2507200	Buffer Solution Kit, Color-coded, pH 4.01, pH 7.00 and pH 10.01, 4L. Standard lead time 3 days.	2	152.00	304.00
14	S21M001	Filling Solution, Reference, KCl Crystals (KCl.C), 15 g. Standard lead time 15 days.	2	23.75	47.50
15	2106169	NitraVer® 5 Nitrate Reagent Powder Pillows, 10 mL, pk/100. Standard lead time 3 days.	3	70.35	211.05
16	9429300	Nitrite Chemkey® Reagents. Standard lead time 3 days.	3	57.45	172.35
17	2225153	Hardness indicator solution for HACH SP510, 1l, 5-100 mg/l. Standard lead time 3 days.	2	63.99	127.98
18	2224753	Hardness buffer solution for HACH SP510, 1l, 20 mg/l. Standard lead time 15 days.	2	96.75	193.50
19	2105769	FerroVer® Iron Reagent Powder Pillows, 10 mL, pk/100. Standard lead time 3 days.	2	37.59	75.18
20	1222256	Buffer Solution, pH 7.00, 4 L. Standard lead time 3 days.	2	73.55	147.10
21	2651700	Manganese Reagent Set, LR, PAN, 10 mL. Standard lead time 3 days.	3	90.75	272.25
				Subtotal	\$ 6,776.55
Shipment 2					
22	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
23	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
24	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
25	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 3					
26	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
27	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
28	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
29	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 4					
30	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
31	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
32	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
33	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
34	9429300	Nitrite Chemkey® Reagents. Standard lead time 3 days.	3	57.45	172.35
35	2225153	Hardness indicator solution for HACH SP510, 1l, 5-100 mg/l. Standard lead time 3 days.	2	63.99	127.98
36	2224753	Hardness buffer solution for HACH SP510, 1l, 20 mg/l. Standard lead time 15 days.	2	96.75	193.50
37	2105769	FerroVer® Iron Reagent Powder Pillows, 10 mL, pk/100. Standard lead time 3 days.	2	37.59	75.18
38	1222256	Buffer Solution, pH 7.00, 4 L. Standard lead time 3 days.	2	73.55	147.10
39	2651700	Manganese Reagent Set, LR, PAN, 10 mL. Standard lead time 3 days.	3	90.75	272.25
				Subtotal	\$ 3,235.94
Shipment 5					
40	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
41	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
42	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
43	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30

Line	Part Number	Description	Qty	Unit Price	Extended Price
				Subtotal	\$ 2,247.58
Shipment 6					
44	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
45	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
46	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
47	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 7					
48	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
49	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
50	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
51	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
52	9429300	Nitrite Chemkey® Reagents. Standard lead time 3 days.	3	57.45	172.35
53	2225153	Hardness indicator solution for HACH SP510, 1l, 5-100 mg/l. Standard lead time 3 days.	2	63.99	127.98
54	2224753	Hardness buffer solution for HACH SP510, 1l, 20 mg/l. Standard lead time 15 days.	2	96.75	193.50
55	2105769	FerroVer® Iron Reagent Powder Pillows, 10 mL, pk/100. Standard lead time 3 days.	2	37.59	75.18
56	1222256	Buffer Solution, pH 7.00, 4 L. Standard lead time 3 days.	2	73.55	147.10
57	2651700	Manganese Reagent Set, LR, PAN, 10 mL. Standard lead time 3 days.	3	90.75	272.25
				Subtotal	\$ 3,235.94
Shipment 8					
58	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
59	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
60	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
61	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 9					
62	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
63	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
64	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
65	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 10					
66	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
67	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
68	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
69	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
70	9429300	Nitrite Chemkey® Reagents. Standard lead time 3 days.	3	57.45	172.35
71	2225153	Hardness indicator solution for HACH SP510, 1l, 5-100 mg/l. Standard lead time 3 days.	2	63.99	127.98
72	2224753	Hardness buffer solution for HACH SP510, 1l, 20 mg/l. Standard lead time 15 days.	2	96.75	193.50
73	2105769	FerroVer® Iron Reagent Powder Pillows, 10 mL, pk/100. Standard lead time 3 days.	2	37.59	75.18
74	1222256	Buffer Solution, pH 7.00, 4 L. Standard lead time 3 days.	2	73.55	147.10
75	2651700	Manganese Reagent Set, LR, PAN, 10 mL. Standard lead time 3 days.	3	90.75	272.25
				Subtotal	\$ 3,235.94
Shipment 11					

Line	Part Number	Description	Qty	Unit Price	Extended Price
76	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
77	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
78	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
79	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
				Subtotal	\$ 2,247.58
Shipment 12					
80	8791900	Ammonia, Free & Total, and Monochloramine Chemkey® Reagents (box of 25 each)	6	311.00	1,866.00
81	2756549	pH Electrode Storage Solution, 500 mL. Standard lead time 3 days.	2	57.79	115.58
82	2557000	Total Chlorine Reagent Set for chlorine analyzer CL17/CL17sc. Standard lead time 3 days.	2	76.35	152.70
83	2965249	Electrode Cleaning Solution for Regular Maintenance, 500 mL. Standard lead time 3 days.	2	56.65	113.30
		Shipping and handling is charged on a per shipment basis. Please reference the freight table.			
				Subtotal	\$ 2,247.58
				Grand Total	\$ 34,465.01

TERMS OF SALE

Freight: Ground Prepay and Add

FCA: Hach's facility

ALL LEAD TIMES ARE ESTIMATED AND NOT GUARANTEED.

All purchases of Hach Company products and/or services are expressly and without limitation subject to Hach Company's Terms & Conditions of Sale ("Hach TCS"), incorporated herein by reference and published on Hach Company's website at www.hach.com/terms. Hach TCS are contained directly and/or by reference in Hach's offer, order acknowledgment, and invoice documents. The first of the following acts constitutes an acceptance of Hach's offer and not a counteroffer and creates a contract of sale "Contract" in accordance with the Hach TCS: (i) Buyer's issuance of a purchase order document against Hach's offer; (ii) acknowledgement of Buyer's order by Hach; or (iii) commencement of any performance by Hach pursuant to Buyer's order. Provisions contained in Buyer's purchase documents (including electronic commerce interfaces) that materially alter, add to or subtract

from the provisions of the Hach TCS are not part of the Contract.

Due to International regulations, a U.S. Department of Commerce Export License may be required. Hach reserves the right to approve specific shipping agents. Wooden boxes suitable for ocean shipment are extra. Specify final destination to ensure proper documentation and packing suitable for International transport. In addition, Hach may require : 1). A statement of intended end-use; 2). Certification that the intended end-use does not relate to proliferation of weapons of mass destruction (prohibited nuclear end use, chemical / biological weapons, missile technology); and 3). Certification that the goods will not be diverted contrary to U.S. and/or applicable laws in force in Buyer's jurisdiction.

ORDER TERMS:

Terms are Subject to Credit Review

In order for Hach to process the order as quickly as possible, please provide the following information.

- Complete Billing address.
- Complete Shipping address.
- Part numbers and quantities of items being ordered.
- Please reference the quotation number on your purchase order

If the order is over \$25,000 Hach will also require the following additional information.

- Pricing
- Purchase Order Number
- Freight terms and INCO term FOB Origin or FCA Shipping Point
- Required delivery date
- Vendor name should specify "Hach Company" with the Loveland address:
 - o Hach, PO Box 389, Loveland, CO 80539
- Credit terms of payment. Default payment terms are Net 30.
- Indicate if order needs to ship complete or if it can ship partial.
- Tax status
- Special invoicing instructions

Sales tax is not included on quote. Applicable sales tax will be added to the invoice based on the U.S. destination, if applicable provide a resale/exemption certificate.

Shipments will be prepaid and added to invoices unless otherwise specified.

Equipment quoted operates with standard U.S. supply voltage.

Hach standard terms and conditions apply to all sales.

Additional terms and conditions apply to orders for service partnerships.

Prices do not include delivery of product. Reference attached Freight Charge Schedule and Collect Handling Fees.

This Quote is good for a one time purchase

Virtual and/or on-site training must be scheduled/completed within 30 days of order, or the price will be subject to change.

Sales Contact:

Name: Mike Johnson
Title: Regional Sales Manager

Phone: 847-917-4365
Email: michael.johnson@hach.com



HACH COMPANY

Headquarters
 P.O. Box 389
 5600 Lindbergh Drive
 Loveland, CO 80539-0389

Purchase Orders
 PO Box 608
 Loveland, CO 80539-0608

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U.S.A.
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 Fax: 970-669-2932
 E-Mail: orders@hach.com
 quotes@hach.com
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Export
 Phone: 970-669-3050
 Fax: 970-461-3939
 Email: intl@hach.com

Remittance
 2207 Collections Center Drive
 Chicago, IL 60693

Wire Transfers
 Bank of America
 231 S. LaSalle St.
 Chicago, IL 60604
 Account: 8765602385
 Routing (ABA): 071000039

Quotation Addendum

ADVANTAGES OF WORKING WITH HACH

Hach Service	Pick&Ship™	Technical Support
<p><i>Protect your investment & peace of mind</i></p> <ul style="list-style-type: none"> ✓ A global partner who understands your needs ✓ Delivers timely, high-quality service you can trust ✓ Provides team of unique experts to help you maximize instrument uptime ✓ Ensure data integrity ✓ Maintain operational stability ✓ Reduce compliance risk <p>www.hach.com/service-contracts</p>	<p><i>Pick&Ship™ Program offers a better way to keep your supplies in stock</i></p> <ul style="list-style-type: none"> ✓ Convenience of one purchase order for the entire year ✓ Flexibility to change, cancel or create new orders ✓ Savings from locking in prices & thus avoiding price surges and rush charges ✓ Peace of mind with automatic, reliable shipments just as you need them <p>www.Hach.com/pickandship</p>	<p><i>Provides post-sale instrumentation and application support</i></p> <ul style="list-style-type: none"> ✓ Hach's highly skilled Technical Support staff is dedicated to helping you resolve technical issues before, during and after the sale. ✓ Available via phone, e-mail, or live online chat at Hach.com! ✓ Fast access to answers at https://support.hach.com ✓ Toll-free phone: 800-227-4224 ✓ E-mail: techhelp@hach.com <p>www.Hach.com</p>

ADVANTAGES OF SIMPLIFIED SHIPPING AND HANDLING

Safe & Fast Delivery	Save Time – Less Hassle	Save Money
<ul style="list-style-type: none"> ✓ Receive tracking numbers on your order acknowledgement ✓ Hach will assist with claims if an order is lost or damaged in shipment 	<ul style="list-style-type: none"> ✓ No need to set up deliveries for orders or to schedule pickup ✓ Hach ships order as product is available, at no additional charge, when simplified shipping and handling is used. 	<ul style="list-style-type: none"> ✓ No additional invoice to process – save on time and administrative costs ✓ Only pay shipping once, even if multiple shipments are required

STANDARD SIMPLIFIED SHIPPING AND HANDLING CHARGES ^{1, 2, 3, 4} Pricing Effective 7/13/2024						Collect ⁴
Total Price of Merchandise Ordered	Standard Surface (Mainland USA)	Second Day Delivery (Mainland USA)	Next Day Delivery (Mainland USA)	Second Day Delivery (Alaska & Hawaii)	Next Day Delivery (Alaska & Hawaii)	Handling Fee Effective 7/13/2024
\$0.00 - \$49.99	\$10.75	\$26.89	\$50.14	\$43.15	\$82.02	\$8.00
\$50.00 - \$149.99	\$12.90	\$38.02	\$71.75	\$54.52	\$103.65	\$8.00
\$150.00 - \$349.99	\$15.05	\$40.15	\$81.79	\$55.37	\$106.26	\$8.00
\$350.00 - \$649.99	\$17.20	\$44.98	\$89.44	\$56.22	\$108.87	\$8.00
\$650.00 - \$949.99	\$17.20	\$54.49	\$112.39	\$66.20	\$128.13	\$8.00
\$950.00 - \$1,999.99	\$30.10	\$64.01	\$135.34	\$76.17	\$147.38	\$8.00
\$2,000.00 - \$3,999.99	\$30.10	\$79.14	\$165.12	\$91.12	\$176.99	\$8.00
\$4,000.00 - \$5,999.99	\$53.75	\$94.27	\$194.90	\$106.06	\$206.59	\$8.00
\$6,000.00 - \$7,999.99	\$64.50	\$108.99	\$225.36	\$118.80	\$229.04	\$8.00
\$8,000.00 - \$9,999.99	\$96.75	\$162.82	\$318.16	\$174.21	\$330.40	\$8.00
Over \$10,000	1.0% of Net Order Value	1.8% of Net Order Value	2.8% of Net Order Value	1.8% of Net Order Value	2.8% of Net Order Value	\$8.00

- Shipping & Handling charges shown are only applicable to orders billing and shipping to U.S. destinations. Shipping & Handling charges will be prepaid and added to invoice. Shipping & Handling for the Pick&Ship Program is charged on each shipment release and is based on the total price of each shipment release. Shipping & Handling charges are subject to change without notice.
 - Additional Shipping & Handling charges will be applied to orders containing bulky and/or especially heavy orders. Refrigerated and all weather Samplers do not qualify for simplified Shipping & Handling charges, and are considered heavy products. Dissolved Oxygen Sensors can be damaged if exposed to temps below freezing, causing sensor failure. Must be shipped over night or 2nd day air during the cold weather months.
 - Orders shipping to Alaska or Hawaii: Additional Shipping & Handling charges may be applied at time of order processing. Second Day and Next Day delivery is not available to all destinations.
 - Hach Company will assess a collect handling fee on orders with collect shipping terms. This handling fee covers the additional costs that Hach Company incurs from processing and managing collect shipments.
- Due to variations in component characteristics, regulatory transportation requirements and/or associated shipping and handling costs, individual kit components may or may not be packaged together in a single carton at time of final packaging and shipping.

SALES TAX

Sales Tax is not included in the attached quotation. Applicable sales and usage taxes will be added to your invoice, at the time of order, based on U.S. destination of goods, unless a valid resale/exemption certificate for destination state is provided to the above address or fax number, attention of the Tax Dept.

TERMS & CONDITIONS OF SALE FOR HACH COMPANY PRODUCTS AND SERVICES

This document sets forth the Terms & Conditions of Sale for goods manufactured and/or supplied, and services provided, by Hach Company of Loveland, Colorado ("Hach") and sold to the original purchaser thereof ("Buyer"). Unless otherwise specifically stated herein, the term "Hach" includes only Hach Company and none of its affiliates. Unless otherwise specifically stated in a previously-executed written purchase agreement signed by authorized representatives of Hach and Buyer, these Terms & Conditions of Sale establish the rights, obligations and remedies of Hach and Buyer which apply to this offer and any resulting order or contract for the sale of Hach's goods and/or services ("Products").

1. **APPLICABLE TERMS & CONDITIONS:** These Terms & Conditions of Sale are contained directly and/or by reference in Hach's offer, order acknowledgment, and invoice documents. The first of the following acts constitutes an acceptance of Hach's offer and not a counteroffer and creates a contract of sale ("Contract") in accordance with these Terms & Conditions: (i) Buyer's issuance of a purchase order document against Hach's offer; (ii) acknowledgement of Buyer's order by Hach; or (iii) commencement of any performance by Hach pursuant to Buyer's order. Provisions contained in Buyer's purchase documents (including electronic commerce interfaces) that materially alter, add to or subtract from the provisions of these Terms & Conditions of Sale are not a part of the Contract.

2. **CANCELLATION:** Buyer may cancel goods orders subject to fair charges for Hach's expenses including handling, inspection, restocking, freight and invoicing charges as applicable, provided that Buyer returns such goods to Hach at Buyer's expense within thirty (30) days of delivery and in the same condition as received. Buyer may cancel service orders on ninety (90) day's prior written notice and refunds will be prorated based on the duration of the service plan. Inspections and re-instatement fees may apply upon cancellation or expiration of service programs. Seller may cancel all or part of any order prior to delivery without liability if the order includes any Products that Seller determines may not comply with export, safety, local certification, or other applicable compliance requirements.

3. **DELIVERY:** Delivery will be accomplished FCA Hach's facility located in Ames, Iowa or Loveland, Colorado, or Romeoville, Illinois United States (Incoterms 2020). Legal title and risk of loss or damage pass to Buyer upon transfer to the first carrier. Hach will use commercially reasonable efforts to deliver the Products ordered herein within the time specified on the face of this Contract or, if no time is specified, within Hach's normal lead-time necessary for Hach to deliver the Products sold hereunder. Upon prior agreement with Buyer and for an additional charge, Hach will deliver the Products on an expedited basis. Standard service delivery hours are 8 am – 5 pm Monday through Friday, excluding holidays.

4. **INSPECTION:** Buyer will promptly inspect and accept any Products delivered pursuant to this Contract after receipt of such Products. In the event the Products do not conform to any applicable specifications, Buyer will promptly notify Hach of such nonconformance in writing. Hach will have a reasonable opportunity to repair or replace the nonconforming product at its option. Buyer will be deemed to have accepted any Products delivered hereunder and to have waived any such nonconformance in the event such a written notification is not received by Hach within thirty (30) days of delivery.

5. **PRICES & ORDER SIZES:** All prices are in U.S. dollars and are based on delivery as stated above. Prices do not include any charges for services such as insurance; brokerage fees; sales, use, inventory or excise taxes; import or export duties; special financing fees; VAT, income or royalty taxes imposed outside the U.S.; consular fees; special permits or licenses; or other charges imposed upon the production, sale, distribution, or delivery of Products. Buyer will either pay any and all such charges or provide Hach with acceptable exemption certificates, which obligation survives performance under this Contract. Hach reserves the right to establish minimum order sizes and will advise Buyer accordingly.

6. **PAYMENTS:** All payments must be made in U.S. dollars. For Internet orders, the purchase price is due at the time and manner set forth at www.hach.com. Invoices for all other orders are due and payable NET 30 DAYS from date of the invoice without regard to delays for inspection or transportation, with payments to be made by check to Hach at the above address or by wire transfer to the account stated on the front of Hach's invoice, or for customers with no established credit, Hach may require cash or credit

card payment in advance of delivery. In the event payments are not made or not made in a timely manner, Hach may, in addition to all other remedies provided at law, either: (a) declare Buyer's performance in breach and terminate this Contract for default; (b) withhold future shipments until delinquent payments are made; (c) deliver future shipments on a cash-with-order or cash-in-advance basis even after the delinquency is cured; (d) charge interest on the delinquency at a rate of 1-1/2% (one and one half percent) per month or the maximum rate permitted by law, if lower, for each month or part thereof of delinquency in payment plus applicable storage charges and/or inventory carrying charges; (e) repossess the Products for which payment has not been made; (f) recover all costs of collection including reasonable attorney's fees; or (g) combine any of the above rights and remedies as is practicable and permitted by law. Buyer is prohibited from setting off any and all monies owed under this from any other sums, whether liquidated or not, that are or may be due Buyer, which arise out of a different transaction with Hach or any of its affiliates. Should Buyer's financial responsibility become unsatisfactory to Hach in its reasonable discretion, Hach may require cash payment or other security. If Buyer fails to meet these requirements, Hach may treat such failure as reasonable grounds for repudiation of this Contract, in which case reasonable cancellation charges shall be due Hach. Buyer grants Hach a security interest in the Products to secure payment in full, which payment releases the security interest but only if such payments could not be considered an avoidable transfer under the U.S. Bankruptcy Code or other applicable laws. Buyer's insolvency, bankruptcy, assignment for the benefit of creditors, or dissolution or termination of the existence of Buyer, constitutes a default under this Contract and affords Hach all the remedies of a secured party under the U.C.C., as well as the remedies stated above for late payment or non-payment. See [120](#) for further wire transfer requirements.

7. **LIMITED WARRANTY:** Hach warrants that Products sold hereunder will be free from defects in material and workmanship and will, when used in accordance with the manufacturer's operating and maintenance instructions, conform to any express written warranty pertaining to the specific goods purchased, which for most Hach instruments is for a period of twelve (12) months from delivery. Hach warrants that services furnished hereunder will be free from defects in workmanship for a period of ninety (90) days from the completion of the services. Parts provided by Hach in the performance of services may be new or refurbished parts functioning equivalent to new parts. Any non-functioning parts that are repaired by Hach shall become the property of Hach. No warranties are extended to consumable items such as, without limitation, reagents, batteries, mercury cells, and light bulbs. **All other guarantees, warranties, conditions and representations, either express or implied, whether arising under any statute, law, commercial usage or otherwise, including implied warranties of merchantability and fitness for a particular purpose, are hereby excluded.** The sole remedy for Products not meeting this Limited Warranty is replacement, credit or refund of the purchase price. This remedy will not be deemed to have failed of its essential purpose so long as Hach is willing to provide such replacement, credit or refund.

8. **INDEMNIFICATION:** Indemnification applies to a party and to such party's successors-in-interest, assignees, affiliates, directors, officers, and employees ("Indemnified Parties"). Hach is responsible for and will defend, indemnify and hold harmless the Buyer Indemnified Parties against all losses, claims, expenses or damages which may result from accident, injury, damage, or death due to Hach's breach of the Limited Warranty. Buyer is responsible for and will defend, indemnify and hold harmless the Hach Indemnified Parties against all losses, claims, expenses or damages which may result from accident, injury, damage, or death due to negligence, misuse or misapplication of any goods or services, violations of law, or the breach of any provision of this Contract by the Buyer, its affiliates, or those employed by, controlled by or in privity with them. Buyer's workers' compensation immunity, if any, does not preclude or limit its indemnification obligations.

9. **PATENT PROTECTION:** Subject to all limitations of liability provided herein, Hach will, with respect to any Products of Hach's design or manufacture, indemnify Buyer from any and all damages and costs as finally determined by a court of competent jurisdiction in any suit for infringement of any U.S. patent (or European patent for Products that Hach sells to Buyer for end use in a member state of the E.U.) that has issued as of the delivery date, solely by reason of the sale or normal use of any Products sold to Buyer hereunder and from reasonable expenses incurred by Buyer in defense of such suit if Hach does not undertake the defense thereof, provided that Buyer promptly notifies



TERMS AND CONDITIONS OF SALE FOR HACH® PRODUCTS

Hach of such suit and offers Hach either (i) full and exclusive control of the defense of such suit when Products of Hach only are involved, or (ii) the right to participate in the defense of such suit when products other than those of Hach are also involved. Hach's warranty as to use patents only applies to infringement arising solely out of the inherent operation of the Products according to their applications as envisioned by Hach's specifications. In case the Products are in such suit held to constitute infringement and the use of the Products is enjoined, Hach will, at its own expense and at its option, either procure for Buyer the right to continue using such Products or replace them with non-infringing products, or modify them so they become non-infringing, or remove the Products and refund the purchase price (prorated for depreciation) and the transportation costs thereof. The foregoing states the entire liability of Hach for patent infringement by the Products. Further, to the same extent as set forth in Hach's above obligation to Buyer, Buyer agrees to defend, indemnify and hold harmless Hach for patent infringement related to (x) any goods manufactured to the Buyer's design, (y) services provided in accordance with the Buyer's instructions, or (z) Hach's Products when used in combination with any other devices, parts or software not provided by Hach hereunder.

10. TRADEMARKS AND OTHER LABELS: Buyer agrees not to remove or alter any indicia of manufacturing origin or patent numbers contained on or within the Products, including without limitation the serial numbers or trademarks on nameplates or cast, molded or machined components.

11. SOFTWARE AND DATA. All licenses to Hach's separately-provided software products are subject to the separate software license agreement(s) accompanying the software media and/or included as an Appendix to these Terms & Conditions of Sale. Except to the extent such express licenses conflict with the remainder of this paragraph, the following also applies relative to Hach's software: Hach grants Buyer only a personal, non-exclusive license to access and use the software provided by Hach with Products purchased hereunder solely as necessary for Buyer to enjoy the benefit of the Products. A portion of the software may contain or consist of open source software, which Buyer may use under the terms and conditions of the specific license under which the open source software is distributed. Buyer agrees that it will be bound by all such license agreements. Title to software remains with the applicable licensor(s). In connection with Buyer's use of Products, Hach may obtain, receive, or collect data or information, including data produced by the Products. In such cases, Buyer grants Hach a non-exclusive, worldwide, royalty-free, perpetual, non-revocable license to use, compile, distribute, display, store, process, reproduce, or create derivative works of such data, or to aggregate such data for use in an anonymous manner, solely to facilitate marketing, sales and R&D activities of Hach and its affiliates.

12. PROPRIETARY INFORMATION; PRIVACY: "Proprietary Information" means any information, technical data or know-how in whatever form, whether documented, contained in machine readable or physical components, mask works or artwork, or otherwise, which Hach considers proprietary, including but not limited to service and maintenance manuals. Buyer and its customers, employees and agents will keep confidential all such Proprietary Information obtained directly or indirectly from Hach and will not transfer or disclose it without Hach's prior written consent, or use it for the manufacture, procurement, servicing or calibration of Products or any similar products, or cause such products to be manufactured, serviced or calibrated by or procured from any other source, or reproduce or otherwise appropriate it. All such Proprietary Information remains Hach's property. No right or license is granted to Buyer or its customers, employees or agents, expressly or by implication, with respect to the Proprietary Information or any patent right or other proprietary right of Hach, except for the limited use licenses implied by law. Hach will manage Customer's information and personal data in accordance with its Privacy Policy, located at <http://www.hach.com/privacypolicy>.

13. CHANGES AND ADDITIONAL CHARGES: Hach reserves the right to make design changes or improvements to any products of the same general class as Products being delivered hereunder without liability or obligation to incorporate such changes or improvements to Products ordered by Buyer unless agreed upon in writing before the Products' delivery date. Services which must be performed as a result of any of the following conditions are subject to additional charges for labor, travel and parts: (a) equipment alterations not authorized in writing by Hach; (b) damage resulting from improper use or handling, accident, neglect, power surge, or operation in an environment or manner in which the instrument is not designed to operate or is not in accordance with Hach's operating manuals; (c) the use of parts or accessories not provided by Hach; (d) damage resulting from acts of war, terrorism or nature; (e) services outside standard business hours; (f) site

prework not complete per proposal; or (g) any repairs required to ensure equipment meets manufacturer's specifications upon activation of a service agreement.

14. SITE ACCESS / PREPARATION / WORKER SAFETY / ENVIRONMENTAL COMPLIANCE: In connection with services provided by Hach, Buyer agrees to permit prompt access to equipment. Buyer assumes full responsibility to back-up or otherwise protect its data against loss, damage or destruction before services are performed. Buyer is the operator and in full control of its premises, including those areas where Hach employees or contractors are performing service, repair and maintenance activities. Buyer will ensure that all necessary measures are taken for safety and security of working conditions, sites and installations during the performance of services. Buyer is the generator of any resulting wastes, including without limitation hazardous wastes. Buyer is solely responsible to arrange for the disposal of any wastes at its own expense. Buyer will, at its own expense, provide Hach employees and contractors working on Buyer's premises with all information and training required under applicable safety compliance regulations and Buyer's policies. If the instrument to be serviced is in a Confined Space, as that term is defined under OSHA regulations, Buyer is solely responsible to make it available to be serviced in an unconfined space. Hach service technicians will not work in Confined Spaces. In the event that a Buyer requires Hach employees or contractors to attend safety or compliance training programs provided by Buyer, Buyer will pay Hach the standard hourly rate and expense reimbursement for such training attended. The attendance at or completion of such training does not create or expand any warranty or obligation of Hach and does not serve to alter, amend, limit or supersede any part of this Contract.

15. LIMITATIONS ON USE: Buyer will not use any Products for any purpose other than those identified in Hach's catalogs and literature as intended uses. Unless Hach has advised the Buyer in writing, in no event will Buyer use any Products in drugs, food additives, food or cosmetics, or medical applications for humans or animals. In no event will Buyer use in any application any Product that requires FDA 510(k) clearance unless and only to the extent the Product has such clearance. Buyer will not sell, transfer, export or re-export any Hach Products or technology for use in activities which involve the design, development, production, use or stockpiling of nuclear, chemical or biological weapons or missiles, nor use Hach Products or technology in any facility which engages in activities relating to such weapons. Unless the "ship-to" address is in California, U.S.A., the Products are not intended for sale in California and may lack markings required by California Proposition 65; accordingly, unless Buyer has ordered Products specifying a California ship-to address, Buyer will not sell or deliver any Hach Products for use in California. Any warranty granted by Hach is void if any goods covered by such warranty are used for any purpose not permitted hereunder.

16. EXPORT AND IMPORT LICENSES AND COMPLIANCE WITH LAWS: Unless otherwise specified in this Contract, Buyer is responsible for obtaining any required export or import licenses. Buyer will comply with all laws and regulations applicable to the installation or use of all Products, including applicable import and export control laws and regulations of the U.S., E.U. and any other country having proper jurisdiction, and will obtain all necessary export licenses in connection with any subsequent export, re-export, transfer and use of all Products and technology delivered hereunder. Buyer will comply with all local, national, and other laws of all jurisdictions globally relating to anti-corruption, bribery, extortion, kickbacks, or similar matters which are applicable to Buyer's business activities in connection with this Contract, including but not limited to the U.S. Foreign Corrupt Practices Act of 1977, as amended (the "FCPA"). Buyer agrees that no payment of money or provision of anything of value will be offered, promised, paid or transferred, directly or indirectly, by any person or entity, to any government official, government employee, or employee of any company owned in part by a government, political party, political party official, or candidate for any government office or political party office to induce such organizations or persons to use their authority or influence to obtain or retain an improper business advantage for Buyer or for Hach, or which otherwise constitute or have the purpose or effect of public or commercial bribery, acceptance of or acquiescence in extortion, kickbacks or other unlawful or improper means of obtaining business or any improper advantage, with respect to any of Buyer's activities related to this Contract. Hach asks Buyer to "Speak Up!" if aware of any violation of law, regulation or our Standards of Conduct ("SOC") in relation to this Contract. See www.ethicspoint.veralto.com and [Integrity and compliance - Veralto](#) for a copy of the SOC and for access to our Helpline portal.

17. RELATIONSHIP OF PARTIES: Buyer is not an agent or representative of Hach and will not present itself as such under any circumstances unless and to

TERMS AND CONDITIONS OF SALE FOR HACH® PRODUCTS

the extent it has been formally screened by Hach's compliance department and received a separate duly-authorized letter from Hach setting forth the scope and limitations of such authorization.

18. **FORCE MAJEURE:** Hach is excused from performance of its obligations under this Contract to the extent caused by acts or omissions that are beyond its control of, including but not limited to Government embargoes, blockages, seizures or freeze of assets, delays or refusals to grant an export or import license or the suspension or revocation thereof, or any other acts of any Government; fires, floods, severe weather conditions, or any other acts of God; quarantines; labor strikes or lockouts; riots; strife; insurrections; civil disobedience or acts of criminals or terrorists; war; material shortages or delays in deliveries to Hach by third parties. In the event of the existence of any force majeure circumstances, the period of time for delivery, payment terms and payments under any letters of credit will be extended for a period of time equal to the period of delay. If the force majeure circumstances extend for six months, Hach may, at its option, terminate this Contract without penalty and without being deemed in default or in breach thereof.

19. **NON ASSIGNMENT AND WAIVER:** Buyer will not transfer or assign this Contract or any rights or interests hereunder without Hach's prior written consent. Failure of either party to insist upon strict performance of any provision of this Contract, or to exercise any right or privilege contained herein, or the waiver of any breach of the terms or conditions of this Contract will not be construed as thereafter waiving any such terms, conditions, rights, or privileges, and the same will continue and remain in force and effect as if no waiver had occurred.

20. **FUNDS TRANSFERS (PAYMENTS):** Buyer and Hach both recognize that there is a risk of banking fraud when individuals impersonating a business demand payment under new banking or mailing instructions. To avoid this risk, Buyer must verbally confirm any new or changed bank transfer or mailing instructions by calling Hach at +1-970-663-1377 and speaking with Hach's Credit Manager before mailing or transferring any monies using the new instructions. Both parties agree that they will not institute mailing or bank transfer instruction changes and require immediate payment under the new instructions but will instead provide a ten (10) day grace period to verify any payment instruction changes before any new or outstanding payments are due using the new instructions.

21. **LIMITATION OF LIABILITY:** **None of the Hach Indemnified Parties will be liable to any Buyer Indemnified Parties under any circumstances for any special, treble, incidental or consequential damages, including without limitation, damage to or loss of property other than for the Products purchased hereunder; damages incurred in installation, repair or replacement; lost profits, revenue or opportunity; loss of use; losses resulting from or related to downtime of the products or inaccurate measurements or reporting; the cost of substitute products; or claims of any Buyer Indemnified Parties' customers for such damages, howsoever caused, and whether based on warranty, contract, and/or tort (including negligence, strict liability or otherwise). The total liability of the Hach Indemnified Parties arising out of the performance or nonperformance hereunder or Hach's obligations in connection with the design, manufacture, sale, delivery, and/or use of Products will in no circumstance exceed in the aggregate a sum equal to twice the amount actually paid to Hach for Products delivered hereunder.**

22. **APPLICABLE LAW AND DISPUTE RESOLUTION:** The construction, interpretation and performance hereof and all transactions hereunder shall be governed by the laws of the State of Colorado, without regard to its principles or laws regarding conflicts of laws. If any provision of this Contract violates any Federal, State or local statutes or regulations of any countries having jurisdiction of this transaction, or is illegal for any reason, said provision shall be self-deleting without affecting the validity of the remaining provisions. Unless otherwise specifically agreed upon in writing between Hach and Buyer, any dispute relating to this Contract which is not resolved by the parties shall be adjudicated in order of preference by a court of competent jurisdiction (i) in the State of Colorado, U.S.A. if Buyer has minimum contacts with Colorado and the U.S., (ii) elsewhere in the U.S. if Buyer has minimum contacts with the U.S. but not Colorado, or (iii) in a neutral location if Buyer does not have minimum contacts with the United States.

23. **ENTIRE AGREEMENT, TERM & MODIFICATION:** These Terms & Conditions of Sale constitute the entire agreement between the parties and supersede any prior agreements or representations, whether oral or written. Upon thirty (30) days prior written notice, Hach may, in its sole discretion, elect to terminate any order for the sale of Products and provide a pro-rated refund for any pre-payment of undelivered Products. No change to or modification of these Terms & Conditions shall be binding upon Hach unless in a written instrument specifically referencing that it is amending these Terms & Conditions of Sale and signed by an authorized representative of Hach. Hach

rejects any additional or inconsistent Terms & Conditions of Sale offered by Buyer at any time, whether or not such terms or conditions materially alter the Terms & Conditions herein and irrespective of Hach's acceptance of Buyer's order for the described goods and services.

24. **APPENDICES:** If checked, the following Appendices are attached hereto and incorporated by reference into these Terms & Conditions of Sale:

CLAROS SOFTWARE AS A SERVICE SUBSCRIPTION AGREEMENT

* * *

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: PETITION #24-13: GAS N WASH
AGENDA: DECEMBER 16, 2024 BOARD MEETING

ITEM

An Ordinance Approving a Special Use for a Planned Unit Development for Gas N Wash on 4.76 Acres of Property at 230 S. Lincolnway

DISCUSSION

The subject property is located in the B-2 General Commercial District at the intersection of Airport Rd and Illinois Route 31. The property has been vacant for several decades since the OTB was demolished. The petitioner, Len McEnery (Gas N Wash) is proposing to redevelop the entire 4.76-acre property with a gas station, a convenience store with two quick service restaurants, and a car wash. The convenience store would include video gaming. The site would have a seven-island automobile fueling canopy attached to the convenience store, a separate long-tunnel car wash building with vacuums, and a separate commercial diesel fueling canopy. One of the quick service restaurants would have a drive through component.

The convenience store and quick service restaurant areas total 8,066 square feet. The drive thru for one of the restaurants has stacking for fourteen (14) vehicles. The car wash has one bay and three lanes of stacking space before the payment kiosk. The gas station and carwash uses require nineteen (19) total parking spaces per code. The applicant has proposed fifty-five (55) parking spaces for the gas station and sixteen (16) parking spaces for the car wash for a total of seventy-one (71) parking spaces for the entire site.

The applicant has conducted a traffic study and has submitted a proposed site plan to IDOT. The proposed site plan shows a reconfiguration of the two existing access points and adding one new access point at the southernmost point of the site along Route 31. Truck traffic would access the site off Airport Rd or at the center of the site along Route 31. Truck traffic would flow around the buildings to the diesel fueling canopy area on the western side (rear) of the property. Trucks could exit at the southernmost access point or make a U-turn behind the building to exit to Airport Road.

A public hearing was held before the Plan Commission at their November 5, 2024 meeting. The Plan Commission unanimously recommended approval of Petition #24-13, subject to the following conditions:

1. All outdoor lighting shall follow the Village's Outdoor Lighting Ordinance (Chapter 8.32).
2. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
3. All mechanical equipment shall follow Village standards outlined in Section 12.3.D of the Zoning Ordinance.

4. Applicant shall coordinate with Asbury about cross access and traffic control off Airport Rd as well as the relocation of the existing Asbury sign.
5. On-site management shall effectively monitor and regulate all on-site trucking activities to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance. Specifically, the drive aisle on the western side of the car wash shall be kept free and clear and shall have no truck parking, standing, idling, or stacking. The applicant shall monitor the turning movements of trucks using the diesel lane to ensure the safe movement of vehicles.

The Village Board reviewed Petition #24-13 at the December 2, 2024 Committee of the Whole meeting. At that meeting, the Board asked for more screening between the drive aisle and the Asbury building on the north end of the site. The applicant has revised their drawings to address this comment by adding a berm with evergreen trees along this section.



**VILLAGE OF
NORTH
AURORA**

**VILLAGE OF NORTH AURORA
KANE COUNTY, ILLINOIS**

Ordinance No. _____

**APPROVING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT FOR A GAS
N WASH ON 4.76 ACRES OF PROPERTY AT 230 S. LINCOLNWAY IN THE
VILLAGE OF NORTH AURORA**

**Adopted by the
Board of Trustees and President
of the Village of North Aurora
this ____ day of _____, 2024**

**Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of North Aurora, Kane County, Illinois,
this ____ day of _____, 2024
by _____.**

Signed _____

ORDINANCE NO. _____

**APPROVING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT FOR A GAS
N WASH ON 4.76 ACRES OF PROPERTY AT 230 S. LINCOLNWAY IN THE
VILLAGE OF NORTH AURORA**

WHEREAS, an application has been filed for a Special Use as a Planned Development for certain real estate described herein (the “Petition”) in the Village of North Aurora, an Illinois municipal corporation (“Village”) by Len McEnery (“Developer”) as described in the application materials attached as Exhibit B; and,

WHEREAS, the parcel of land located is at 230 S. Lincolnway and legally described in the document attached hereto and incorporated herein as Exhibit A (“Subject Property”) is currently, zoned B-2, General Commercial District; and,

WHEREAS, the North Aurora Plan Commission (“Plan Commission”) held a public hearing on November 5, 2024 on the Petition for Special Use – Planned Unit Development for the Subject Property to allow a Gas Station with Convenience Store and Car Wash and site plan review in accordance with State and local laws, including the notice requirements for the public hearings; and,

WHEREAS, the North Aurora Village Board (“Village Board”) has received and reviewed the favorable recommendation of the Plan Commission with certain conditions in keeping with all the factors required to be considered for Special Use/PUDs and has determined that granting the Special Use/PUD and site plan requests is warranted and in the best interests of the Village.

NOW, THEREFORE, be it ordained by the President and Trustee of the Village of North Aurora, Kane County, Illinois, as follows:

SECTION 1: DEVELOPMENT OF SUBJECT PROPERTY

Development of the Subject Property shall be in conformity with all applicable ordinances of the Village as now in effect, including the provisions for B-2, General Commercial District zoning, except as otherwise provided or specifically varied in this PUD Ordinance, including the additional procedures, definitions, uses, and restrictions contained herein.

A. ZONING AND LAND USE REQUIREMENTS

The Subject Property shall be developed in compliance with the terms and conditions of the B-2, General Commercial District and other applicable zoning, subdivision, building and other provisions of the North Aurora Code as the same exist on the effective date hereof.

- (1) Use. The Subject Property is approved as a planned unit development (PUD) for the “gas station” and “carwash” uses with the conditions and exceptions approved by and subject to the terms and conditions of this Ordinance.
- (2) Conditions. The following conditions of the Special Use/PUD are hereby imposed:

- a) All outdoor lighting shall follow the Village's Outdoor Lighting Ordinance (Chapter 8.32).
- b) All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
- c) All mechanical equipment shall follow Village standards outlined in Section 12.3.D of the Zoning Ordinance.
- d) Applicant shall coordinate with Asbury about cross access and traffic control off Airport Rd as well as the relocation of the existing Asbury sign.
- e) On-site management shall effectively monitor and regulate all on-site trucking activities to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance. Specifically, the drive aisle on the western side of the car wash shall be kept free and clear and shall have no truck parking, standing, idling, or stacking. The applicant shall monitor the turning movements of trucks using the diesel lane to ensure the safe movement of vehicles.

(3) Exceptions. The following exceptions to Village code are hereby granted.

- a) The plans are exempt from the on-lot landscaping, required trees landscape standard outlined in section 17.14.5.B
- b) A reduction of the front yard parking landscape setback to 9'-0" from the required 50'-0" landscape buffer required along IL Route 31.
- c) A reduction of the corner side yard parking landscape setback to 35'-11" from the required 50'-0" landscape buffer required along Airport Road.
- d) A reduction of the rear yard parking landscape setback to 6" from the required 5'-0".
- e) A reduction of the front yard building setback to 16'-0" from the required 35'-0" building setback along IL Route 31.
- f) To allow an increase in the total allowed fuel pricing signage area to 46 square feet (15.3 square feet per price x 3 prices) from the maximum of 18 square feet (3 x 6 square feet fuel signs).
- g) To allow for signage for the rear (tenant-1) c-store tenant to be allowed along the front (east) and side (north) elevations of the c-store.
- h) To allow for the total allowed signage on the south of the car wash to increase to 68.3 square feet (building and pay canopy signage) from the maximum of 49 square feet (32.6' x 1.5).
- i) To allow for the total allowed signage on the north of the c-store to increase to 113.5 square feet (building, auto and diesel signage) from the maximum of 97 square feet (64.6 x 1.5).
- j) To allow the number of wall mounted signs on the c-store to be 5 signs from the maximum of 3.
- k) To allow the existing Asbury sign to be relocated elsewhere on site without having

to be brought to current sign code standards or count towards the total number of signs / the total number of sign square footage allowed by the Developer.

B. SITE PLAN, ENGINEERING PLANS, ELEVATIONS, LANDSCAPE PLANS, AND SIGNAGE PLANS

The Preliminary Plans for the Subject Property, and other supporting and explanatory development documents are attached hereto, marked as Exhibits as hereinafter shown, and are incorporated herein. Such Exhibits have been reviewed by the Plan Commission and are hereby approved by the Village Board.

- (1) The Preliminary Site & Engineering Plans for the Subject Property prepared by WT Group dated October 16, 2024 is attached hereto and incorporated herein as Exhibit C (“Preliminary Plans”).
- (2) The Preliminary Landscape Plan for the Subject Property prepared by Upland Design Ltd. are attached hereto and incorporated herein as Exhibit D (“Preliminary Landscape Plan”).
- (3) The building elevations and signage plans for the Subject Property prepared by WT Group and Van Bruggen Signs are attached hereto and incorporated herein as Exhibit E (“Preliminary Building Elevations”).

D. DEVELOPMENT PLANS

Exhibits B through E inclusive, are sometimes referred to collectively herein as the “Preliminary Plans,” or the “Development Plans.” The development of the Subject Property shall be completed in keeping with the Development Plans. All engineering plans are subject to final approval by the Village Engineer.

SECTION 2: CHANGES TO THE PLANNED UNIT DEVELOPMENT

The Preliminary Plans shall be submitted to the Community Development Director for review and may be approved as the “Final Development Plans” without the need for more formal approval as long as the revisions, if any, are substantially consistent with the Preliminary Plans. If the Final Development Plans are not substantially consistent with the Preliminary Plans, they must be approved based upon the following provisions.

A. Major Changes. Major changes shall include any changes that require a formal amendment of this Ordinance, or any other change for which a public hearing is required by law or by the North Aurora Municipal Code, except as specifically provided herein. Whether a change is major or minor shall first be determined by the Community Development Director. If a developer or landowner disagrees with the Community Development Director's decision, appeal may be taken to the Village Board. Major changes must be approved by the Village Board after such hearing and recommendation by the Plan Commission as required by statute or Village Ordinance

pursuant to submittal and processing of a petition filed by the applicant, as set forth in the North Aurora Municipal Code.

B. Minor Changes. Minor changes shall include any change not defined herein as a major change or a technical change. Minor changes may be approved by the Village Board without Plan Commission review or public hearing.

C. Technical Changes. Technical changes may be approved by the Community Development Director, and shall include any change to the engineering plans and specifications, any change to the building plans or changes in the Preliminary Plans which are determined by the Community Development Director as:

- (1) In substantial compliance with the Preliminary Plans or other plans or plats as approved by the Village Board;
- (2) In compliance with the North Aurora Municipal Code, as amended, except as specifically varied herein; and
- (3) In compliance with good engineering practice.

SECTION 3: GUARANTY FOR PUBLIC IMPROVEMENTS

After approval of the final plat and prior to signature by the President, Developer shall present a letter of credit to guarantee completion of water distribution lines, sanitary sewer lines, storm water sewer lines, detention and retention facilities, and other applicable subdivision improvements identified in the Final Development Plans to be dedicated to the Village or other governmental body (“Public Improvements”) for the development so platted as required by this Ordinance (guaranteeing completion and payment of the Public Improvements), herein sometimes collectively referred to as the “Guarantee for Completion”, naming the Village as beneficiary or obligee, as required and in keeping with the Village Code requirements.

SECTION 4: BUILDING CODE AND SUBDIVISION CONTROL ORDINANCE

Developer shall comply in all respects with the generally applicable provisions of Village of North Aurora Subdivision provisions, Building Code provisions, and other provisions of the North Aurora Municipal pertaining to the development and construction.

SECTION 5: MAINTENANCE OF COMMON FACILITIES

Developer shall provide for the maintenance of the following improvements after completion by Developer and approval by the Village: stormwater facilities, pipes, and catch basins, and surface drainage facilities; the landscaping located on the perimeter and common areas, including trees; and any sidewalks (“Common Facilities”). Developer shall either establish covenants or some other mechanism designed, at a minimum, to ensure that future owners of the property maintain the Common Facilities in keeping with applicable local, county and state

requirements. The covenant or other mechanism for providing for the maintenance of the Common Facilities benefitting a particular parcel shall be established and submitted to the Community Development Director for confirmation of compliance with this provision before the first occupancy permit for that parcel shall be approved.

SECTION 6: COMPLIANCE WITH STATE STATUTES

In the event that any one or more provisions of this Ordinance do not comply with any one or more provisions of the Illinois Compiled Statutes, the Village and Developer, and all of their respective successors and assigns, agree to cooperate to comply with said provisions which shall include, but not limited to, the passage of resolutions and ordinances to accomplish such compliance.

SECTION 7: CONFLICT IN REGULATIONS AND ORDINANCES

The provisions of this Ordinance shall supersede the provisions of any ordinance, code, or regulation of the Village which may be in conflict with the provisions of this Ordinance. However, all ordinances which are not inconsistent with or contrary to this Ordinance shall be applicable to the Subject Property.

SECTION 8: INCORPORATION OF EXHIBITS

All exhibits attached to this Ordinance are hereby incorporated herein and made a part of the substance hereof.

SECTION 9: EFFECTIVE DATE

This Ordinance shall become effective from and after its passage and approval in accordance with law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois
this ____ day of _____, 2024, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois
this ____ day of _____, 2024, A.D.

Jason Christiansen _____

Laura Curtis _____

Todd Niedzwiedz _____

Mark Guethle _____

Michael Lowery _____

Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____ 2024, A.D.

Mark Gaffino, Village President

ATTEST:

Jessica Watkins, Village Clerk

Exhibit A

230 S. Lincolnway

PIN: 15-04-451-009

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE NORTH 85 DEGREES 53 MINUTES, 0 SECONDS EAST, ALONG SAID LINE, 876.70 FEET TO A POINT IN THE WESTERLY LINE OF STATE HIGHWAY NO. 31 (SAID LINE BEGIN 33 FEET WEST OF THE CENTER LINE); THENCE NORTH 13 DEGREES 53 MINUTES, 20 SECONDS WEST, ALONG SAID LINE, 744.25 FEET TO A POINT WHICH IS 470.89 FEET SOUTHEASTERLY OF THE INTERSECTION OF SAID WESTERLY LINE AND THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH OF SAID SECTION; THENCE SOUTH 70 DEGREES, 26 MINUTES, 13 SECONDS WEST, 1194.94 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN FOR ROADWAY IN CONDEMNATION GENERAL NO. 57-853 RECORDED JULY 21, 1999 AS DOCUMENT NUMBER 1999K071729, AND EXCEPT PART DESCRIBED FOR ROAD DEDICATION AS DOCUMENT NUMBER 2003K040193) IN KANE COUNTY, ILLINOIS.

LESS AND EXCEPTING THE FOLLOWING DESCRIBED PARCEL:

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE ALONG SAID NORTHERLY LINE, NORTH 85 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 495.03 FEET; THENCE NORTH 03 DEGREES 48 MINUTES 09 SECONDS WEST, A DISTANCE OF 211.77 FEET; THENCE NORTH 76 DEGREES 14 MINUTES 53 SECONDS EAST, A

DISTANCE OF 15.66 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 77.49 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 21.14 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 24.57 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 58.29 FEET; THENCE NORTH 05 DEGREES 07 MINUTES 03 SECONDS EAST, A DISTANCE OF 25.10 FEET TO THE BEGINNING OF A 51.27 FOOT RADIUS NON-TANGENT CURVE TO LEFT; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A CENTRAL ANGLE OF 99 DEGREES 49 MINUTES 44 SECONDS, A DISTANCE OF 89.33 FEET (HAVING A CHORD BEARING NORTH 23 DEGREES 02 MINUTES 48 SECONDS WEST, A DISTANCE OF 78.45 FEET); THENCE NORTH 14 DEGREES 21 MINUTES 47 SECONDS WEST, A DISTANCE OF 243.77 FEET TO THE SOUTHERLY RIGHT OF WAY OF AIRPORT ROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 70 DEGREES 26 MINUTES 13 SECONDS WEST, A DISTANCE OF 946.46 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS

Exhibit B

Application Materials



**APPLICATION FOR SPECIAL USE
PLANNED UNIT DEVELOPMENT (PUD)**

Project Name: Gas N Wash North Aurora

Subject Property/Location: 230 S Lincolnway North Aurora, IL

PIN(s): 15-04-451-009

Parcel(s) Acreage: 4.76 Number of Lots: 1 Number of Units: 0

Current Zoning District: B-2 General Commercial District Present Use: Vacant

Proposed Zoning District: B-2 General Commercial District Intended Use: Retail Petroleum Facility

Comprehensive Plan Designation for this Property: Local Commercial

Contiguous Zoning: No. North zoned ORI, East zoned B-3 & South B-2 Contiguous ^{west} B-2

Is this an Amendment to an existing PUD? Yes No PUD Name: _____

CONTACT INFORMATION:

Applicant Name: Len McEnergy Phone: 708-444-0117 ext 101

Applicant Address: 8200 185th Street Unit K Tinley Park, IL 60487

Applicant Email: KFARBAK@GASNWASH.NET

Signature of Applicant: *Len McEnergy* Signature Date: 8/26/2024

Property Owner(s): 230 Airport Rd LLC Phone: 773-230-2909

Owner Address: 8170 McCormick Blvd. Skokie, IL 60076

Owner Email: mkahn@asburymgt.com

Signature of Owner*: See consent Letter Signature Date: _____

*A signed letter by the owner authorizing the applicant to apply for a special use PUD may be submitted in lieu of signing this form. If Applicant is other than owner, please attach letter of authorization from Owner.

FOR OFFICE USE

Petition Number: 24-13 File Name: 230 S Lincolnway - GasNwash

Filing Date: 10/16/24 Fee Received: 7.5 - \$1,000 Clerk

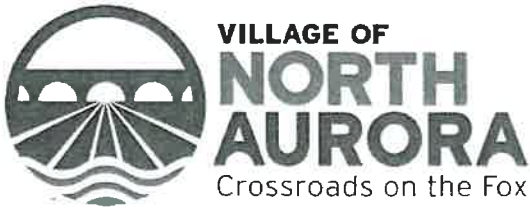


Instructions:

- Please see the submittal checklist below regarding required submittals for special use PUD's.
- Provide all submitted documents electronically in PDF format.
- Provide a narrative describing the proposed use, site plan and all planned improvements for the PUD.
- Provide the following plans for the site: site plan, building elevations, landscape plan, photometrics plan, signage plan, preliminary engineering, parking plan, utility plan, etc.
- Application shall include the submittal fee as required by Chapter 15.56 of the North Aurora Municipal Code. See submittal checklist for additional details.
- Please see Sections 4.3.F, 4.3.G, and 4.2.H of the Village's Zoning Ordinance for additional information on special use regarding no presumption of approval, conditions on special uses and limitations special uses.
- Please see Sections 5.4, 5.5, and 5.6 for additional information on PUD's regarding general standards, exceptions from district regulations, and plan procedure.
- Applicant is required to follow public hearing and notice requirements outlined in Title 17, Chapter 3.4 of the Municipal Code. Please see public hearing and notice requirements on page 7 of this application.
- Staff may request the applicant provide additional materials in order to process and complete application review.

REQUIRED SUBMITTAL CHECKLIST FOR PUD'S

- Introduction Letter. Please include information relevant to the development, which describes the proposed use, site plan and all planned improvements for the PUD. *Please note, all planned unit developments are subject to special use and the requirements of that procedure. Please note, all special uses are subject to site plan review and the requirements of that procedure.*
- Proof of ownership of the zoning lot in question. If applicant is not the owner, a statement signed by the owner must be submitted certifying that the owner is jointly filing the application for a planned unit development.
- A site location map drawn to an appropriate scale indicating existing land use and zoning of all property within two hundred (200) feet of the subject property.
- A preliminary development plan prepared in accordance with Section 5.6.C (Preliminary Plan Procedure) of the Zoning Ordinance.
- A statement indicating the manner in which the requested planned unit development supports each of the following conclusions of Section 5.6.C.2.b. of the Zoning Ordinance. See Planned Unit Development Standards section on page 5.



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Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

- A statement indicating the manner in which the requested special use supports each of the following conclusions. See Special Use Standards section on page 6.
- A written certified list containing the names of registered owners, their mailing addresses and tax parcel numbers, of all properties within 250 feet of the property for which the amendment is requested. See full public hearing and notice requirements on page 7.
- Visit the Illinois Department of Natural Resources' website <https://dnr.illinois.gov> and initiate a consultation using DNR's EcoCat online application.
- Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application.
- Disclosure of beneficiaries of land trust, if applicable.
- A copy of owner's title insurance policy commitment or deed for the subject property.
- Filing fee in the amount of \$1,000 (less than 10 acres) or \$2,500 (more than 10 acres); if paid by check make payable to the 'Village of North Aurora'. Please note, an escrow deposit is required per Chapter 15.56. Any unused portion of the escrow will be returned to the payer upon completion of the project. Please see the Village's Escrow Application for more info.

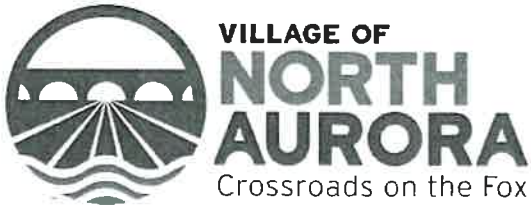
PLAN SPECIFICATIONS FOR PLANNED UNIT DEVELOPMENTS

Minimum Requirements. Every preliminary plan shall contain the following:

1. A plat of survey of the parcel or parcels of land comprising the proposed zoning lot(s). The plat shall be drawn to scale showing the actual dimensions of the proposed zoning lot, including all parcels or lots within the zoning lot. The plat shall be drawn in accordance with the recorded plat of such land. Plat must include a legal description and show any existing structures on the lot.
2. Proof of ownership.
3. A site location map drawn to an appropriate scale showing the proposed planned unit development in relation to surrounding streets and property located within six hundred (600) feet in all directions of the development site. The map shall indicate the location, height and land use of all existing buildings and structures immediately adjacent to the development site.
4. A preliminary site plan drawn to a scale of at least one inch to one hundred (100) feet on at least eleven (11) by seventeen (17) inch paper showing:
 - a. The location, ground area, height, bulk and approximate dimensions of all existing and proposed buildings and structures within the planned unit development.



- b. The use or uses to be made of such existing and proposed buildings and structures.
 - c. The dimensions of all perimeter setbacks and the distance between all buildings and structures.
 - d. The location and dimensions of all pedestrian walkways, driveways, streets, parking and loading facilities, including the number of parking spaces serving each building or land use type and all parking related screening and landscaping.
 - e. The location, height, design and illumination characteristics of all external lighting fixtures within the development.
 - f. The location and dimensions of any areas proposed to be conveyed, dedicated or reserved for parks, parkways, playgrounds, places of worship, school sites, public buildings or for any other public or quasi-public use.
5. Typical building elevations and schematic design presentations indicating the general architectural character of all proposed buildings and structures. The drawings need not be the result of final architectural decisions and need not be in detail.
6. A traffic circulation plan (Traffic Study) indicating the proposed movement of vehicles, goods and pedestrians within the planned unit development, and to and from adjacent streets, and the impact of the proposed planned unit development upon existing traffic patterns. Such plan shall also include an examination of the adequacy of on-site parking facilities, vehicular circulation patterns and pedestrian access and safety.
7. A drainage plan prepared by a registered engineer in the State of Illinois indicating the manner in which surface drainage will be controlled and managed, consistent with all Village and other governmental jurisdictions, regulations and requirements.
8. A utilities study prepared by a registered engineer in the State of Illinois indicating the adequacy of the utility systems serving the proposed planned unit development, including water distribution lines, sanitary sewers and stormwater drainage facilities. *Please note any large water user (over 5,000 gallons per day) must provide information for a water impact study and pay an impact fee per section 13.24.060 of the North Aurora Municipal Code.*
9. A preliminary landscape plan prepared by a qualified professional indicating the general character of all proposed landscaping, screening and fencing, including all open space areas around buildings and structures. Said landscape plan need not be the result of final architectural decisions and need not be in detail.
10. A separate schedule setting forth any proposed exceptions to any Village regulations. The schedule shall include, but not necessarily be limited to, the regulations governing use, density, area, bulk, off-street parking and loading and signs as they apply to the zoning district or districts within which the planned unit development is to be located. This schedule shall cite by Section number each and every regulation from which an exception is sought.



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PLANNED UNIT DEVELOPMENT STANDARDS

Attach a statement indicating the manner in which the requested planned unit development supports each of the following standards:

1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
2. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
4. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
5. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
6. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
9. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?
10. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?
11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

SPECIAL USE STANDARDS

Attach a statement indicating the manner in which the requested special use supports each of the following standards:



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1. That the establishment, maintenance and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.
2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.
3. That the special use in the specific location proposed is consistent with the spirit and intent of the Zoning Ordinance and the adopted Comprehensive Plan.
4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard below individually.
 - The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
 - The proposed special use is deemed necessary for the public convenience at that location.
 - The proposed special use does not create excessive additional impacts at public expense for public facilities and services and will be beneficial to the economic welfare of the community.
 - The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.
 - The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
 - The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
 - The proposed special use is compatible with development on adjacent or neighboring property.
 - The proposed special use minimizes potentially dangerous traffic movements and provides adequate and safe access to the site.
 - The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
 - The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
 - The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.



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Below is a template for PINs, names and mailing addresses of all property owners within 250 feet of the property in questions for which the Special Use PUD is being requested. An attached spreadsheet or list matching the template below also is permitted.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-04-476-002	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-003	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-004	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-005	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-006	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-007	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-008	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-477-001	POPGRIIP LLC SERIES 1 MARIANNE KENEFICK	812 MAGNUSON CT BARRINGTON HILLS, IL, 60010-9211
15-04-477-002	GUO, ZHIXIANG & ZHENG, JIN RU	214 RED OAK CT WEST CHICAGO, IL, 60185-5979
15-04-401-019	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-401-025	FIRST INDUSTRIAL INVESTMENT II LLC	1661 FEEHANVILLE DR STE 400 MOUNT PROSPECT, IL, 60056-6017
15-04-451-011	EJR ENTERPRISES I MC ASBURY HEALTHCARE LLC	7040 N RIDGEWAY AVE LINCOLNWOOD, IL, 60712-2620
15-04-476-009	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-477-003	RIO, DOUGLAS	33W460 SHAGBARK WAYNE, IL, 60184

I, Leonard McEnery, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Leonard McEnery
 Applicant Signature

8/29/2024
 Date

**NOTICE OF PUBLIC HEARING
BEFORE THE VILLAGE OF NORTH AURORA PLAN COMMISSION
NORTH AURORA, ILLINOIS**

Notice is hereby given that the Village of North Aurora Plan Commission will conduct a Public Hearing on Tuesday, November 5, 2024 at 7:00 p.m. at the North Aurora Village Board Meeting Room, 25 E. State Street, North Aurora, Illinois.

This Public Hearing will be conducted by the Plan Commission to consider an application from Len McEnery aka Gas N Wash ("Applicant") to allow a Special Use for a Planned Unit Development to allow a Gas Station with Convenience Store, Drive-Thru and Car Wash at 230 South Lincolnway. The Applicant is proposing to redevelop the entire 4.76 acre property with a convenience store with two quick service restaurants with one restaurant having a drive through. The site will also include a separate long-tunnel car wash building with vacuums, a seven island auto canopy attached to the convenience store and a separate commercial diesel fueling canopy.

Property Index Number (PIN): 15-04-451-009

The Subject Property is legally described as follows:

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE NORTH 85 DEGREES 53 MINUTES, 0 SECONDS EAST, ALONG SAID LINE, 876.70 FEET TO A POINT IN THE WESTERLY LINE OF STATE HIGHWAY NO. 31 (SAID LINE BEGIN 33 FEET WEST OF THE CENTER LINE); THENCE NORTH 13 DEGREES 53 MINUTES, 20 SECONDS WEST, ALONG SAID LINE, 744.25 FEET TO A POINT WHICH IS 470.89 FEET SOUTHEASTERLY OF THE INTERSECTION OF SAID WESTERLY LINE AND THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH OF SAID SECTION; THENCE SOUTH 70 DEGREES, 26 MINUTES, 13 SECONDS WEST, 1194.94 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN FOR ROADWAY IN CONDEMNATION GENERAL NO. 57-853 RECORDED JULY 21, 1999 AS DOCUMENT NUMBER 1999K071729 , AND EXCEPT PART DESCRIBED FOR ROAD DEDICATION AS DOCUMENT NUMBER 2003K040193) IN KANE COUNTY, ILLINOIS.

LESS AND EXCEPTING THE FOLLOWING DESCRIBED PARCEL:

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

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The address of the Applicant is 8200 185th Street Unit K Tinley Park, IL 60487. The Applicant's phone number is (708) 444 – 0117 ext. 101.

Applications have been filed by the petitioner and are known as Petition #24-13. The application for Special Use is on file at the office of the North Aurora Community Development Department and are available for public inspection. Public comments will be taken at the public hearing. Further information is available by contacting the Community Development Department at 630-897-1457.

DATED: October 16, 2024

/s/ Nathan Darga
Community Development Director

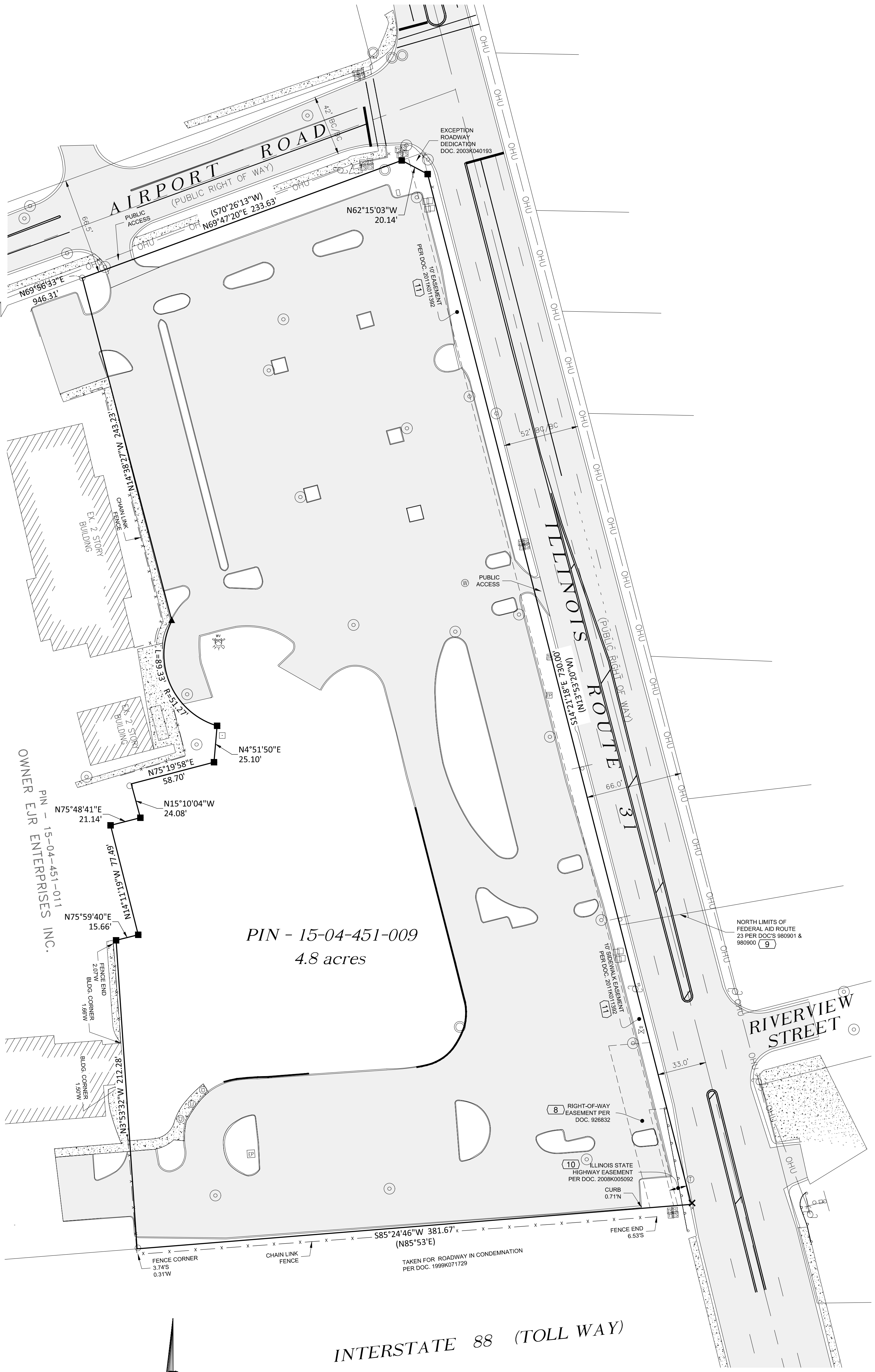
ALTA/NSPS LAND TITLE SURVEY

VICINITY MAP



LEGEND OF SYMBOLS & ABBREVIATIONS

<ul style="list-style-type: none"> 7.77 (7.77) P.U.E. D.E. B.S.L. 7.77 (7.77) RECORDED DATA PUBLIC UTILITY EASEMENT DRAINAGE EASEMENT BUILDING SETBACK LINE STORM SEWER MANHOLE CURB INLET SANITARY SEWER MANHOLE FIRE HYDRANT WATER VALVE WATER VALVE VAULT LIGHT POLE POWER POLE GUY WIRE SIGN 	<ul style="list-style-type: none"> FOUND IRON PIPE FOUND IRON ROD SET IRON ROD FOUND CUT CROSS SET CUT CROSS FOUND MAG NAIL SET MAG NAIL MEASURED DATA RECORDED DATA PUBLIC UTILITY EASEMENT DRAINAGE EASEMENT BUILDING SETBACK LINE STORM SEWER MANHOLE CURB INLET SANITARY SEWER MANHOLE FIRE HYDRANT WATER VALVE WATER VALVE VAULT LIGHT POLE POWER POLE GUY WIRE SIGN 	<ul style="list-style-type: none"> ELECTRIC PEDESTAL TRANSFORMER TELEPHONE PEDESTAL CABLE PEDESTAL BUFFALO BOX TRAFFIC SIGNAL VAULT FENCE LINE OVERHEAD UTILITY LINE ASPHALT SURFACE CONCRETE SURFACE
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GENERAL NOTES

- Basis of bearing is referenced from Illinois East State Plane Coordinates on N.A.D.83 (2011 Adjustment). All measurements shown hereon are expressed in feet and decimal parts thereof.
- Monuments found representing the property corners were held at the surveyed corner unless otherwise noted.
- This professional service conforms to the current Illinois Minimum Standards for Boundary Survey.
- No striping or clearly identifiable parking spaces were observed during field work. (Table A Item 9).
- There was no evidence of recent earth moving work observed in the process of conducting field work. No evidence of recent building construction or building additions was observed. (Table A Item 16)
- No proposed changes in street right of way lines was made available to the surveyor by the controlling jurisdiction. No evidence of recent street or sidewalk construction or repairs observed in the process of conducting field work. (Table A Item 17)
- No plottable offsite easements disclosed in documents provided or obtained by the surveyor. (Table A Item 18)

NOTES CORRESPONDING TO SCHEULE "B", PART II

NO DOCUMENT SEARCH WAS PERFORMED BY THE SURVEYOR. ANY INFORMATION SUCH AS DEEDS, EASEMENTS, DEDICATIONS, UNDERLYING RESTRICTIONS AND OTHER MATTERS OF RECORD SHOWN ON THIS SURVEY IS REFERENCED FROM TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NO. FCH2400292LD WITH AN EFFECTIVE DATE OF APRIL 15, 2024.

- INTEREST OF THE DEPARTMENT OF PUBLIC WORKS AND BUILDINGS OF THE STATE OF ILLINOIS UNDER QUIET CLAIM DEED FROM THE ILLINOIS STATE TOLL HIGHWAY COMMISSION RECORDED AUGUST 15, 1960 AS DOCUMENT 928832 CONVEYING PARCEL NO. E-1A-221. 1 PERMANENT RIGHT OF WAY EASEMENT - AREA 0.065 ACRES DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTH EAST 1/4 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRDPERMANENT EASEMENT IN FAVOR OF THE ILLINOIS STATE HIGHWAY AUTHORITY RECORDED JANUARY 18, 2008 AS DOCUMENT NO. 2008K005092, PLOTTED AND SHOWN HEREON
- ROUTE LOCATION DECISION AND ORDER ESTABLISHING A FREEWAY EACH MADE BY STATE OF ILLINOIS, DEPARTMENT OF PUBLIC WORKS AND BUILDINGS, DIVISION OF HIGHWAYS EACH DATED JUNE 18, 1982 AND RECORDED JUNE 22, 1982 RESPECTIVELY AS DOCUMENTS 98901 AND 98900 ESTABLISHING A FREEWAY OVER THAT PART OF FEDERAL AID ROUTE 23 ADJOINING THE LAND ON THE EAST, LYING SOUTHERLY OF A POINT APPROXIMATE 220 FEET NORTHERLY OF THE NORTH ABUTMENT OF THE GRADE SEPARATION OVER THE EAST-WEST TOLLWAY, LIMITING THE ACCESS TO SAID FEDERAL AID ROUTE 23 FROM SAID PREMISES. PLOTTED AND SHOWN HEREON
- PERMANENT EASEMENT IN FAVOR OF THE ILLINOIS STATE HIGHWAY AUTHORITY RECORDED JANUARY 18, 2008 AS DOCUMENT NO. 2008K005092, PLOTTED AND SHOWN HEREON
- PLAT OF EASEMENT TO THE VILLAGE OF NORTH AURORA FOR A PUBLIC SIDEWALK RECORDED FEBRUARY 15, 2011 AS DOCUMENT NO. 2011K011392, THE TERMS, PROVISIONS AND CONDITIONS AS CONTAINED THEREIN, PLOTTED AND SHOWN HEREON
- CABLE TELEVISION INSTALLATION AGREEMENT DATED JULY 27, 1992 AND RECORDED AUGUST 31, 1992 AS DOCUMENT 92861169
- VILLAGE OF NORTH AURORA, ORDINANCE NO. 21-07-19-07 RECORDED JULY 30, 2021 AS DOCUMENT NO. 2021K098395.

SURVEYOR'S CERTIFICATE

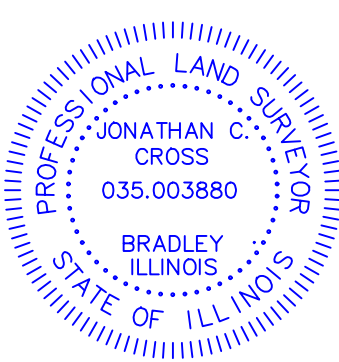
TO: LEONARD MCENERY, OR HIS DESIGNATED ASSIGNEE: 230 AIRPORT RD LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; FIDELITY NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on January 9, 2024.

DATED: PRO FORMA, 2024.

NOT A CERTIFIED DOCUMENT

Jonathan C. Cross
 Illinois Professional Land Surveyor #035.003880
 License Expires November 30, 2024



GAS N WASH
 230 AIRPORT ROAD
 AURORA, ILLINOIS 60542
 PH: 708-805-2525
 EMAIL: LENMCENERY@AOL.COM

ALTA/NSPS LAND TITLE SURVEY

PLAT REVISIONS		
DATE	BY	DESCRIPTION

MGA² CIVIL ENGINEERING LAND SURVEYING

M GINGERICH GEREUX & ASSOCIATES
 Professional Design Firm License # 184.001808
 P. 815-939-4921 www.mg2a.com F. 815-939-9810
 240 N. INDUSTRIAL DRIVE | BRADLEY, IL. 60915
 © 2024 M.GINGERICH, GEREUX & ASSOCIATES

24-147

SB: ## PG: ##
 FIELD BY: RPT
 DRAFTED BY: NIB

SHEET NO.
1 OF **1**

August 21, 2024

Nathan Darga
Community Development Director
Village of North Aurora

RE: Application of Leonard McEnery
dba Gas N Wash
SWC Route 31 and Airport Road

Nathan,

Please be advised that Leonard McEnery / Gas N Wash is under contract to purchase the above referenced property from 230 Airport Rd, LLC for the development of a motor fueling facility, convenience store and car wash.

As owner of said property, the undersigned seller/owner hereby consents to Leonard McEnery / Gas N Wash filing all necessary applications for rezoning and/or special use permits, site plan approval and all other necessary applications required for the development of this property for such intended use.

Sincerely,


230 Airport Rd., LLC

MANAGING PARTNER

Narrative

Lenny's Gas N Wash

This narrative is in regards to the Gas N Wash proposed project at 230 S Lincolnway, North Aurora, IL. This development is approximately 4.16 acres of currently vacant land. The proposed development will offer the following:

- 8,065 sf convenience store that has (2) quick serve restaurants (QSR). One of the QSR's has a drive thru.
- 4,900 sf express, long-tunnel carwash. This type of express carwash is high quality, low cost, efficient and convenient, which has led to a change in consumer preference, from competing full-service and self-service carwashes.
- Auto Canopy: 7 island inline style.
- CFL (Commercial Fueling Lane) Canopy: 2 lanes

The convenience store will be open 24 hours, as well the gaming area. Six video gaming terminals will be installed at the proposed development. Liquor Sales would operate as allowed per Village ordinance. The car wash will operate from 6:00 am to 10:00 pm. Employees per Business shift are as follows;

- 1ST Shift 6am – 2pm / 24 Employees
 - C-Store, (1) QSR – 21 Employees
 - Carwash – 3 Employees
- 2nd Shift – 2 pm -10pm / 22 Employees
 - C-Store, (2) QSR – 19 Employees
 - Carwash – 3 Employees
- 3RD Shift – 10 pm – 6am / 2 Employees
 - C-Store, – 2 Employees

The two diesel-fueling lanes that are proposed on the property will have 15,000 gallons in diesel sales a month, which is the equivalent to (7) trucks per day. No overnight Truck parking is available at this site. Hours of operation for diesel sales will be from 4 am to 10 pm.

The Gas N Wash family of stores currently includes (21) Gas N Wash locations and (3) Food N Fuel locations. The difference in these two entities is that Food N Fuel locations are primarily truck stops, which do not provide the express, long-tunnel carwash. The Gas N Wash locations however do include this added feature. Lenny's Gas N Wash North Aurora, LLC will include this feature and will be 100% run and managed by Leonard McEnergy.

PLANNED UNIT DEVELOPMENT STANDARDS

Attach a statement indicating the manner in which the requested planned unit development supports each of the following standards:

1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
 - *The zoning is adaptable to the unified development proposed. The existing site contains no buildings at this time, and is an open lot. The proposed grading will make this site viable for the proposed use.*
2. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
 - *This proposed project is a complementary use to the development and is an integral part of the business plan. Gas N Wash has an outstanding Maintenance record and operation at all of their existing facilities, the request of special use of plan unit development for a gas station with drive thru and carwash at this property will provide a clean, safe , respectful relationship with the public.*
3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
 - *The use will not alter the character of the area in that this development architecture will provide quality materials for both the convenience store and car wash buildings. The high quality of the proposed development reflects a use that is compatible with a main traffic route and will complement the commercial uses in the area. The use of this development will offer high quality materials, service and products to the area that would encourage further enhancement of existing properties.*
4. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
 - *The use of high quality material i.e. masonry bearing buildings, high quality architecture and landscaping that will enhance the area and the aesthetic of the property. Market value studies done at other Gas N Wash locations have shown an improved impact in surrounding neighborhood areas. In fact, Gash N wash has received letters of support from village mayors stating that "Gas N Wash" has been a great business for the community.*

5. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
 - *The proposed establishment will not impede the normal and orderly development and improvements of the surrounding properties. In fact, the development will encourage the further investment of the surrounding properties. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above will add convenience to the lives of the surrounding property users.*

6. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
 - *The existing utilities available to the site are adequate for the proposed use. Our proposed establishment will provide adequate access to patrons via the existing roads. The design provides adequate access to the site that will allow for proper circulation. In addition, civil engineering has adequately provided proper drainage, parking and utilities for the proposed establishment.*

7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
 - *The circulation as designed allows for cars and trucks to safely maneuver within the facility, we have also used directional signage to aid our patrons and the public to safely enter and exit the facility. We believe that we have provided adequate measures to provide a functional and safe ingress and egress to minimize traffic and congestion in the public streets.*

8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
 - *The maximum allowed FAR is 2.0. This is a measurement of how dense a project can be. The proposed development has an FAR of only .07 or 1/28th the allowable density. This FAR allows for the proposed development to be in harmony with the surrounding neighborhood and land uses.*

9. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?

- *The proposed landscaping is calling for 69 shade trees, 9 evergreen trees, 15 ornamental trees, 166 evergreen shrubs, 284 deciduous shrubs and in addition 1,986 perennials and grasses. This proposed landscaping will enhance the development.*

10. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?

- *The proposed use is allowed in the B-2 district, as a special use therefore is consistent with the intent of the ordinance and comprehensive plan.*

11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

- *The proposed full masonry bearing buildings exceed the required building construction type. The proposed landscaping meets most of the requirements of the ordinance. Except where hinder due to existing geometry of property.*

SPECIAL USE STANDARDS

1. That the establishment, maintenance and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.
 - *This proposed project is a complementary use to the development and is an integral part of the business plan. Gas N Wash has an outstanding Maintenance record and operation at all of their existing facilities, the request of special use of plan unit development for a gas station with drive thru and carwash at this property will provide a clean, safe, respectful relationship with the public.*

2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.
 - *The proposed establishment will not hinder the normal and orderly development and improvements of the surrounding properties. In fact, the development will encourage the further investment of the surrounding properties. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above will add convenience to the lives of the surrounding property users.*

3. That the special use in the specific location proposed is consistent with the spirit and intent of the Zoning Ordinance and the adopted Comprehensive Plan.
 - *The proposed use is allowed in the B-2 district, as a special use therefore is consistent with the intent of the ordinance and comprehensive plan.*

4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard below individually.
 - The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
 - *The proposed use is allowed in the B-2 district, as a special use therefore is authorized in the zoning district.*

 - The proposed special use is deemed necessary for the public convenience at that location.
 - *The proposed development reflects a use that is compatible with a main traffic route and will complement the commercial uses in the area. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above are necessary for public convenience.*

- The proposed special use does not create excessive additional impacts at public expense for public facilities and services and will be beneficial to the economic welfare of the community.
 - *Proposed development will be using existing utilities at the site and will not require any enhancement of those utilities.*
 - *The proposed development will provide significant tax revenue to the community in the form of real estates, sales and fuel taxes.*
- The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.
 - *The proposed use is a family owned business doing business in the Chicago metropolitan area and is therefore in conformance with the comprehensive plan.*
- The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
 - *The proposed use is only a single story buildings made of high quality masonry materials augmented with harmonious landscaping. That are all intended to be compatible and enhance the surrounding area.*
- The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
 - *The use of high quality material i.e. masonry bearing buildings, high quality architecture and landscaping that will enhance the area and the aesthetic of the property. Market value studies done at other Gas N Wash locations have shown an improved impact in surrounding neighborhood areas. In fact Gash N wash has received letters of support from village mayors stating that "Gas N Wash" has been a great business for the community.*
- The proposed special use is compatible with development on adjacent or neighboring property.
 - *The surrounding zoning districts are classified as business and industrial. The proposed development will provide services that will be compatible with the adjacent land uses.*
- The proposed special use minimizes potentially dangerous traffic movements and provides adequate and safe access to the site.
 - *The circulation as designed allows for cars and trucks to safely maneuver within the facility, we have also used directional signage to aid our patrons and the public to safely enter and exit the facility. We believe that we have provided adequate measures to provide a functional and safe ingress and egress to minimize traffic and congestion in the public streets.*

- The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
 - *The proposed parking exceeds the minimal required parking spaces and is in accordance with the ordinance requirements.*
- The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
 - *The existing utilities available to the site are adequate for the proposed use. Our proposed establishment will provide adequate access to patrons via the existing roads. The design provides adequate access to the site that will allow for proper circulation. In addition civil engineering has adequately provided proper drainage, parking and utilities for the proposed establishment.*
- The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.
 - *The proposed PUD is in accordance with ordinance. However due to the geometry of site and the nature of business there will be a request for exceptions.*



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

JB Pritzker, Governor

Natalie Phelps Finnie, Director

October 08, 2024

Randy Raab
MG2A
25620 S Gougar Rd
Manhattan, IL 60442

RE: Gas N Wash-IL Route 31 & Interstate 88-North Aurora
Project Number(s): 2504626
County: Kane

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Adam Rawe

Adam Rawe
Division of Ecosystems and Environment
217-785-5500



October 15, 2024

Village of North Aurora

Nathan Darga
25 E. State St.
North Aurora, IL 60542

Re: Natural Resources Inventory

Application #24-096

Petitioner: Leonard McEnery
Kim Farbak
8200 W. 185th St. Unit K
Tinley Park, IL 60487

Location Address: parcel #15-041-451-009, located at 230 S. Lincolnway North Aurora, IL 60542
Location: Aurora Township 38N, Range 8E, Section 4, in Kane County

The application for a Natural Resources Inventory was sent to the Kane-DuPage Soil & Water Conservation District (KDSWCD) in compliance with Section 22.02a of the Illinois Soil and Water Conservation District Act.

According to the information received, a Natural Resources Inventory is required at this time for the proposed use of an automobile laundry, C-store, and drive-thru food service in conjunction with automobile fueling station. This report will be completed on or before November 15, 2024.

If you have any questions concerning this letter, please contact the KDSWCD office at the address or phone below.

Sincerely,

A handwritten signature in cursive script that reads "Isabella Borzeka".

Isabella Borzeka

Resource Analyst

August 14, 2024

VIA ELECTRONIC MAIL AND DELIVERY

Lyman C. Tieman
Attorney at Law
12417 Tahoe Lane
Mokena, IL 60448
lctieman@yahoo.com

Re: 230 Airport Road, LLC sale to McEnergy

Dear Mr. Tieman:

This letter seeks to provide support for the upcoming project of the proposed Gas N Wash on the NWC of IL RTE 31 and I-88 ("**Proposed Property**"). Asbury Gardens, the property directly next to the Proposed Property on Airport Road, is currently owned by both the property company, EJR Enterprises, Inc, an Illinois corporation, as well as the tenants and operating company, Asbury Gardens SLF, LLC, an Illinois limited liability company, (collectively "**Seller**"). Seller has become aware of the map of the site plan, attached here as **Exhibit A**. Seller is aware that the Proposed Property is to be built next to its facility.

Seller is confirming its support for the continuation of the project. This letter serves as a formal endorsement of the project's objectives and plans, reflecting confidence with the upcoming organizational goals. Please keep Seller updated on all future plans and next steps that may affect the Asbury Gardens facility.

Respectfully,

EJR ENTERPRISES INC.,
an Illinois corporation



Name: Moshe Kahn
Its: President

ASBURY GARDENS SLF, LLC
an Illinois limited liability company



Name: Moshe Kahn
Its: Manager

Exhibit C

Preliminary Site & Engineering Plans



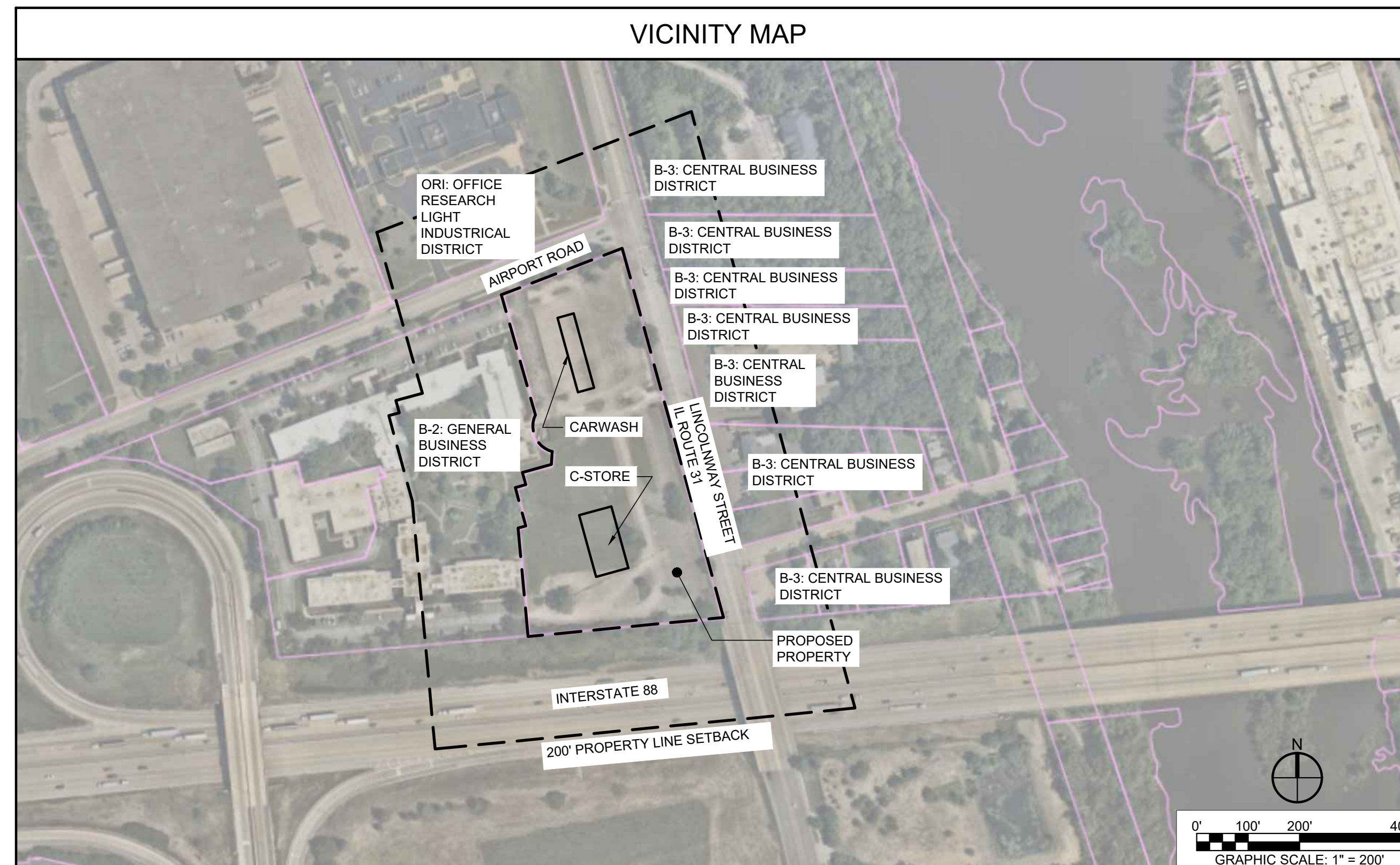
RETAIL PETROLEUM FACILITY

SWC IL 31 & AIRPORT ROAD
NORTH AURORA, IL 60542

10/16/2024 ZONING SUBMISSION



DRAWING INDEX	
G001	COVER SHEET
1 OF 3	EXISTING TOPOGRAPHY PLAN
2 OF 3	PRELIMINARY GEMOTRY PLAN
3 OF 3	PRELIMINARY UTILITIES & GRADING PLAN
A001	SITE PLAN
A002	TRASH ENCLOSURE DETAILS
A003	SIGN DETAILS
A004	SITE DETAILS
A005	STORAGE BUILDING PLAN AND ELEVATIONS
A006	CANOPY ELEVATIONS
A007	SITE SIGNAGE PLAN
L1.0	LANDSCAPE PLAN - NORTH
L1.2	LANDSCAPE PLAN - SOUTH
L1.3	DETAILS
LO-160935	LIGHTING PROPOSAL
24-114.2C	ID PRICE MONUMENT
24-114.2AC	ID PRICE MONU FOUNDATION
24-114.3C	CAR WASH MONUMENT
24-114.3AC	CAR WASH MONU FOUNDATION
24-114.4C	AUTO CANOPY SIGNAGE
24-114.4C LED	INDIRECT CANOPY COVE LIGHTING
24-114.5C	TRUCK CANOPY
24-114.6C	C-STORE SIGNAGE
24-114.7C	CAR WASH BUILDING WEST
24-114.8C	CAR WASH BUILDING NORTH
24-114.8C2	CAR WASH BUILDING SOUTH
24-114.9C	CAR WASH BUILDING EAST
24-114.10C	CAR WASH PAY CANOPY
24-114.11C	CAR WASH VACUUM CANOPY
A101	C-STORE FLOOR PLAN
A201	C-STORE COLORED ELEVATIONS
A102	CARWASH FLOOR PLAN
A202	CAR WASH COLORED ELEVATIONS



SCOPE OF WORK

THIS IS A 8,066 SQUARE FOOT GAS AND WASH CONVENIENCE STORE WITH DRIVE THRU WINDOW, 7 DISPENSER AUTO CANOPY, TWO-BAY TRUCK CANOPY AND SINGLE 4,900 SQUARE FOOT TUNNEL CAR WASH.

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEYING

WT GROUP
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2875 Prichard Avenue | Northbrook, Illinois, IL 60062
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RETAIL PETROLEUM FACILITY
SWC IL 31 & AIRPORT ROAD
NORTH AURORA, IL 60542
GAS N WASH

GAS N WASH

ISSUE

TO	DATE
CLIENT	5/21/24
ZONING	9/19/24
ZONING	10/16/24

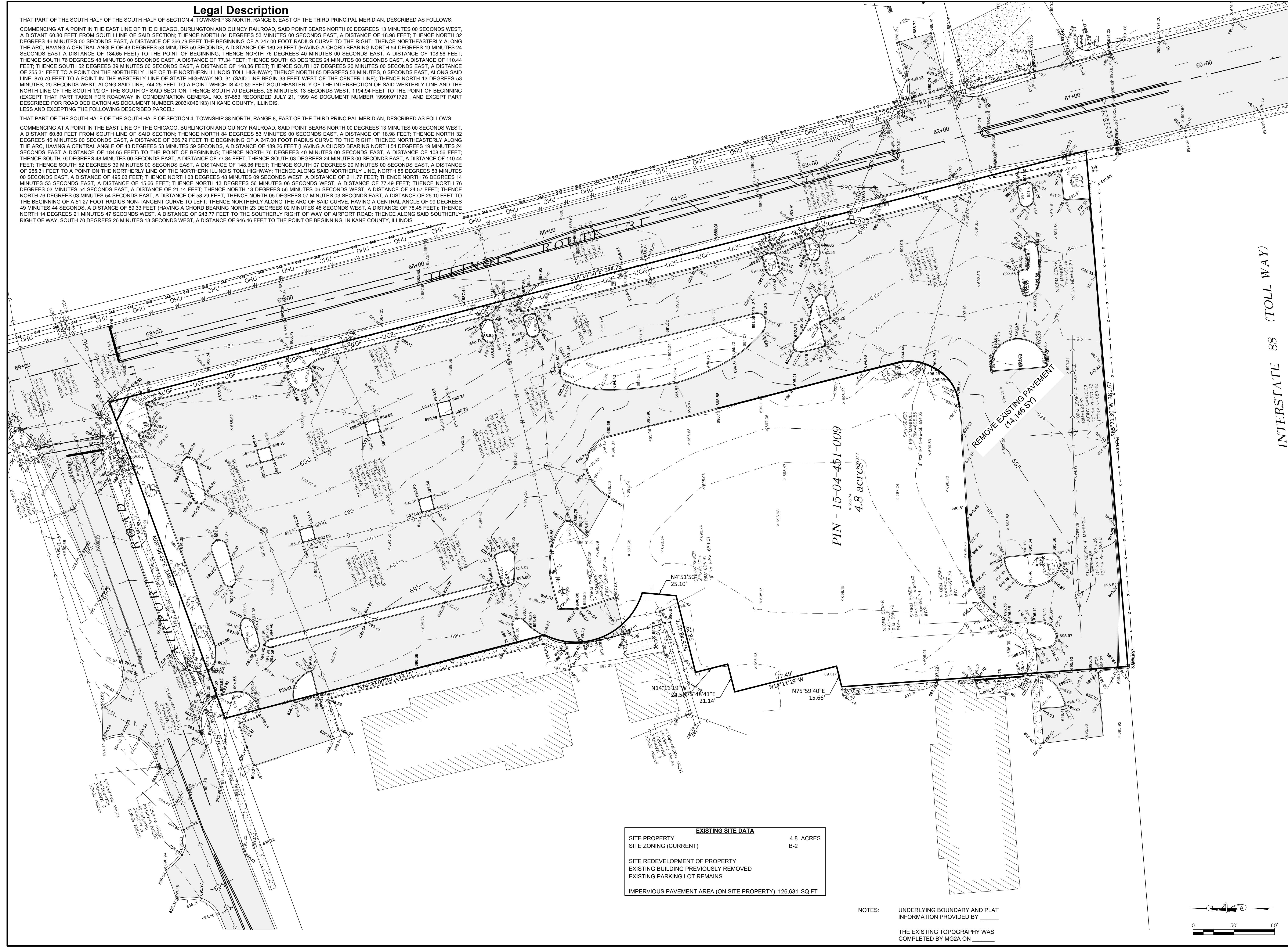
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JOB:D2400163

G001
COVER SHEET

Legal Description

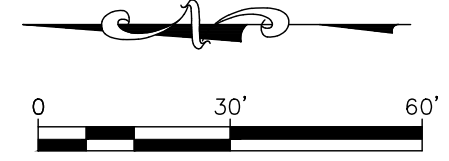
THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.96 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 253.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE NORTH 85 DEGREES 53 MINUTES 0 SECONDS EAST, ALONG SAID LINE, 876.70 FEET TO A POINT IN THE WESTERLY LINE OF STATE HIGHWAY NO. 31 (SAID LINE BEGIN 33 FEET WEST OF THE CENTER LINE); THENCE NORTH 13 DEGREES 53 MINUTES 20 SECONDS WEST, ALONG SAID LINE, 744.25 FEET TO A POINT WHICH IS 470.89 FEET SOUTHEASTERLY OF THE INTERSECTION OF SAID WESTERLY LINE AND THE NORTH LINE OF THE SOUTH 1/2 OF SAID SECTION; THENCE SOUTH 70 DEGREES 26 MINUTES 13 SECONDS WEST, 1194.94 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN FOR ROADWAY IN CONDEMNATION GENERAL NO. 57-853 RECORDED JULY 21, 1999 AS DOCUMENT NUMBER 1999K071729 , AND EXCEPT PART DESCRIBED FOR ROAD DEDICATION AS DOCUMENT NUMBER 2003K040193) IN KANE COUNTY, ILLINOIS.

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.96 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 253.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE ALONG SAID NORTHERLY LINE, NORTH 85 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 495.03 FEET; THENCE NORTH 03 DEGREES 48 MINUTES 09 SECONDS WEST, A DISTANCE OF 211.77 FEET; THENCE NORTH 76 DEGREES 14 MINUTES 53 SECONDS EAST, A DISTANCE OF 15.86 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 77.49 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 21.14 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 24.57 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 58.29 FEET; THENCE NORTH 05 DEGREES 07 MINUTES 03 SECONDS EAST, A DISTANCE OF 25.10 FEET TO THE BEGINNING OF A 51.27 FOOT RADIUS NON-TANGENT CURVE TO LEFT; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A CENTRAL ANGLE OF 99 DEGREES 49 MINUTES 44 SECONDS, A DISTANCE OF 89.33 FEET (HAVING A CHORD BEARING NORTH 23 DEGREES 02 MINUTES 48 SECONDS WEST, A DISTANCE OF 78.45 FEET); THENCE NORTH 14 DEGREES 21 MINUTES 47 SECONDS WEST, A DISTANCE OF 243.77 FEET TO THE SOUTHERLY RIGHT OF WAY OF AIRPORT ROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 70 DEGREES 26 MINUTES 13 SECONDS WEST, A DISTANCE OF 946.46 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS



EXISTING SITE DATA	
SITE PROPERTY	4.8 ACRES
SITE ZONING (CURRENT)	B-2
SITE REDEVELOPMENT OF PROPERTY	
EXISTING BUILDING PREVIOUSLY REMOVED	
EXISTING PARKING LOT REMAINS	
IMPERVIOUS PAVEMENT AREA (ON SITE PROPERTY) 126,631 SQ FT	

NOTES: UNDERLYING BOUNDARY AND PLAT INFORMATION PROVIDED BY _____
 THE EXISTING TOPOGRAPHY WAS COMPLETED BY MG2A ON _____



INTERSTATE 88 (TOLL WAY)

PLAN EDITION MILESTONES	
DATE	DESCRIPTION
9/11/2024	PRELIMINARY SUBMITTAL
10/14/2024	PER VILLAGE PLANNING REVIEW

MGA² CIVIL ENGINEERING SURVEYING
M GINGERICH GEREUX & ASSOCIATES
 MG2A WEST
 Professional Design Firm License # 184-005003
 P. 815-478-9680 F. 815-478-9685
 25620 S. COUGAR RD. | MANHATTAN, IL. 60442
 www.mg2a.com

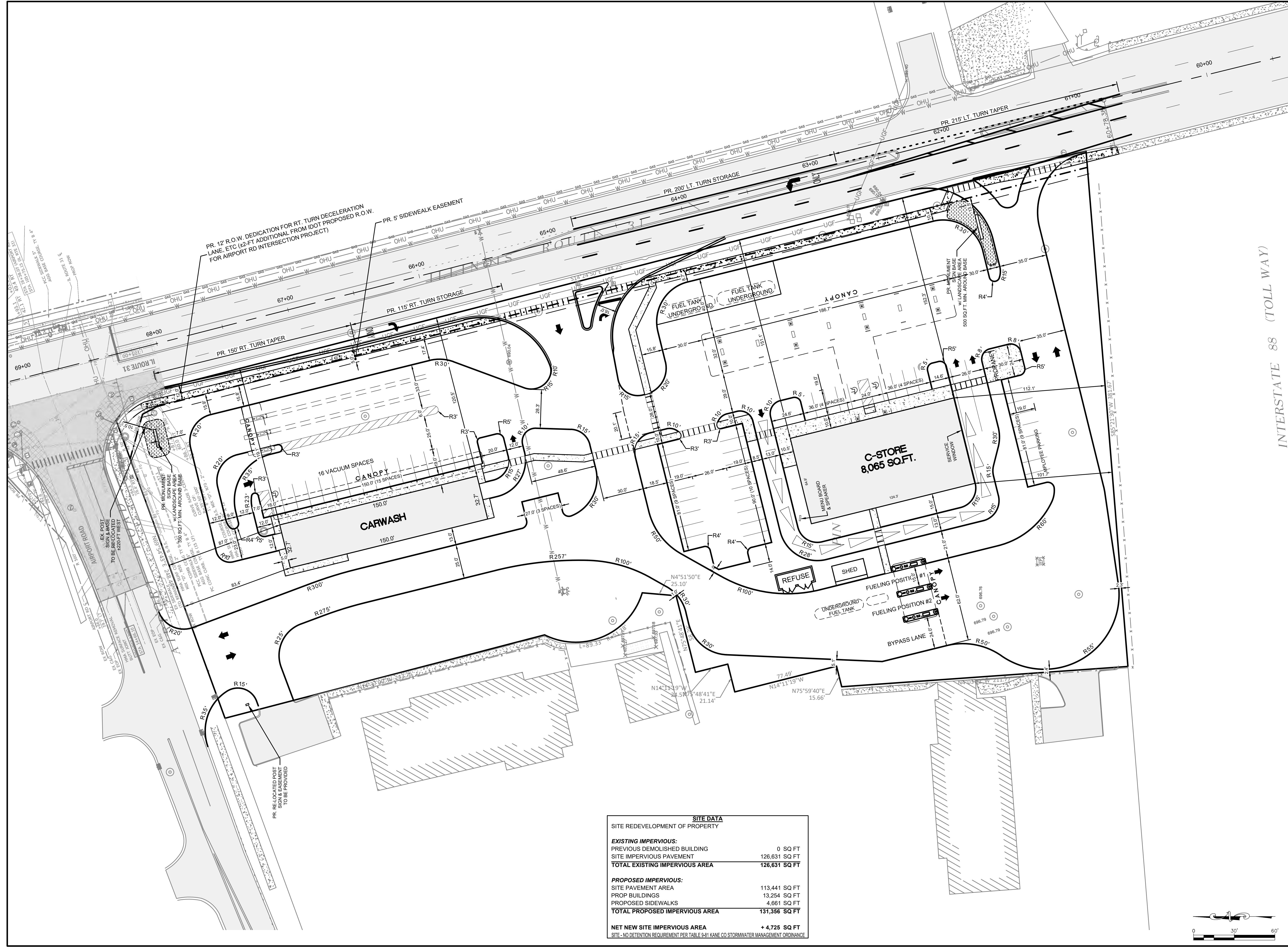
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APPROVED:	BPH

DESIGN:	MG2A
DRAWING:	BPH
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APPROVED:	BPH

GAS N WASH
IL 31 BETWEEN I-88 & AIRPORT ROAD
 VILLAGE OF NORTH AURORA, KANE COUNTY, IL
EXISTING TOPOGRAPHY PLAN

SHEET NO.
1 OF **3**

JOB NO. 24-147
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PR. 12' R.O.W. DEDICATION FOR RT. TURN DECELERATION LANE, ETC (42-FT ADDITIONAL FROM IDOT PROPOSED R.O.W. FOR AIRPORT RD INTERSECTION PROJECT)

PR. 5' SIDEWALK EASEMENT

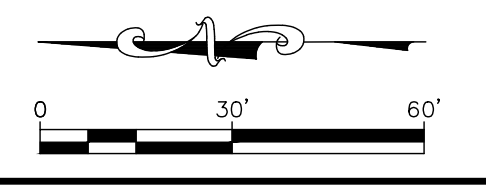
16 VACUUM SPACES
CANOPY
150.0' (16 SPACES)

CARWASH

C-STORE
8,065 SQ.FT.

SITE DATA

SITE REDEVELOPMENT OF PROPERTY	
EXISTING IMPERVIOUS:	
PREVIOUS DEMOLISHED BUILDING	0 SQ FT
SITE IMPERVIOUS PAVEMENT	126,631 SQ FT
TOTAL EXISTING IMPERVIOUS AREA	126,631 SQ FT
PROPOSED IMPERVIOUS:	
SITE PAVEMENT AREA	113,441 SQ FT
PROP BUILDINGS	13,254 SQ FT
PROPOSED SIDEWALKS	4,661 SQ FT
TOTAL PROPOSED IMPERVIOUS AREA	131,356 SQ FT
NET NEW SITE IMPERVIOUS AREA	+ 4,725 SQ FT
SITE - NO DETENTION REQUIREMENT PER TABLE 9-31 KANE CO STORMWATER MANAGEMENT ORDINANCE	



PLAN EDITION MILESTONES	
DATE	DESCRIPTION
9/11/2024	PRELIMINARY SUBMITTAL
10/14/2024	PER VILLAGE PLANNING REVIEW

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 25620 S. COUGAR RD. | MANHATTAN, IL 60442
 www.mg2a.com

DESIGN: MC2A
 DRAWING: BPH
 CHECKED: ---
 APPROVED: BPH

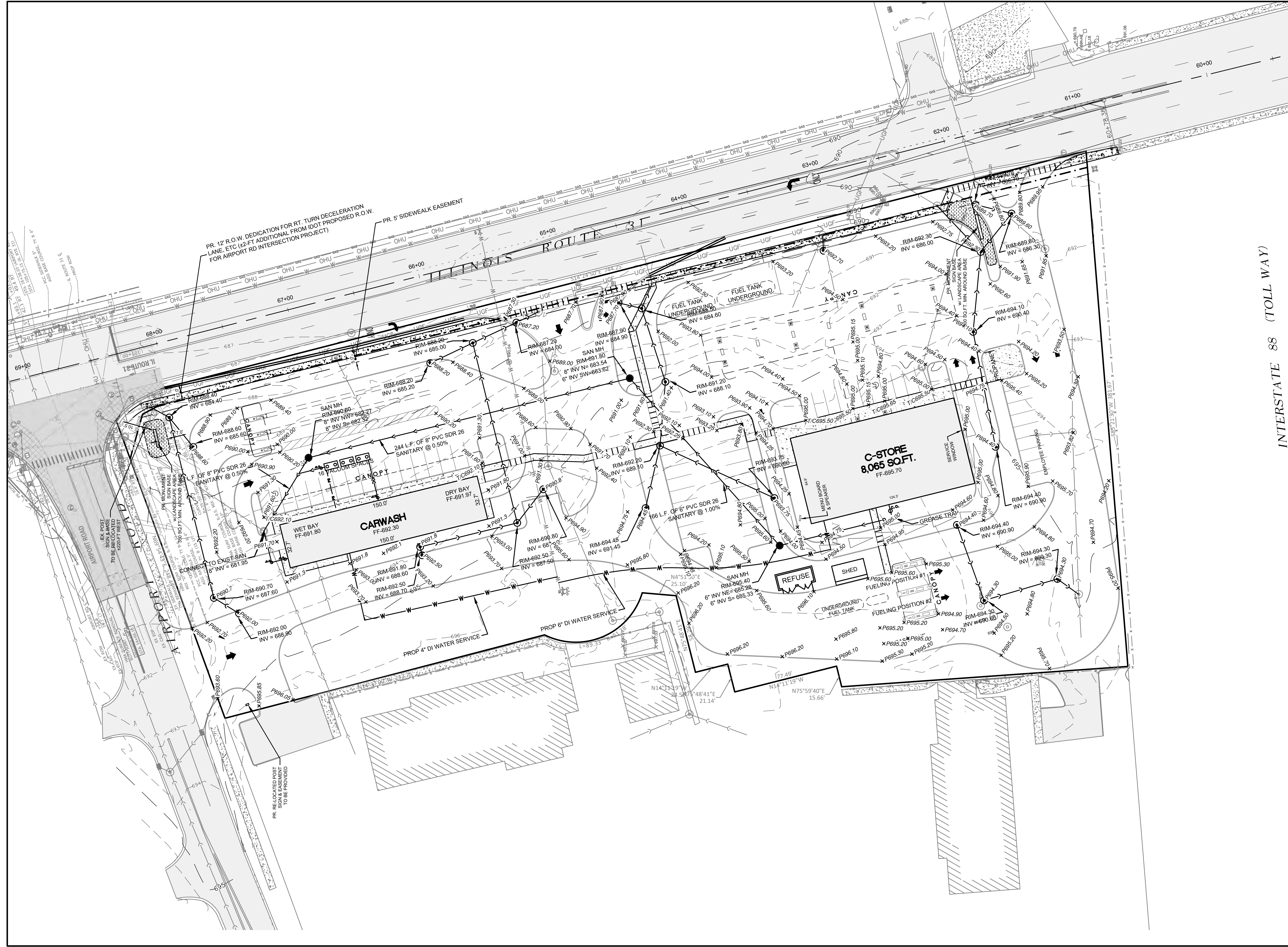
GAS N WASH & AIRPORT ROAD
 VILLAGE OF NORTH AURORA, KANE COUNTY, IL

PRELIMINARY GEOMETRY PLAN

INTERSTATE 88 (TOLL WAY)

SHEET NO. 2 OF 3

JOB NO. 24-147
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PR. 12' R.O.W. DEDICATION FOR RT. TURN DECELERATION LANE, ETC (2-FT ADDITIONAL FROM IDOT PROPOSED R.O.W. FOR AIRPORT RD INTERSECTION PROJECT)

PR. 5' SIDEWALK EASEMENT

INTERSTATE 88 (TOLL WAY)

PLAN EDITION MILESTONES	
DATE	DESCRIPTION
9/11/2024	PRELIMINARY SUBMITTAL
10/14/2024	PER VILLAGE PLANNING REVIEW

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DESIGN:	MC2A
DRAWING:	BPH
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APPROVED:	BPH

GAS N WASH
IL 31 BETWEEN I-88 & AIRPORT ROAD
 VILLAGE OF NORTH AURORA, KANE COUNTY, IL

PRELIMINARY UTILITIES & GRADING PLAN

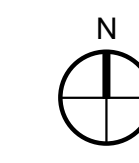
SHEET NO. **3** OF **3**

JOB NO. 24-147

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1 SITE PLAN
SCALE: 1" = 40'-0"



ZONING INFORMATION

SITE ZONING (TITLE 17, CH. 6.1)	MUNICIPALITY / JURISDICTION: EXISTING ZONING: B-2 GENERAL COMMERCIAL DISTRICT PROPOSED ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
SITE AREA (TITLE 17, CH. 8 TABLE 8.2)	LOT AREA: FAR RATIO:	ALLOWED 7,500 SF (MIN.) 2.0 (MAX.)	PROPOSED 208,338 SF 0.07
BUILDING HEIGHT (TITLE 17, CH. 8 TABLE 8.2)	C-STORE: CAR WASH: DUMPSTER ENCLOSURE: STORAGE BUILDING:	ALLOWED 35'-0" 35'-0" 33'-6" 33'-6"	PROPOSED 21'-8" 33'-6" 6'-9" 11'-6"
YARD/BUILDING SETBACKS (TITLE 17, CH. 8 TABLE 8.2)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 35'-0" 35'-0" 10'-0" 20'-0"	PROPOSED 16'-0" 88'-10" 101'-9" 43'-5"
PARKING LANDSCAPE SETBACKS (TITLE 17, CH. 14)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 50'-0" 50'-0" 5'-0" 5'-0"	PROPOSED 9'-0" 35'-11" 1'-9" 0'-6"
PARKING / STACKING (TITLE 17, CH. 13)	LOADING SPACE: PARKING SPACE SIZE: DRIVE THRU STACKING: CSTORE: 8,066 S.F. 2 SPACES PER 1,000 SF: CAR WASH: TOTAL PARKING:	REQUIRED 1 REQUIRED 12'-0" X 50'-0" 3 MIN. 18 1	PROPOSED - 9'-0" x 19'-0" 10'-0" x 19'-0" 14 55 16 71 SPACES PROVIDED

SITE EXCEPTION/VARIANCE REQUESTS

1. REQUESTING A VARIANCE FOR A REDUCTION OF THE FRONT YARD PARKING LANDSCAPE SETBACK TO 9'-0" FROM THE REQUIRED 50'-0" LANDSCAPE BUFFER REQUIRED ALONG IL ROUTE 31.
 2. REQUESTING A VARIANCE FOR A REDUCTION OF THE CORNER SIDE YARD PARKING LANDSCAPE SETBACK TO 35'-11" FROM THE REQUIRED 50'-0" LANDSCAPE BUFFER REQUIRED ALONG AIRPORT ROAD.
 3. REQUESTING A VARIANCE FOR A REDUCTION OF THE REAR YARD PARKING LANDSCAPE SETBACK TO 6" FROM THE REQUIRED 5'-0"
 4. REQUESTING A VARIANCE FOR A REDUCTION OF THE FRONT YARD BUILDING SETBACK TO 16'-0" FROM THE REQUIRED 35'-0" BUILDING SETBACK ALONG IL ROUTE 31.
- NOTE: CAR WASH VACUUM PARKING AREA WILL NOT NEED TO COMPLY WITH PARKING LOT ISLAND REQUIREMENTS.

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEYING

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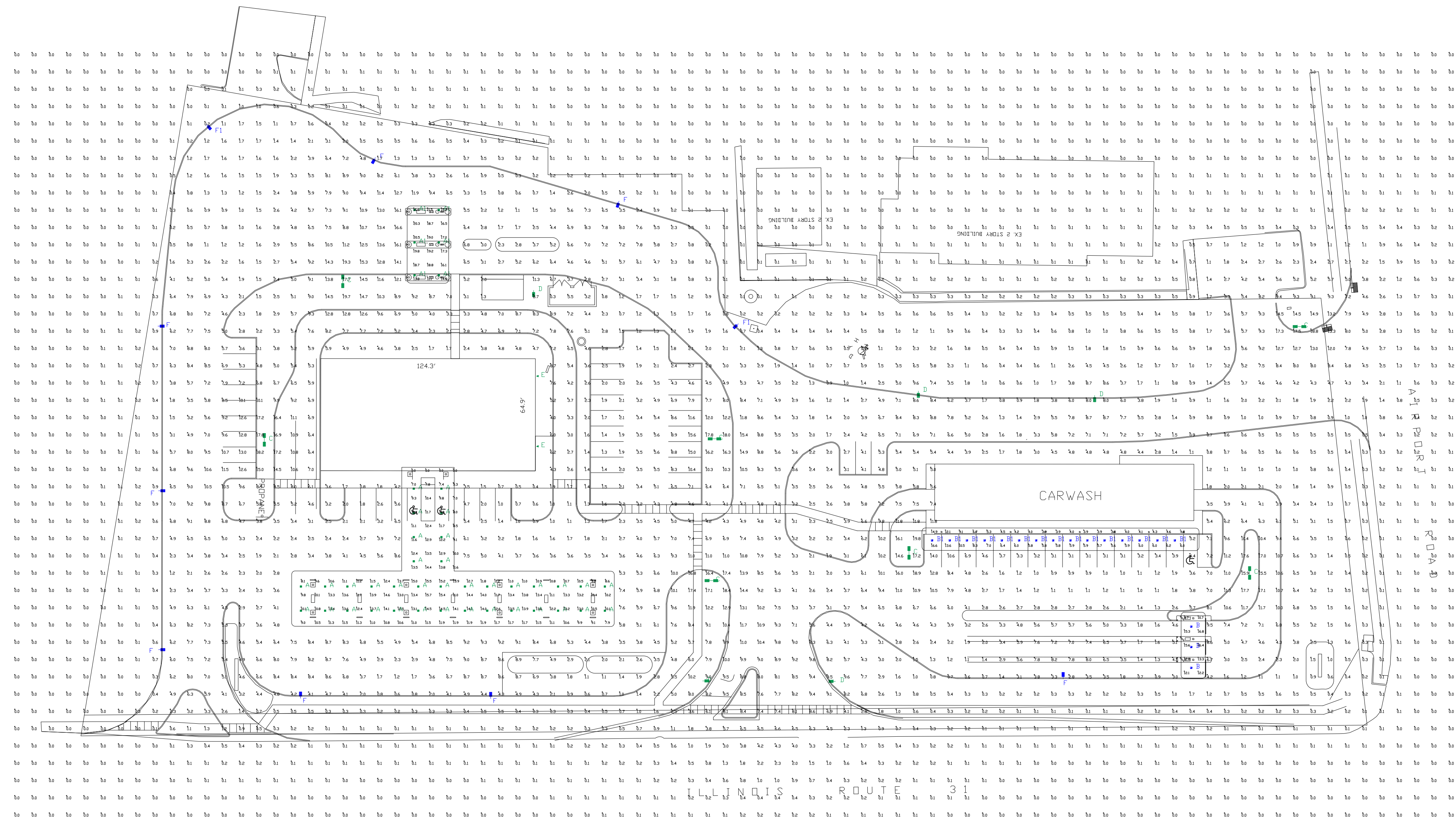
ISSUE
 TO: DATE:
 CLIENT: 5/21/24
 ZONING: 9/19/24
 ZONING: 10/16/24

WT GROUP
 RETAIL PETROLEUM FACILITY
 SWC IL 31 & AIRPORT ROAD
 NORTH AURORA, IL 60542
GAS N WASH

GAS N WASH

CHECK:CP
 DRAWN:KV
 JOB:D2400163

A001
 SITE PLAN



XWM



SLM



CRUS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	2.29	19.8	0.0	N.A.	N.A.
DIESEL CANOPY	Illuminance	Fc	16.94	20.5	11.1	1.53	1.85
GAS CANOPY	Illuminance	Fc	11.34	15.7	0.0	N.A.	N.A.
PAY CANOPY	Illuminance	Fc	13.39	16.8	8.7	1.54	1.93
VACUUM CANOPY	Illuminance	Fc	6.45	16.6	3.8	1.70	4.37
INSIDE CURB	Illuminance	Fc	5.21	19.3	0.2	26.05	96.50

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol]	36	A	Single	CRUS-SC-HD-50-WHT DIMMED 80%	18' GAS	0.200	0.200	19071	125
[Symbol]	6	A1	Single	CRUS-SC-HD-50-BLK DIMMED 60%	17' DIESEL	0.400	0.400	19071	125
[Symbol]	3	B	Single	CRUS-SC-LW-50-WHT DIMMED 70%	8'-6" PAY	0.300	0.300	11148	73
[Symbol]	15	B1	Single	CRUS-SC-LW-50-WHT DIMMED 90%	10' VACUUM	0.100	0.100	11148	73
[Symbol]	7	C	D180°	SLM-LED-30L-SIL-FT-50-70CRI-BRZ-D180	20' POLE+2' BASE	1.000	1.000	63424	426
[Symbol]	5	D	Single	SLM-LED-30L-SIL-FT-50-70CRI-BRZ-SINGLE	20' POLE+2' BASE	1.000	1.000	31712	213
[Symbol]	2	E	Single	XWM-FT-LED-06L-50-BRZ	12'	1.000	1.000	6557	47
[Symbol]	8	F	Single	SLM-LED-30L-SIL-FT-50-IL-70CRI-SINGLE	20' POLE+2' BASE	1.000	1.000	20433	213
[Symbol]	2	F1	Single	SLM-LED-30L-SIL-FT-50-IL-70CRI-SINGLE	20' POLE+2' BASE	0.200	0.200	20433	213

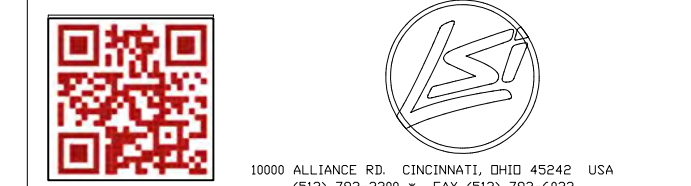
PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

For quotes, please contact
WALSH, LONG & CO
quotes@walshlong.com

Total Project Watts
Total Watts = 12835



1000 ALLIANCE RD. CINCINNATI, OH 45242 USA
(513) 793-3000 • FAX (513) 793-6003

LIGHTING PROPOSAL LD-160935-2

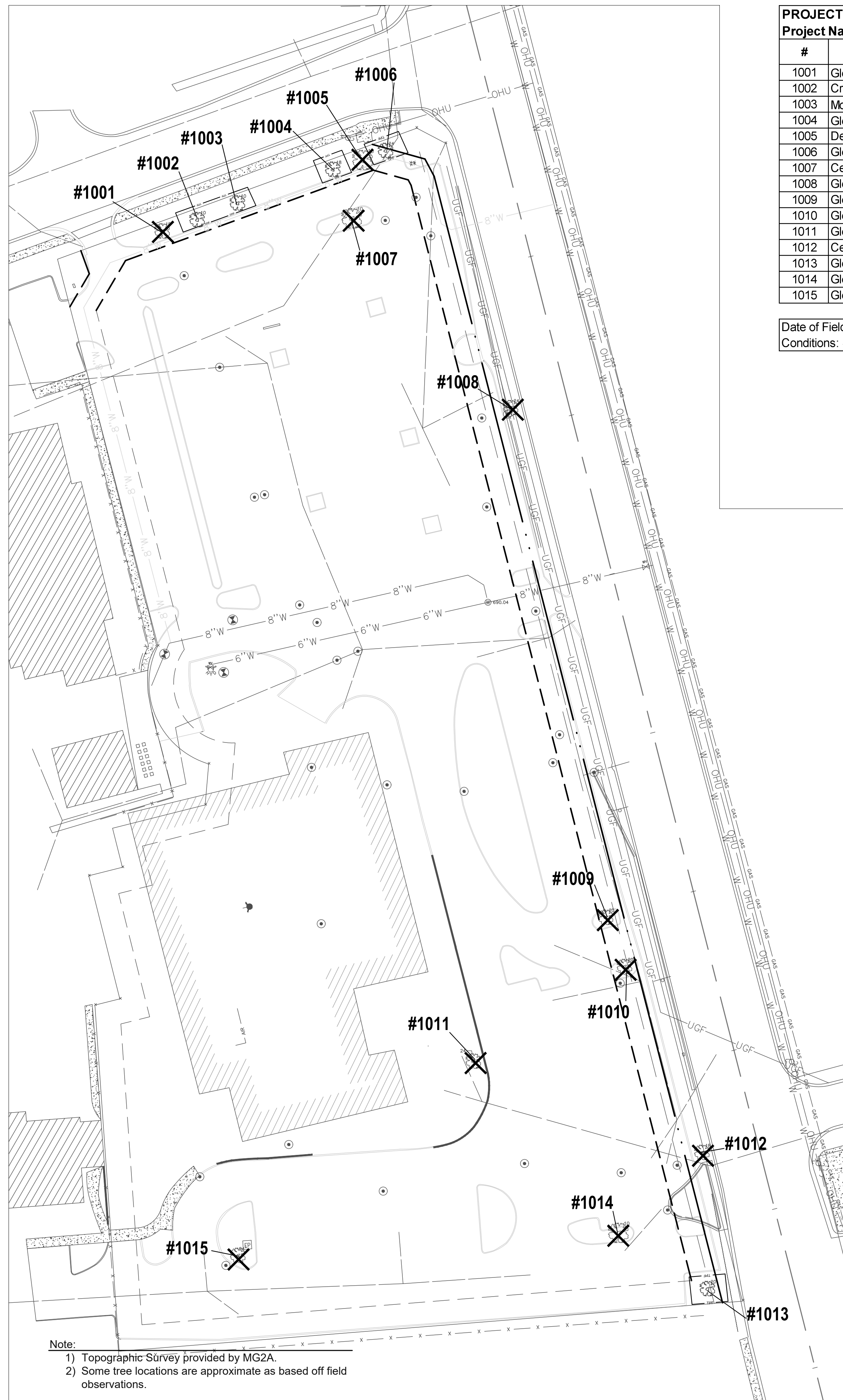
GAS N WASH
IL 31 & INTERSTATE 88
NORTH AURORA, IL

BY:WVE DATE:08-29-24 REV:10-24-24 SHEET 1 OF 1

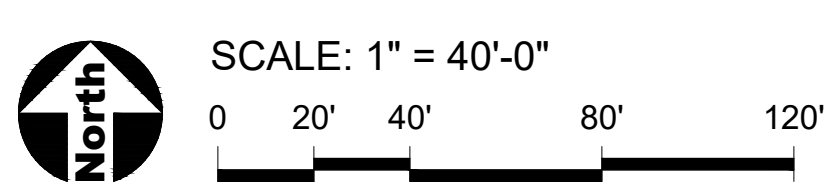
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Exhibit D

Preliminary Landscape Plans



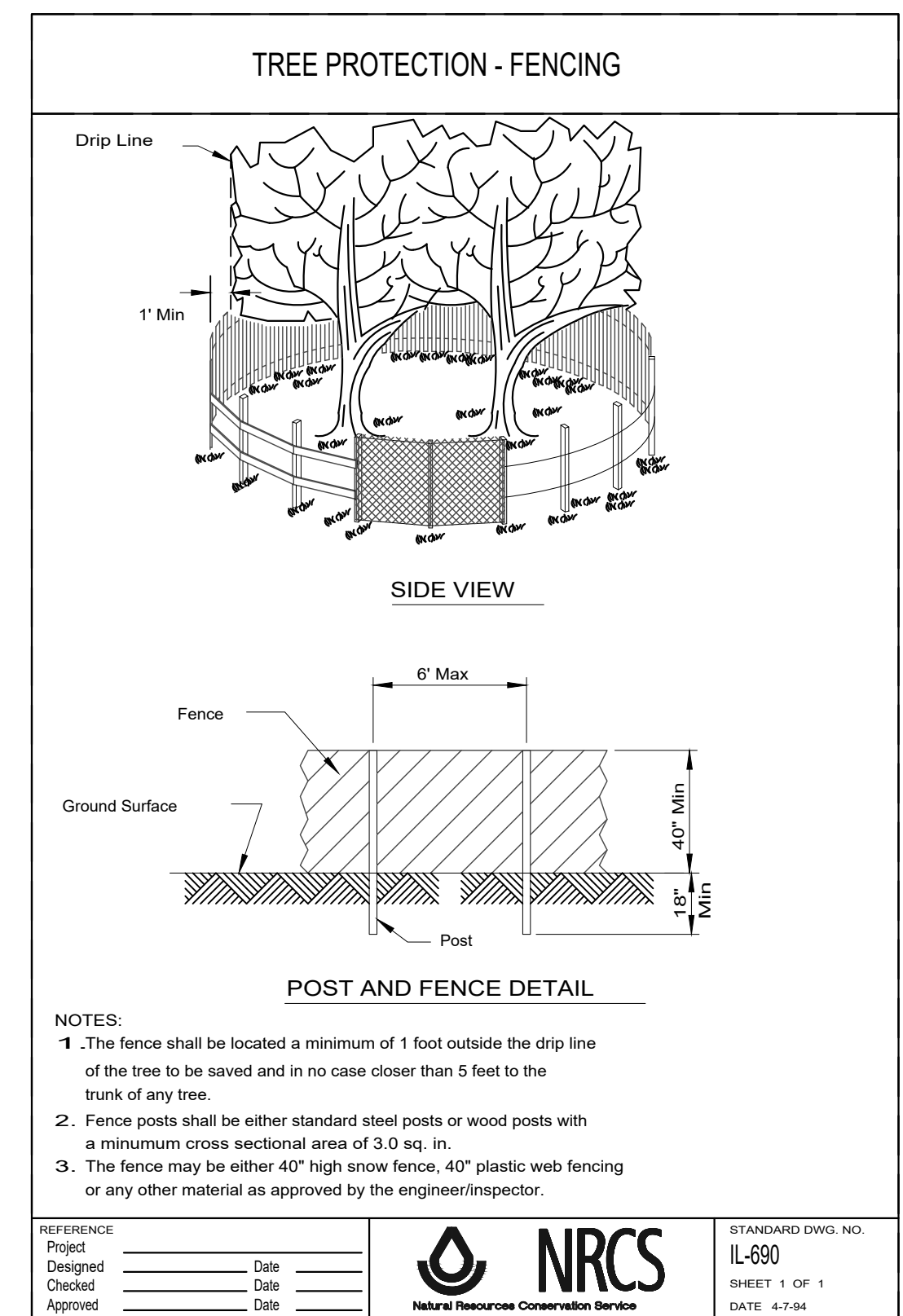
Note:
 1) Topographic Survey provided by MG2A.
 2) Some tree locations are approximate as based off field observations.



PROJECT # 1320 Field Notes 2024_11_12
Project Name: Gas N Wash North Aurora

#	BOTANICAL NAME	COMMON NAME	CONDITION	Measured Size	Tree Protection Method	REMOVE
1001	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	18	None. REMOVE TREE	x
1002	Crataegus phaenopyrum	Washington Hawthorn	P	6.6/5.8/3.6	1	
1003	Morus alba	Mulberry	G	8.5/8.6/5.5	1	
1004	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	15.6	1	
1005	Dead Tree		D		None. REMOVE TREE	x
1006	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	22.8	1	
1007	Celtis occidentalis	Common Hackberry	G	17.6	None. REMOVE TREE	x
1008	Gleditsia triacanthos	Honey Locust	G	30.8	None. REMOVE TREE	x
1009	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	21.5	None. REMOVE TREE	x
1010	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	23.2	None. REMOVE TREE	x
1011	Gleditsia triacanthos	Honey Locust	G	26.7	None. REMOVE TREE	x
1012	Celtis occidentalis	Common Hackberry	P	17.9	None. REMOVE TREE	x
1013	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	19.5	1	
1014	Gleditsia triacanthos	Honey Locust	G	12.5	None. REMOVE TREE	x
1015	Gleditsia triacanthos var. inermis	Thornless Honey Locust	G	23.5	None. REMOVE TREE	x

Date of Field Observations: 11/12/2024
 Conditions: Some leaves present on deciduous



1 Tree Protection Fence
 SCALE: NTS d-NRCS-IL690-tree protection fence_12

TREE RATING NOTES:

Tree Survey and Rating Assignment Limitations/Definitions:
 1. Unless otherwise stated all trees are surveyed from ground level using non-invasive visual observation. The disclosure of hidden crown and stem defects, in particular where they may be above a reachable height or covered in ivy or in areas of ground vegetation, or deep snow cannot therefore be expected. The absence of foliage due to fall/winter weather or storm damage may limit the available information.
 2. Where trees are located wholly or partially on neighboring private land then said land is not accessed and our inspection is therefore restricted to what can reasonably be seen from within the site. Stem diameters of trees located on such land are estimated.
 3. Where poison ivy is attached to the tree trunk, stem diameters will be estimated.
 4. Diameter measurements are made at 4.5 feet above the ground (DBH) unless local ordinance requirements dictate different procedures.

Explanation of Tree Ratings:
 Good (G) The tree is typical of the species and may have 1 or 2 minor problems that are not imminently lethal to the tree, and no significant decay or structural problems. The tree may need care in order to minimize the impact of future stress and to ensure continued health. Invasive species will not be graded Good, regardless of their current health or structure.
 Fair (F) The tree is not typical of the species and/or is an invasive species and/or has significant problems such as ≥ 20 percent deadwood in the crown, serious decay or structural defect, insects, disease or other problems that can be imminently lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
 Poor (P) The tree is not typical of the species and/or has over 50 percent deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival.
 Dead (D) The tree is 90 percent or more dead. A scratch test of under bark areas might be performed where branches can be reached. Stumps with live sprouts up to 3" diameter are graded Dead or not included on the mapping.

Trees were inventoried on 11/12/2024 by Heath Wright, ISA Certified Arborist # IL-9435A

Tree Replacement. In the event that a tree identified for preservation is destroyed or damaged during construction, such tree shall be replaced with a tree that is at least the same size caliper as the tree removed, or be replaced with smaller trees, each with a minimum caliper of the original tree. Any tree removal which occurs within one year prior to application for annexation shall also be subject to provisions for like replacement, as outlines above.

10 trees have been marked to be removed.

GENERAL NOTES: TREE PROTECTION

- Tree protection fencing shall be installed prior to any construction on the site. Tree protection fencing shall be installed in all areas affected by construction. See detail #1 on sheet L1.0.
- Tree protection fencing shall consist of brightly colored (orange) plastic mesh fencing a minimum of 48" in height and securely attached to metal fence posts that are driven into the ground and spaced no more than eight feet (8') apart.
- No encroachment, grading, trenching, filling, compaction, waste dumping, concrete washout, change in soil chemistry, or storage of materials, equipment or vehicles shall occur within the protected fenced areas.
- Where root two inches (2") in diameter and greater must be severed, the ends shall be cut cleanly with supervision or direction of an arborist certified by the International Society of Arboriculture to prevent the onset of decay. If roots are accidentally broken or crushed, the root shall be saw cut above the ragged end. In all cases, the cut roots shall be immediately buried, mulched, or otherwise kept moist to preserve vitality.
- Tree protection fencing shall remain in place and be maintained by contractor until the completion of construction.

Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542

PROJECT
Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542

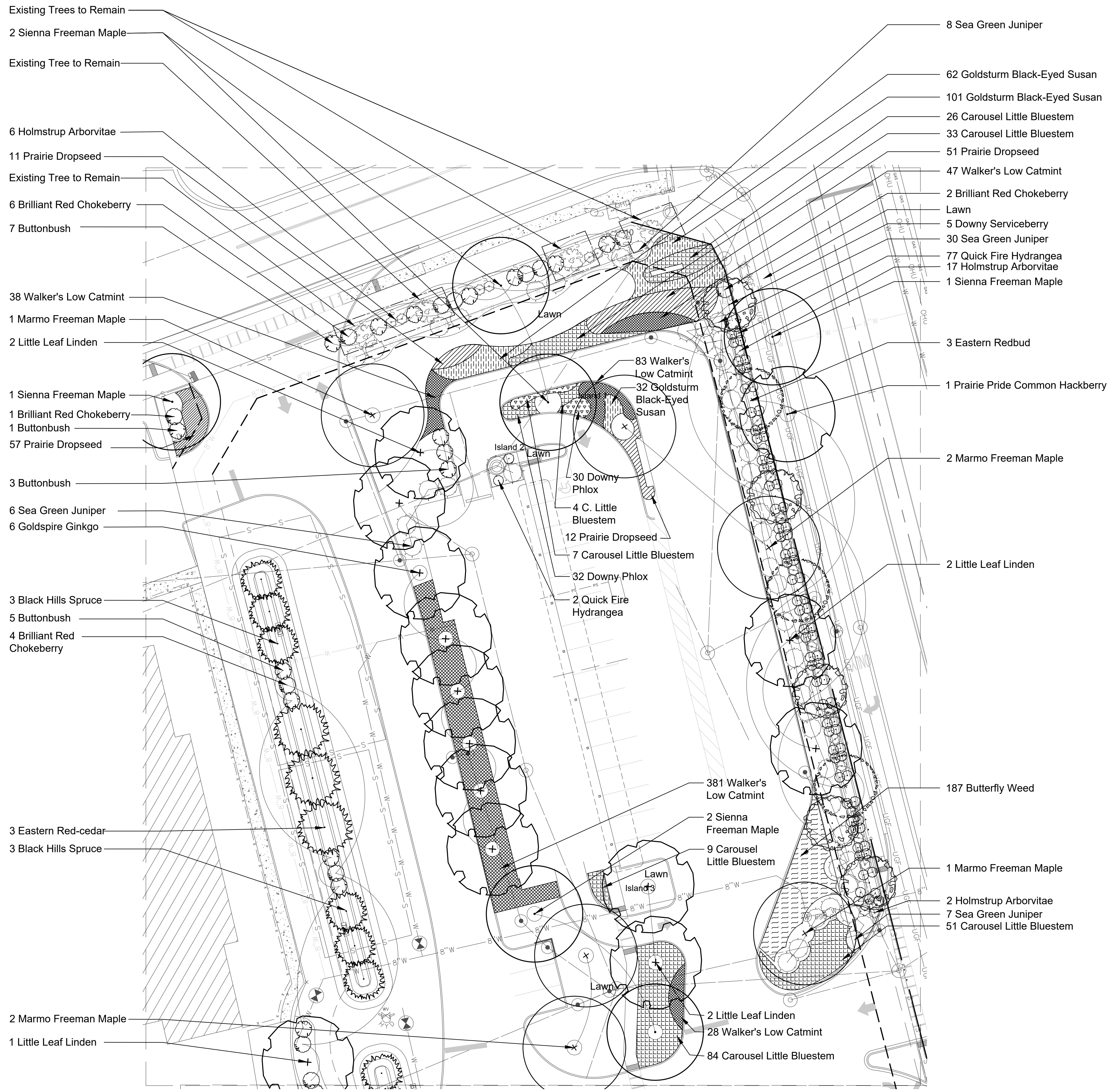


SHEET TITLE
Tree Preservation Plan

SHEET NUMBER L1.0

DRAW / REVISION

REV	DESCRIPTION	DATE
AJ/SC	Permit Submittal	03SEPT2024
AJ/MO	Permit Submittal	16OCT2024
AJ/MO	Permit Submittal	15NOV2024
AJ/MO	Permit Submittal	11DEC2024



GENERAL NOTES: LANDSCAPE

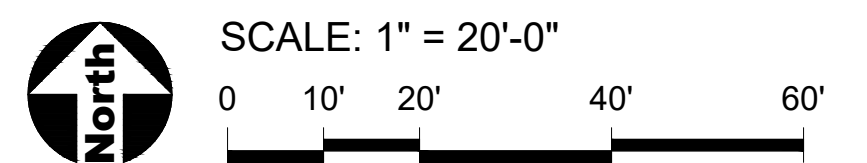
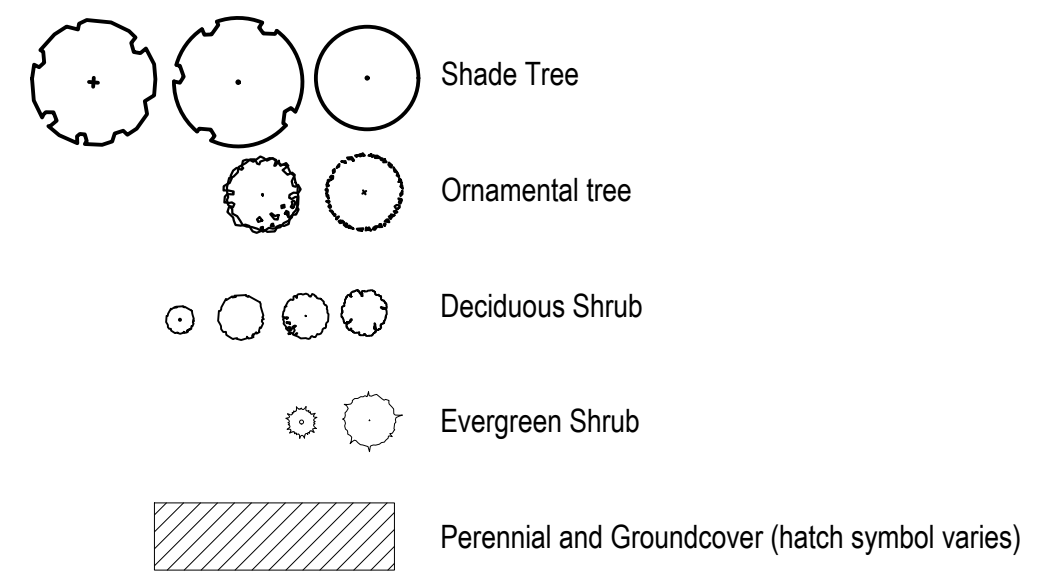
- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (6" diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds. Do not add compost nor roto-fill within drip line of existing trees.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification. All irrigation shall be installed and functioning prior to seeding.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Contractor shall restore all areas disturbed as a result of construction.
- Landscape contractor to coordinate all work with irrigation work.
- Pre-emergent shall be provided in all landscape beds shall be provided.

Gas N Wash
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 North Aurora, Illinois 60542

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Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542



LEGEND



SHEET TITLE

Landscape Plan - North

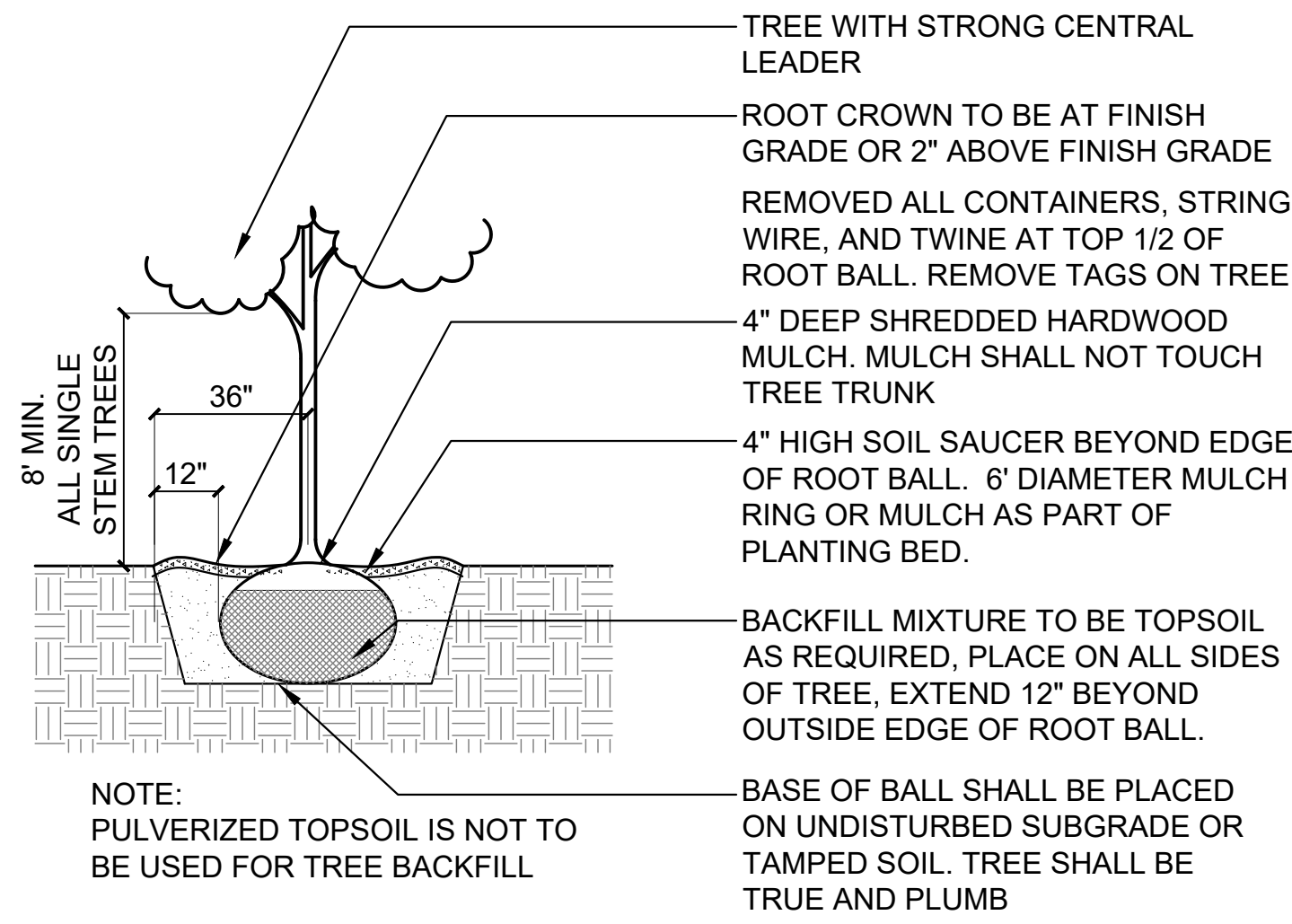
SHEET NUMBER L1.0

DRAW / REVISION

AJ/JSC	Permit Submittal	03SEPT2022
AJ/MO	Permit Submittal	16OCT2024
AJ/MO	Permit Submittal	15NOV2024
AJ/MO	Permit Submittal	11DEC2024

Project Number 1320
 © Copyright 2024 Upland Design Ltd.
 W:\1320-Gas N Wash North Aurora-Len\30-CD-files
 PLOT: UPLAND 2021

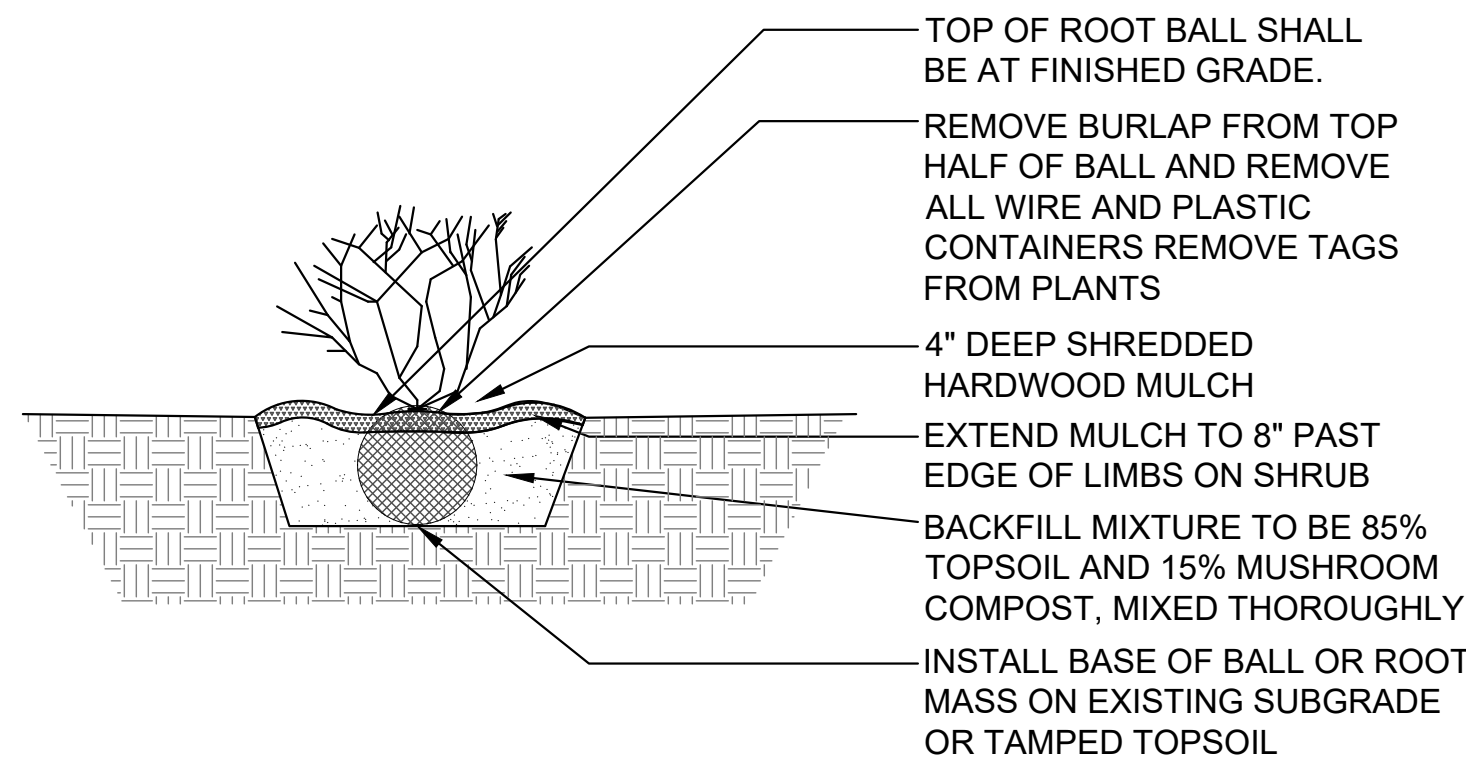
DETAILS



NOTE: PULVERIZED TOPSOIL IS NOT TO BE USED FOR TREE BACKFILL

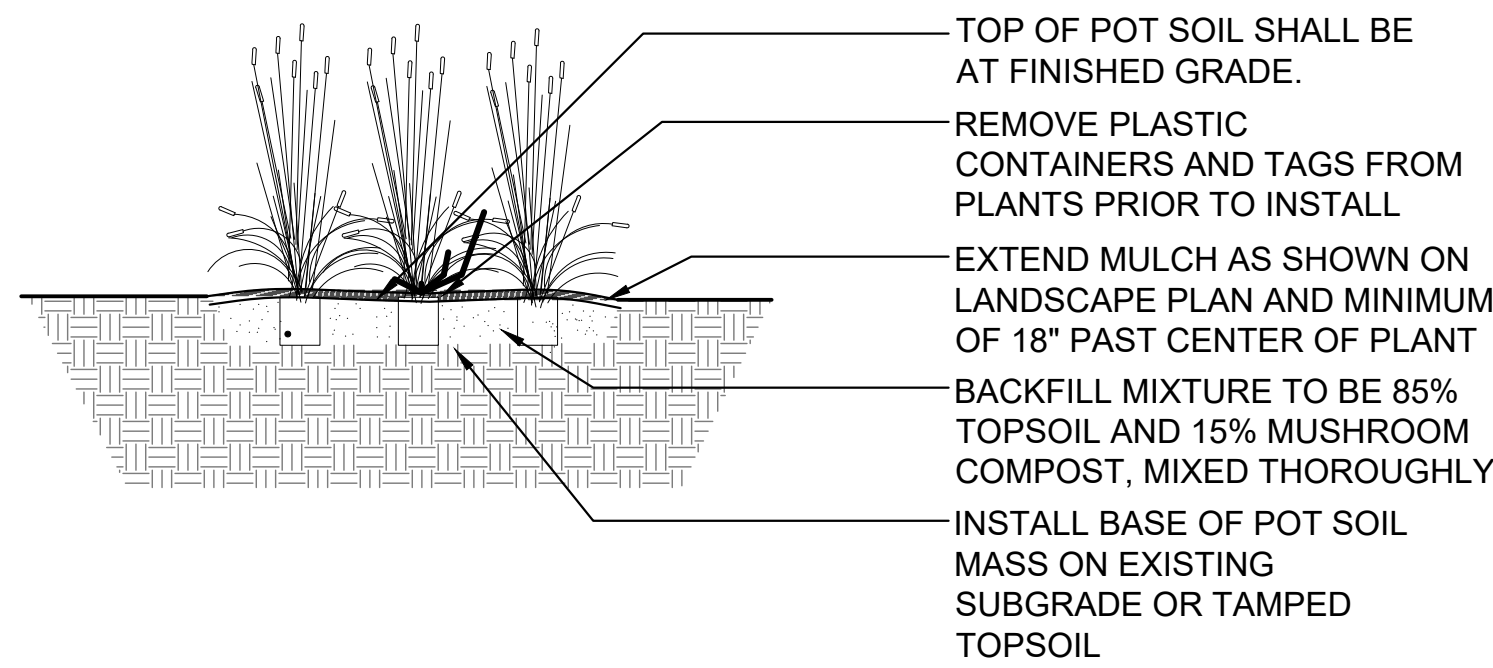
1 Tree Installation

SCALE: N.T.S. d-plant-tree_12



2 Shrub Installation

SCALE: N.T.S. d-plant-shrub_12



3 Perennial & Ornamental Grass Installation

SCALE: 1" = 1'-0" d-perennials

REQUIREMENTS CHART

North Aurora, Illinois				
14.4 Design standards				
Location	Requirement	Calculation	Proposed Trees	Proposed Shrubs
Buildings	Softening of Walls and Fences. Plant material shall be placed against long expanses of building walls, fences and other barriers to create a softening effect and to help break up long expanses of blank walls with little architectural detail. Energy Conservation. Plant material placement should be designed to reduce the consumption of energy by the development. Deciduous trees should be placed on the south and west sides of buildings to provide shade from the summer sun. Evergreens and other plant materials should be concentrated on the north and west sides of buildings to dissipate the effect of winter winds.	North Building: 180LF of Wall South Building: 164.03 LF of wall	North Building: 7 Trees South Building: 2 Trees	North Building: 4 Shrubs South Building: 33
14.5 - On-lot landscaping				
Location	Requirement	Calculation	Proposed Trees	Existing Shade Trees
Entire Site SF	Shade trees shall be provided for office and commercial developments at a minimum of one tree per five hundred square feet of total lot area minus the area of the building.	186294 SF / 500 SF = 372.59 Trees	69 shade trees proposed due to limited space	5
14.6 - Parkway landscaping				
Location	Requirement	Calculation	Proposed Shade Trees	Existing Shade Trees
Parkway	Parkway trees shall be planted at the equivalent of one tree at an average interval of every forty linear feet.	331/40= 8.27 Parkway planting limited by sidewalk and pavement	7	1
14.8 Parking lot perimeter landscape yard				
Location	Requirement	Calculation	Proposed Trees	Proposed Shrubs
Entire Perimeter except Parkway	New Parking Areas Adjacent to Nonresidential Districts. One shade tree and five shrubs shall be required per forty (40) feet of perimeter length. Twenty (20) percent of the total length of perimeter plant material shall be evergreen.	(2143.7/40)*1 Tree= 53.6 (2143.7/40)*5 Shrubs= 267.9 2143.7*.20= 428.74 LF of Evergreens	Shade Trees: 18 Evergreen Trees: 19	Deciduous Shrubs: 218 Evergreen Shrubs: 125
Perimeter Landscaping Yard	Perimeter landscaping is required for all portions of parking lots that abut the street. A perimeter landscape yard shall be a minimum of five feet in width and shall require six-inch curbing. A landscape treatment shall run the full length of the perimeter landscape yard. One tree shall be planted every forty (40) linear feet of yard length. Trees may be clustered based on specific site requirements, as approved by the Community Development Director. Shrubs and/or Pedestrian Walls and Berms. For every three feet of perimeter yard length, one shrub, measuring a minimum of two feet at planting, and reaching a minimum of four feet in height at maturity. Groundcover. Landscaped areas outside of shrub and tree masses shall be planted in turf or other live groundcover.	Southeast PLY: (332.3/40)*1= 8.3 Trees (332.3/3)*1= 110.7 Shrubs South and West PLY: (1075.7/40)*1= 26.9 Trees (1075.7/3)*1= 358.5 Shrubs Northeast PLY: (449/40)*1= 11.2 Trees (449/3)*1= 149.6 Shrubs	Southeast PLY: 12 Trees South and West PLY: 30 Trees Northeast PLY: 16 Trees	Southeast PLY: 111 Shrubs required, 75 proposed based on space South and West PLY: 359 Shrubs required, 137 proposed due to space Northeast PLY: 150 Shrubs required, 160 proposed
14.9 - Interior parking lot landscaping design guidelines				
Location	Requirement	Calculation	Proposed Shade Trees	Proposed Landscaped Area
Interior Parking Lot	A minimum of one shade tree should be provided for every parking lot island. If the island extends the width of a double row, then two shade trees should be provided. A minimum of seventy-five (75) percent of every parking lot island or landscaped area should be planted with shrubs, turf or other live groundcover.	Island 1 = 2 Trees 821*.75 = 615.75 sq ft Island 2 = 1 Tree 252.66*.75 = 189.5 sq ft Island 3 = 1 Tree 369.4*.75 = 277.05 sq ft Island 4 = 1 Trees 246.9*.75 = 185.175 sq ft Island 5 = 1 Trees 243.37*.75 = 182.53 sq ft	4 Trees 4 Trees not proposed due to limited space or utilities in Parking Islands 2 & 5	Island 1 = 616 sq ft Actual: 625 sq ft Island 2 = 190 sq ft Actual: 253 sq ft Island 3 = 277 sq ft Actual: 324 sq ft Island 4 = 185 sq ft Actual: 219 sq ft Island 5 = 182.53 sq ft Actual: 190 sq ft
Interior Parking Lot	Additional landscaped areas within the parking lot should provide a minimum of one shade tree for every three hundred (300) square feet of landscaped area. A minimum of seventy-five (75) percent of every parking lot island or landscaped area should be planted with shrubs, turf or other live groundcover.	North Landscaped Area: (4159/300)*1= 13.8 Trees 4159*.75 = 3119.2 sq ft South Landscaped Area: (7981/300)*1= 26.6 Trees 7981*.75 = 5985.7 sq ft	North: 14 Trees required, 7 proposed due to space South: 27 Trees required, 16 proposed due to space	North: 3119 sq ft required, 4159 sq ft proposed South: 5986 sq ft required, 7552 proposed
14.10 - Buffer yard design guidelines				
Location	Requirement	Calculation	Proposed Landscaped Area	Existing Shade Trees
Buffer Yard	Landscape Buffers Along Major Arterial and Collector Streets. For the purpose of improving the safety, appearance and environment of the Village, a fifty-foot landscaped buffer shall be provided and maintained on all properties adjoining the following streets: Airport Road, Deerpath Road, Illinois Route 25, Illinois Route 31, Illinois Route 56, Mooseheart Road, Oak Street, Orchard Road, Randall Road.	A maximum of 25.5' of space is provided between street and interior pavement along Illinois Route 31 including sidewalk, parkway, and perimeter landscape yard. A maximum of 43.3' of space is provided between street and interior pavement along Airport Road including parkway and perimeter landscape yard.	See below	0
Buffer Yard	Where a greater buffer is required by the zoning district regulations, or for a planned unit development, the greater buffer requirement shall apply. The landscape buffer shall comply with the following: The ground cover of the landscaped area shall contain at least seventy-five (75) percent live landscaping of which at least twenty-five (25) percent consists of shrubs, trees, flowering plants, or other plant material over twelve (12) inches in height.	A maximum of 25.5' of space is provided between street and interior pavement along Illinois Route 31 including sidewalk, parkway, and perimeter landscape yard. 8227.8*.75 = 6170.9 sq ft 6170.9*.25 = 1542.7 sq ft 6170.9 - 1542.7 = 4628.2 sq ft A maximum of 43.3' of space is provided between street and interior pavement along Airport Road including sidewalk, parkway, and perimeter landscape yard 5770.8 sq ft *.75 = 4328.1 sq ft 4328.1*.25 = 1082.02 sq ft 4328 - 1082 = 3246 sq ft	IL Rte 31: 6171 sq ft of landscaping with at least 1543 sq ft of plant material greater than 12" tall 6879 sq ft of landscaping above 12" proposed. Airport Rd: 4328 sq ft of landscaping with at least 1082 sq ft of plant material greater than 12" tall 5770 sq ft proposed with 3409 sq ft of landscaping above 12"	0

PLANT LIST

Shade Trees - Balled and Burlap

Qty.	Size	Botanical Name	Common Name
14	2.5" cal.	<i>Acer x freemanii</i> 'Marmo'	Marmo Freeman Maple
18	2.5" cal.	<i>Acer x freemanii</i> 'Sienna'	Sienna Freeman Maple
7	2.5" cal.	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Common Hackberry
6	2.5" cal.	<i>Ginkgo biloba</i> 'Blagon'	Goldspire Ginkgo
16	2.5" cal.	<i>Tilia cordata</i>	Little Leaf Linden
61	Total		

Evergreen Trees - Balled and Burlap

Qty.	Size	Botanical Name	Common Name
5	6' ht.	<i>Juniperus virginiana</i>	Eastern Red-cedar
12	6' ht.	<i>Picea glauca var. densata</i>	Black Hills Spruce
17	Total		

Ornamental Trees - Balled and Burlap

Qty.	Size	Botanical Name	Common Name
8	2.5" cal.	<i>Amelanchier arborea</i>	Downy Serviceberry
7	2.5" cal.	<i>Cercis Canadensis</i>	Eastern Redbud
15	Total		

Evergreen Shrubs - Balled and Burlap or Pot

Qty.	Size	Botanical Name	Common Name
76	36" Ht. x 24" Spr.	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper
85	36" Ht. x 24" Spr.	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae
161	Total		

Deciduous Shrubs - Balled and Burlap or Pot

Qty.	Size	Botanical Name	Common Name
134	36" Ht. x 24" Spr.	<i>Hydrangea paniculata</i> 'Bulk'	Quick Fire Hydrangea
14	36" Ht. x 24" Spr.	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea
79	36" Ht. x 24" Spr.	<i>Cephalanthus occidentalis</i>	Buttonbush
39	36" Ht. x 24" Spr.	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry
266	Total		

Perennials & Ornamental Grasses - Pots

Qty.	Size	Botanical Name	Common Name
302	#1 Cont.	<i>Sporobolus heterolepis</i>	Prairie Dropseed
410	#1 Cont.	<i>Schizachyrium scoparium</i> 'Carousel'	Carousel Little Bluestem
603	#1 cont.	<i>Nepeta racemosa</i> 'Walker's Low'	Walker's Low Catmint
187	#1 Cont.	<i>Asclepias tuberosa</i>	Butterfly Weed
235	#1 Cont.	<i>Phlox pilosa</i>	Downy Phlox
242	#1 Cont.	<i>Rudbeckia fulgida var. sullivantii</i> 'Goldsturm'	Goldsturm Black-Eyed Susan
1979	Total		

Gas N Wash
NWC of IL Route 31 & I-88
North Aurora, Illinois 60542

PROJECT

Gas N Wash

NWC of IL Route 31 & I-88
North Aurora, Illinois 60542



uplandDesign Ltd

Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com

SHEET TITLE

Details

SHEET NUMBER L1.3

DRAW / REVISION

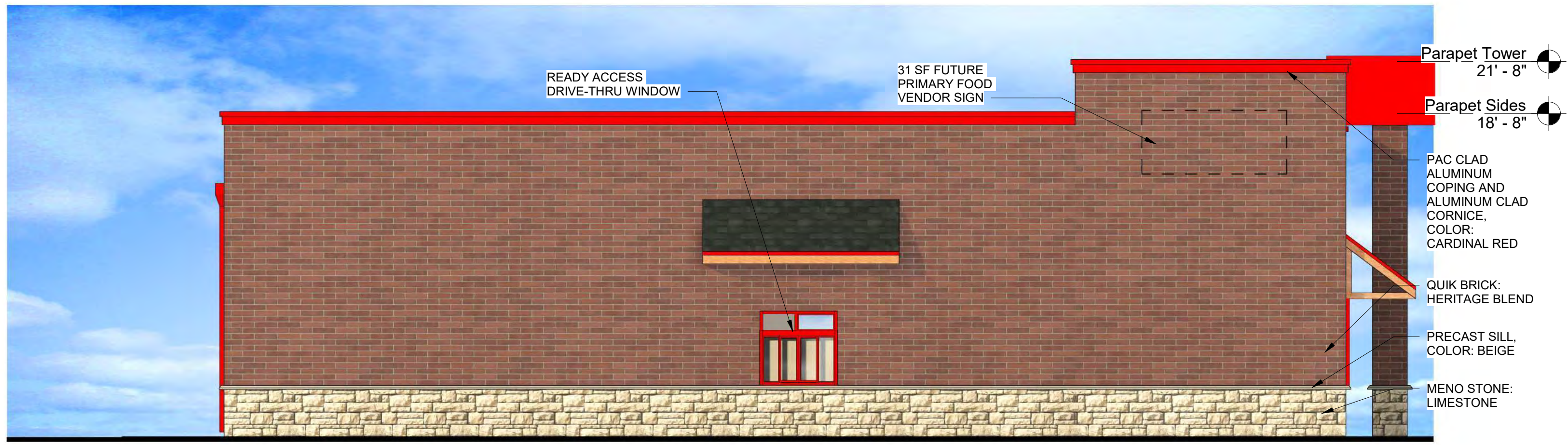
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AJ/SC	Permit Submittal	03SEPT2024
AJ/MO	Permit Submittal	16OCT2024
AJ/MO	Permit Submittal	15NOV2024
AJ/MO	Permit Submittal	11DEC2024

Exhibit E

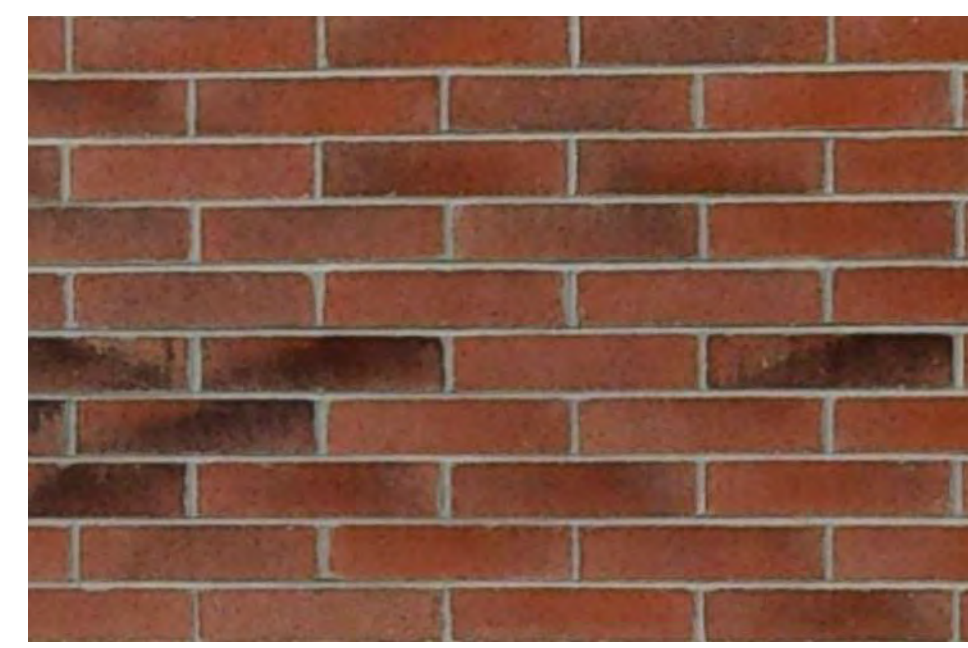
Building Elevations & Signage Plans



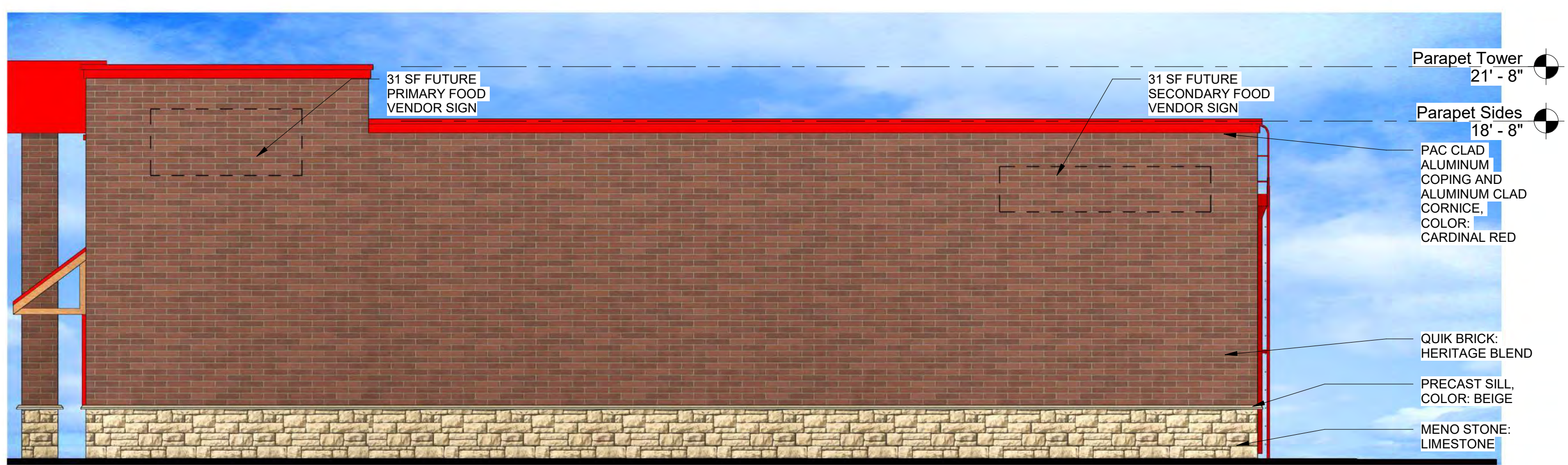
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3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



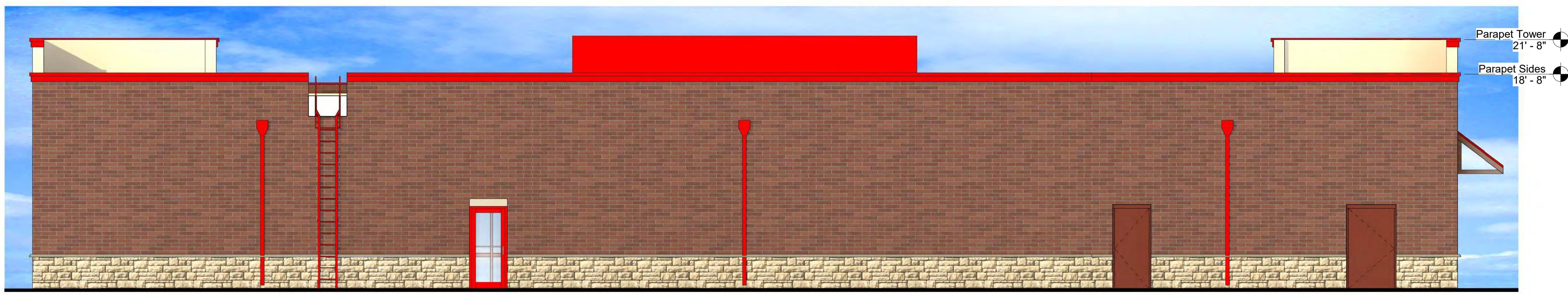
5 BRICK SAMPLE
N.T.S.



3 NORTH ELEVATION
3/16" = 1'-0"



6 STONE SAMPLE
N.T.S.



4 WEST ELEVATION
3/16" = 1'-0"



① EAST ELEVATION
3/16" = 1'-0"



② SOUTH ELEVATION
3/16" = 1'-0"



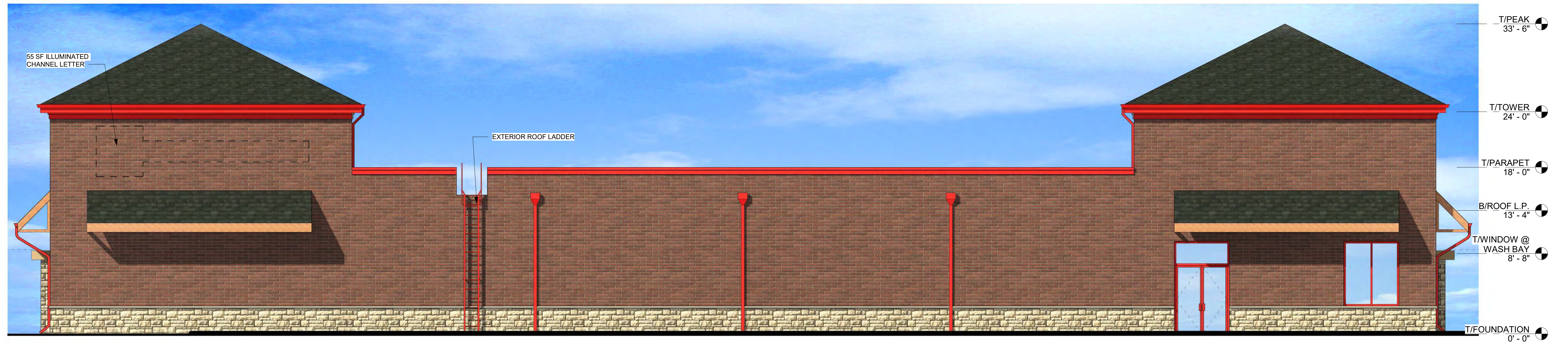
③ NORTH ELEVATION
3/16" = 1'-0"



⑤ BRICK SAMPLE
N.T.S.



⑥ STONE SAMPLE
N.T.S.



④ WEST ELEVATION
3/16" = 1'-0"

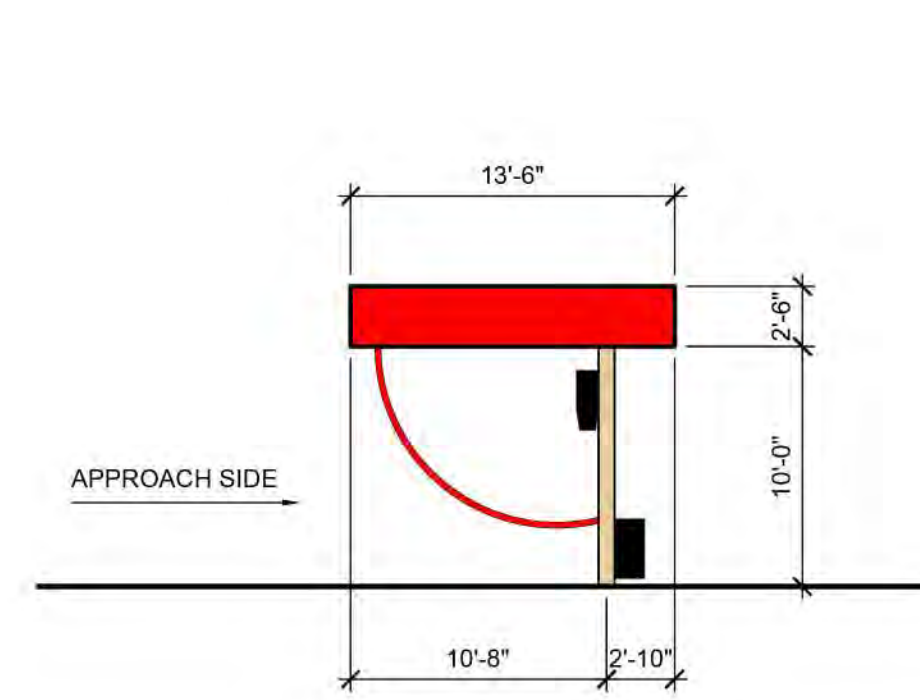
ISSUE

TO	DATE
CLIENT	05/21/24
ZONING	09/19/24
ZONING	10/16/24

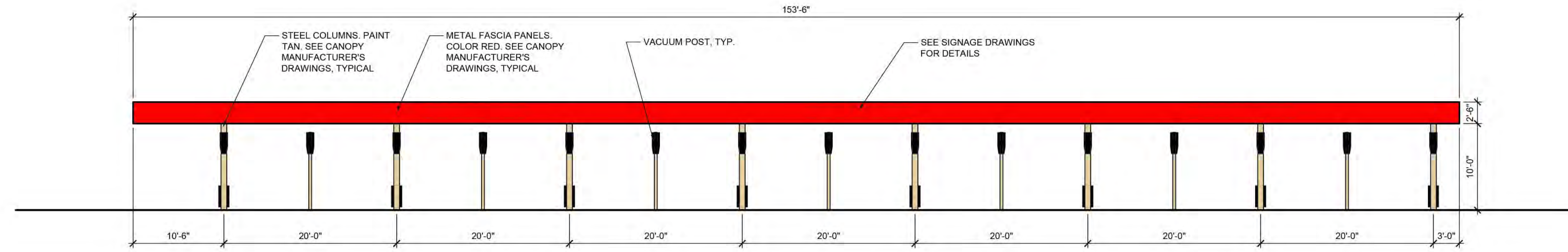
CHECK/CP
DRAWN:MB
JOB:D2300163

CANOPY GENERAL NOTES

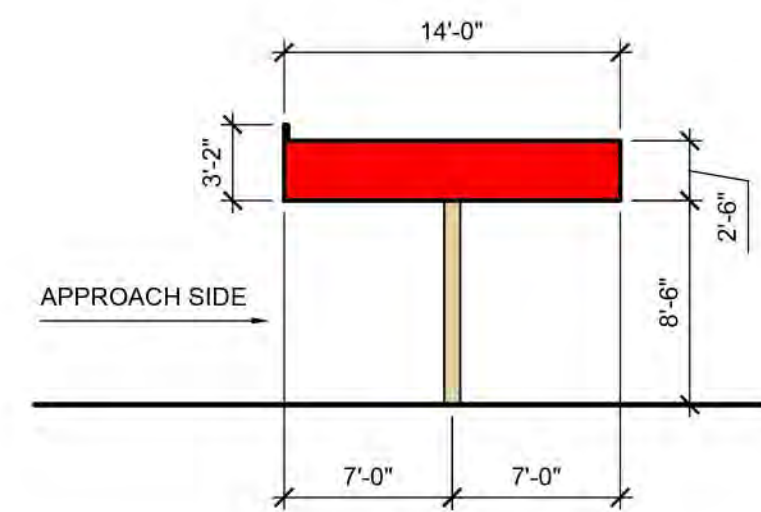
THESE DRAWINGS ARE DESIGN INTENT ONLY, SEE CANOPY MANUFACTURER DRAWINGS FOR DETAILS



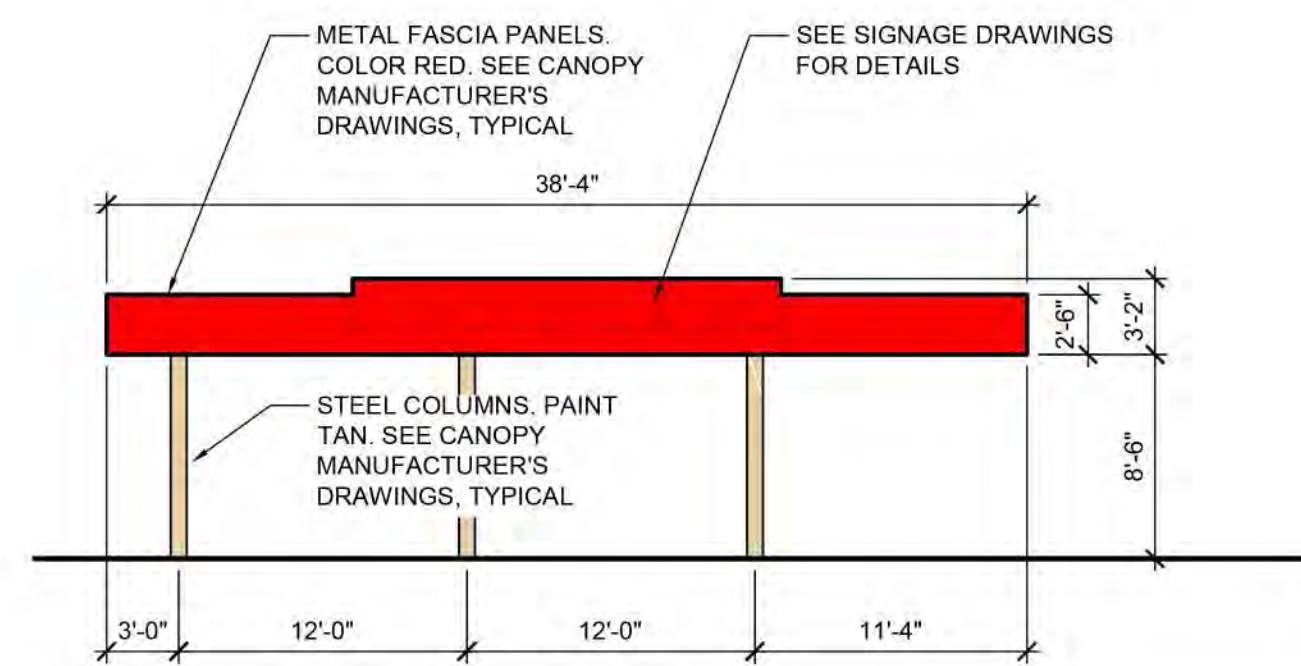
1 VACUUM CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



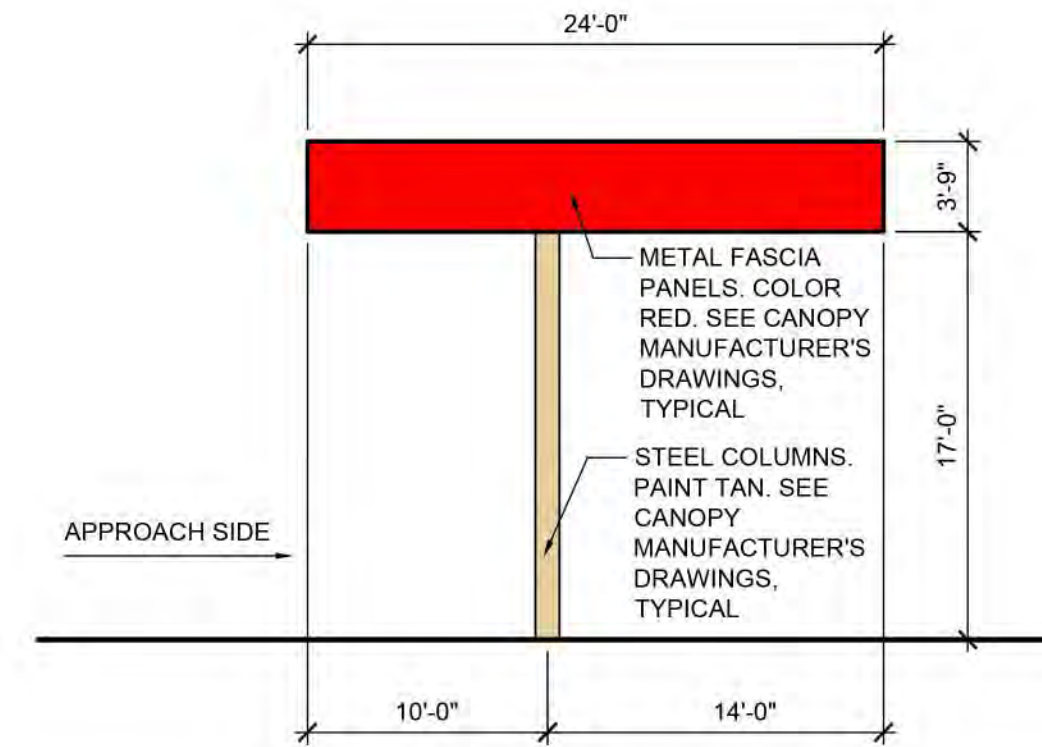
2 VACUUM CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



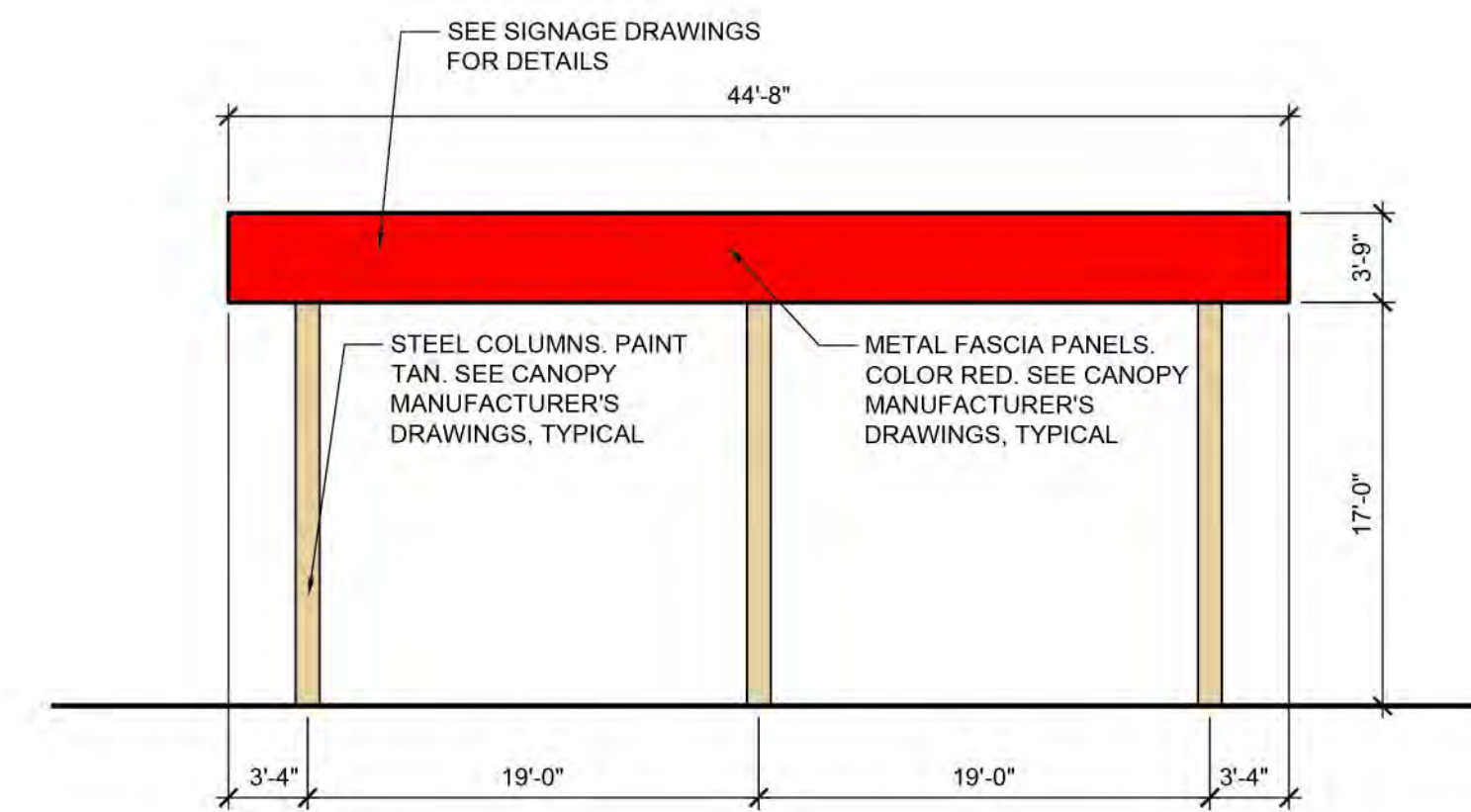
3 PAY STATION SIDE ELEVATION
SCALE: 1/8" = 1'-0"



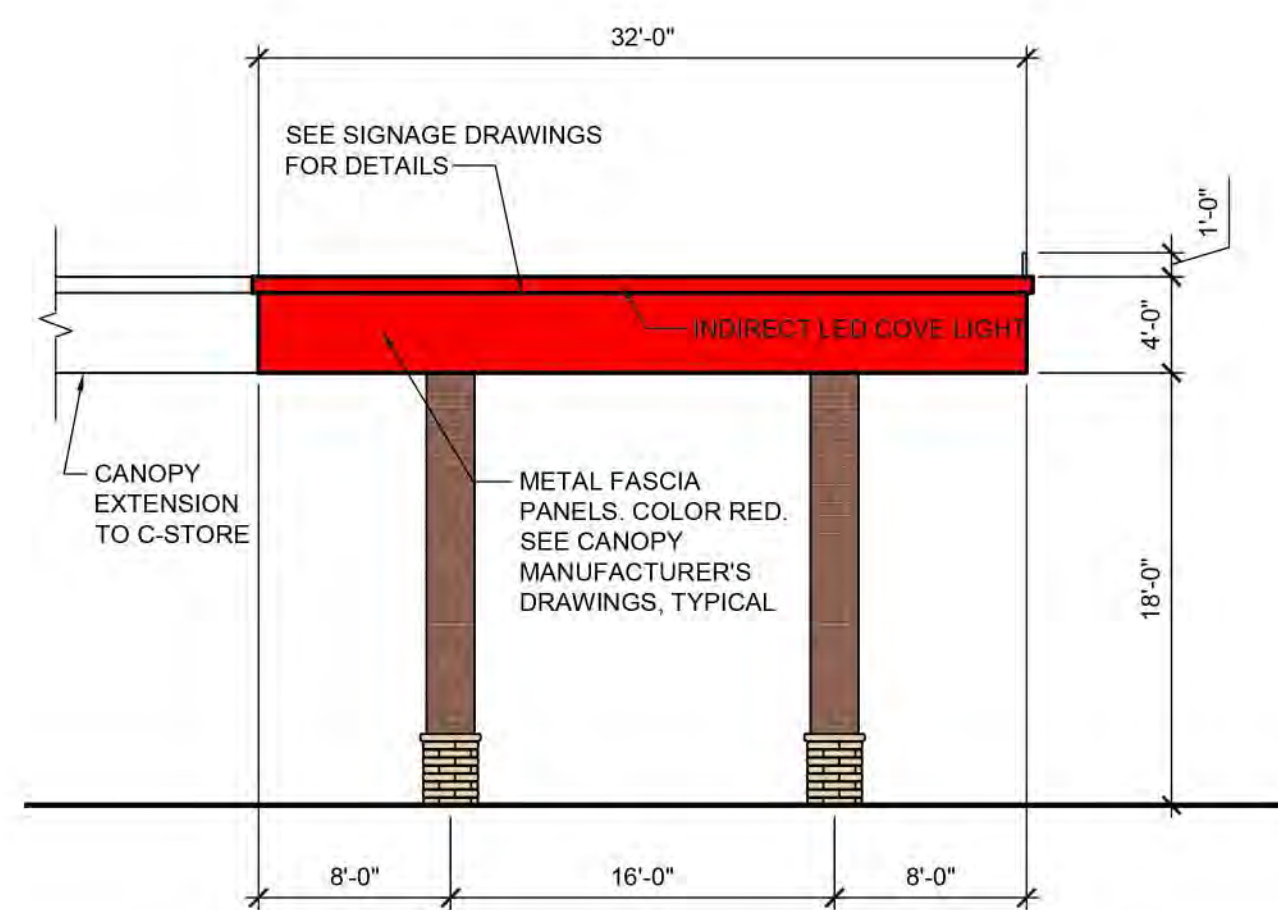
4 PAY CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



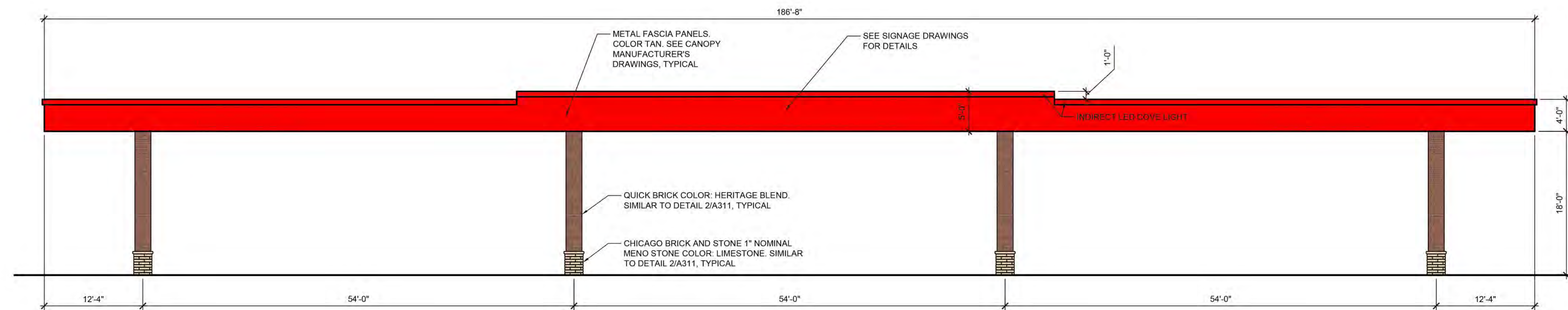
5 DIESEL CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



6 DIESEL CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



7 AUTO CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



8 AUTO CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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GAS N WASH

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NWC IL 31 & INTERSTATE 88
NORTH AURORA, IL 60542
GAS N WASH

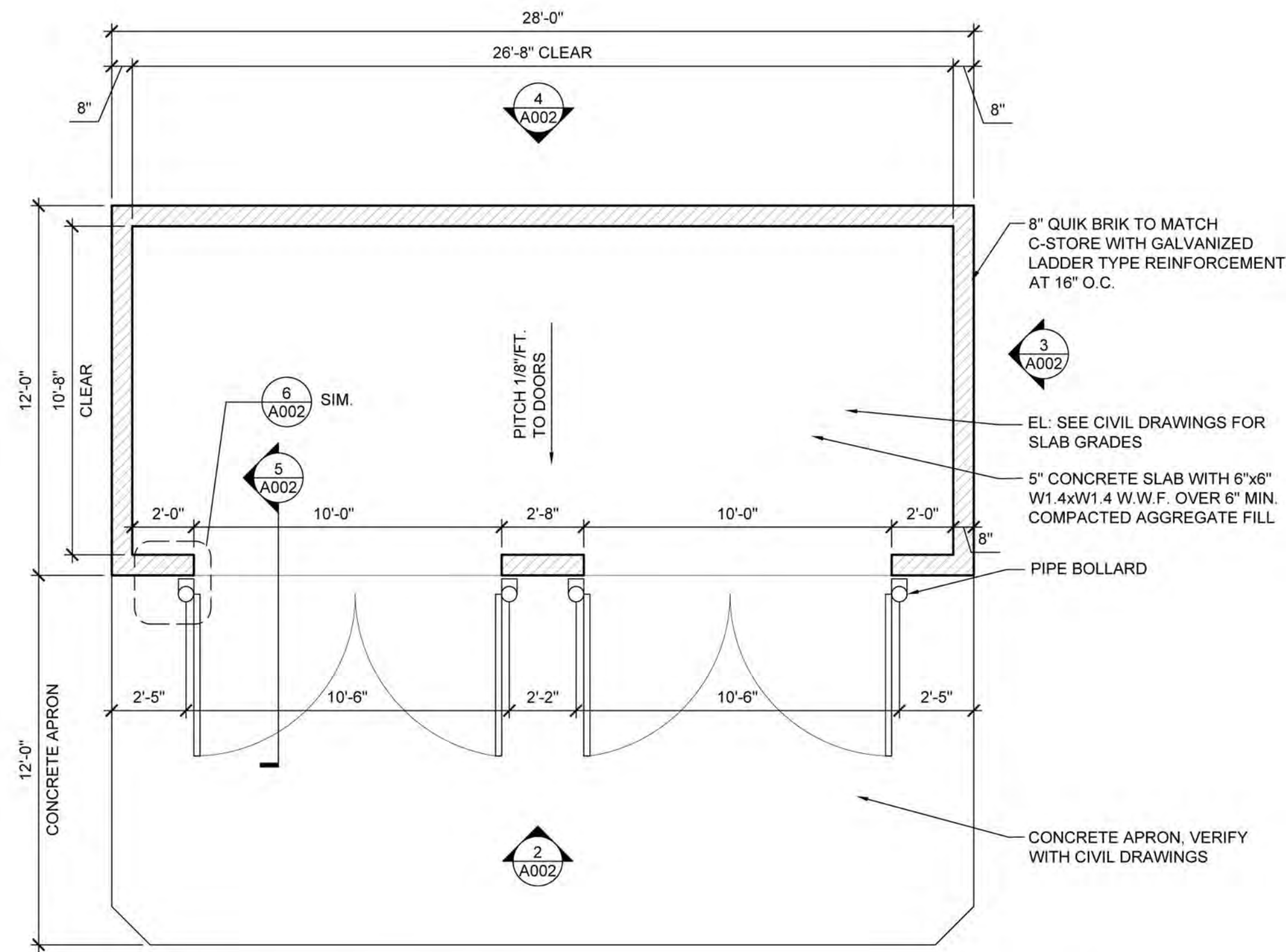
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ISSUE

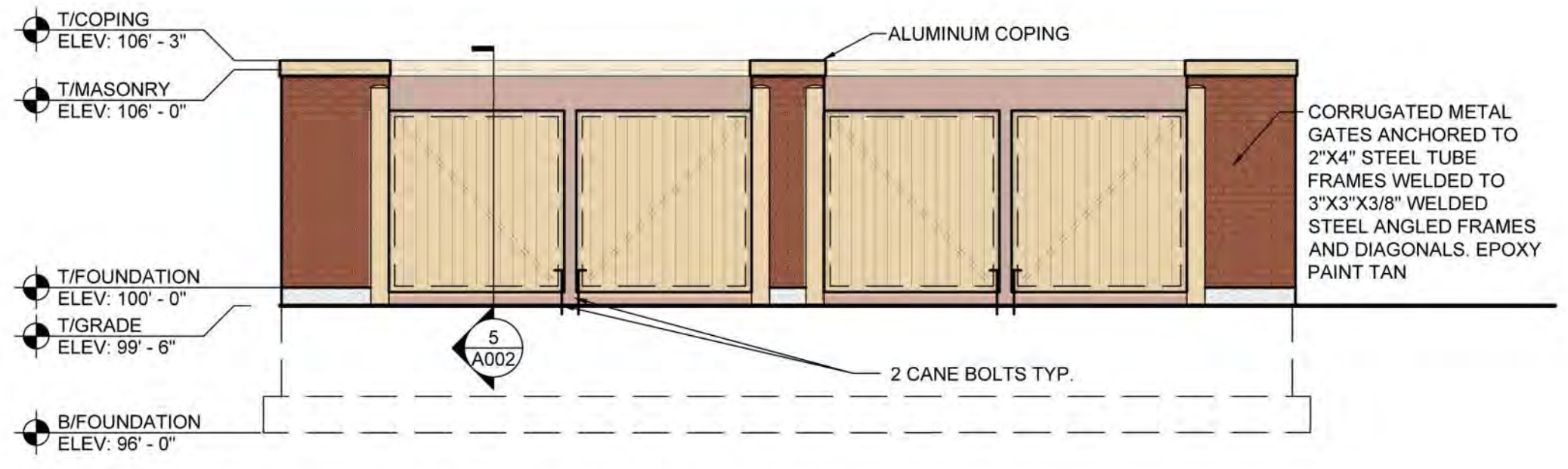
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ZONING	10/16/24

CHECK: CP
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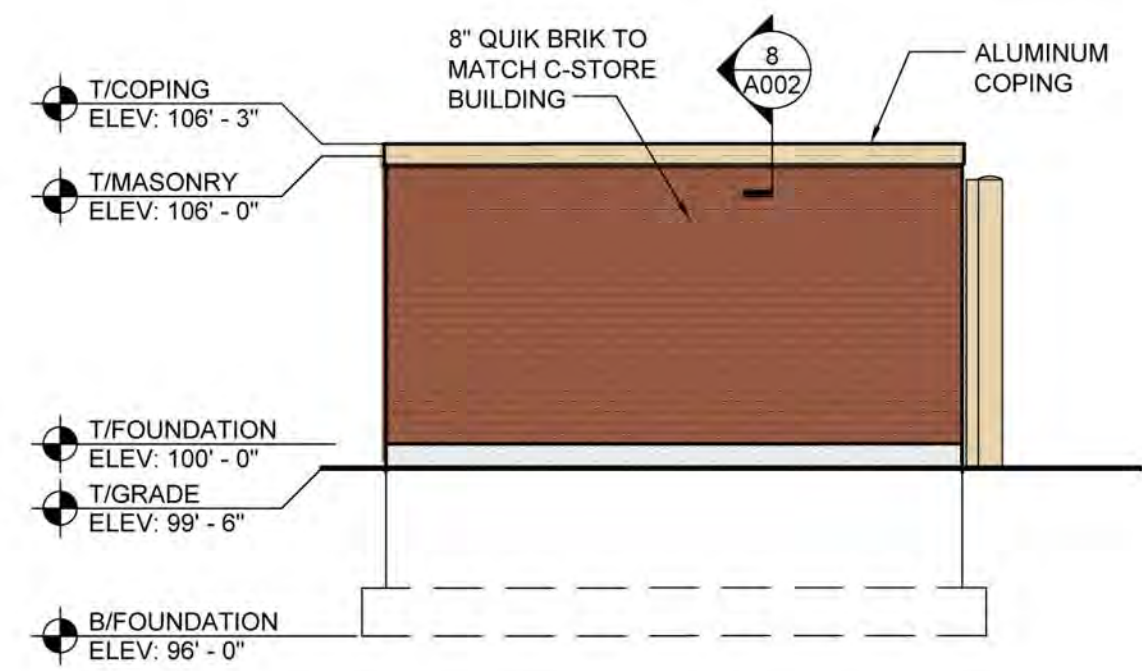
A006
CANOPY ELEVATIONS



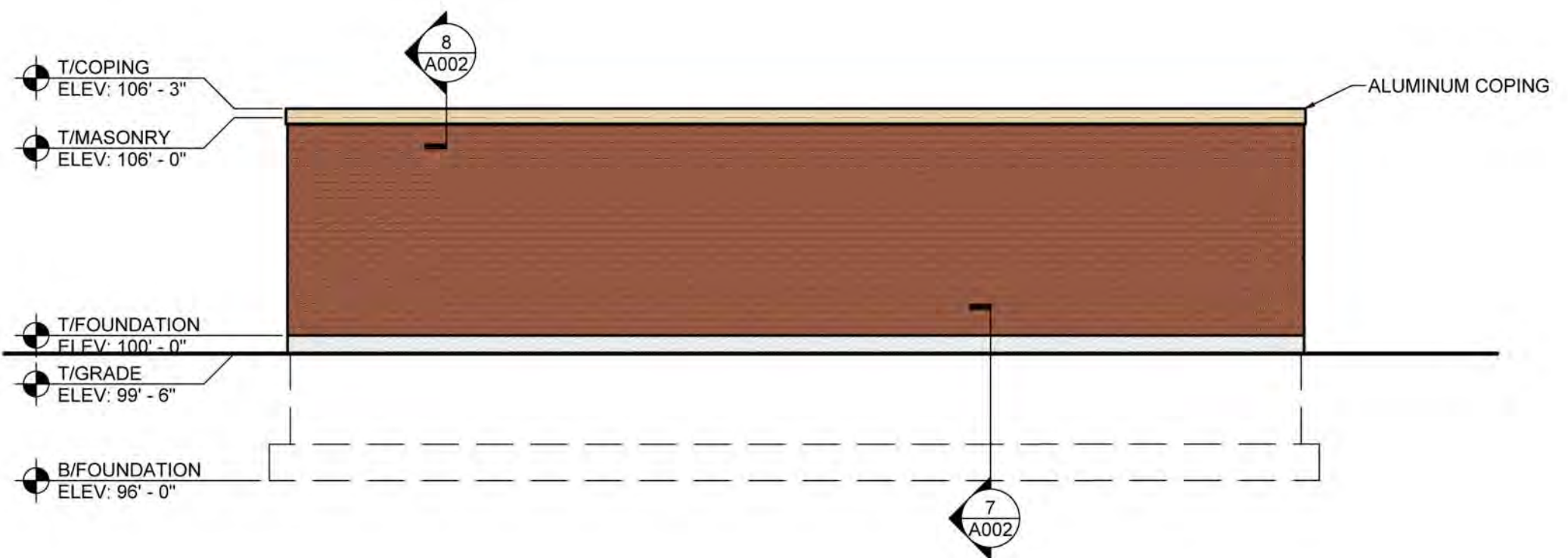
1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



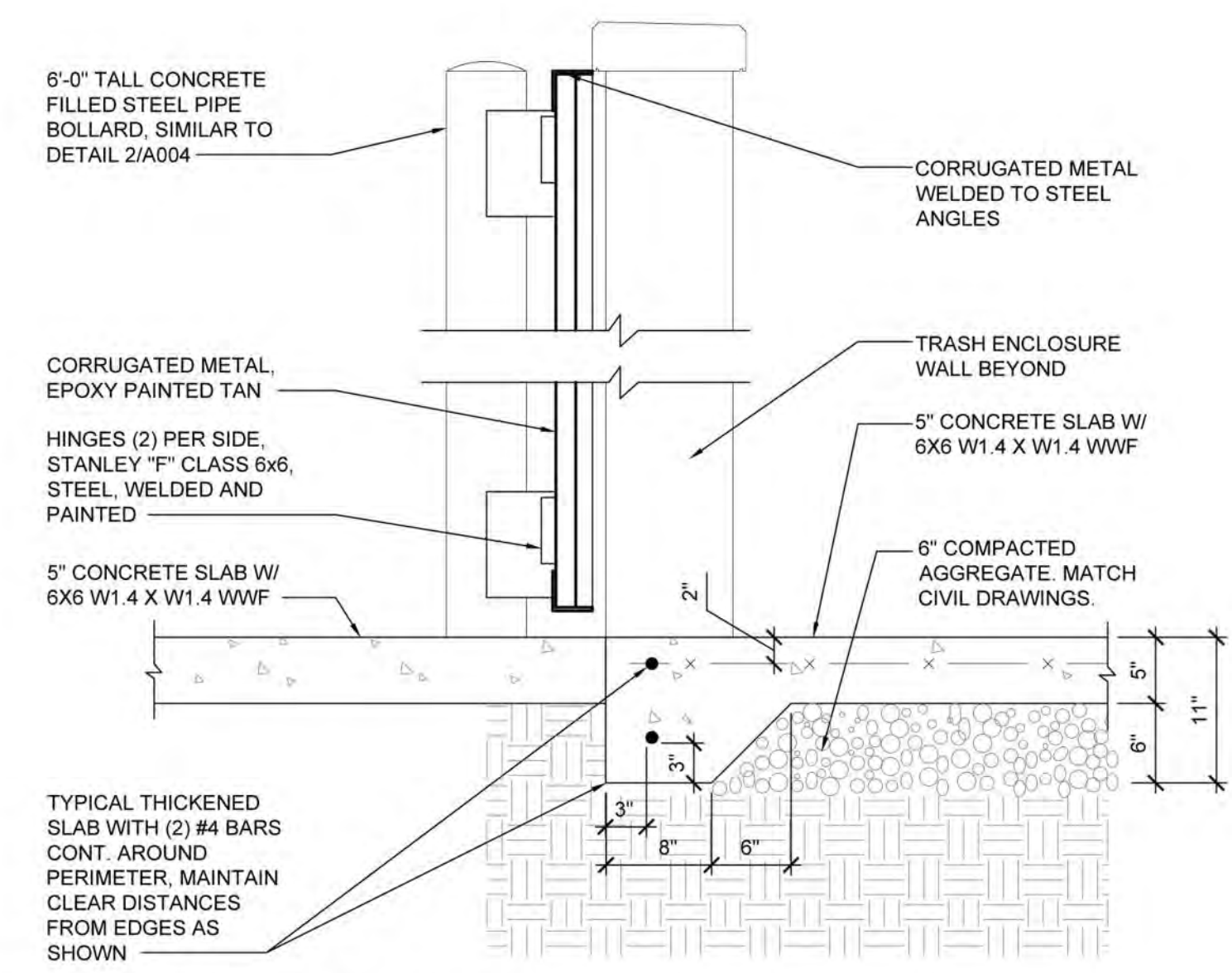
2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



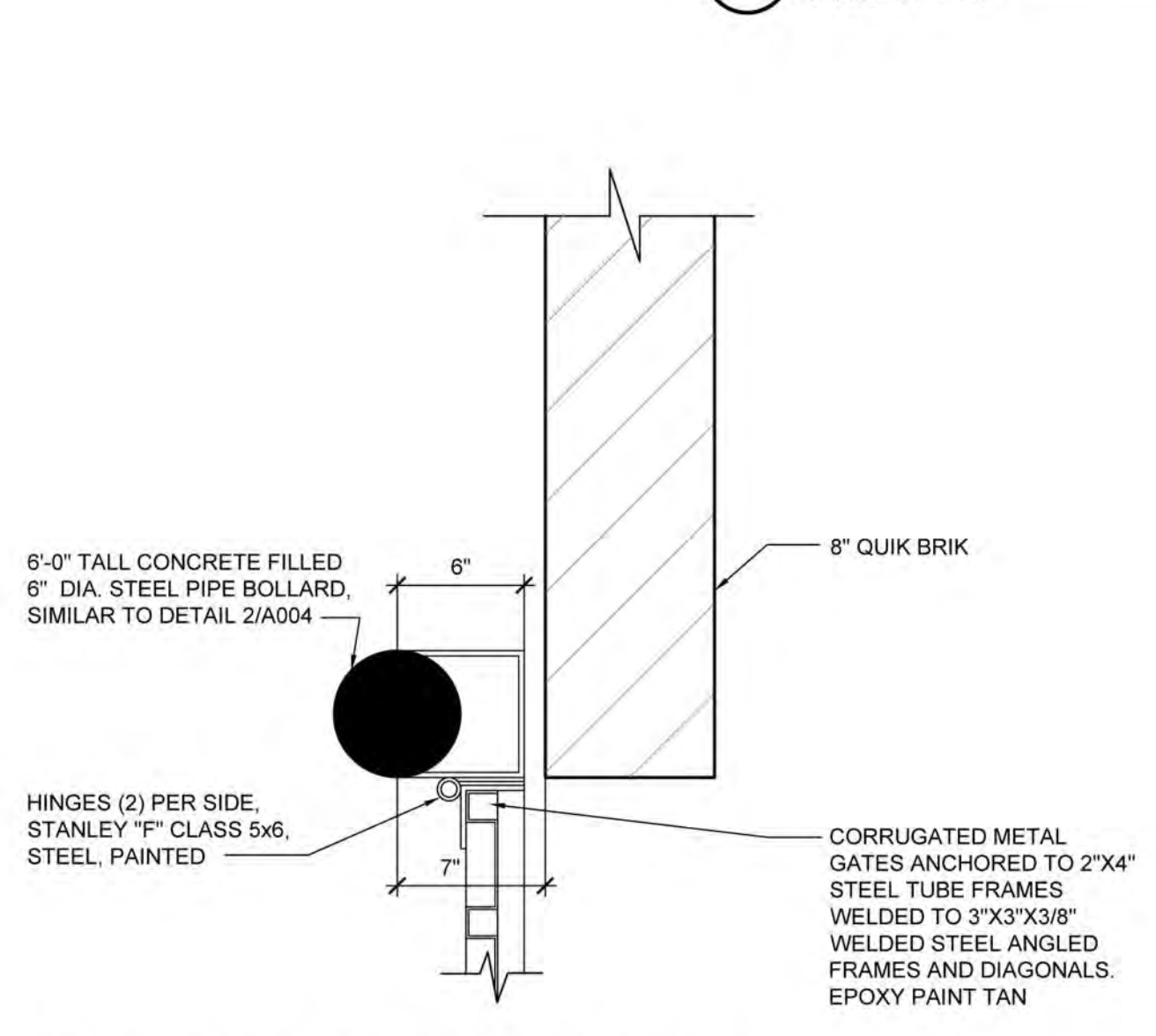
3 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



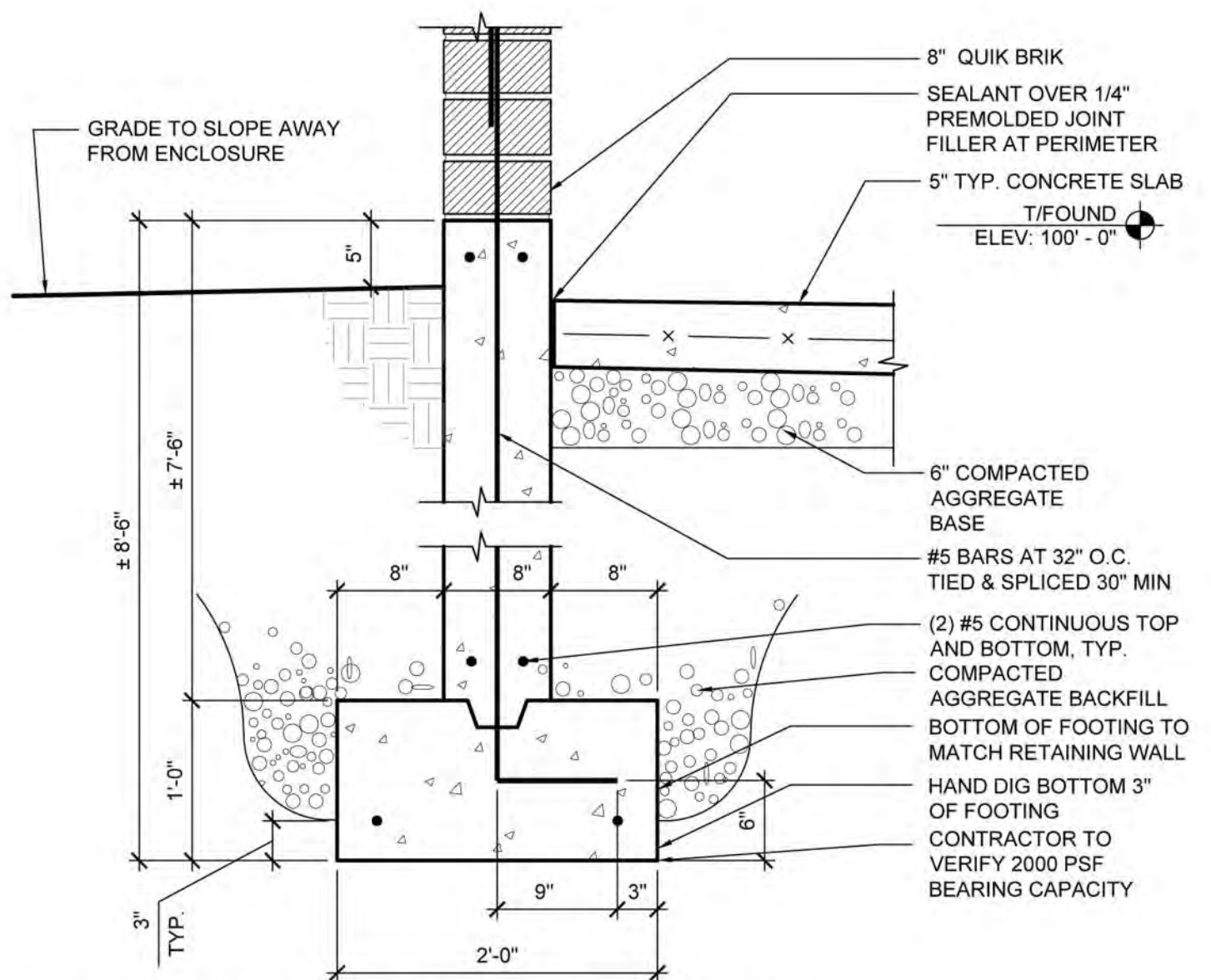
4 TRASH ENCLOSURE REAR ELEVATION
SCALE: 1/4" = 1'-0"



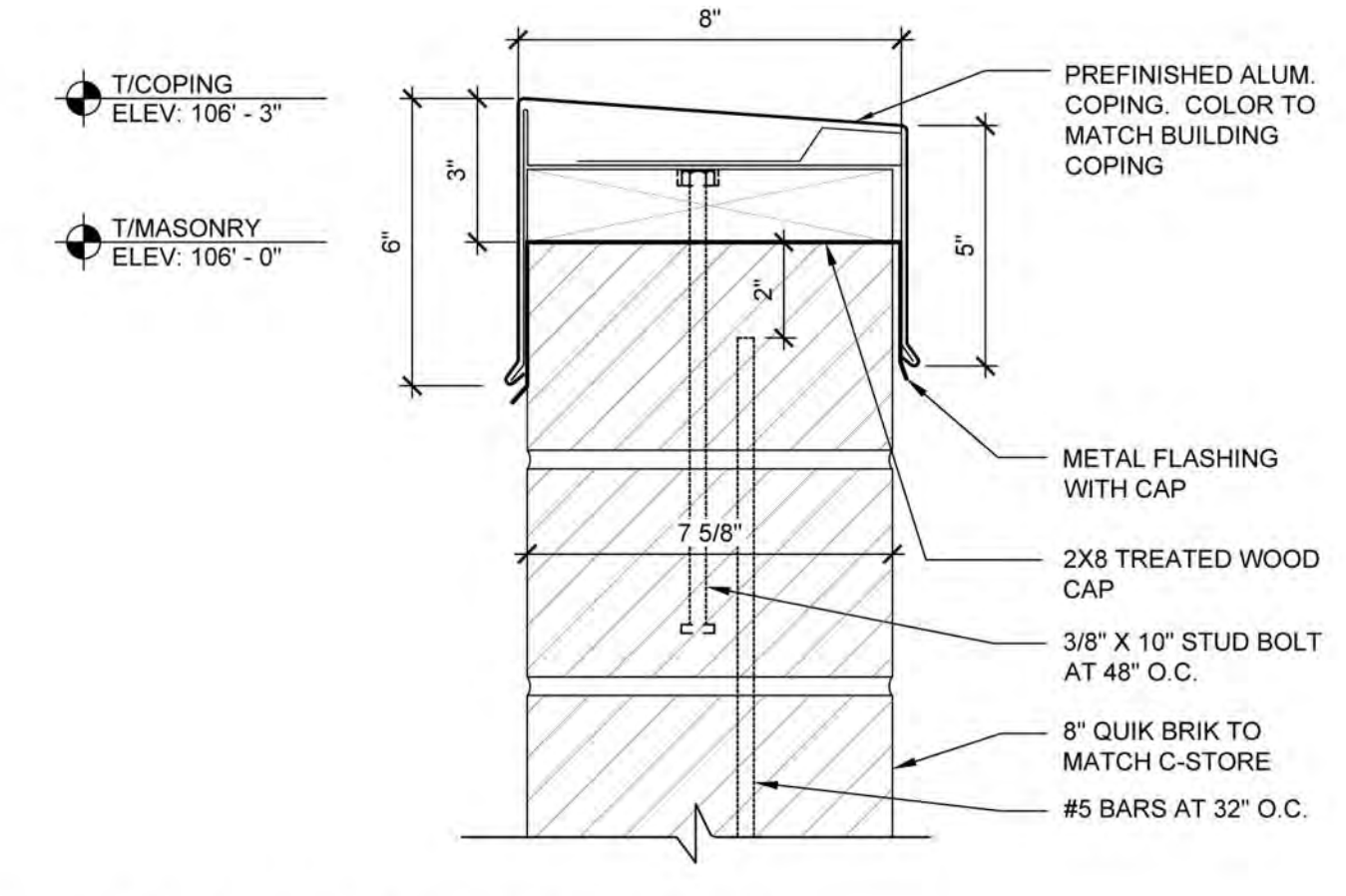
5 ENCLOSURE SLAB DETAIL
SCALE: 1" = 1'-0"



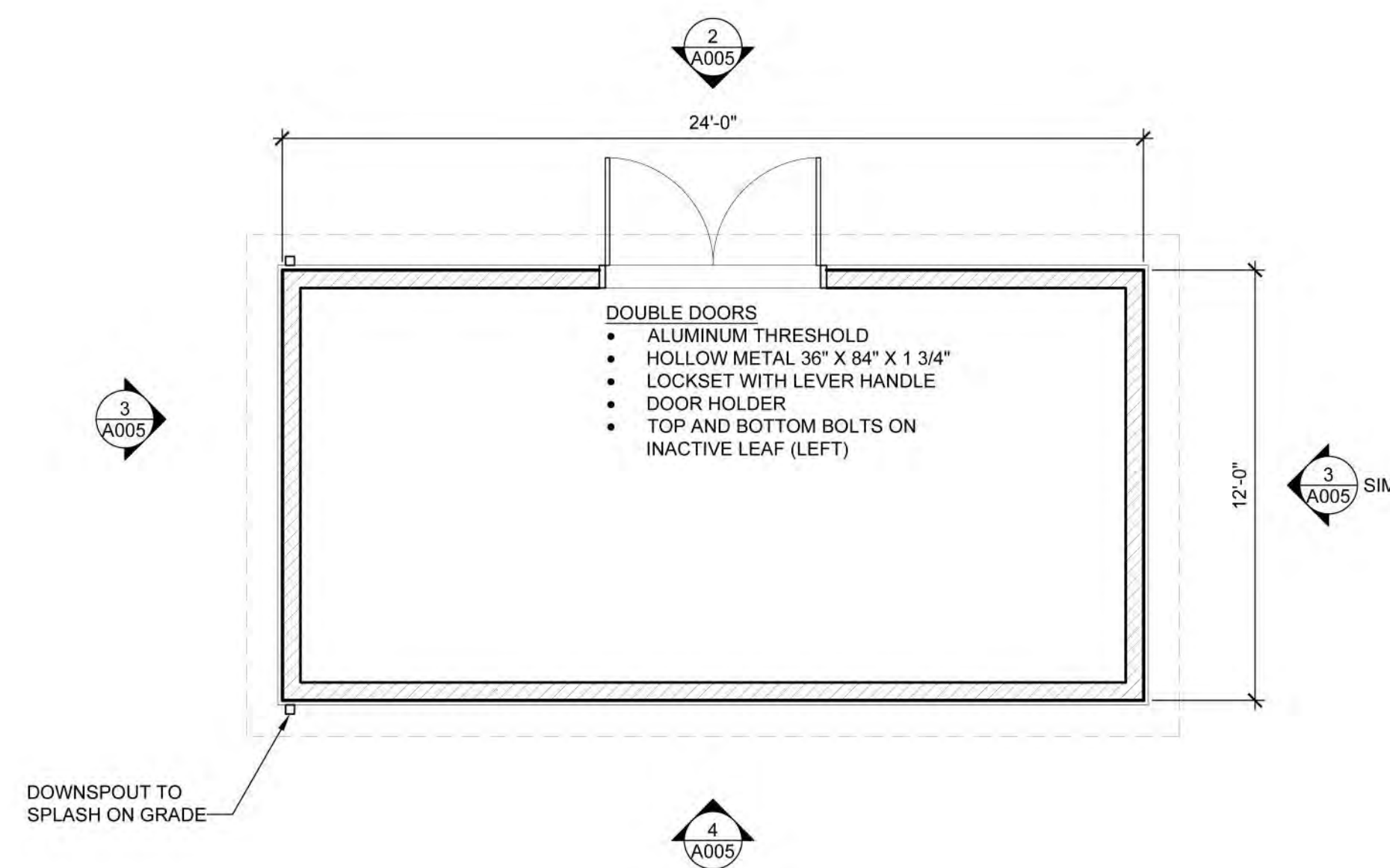
6 ENCLOSURE CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



7 ENCLOSURE FOUNDATION DETAIL
SCALE: 1" = 1'-0"



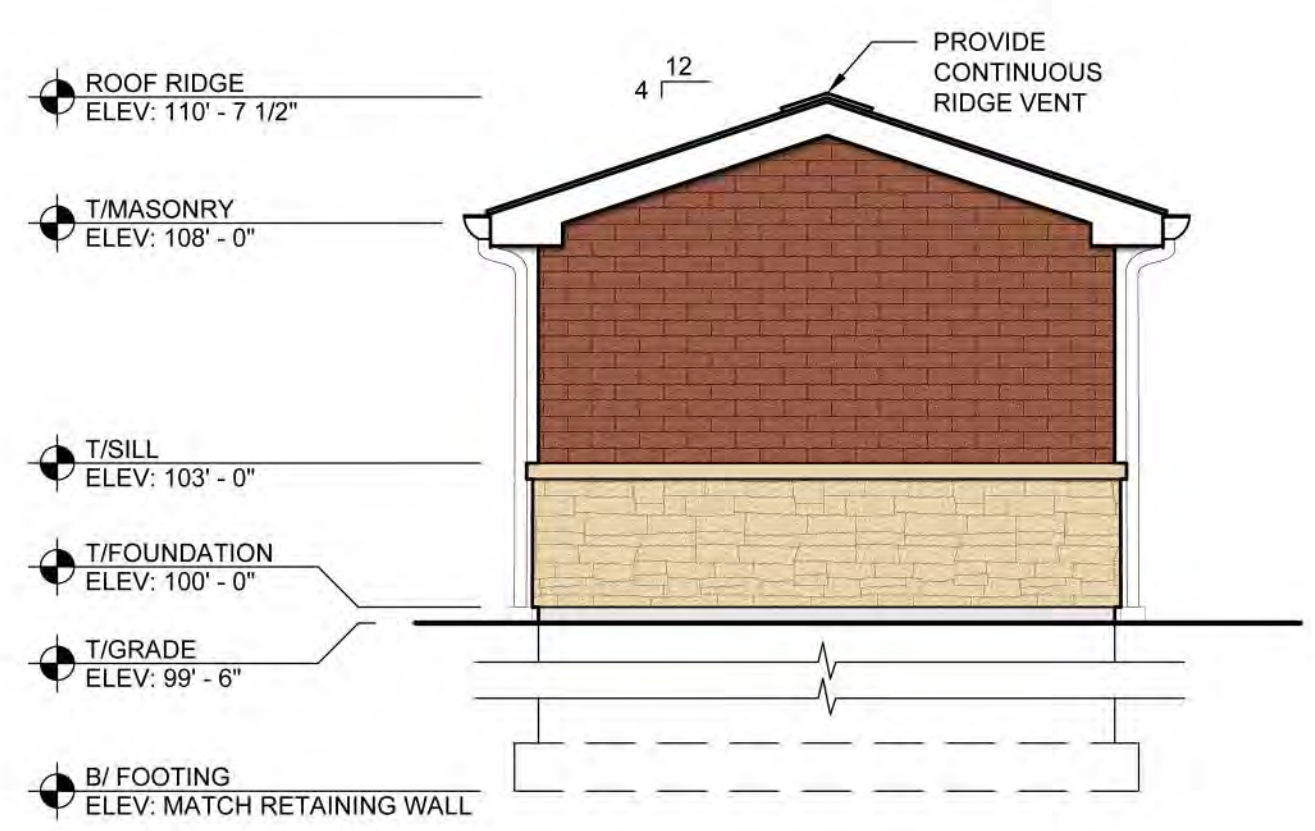
8 ENCLOSURE COPING DETAIL
SCALE: 3" = 1'-0"



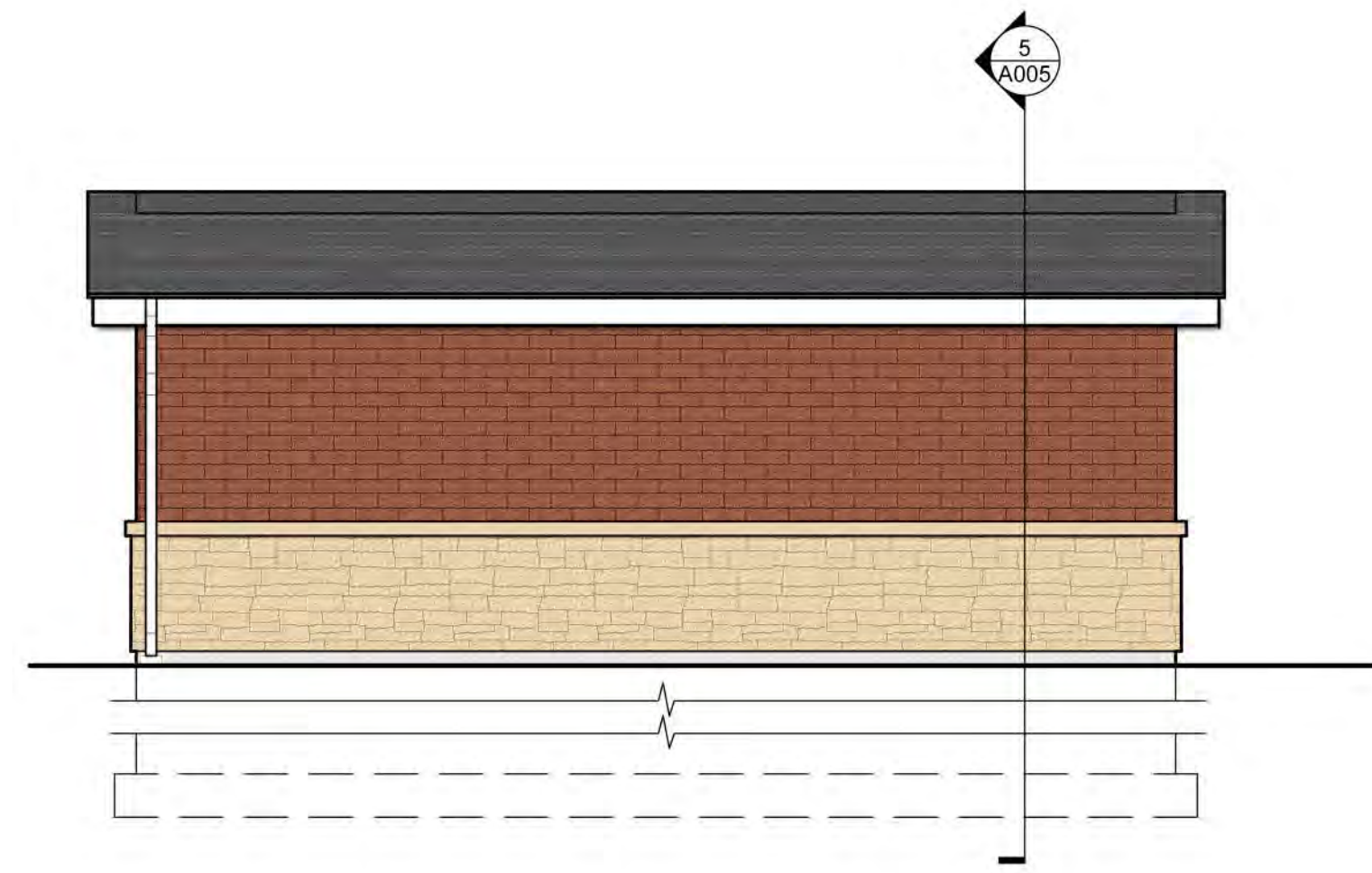
1 COMPRESSOR ROOM PLAN
SCALE: 1/4" = 1'-0"



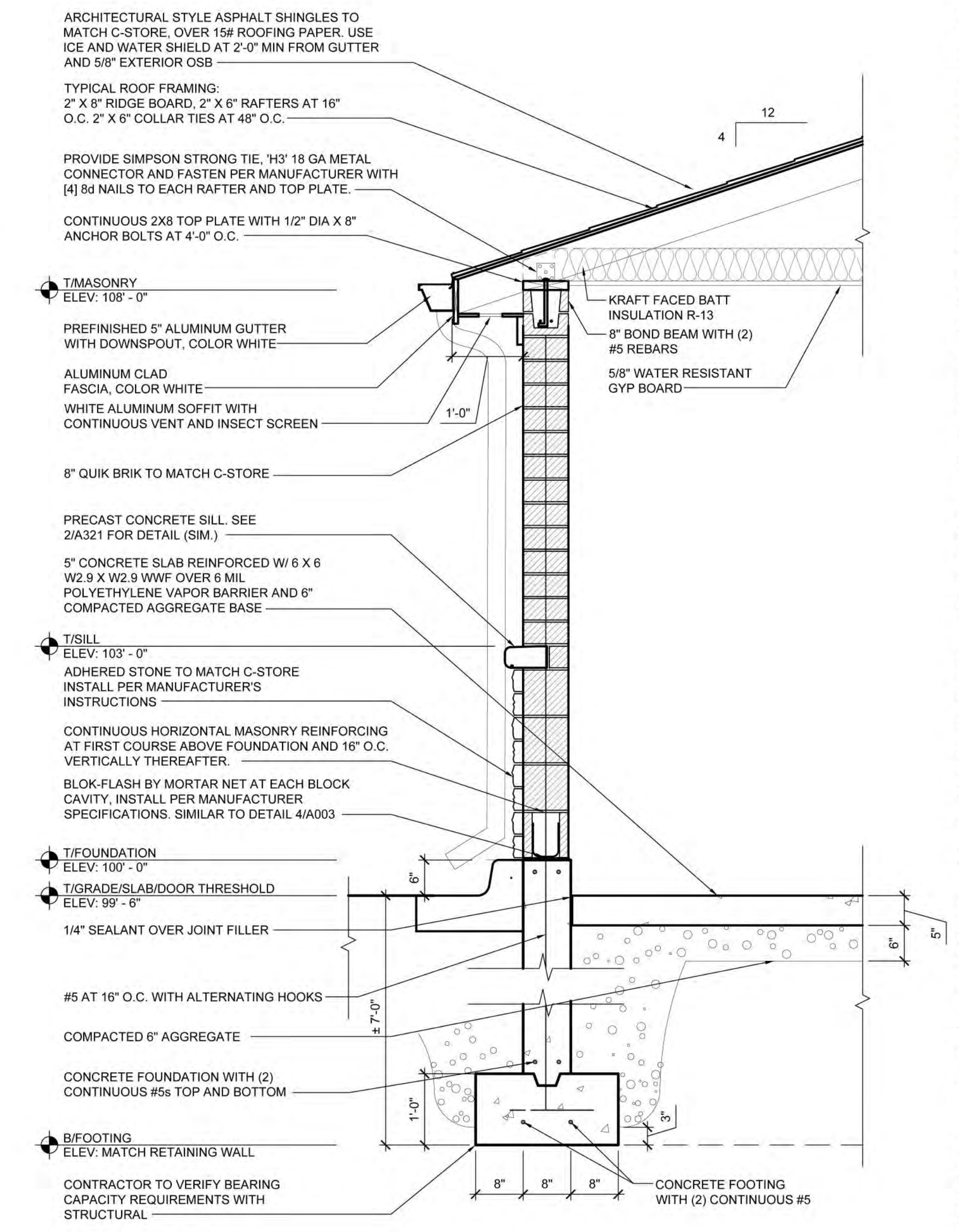
2 COMPRESSOR ROOM NORTH ELEVATION
SCALE: 2"



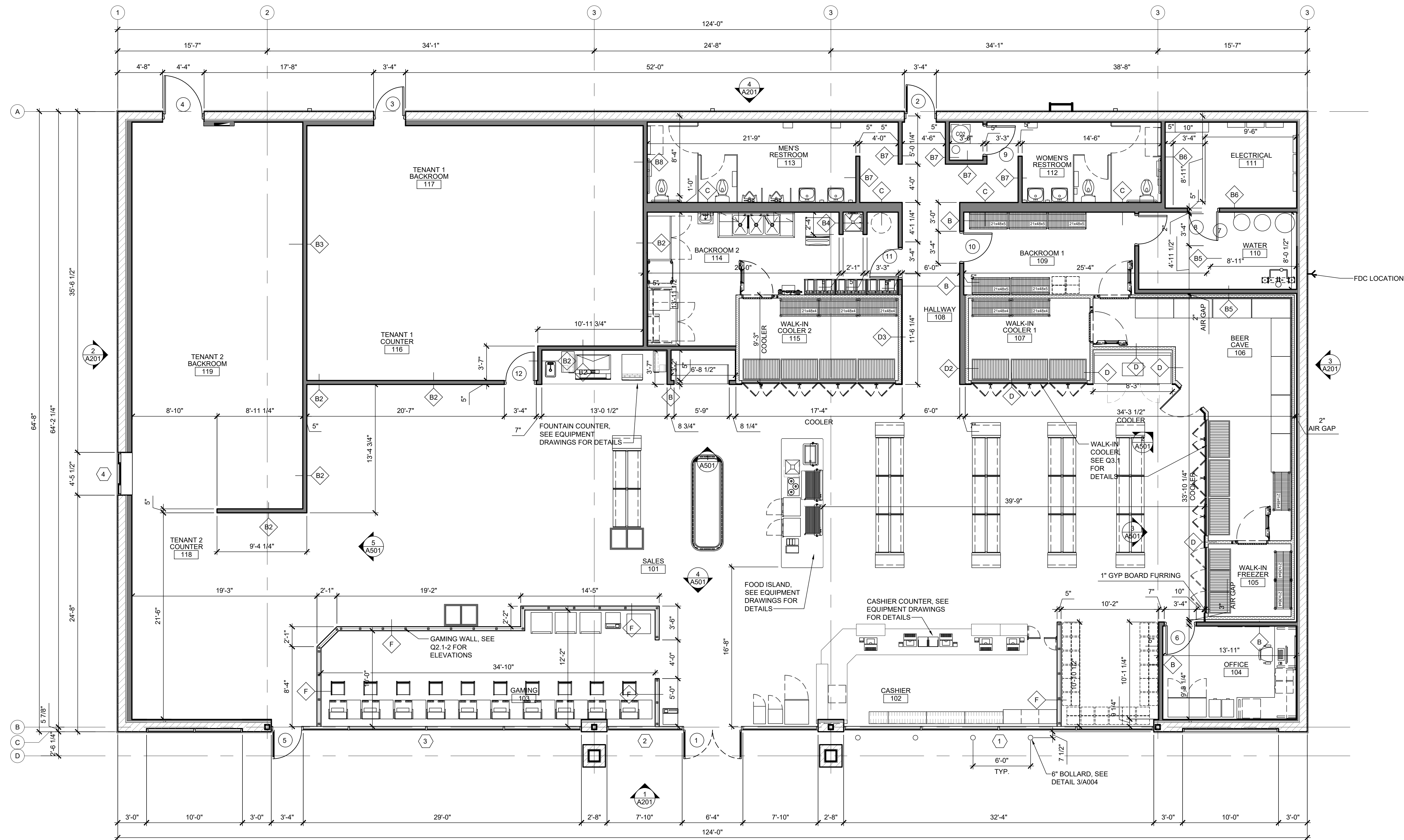
3 COMPRESSOR ROOM WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 COMPRESSOR ROOM SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 COMPRESSOR ROOM WALL SECTION
SCALE: 3/4" = 1'-0"



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES	
A. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL GOVERNING STATE AND LOCAL CODES, ORDINANCES, AND AMENDMENTS.	H. ALL DIMENSIONS ARE NOMINAL & ARE FROM FACE OF GYPSUM BOARD, SHEATHING, OR SUBSTRATE.
B. WATER RESISTANT GYPSUM BOARD OR CEMENT BOARD SHALL BE USED AT ALL WALLS IN TOILET ROOM, BEHIND ALL PLUMBING FIXTURES, AND ANY WET LOCATIONS - SEE PARTITION SCHEDULE FOR MORE INFORMATION.	I. REFER TO THE EQUIPMENT PLAN AND EQUIPMENT SCHEDULE FOR MORE INFORMATION ON THE EQUIPMENT. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
C. PROVIDE ALL REQUIRED IN WALL BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, MILLWORK, SHELVING, AND ACCESSORIES.	J. PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT INTERIOR SIDE OF ALL WALL TRANSITIONS. SEAL ALL NEW AND EXISTING OPENINGS IN FLOORS, STRUCTURAL DECK AND EXTERIOR WALLS IN ORDER TO PROVIDE A WEATHER TIGHT SEAL.
D. MOUNT ALL FIXTURES & ACCESSORIES AT HEIGHTS CONFORMING WITH ALL GOVERNING CODES & ACCESSIBILITY REQUIREMENTS.	K. ALL WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
E. ALL WOOD BLOCKING AND PLYWOOD TO BE FIRE TREATED.	L. PROPERLY PREPARE & CLEAN SUBSTRATES & SURFACES AS REQUIRED TO ACCEPT FINISHES, MATERIALS, TREATMENTS, ETC.
F. FIRE EXTINGUISHERS ARE SUPPLIED AND INSTALLED BY THE G.C. QUANTITIES AND LOCATIONS TO BE COORDINATED W/ THE LOCAL FIRE DEPARTMENT.	M. G.C. SHALL PROVIDE FINAL CLEANING OF STORE AT END OF CONSTRUCTION.
G. COORDINATE SIZE AND LOCATION OF ALL DUCT SHAFT OPENINGS IN WALLS AND FLOORS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.	

FLOOR PLAN LEGEND	
	PARTIAL HEIGHT WALL CONSTRUCTION
	STUD WALL CONSTRUCTION
	MASONRY WALL CONSTRUCTION
	WALK-IN COOLER / FREEZER BOX PANEL
	CLEAR FLOOR AREA PER ACCESSIBILITY CODES
	PARTITION TAG, SEE PARTITION TYPES BELOW AND DETAILS ON SHEET A601
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET A702
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A703

PARTITION TYPES			
	6" STUD WALL, STAINLESS STEEL SHEET METAL OVER 5/8" CEMENT BOARD TO BOTTOM OF DECK ON HOOD SIDE, 5/8" PLYWOOD WITH FRP ON TENANT SIDE, SEE SHEET A601.		3 5/8" STUD WALL, 5/8" PLYWOOD PAINTED ON ELECTRICAL SIDE TO BOTTOM OF DECK WITH SOUND ATTENUATION BATT INSULATION, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON OPPOSITE SIDE TO BOTTOM OF DECK, SEE SHEET A601.
	3 5/8" STUD WALL WITH 5/8" GYPSUM BOARD EACH SIDE, TO 6" ABOVE CEILING ON SIDES THAT HAVE CEILINGS AND TO DECK ON OPEN TO STRUCTURE SIDES, SEE SHEET A601.		3 5/8" STUD WALL WITH 5/8" MOISTURE RESISTANT GYPSUM BOARD EACH SIDE, TO 6" ABOVE CEILING, SEE SHEET A601.
	3 5/8" STUD WALL, FRP OVER 5/8" PLYWOOD ON TENANT SIDE TO 6" ABOVE CEILING, 5/8" GYPSUM BOARD ON SALES SIDE TO BOTTOM OF DECK, SEE SHEET A601.		3 5/8" STUD WALL WITH 5/8" MOISTURE RESISTANT GYPSUM BOARD ON RESTROOM SIDE TO UNDERSIDE OF DECK WITH SOUND ATTENUATION BATT INSULATION, FRP OVER 5/8" PLYWOOD BOTH SIDES TO 6" ABOVE CEILING, SEE SHEET A601.
	3 5/8" STUD WALL, FRP OVER 5/8" PLYWOOD BOTH SIDES TO 6" ABOVE CEILING, SEE SHEET A601.		(2) 3 5/8" STUD WALL WITH 3 1/2" CHASE IN CENTER WITH SOUND ATTENUATION BATT INSULATION, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON RESTROOM SIDE AND 5/8" GYPSUM BOARD ON OPPOSITE SIDE, TO UNDERSIDE OF JOIST, SEE SHEET A601.
	3 5/8" STUD WALL, 5/8" CEMENT BOARD ON MOP SINK SIDE TO 6" ABOVE CEILING, FRP OVER 5/8" PLYWOOD ON OPPOSITE SIDE TO 6" ABOVE CEILING, SEE SHEET A601.		1/2" DUROROCK APPLIED TO FACE OF COOLER. 3 5/8" STUD WALL ABOVE TO HAVE 5/8" DUROROCK ON ONE SIDE TO UNDERSIDE OF JOIST, SEE SHEET A601.
	3 5/8" STUD WALL, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON WATER SIDE TO BOTTOM OF DECK, 5/8" GYPSUM BOARD ON OPPOSITE SIDE TO 6" ABOVE CEILING, SEE SHEET A601.		

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GAS N WASH

GAS N WASH

ISSUE

TO	DATE
CLIENT	5/21/24
ZONING	9/19/2024
ZONING	10/16/24

CHECK:CP
 DRAWN:KV
 JOB:D2400163

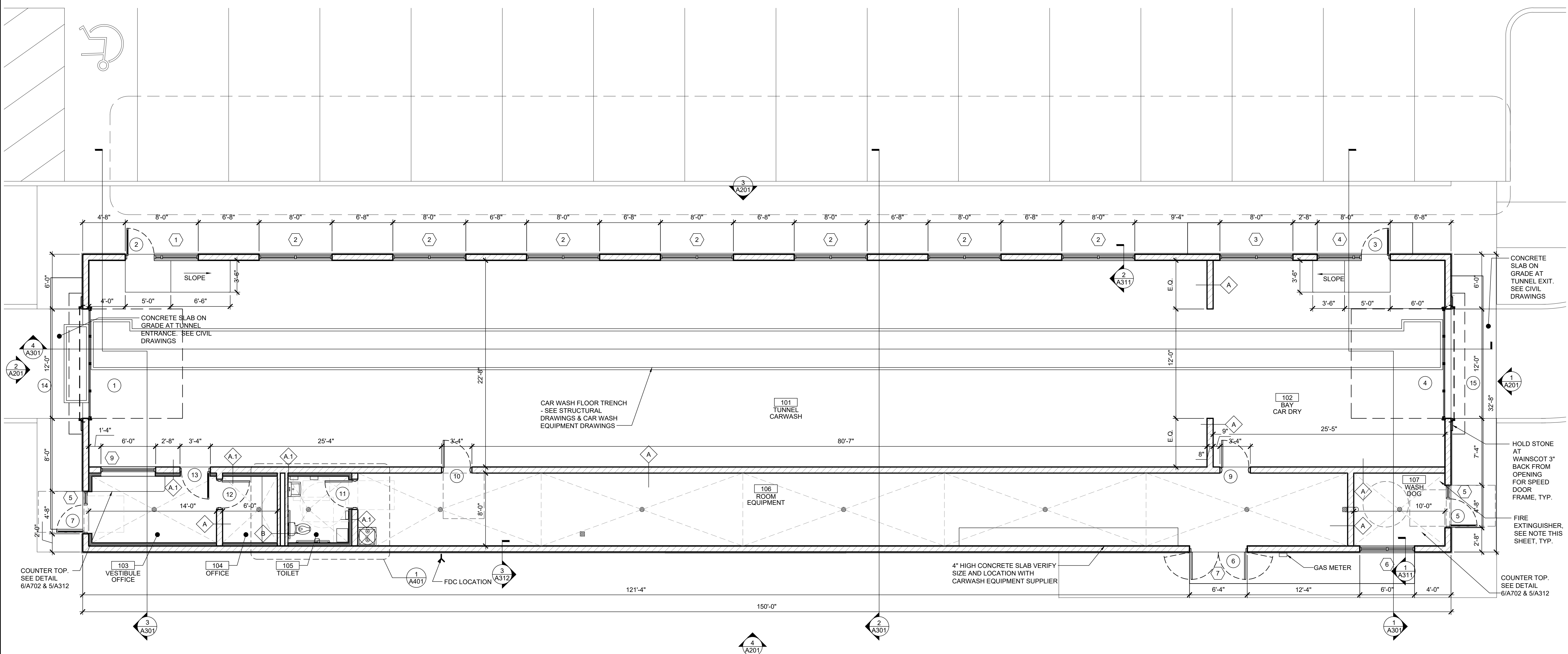
A101
 C-STORE
 FLOOR PLAN

FLOOR PLAN LEGEND	
	PARTIAL HEIGHT WALL CONSTRUCTION
	STUD WALL CONSTRUCTION
	MASONRY WALL CONSTRUCTION
	CLEAR FLOOR AREA PER ACCESSIBILITY CODES
	PARTITION TAG, SEE PARTITION TYPES, THIS PAGE
	DOOR TAG, SEE DOOR SCHEDULE
	WINDOW TAG, SEE WINDOW SCHEDULE

- ### FIRE EXTINGUISHER NOTES
- FIRE EXTINGUISHERS TO BE MIN. CLASS 3A (3A40BC) SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS (IFC-906.2 & NFPA 101-9.7.4.1) AND PER LOCAL FIRE CODE.
 - ALL FIRE EXTINGUISHERS SHALL BE PROPERLY TAGGED AND MOUNTED. (IFC-906.9 & NFPA 10-D.2.3.1)
 - ALL FIRE EXTINGUISHERS SHALL REMAIN IN CLEAR VIEW AND SHALL NOT BE OBSTRUCTED AT ANY TIME (IFC-906.6 & NFPA 10-1.5.10)
 - ALL FIRE EXTINGUISHERS SHALL BE INSTALLED NO HIGHER THAN 5'-0" (AT HANDLE) AND NO LESS THAN 4" ABOVE THE FINISHED FLOOR (IFC-906.9 & NFPA 10-1.5.10)

- ### PARTITION TYPES
- NON LOAD-BEARING 8" CONCRETE BLOCK WALL - SEE STRUCTURAL DRAWINGS.
 - 8" CONCRETE BLOCK WALL WITH 2" CONTINUOUS INSULATION, 1-5/8" METAL STUD FURRING (TO BE ANCHORED TO CMU THROUGH INSULATION), 5/8" GYPSUM BOARD TO BOTTOM OF DECK, RESTROOM TO RECEIVE WATER RESISTANT GYPSUM BOARD - SEE STRUCTURAL DRAWINGS.
 - PLUMBING WALL: 6" SPACE WITH 4" CONCRETE BLOCK WALL ON BOTH SIDES TO EXTEND TO UNDERSIDE OF PRECAST PLANKS - SEE STRUCTURAL DRAWINGS.

- ### FLOOR PLAN GENERAL NOTES
- CONTRACTOR TO VERIFY WITH CAR WASH EQUIPMENT SUPPLIER LOCATION OF PIPES, CONVEYOR TRENCH, ETC.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH ALL GOVERNING STATE AND LOCAL CODES, ORDINANCES, AND AMENDMENTS.
 - WATER RESISTANT GYPSUM BOARD OR CEMENT BOARD SHALL BE USED AT ALL WALLS IN TOILET ROOM, BEHIND ALL PLUMBING FIXTURES, AND ANY WET LOCATIONS - SEE PARTITION SCHEDULE FOR MORE INFORMATION.
 - PROVIDE ALL REQUIRED IN WALL BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, MILLWORK, SHELVING, AND ACCESSORIES. MOUNT ALL FIXTURES & ACCESSORIES AT HEIGHTS CONFORMING WITH ALL GOVERNING CODES & ACCESSIBILITY REQUIREMENTS.
 - ALL WOOD BLOCKING AND PLYWOOD TO BE FIRE TREATED.
 - FIRE EXTINGUISHERS ARE SUPPLIED AND INSTALLED BY THE G.C. QUANTITIES AND LOCATIONS TO BE COORDINATED W/ THE LOCAL FIRE DEPARTMENT.
 - COORDINATE SIZE AND LOCATION OF ALL DUCT SHAFT OPENINGS IN WALLS AND FLOORS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.
 - ALL DIMENSIONS ARE NOMINAL & ARE FROM FACE OF GYPSUM BOARD, SHEATHING, OR SUBSTRATE.
 - REFER TO THE EQUIPMENT PLAN AND EQUIPMENT SCHEDULE FOR MORE INFORMATION ON THE EQUIPMENT. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
 - PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT INTERIOR SIDE OF ALL WALL TRANSITIONS. SEAL ALL NEW AND EXISTING OPENINGS IN FLOORS, STRUCTURAL DECK AND EXTERIOR WALLS IN ORDER TO PROVIDE A WEATHER TIGHT SEAL.
 - ALL WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
 - PROPERLY PREPARE & CLEAN SUBSTRATES & SURFACES AS REQUIRED TO ACCEPT FINISHES, MATERIALS, TREATMENTS, ETC.
 - G.C. SHALL PROVIDE FINAL CLEANING OF STORE AT END OF CONSTRUCTION.
 - WALL AND PARTITION DIMENSIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS.
 - POST BUILDING ADDRESS ON BUILDING / SITE AT ALL TIMES DURING CONSTRUCTION, NUMBERS TO BE VISIBLE FROM STREET.
 - ALL PARTITION WALLS SHALL RESIST A MINIMUM 5PSF HORIZONTAL LOAD, SUBJECT TO VILLAGE INSPECTION.



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

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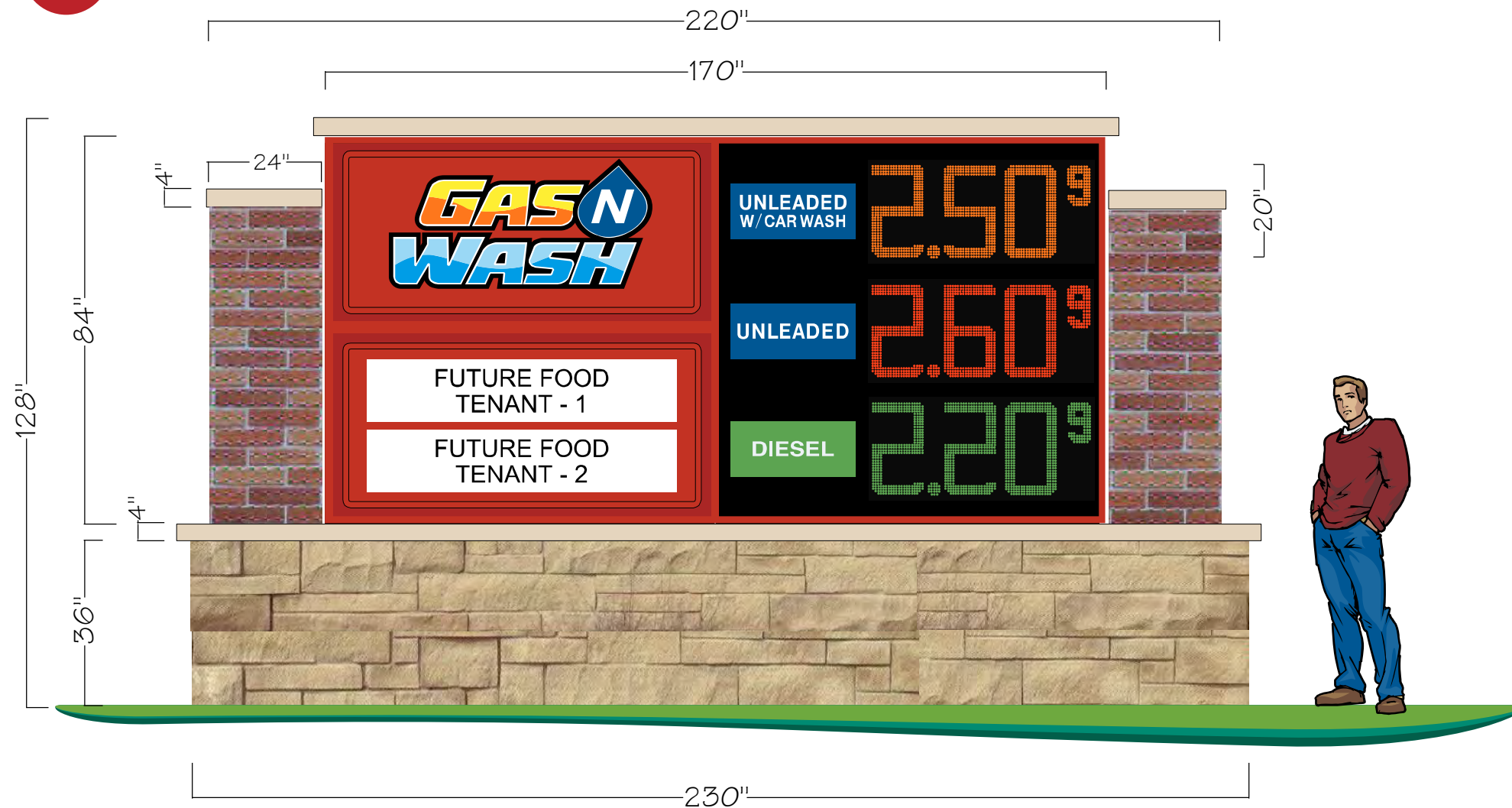
ISSUE

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CLIENT	5/21/24
ZONING	9/19/2024
ZONING	10/16/24

CHECK:CP
DRAWN:KV
JOB:D2400163

A102
FLOOR PLAN

A



"GAS N WASH" UPPER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH ILLUMINATED DECORATED GRAPHICS

100 SQ. FT

TENANT LOWER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH TRANSLUCENT WHITE TENANT PANELS WITH ILLUMINATED DECORATED GRAPHICS



13401 SOUTHWEST HWY.,
ORLAND PARK, ILLINOIS

Since 1925

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Approved _____
Date _____

Scale	3/8"	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	ID PRICE MONUMENT			
Drawn By	ED	Revisions By				Drawing No. 24-114.2C
		Date				

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- 36" X 84" ELECTRONIC MESSAGE SIGN: WATCHFIRE W6mm LED RGB - COLOR 144 X 336 SHALL ONLY CONTAIN STATIC DISPLAYS. TRANSITIONS SHALL NOT INCLUDE ANIMATION, VIDEO, BURSTS, SPIRALS OR SIMILAR EFFECTS. STROBE, FLASHING, SCROLLING, SOUNDS OR OTHER ATTENTION GETTING FEATURES ARE PROHIBITED.

70 SQ. FT.



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Approved	
Date	

Scale	3/8"	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH MONUMENT			
Drawn By	ED	Revisions By	ED			Drawing No. 24-114.3C
		Date	6-27-24			



EAST ELEVATION 1/16" SCALE



SOUTH ELEVATION 1/16" SCALE



NORTH ELEVATION 1/16" SCALE

G

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

H

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

I

FUTURE SECONDARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

J

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

K

FUTURE SECONDARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE



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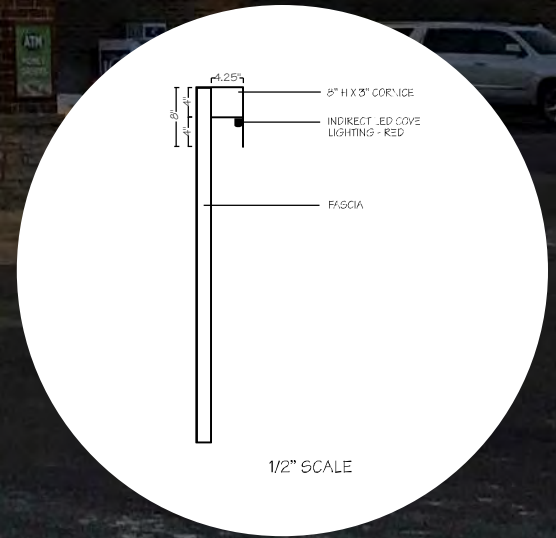
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Date _____

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	C-STORE SIGNAGE			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-27-24			24-114.6C



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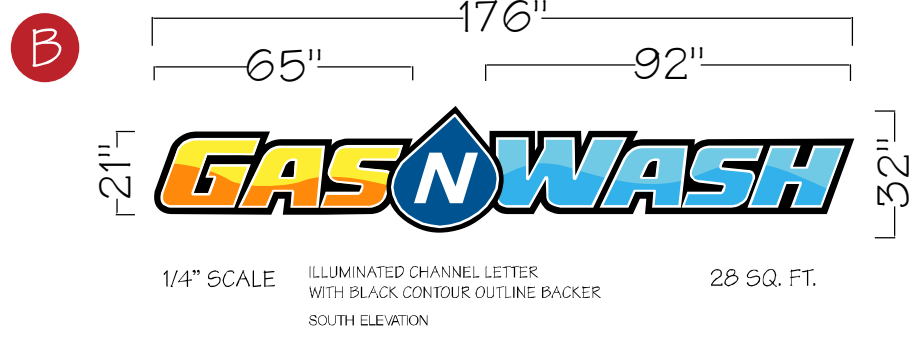
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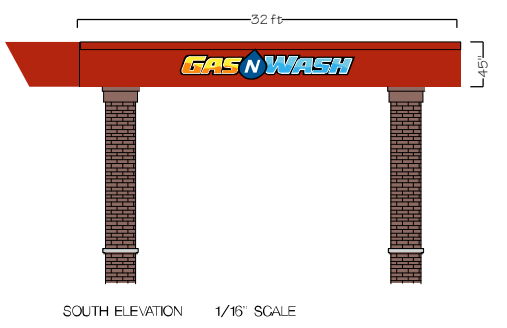
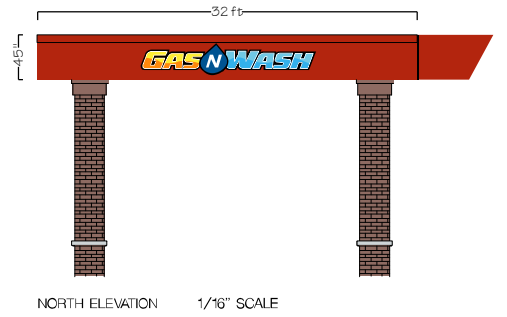
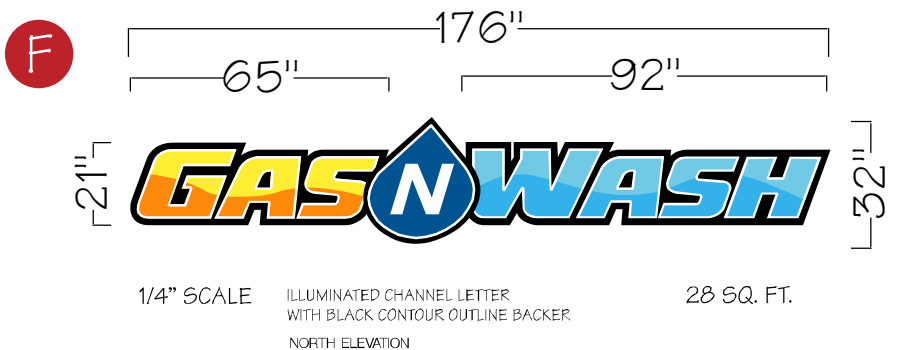
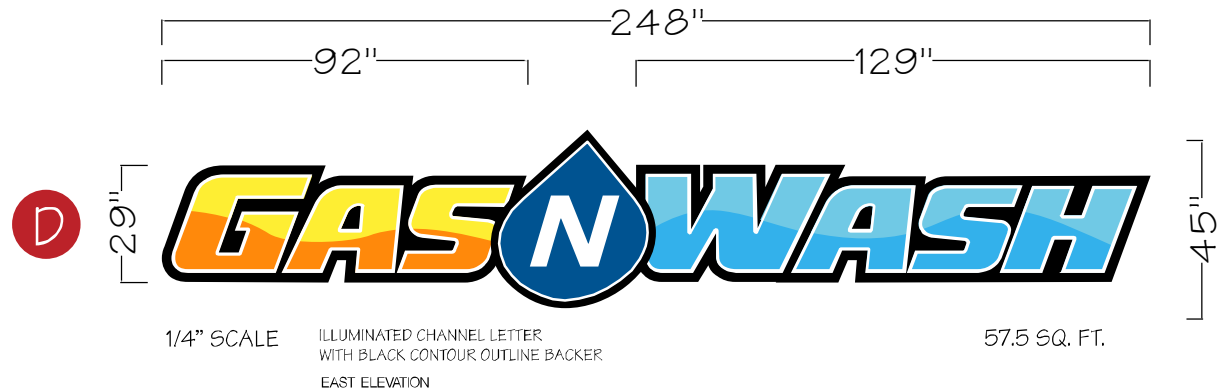
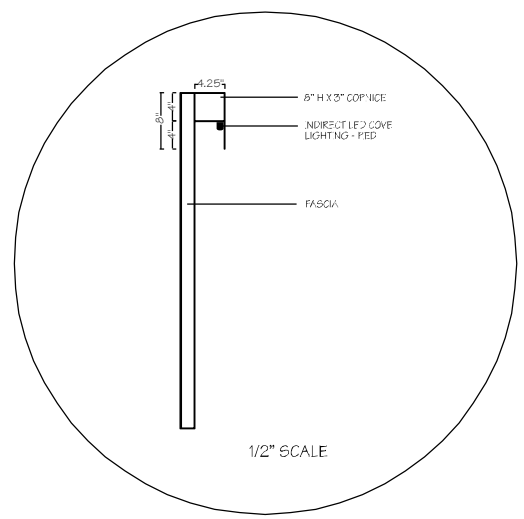
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Approved	Scale	NTS	Title				GAS N WASH - NORTH AURORA	
	Date	6-7-24	Description				INDIRECT CANOPY COVE LIGHTING	
Date	Drawn By	ED	Revisions By				Drawing No.	
			Date					24-114.4C LED



C FUTURE FOOD
TENANT - 1
31 SQ. FT.

E FUTURE FOOD
TENANT - 2
31 SQ. FT.



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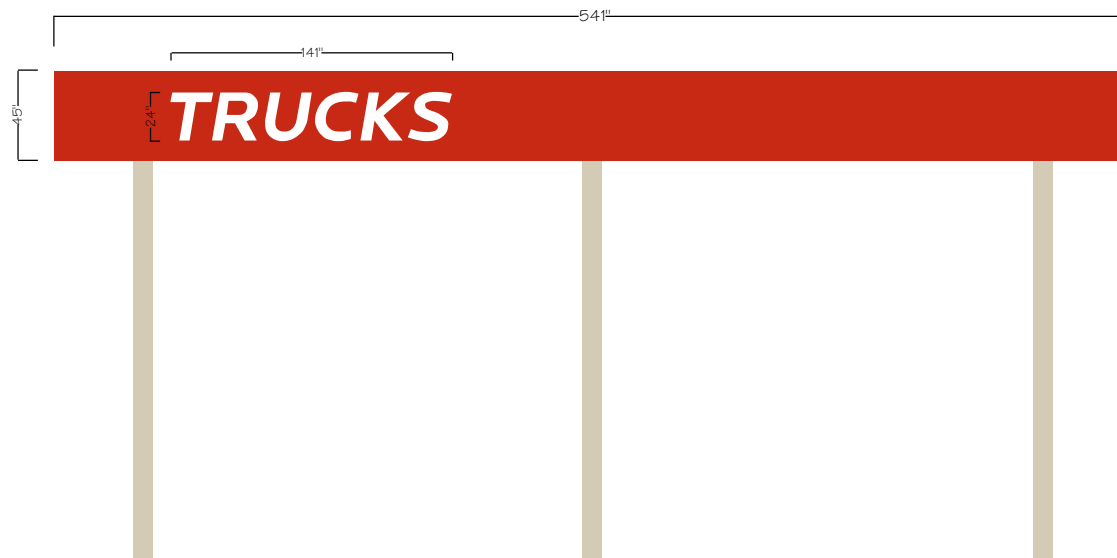
Date

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	AUTO CANOPY SIGNAGE			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-22-24			24-114.4C

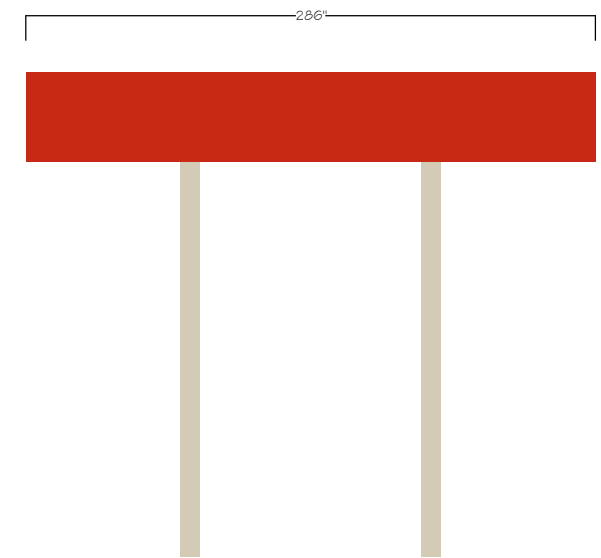
L

141"
24"
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE
23.5 SQ FT



NORTH ELEVATION
1/8" SCALE

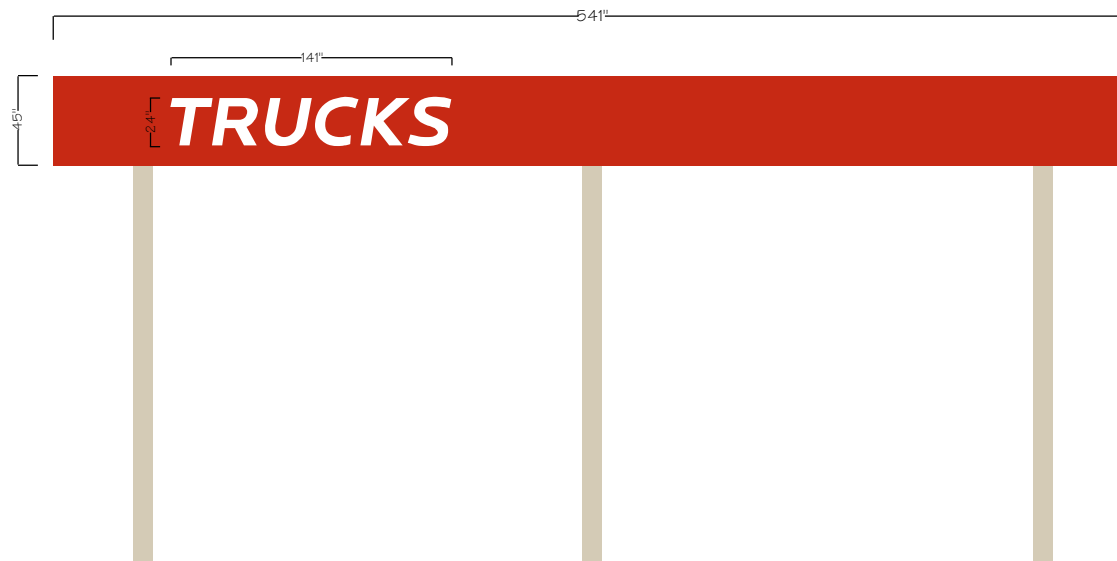


WEST ELEVATION

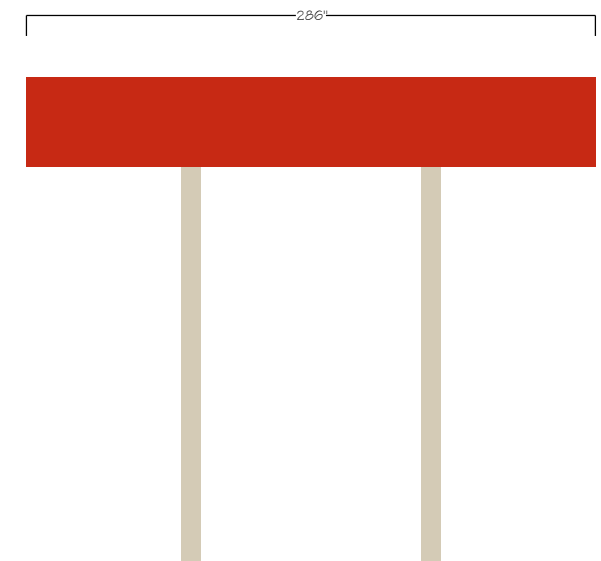
M

141"
24"
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE
23.5 SQ FT



SOUTH ELEVATION
1/8" SCALE



EAST ELEVATION



13401 SOUTHWEST HWY.,
ORLAND PARK, ILLINOIS

Since 1925

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Approved

Date

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	TRUCK CANOPY			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-27-24			24-114.5C

P



"DRIP" 59" X 55.5" = 22.7 SQ FT
 "CAR" 23.25" X 84" = 13.5 SQ FT
 "WASH" 23.25" X 116.5" = 18.8 SQ FT
 TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



WEST ELEVATION

1/8" SCALE



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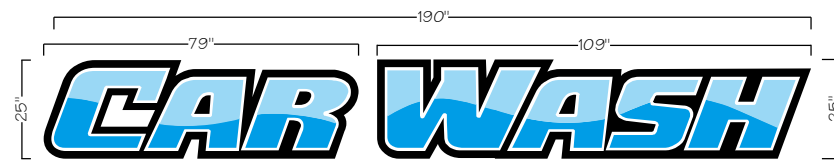
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Approved	
Date	

Scale	NOTED	Title	GAS N WASH - NORTH AURORA				
Date	6-7-24	Description	CAR WASH BUILDING WEST				
Drawn By	ED	Revisions By	ED	ED		Drawing No.	24-114.7C
		Date	6-22-24	6-21-24			

R



"CAR" 25" X 79" = 13.7 SQ. FT.
 "WASH" 25" X 109" = 18.9 SQ. FT.
 TOTAL = 32.62 SQ. FT.

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



NORTH ELEVATION

1/8" SCALE



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1925

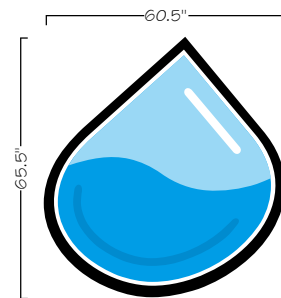
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Approved	
Date	

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING NORTH			
Drawn By	ED	Revisions By	ED	ED		Drawing No. 24-114.8C
		Date	8-22-24	8-27-24		



CAR WASH

"DRIP" 59" X 55.5" = 22.7 SQ FT
"CAR" 23.25" X 8.4" = 13.5 SQ FT
"WASH" 23.25" X 116.5" = 18.8 SQ FT
TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER
WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



EAST ELEVATION

1/8" SCALE



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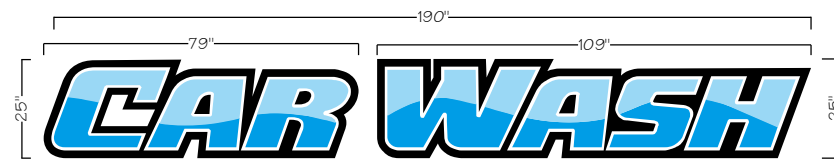
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Approved _____
Date _____

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING EAST			
Drawn By	ED	Revisions By	ED	ED		Drawing No.
		Date	8-22-24	8-27-24		

S



"CAR" 25" X 79" = 13.7 SQ. FT.
 "WASH" 25" X 109" = 18.9 SQ. FT.
 TOTAL = 32.62 SQ. FT.

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



SOUTH ELEVATION

1/8" SCALE



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Approved	Scale	NOTED	Title				GAS N WASH - NORTH AURORA	
	Date	6-7-24	Description				CAR WASH BUILDING SOUTH	
Date	Drawn By	ED	Revisions By	ED	ED	Drawing No. 24-114.8C2		
			Date	8-22-24	8-27-24			



460"

214"

30"

24"

CAR WASH Entrance



8'-6"

SINGLE FACE ILLUMINATED CANOPY SIGN
35.7 SQ. FT.



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Approved
Date

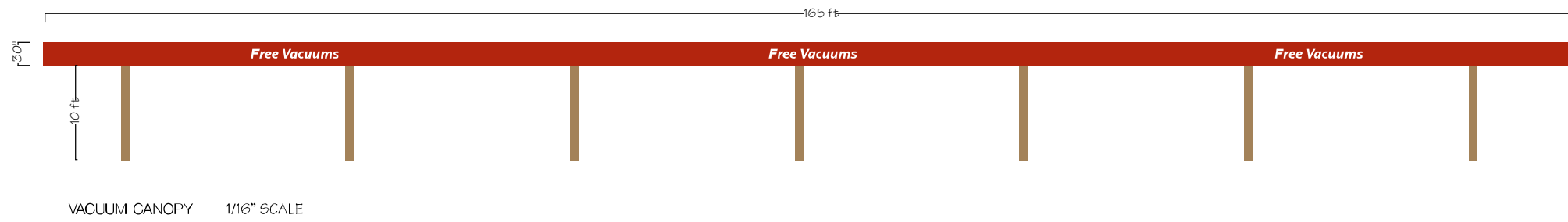
Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH PAY CANOPY			
Drawn By	ED	Revisions By	ED			Drawing No. 24-114.10C
		Date	8-27-24			

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1/2" SCALE
 NON - ILLUMINATED
 HP DIE CUT VINYL GRAPHICS
 9.4 SQ. FT.
 TOTAL 28.2 SQ FT



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Approved _____
 Date _____

Scale	NOTED	Title	GAS N WASH - NORTH AURORA				
Date	6-7-24	Description	CAR WASH VACUUM CANOPY				
Drawn By	ED	Revisions By	ED				Drawing No.
		Date	6-27-24				24-114.11C

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR

FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: COMMUNITY DEVELOPMENT AND PERMITTING SOFTWARE UPDATE

AGENDA: DECEMBER 16, 2024, VILLAGE BOARD AGENDA

DISCUSSION

The Village currently uses the City View software program to track permits. As the software is currently configured, it cannot accept online permit applications or payments. It is purely used internally, by staff, to track permits and store permit data. The Village Strategic Plan has the following objective under the Efficient and Effective Delivery of Core Services Goal: Enhance resident communication options and methods to improve information distribution channels internally and externally for village services and activities. Review options for online permitting and payment. Review options to automate internal and external processes for efficiency. To meet these goals, the Community Development Staff has been contacting several permit software providers to demo their products. This included our current provider, City View.

Staff is proposing switching to a new software called Cloudpermit. During our search we evaluated Cloudpermit, Civic Review, Smart Gov, Open Gov, and our current software City View. Cloudpermit provided an exceptional external customer experience and internal staff experience while being very cost effective. The total cost for the first year, which includes initial installation and setup, is \$18,400. The contract is for a three-year period. The total cost for the entire contract is \$44,708. A copy of the contract is attached. The Board reviewed the proposed contract at the December 2, 2024 Committee of the Whole Meeting. Staff is seeking the Board's authorization to sign the proposed contract.

Cloudpermit

11911 Freedom Drive, Ste. 720
Reston, Virginia 20190
United States

Order #: Q-03115-3
Customer #: CUST-0029968
Date: 11/20/2024
Sales Person: Brian Liszka
Sales Person Email: brian.liszka@cloudpermit.com
Delivery Method: E-Mail

Ship To

Nathan Darga
North Aurora
25 E. State Street
North Aurora, Illinois 60542
United States
331-385-6171
ndarga@northaurora.org

Bill To

North Aurora
25 E. State Street
North Aurora, Illinois 60542
United States

Subscription

Product		Invoice 1	Invoice 2	Invoice 3
Building	Annual Total	USD 8,000	USD 8,320	USD 8,653
Land Use	Annual Total	USD 3,200	USD 3,328	USD 3,461
Mobile App for Inspections	Annual Total	USD 1,200	USD 1,248	USD 1,298
Subscription Total:		USD 12,400	USD 12,896	USD 13,412

Subscription start date will be the contract signature date unless otherwise stated in the Terms & Condition section.

Service

Description	Annual Total
Data Import	USD 4,000
Implementation Fee - Building Software Solution	USD 1,000
Implementation Fee - Land Use Software Solution	USD 500
Implementation Fee - Mobile App for Inspections	USD 500
Service Total:	USD 6,000

Customer Total First Year: **USD 18,400**

Terms and Conditions

Term: 3 years, billable annually

Invoicing: Subscription invoice to be sent after contract is signed and then annually.
First invoice (50%) for implementation fee is due upon implementation start (M1) and the second invoice (50%) for implementation fee to be sent after Go Live Milestone (M2) is approved.

Payment Term: Net 30 days from Invoice Date

Subscription Start Date: Date of contract signature

All stated prices are exclusive of any taxes.

Customer Name: _____

Signature: _____

Printed Name of Person Signing: _____

Title: _____

Date: _____

Accounts Payable Email: _____

By signing here, the Customer agrees to this Order Form, the Software Service Agreement and any other appendices and documentation expressly referenced in this Order Form, the Software Service Agreement and/or any amendments (together the "Agreement").

The individual signing this Agreement represents and warrants that he or she has the right and authority to bind the Customer.

Cloudpermit

Signature: _____

Printed Name of Person Signing: Peter Rotenberg

Title: SVP Sales USA

Date: _____

Cloudpermit Software Service Agreement

THIS AGREEMENT is made by and between the “**Customer**” as identified in the Order Form and Cloudpermit, Inc. a Delaware corporation with its office at 11911 Freedom Drive, Suite 720, Reston, VA, 20190, USA (“**Cloudpermit**”).

1. DEFINITIONS

1.1 Unless the context otherwise requires, the following words and expressions have the following meanings:

“**Affiliate**” means any entity that directly or indirectly controls, is controlled by, or is under common control with the subject entity. Such control, for purposes of this definition, means direct or indirect ownership or control by agreement or otherwise of more than 50% of the voting interests of the subject entity.

“**Agreement**” means the Order Form, this Software Service Agreement and all appendices and other documents expressly referenced in the Order Form, this Software Service Agreement and/or any amendments.

“**Business Day**” means any day other than a Saturday, Sunday or federal holiday in the USA.

“**Cloudpermit Software**” means the Cloudpermit platform, software applications and any third-party software applications that Cloudpermit will provide access to for the Customer and End Users.

“**Confidential Information**” means any information made available by one Party to the other, in any form or medium, that is proprietary or confidential to a Party or its affiliates, or their respective customers, suppliers, or other business partners, including, without limitation, all documentation, products, tools, materials, inventions, discoveries, works of authorship, programs, derivative works, information, designs, know-how, trade secrets, configurations, technical information, data, ideas, methods, processes, schematics and business plans, whether or not specifically identified as confidential.

“**Customer Data**” means information, data and other content that is provided by the Customer to Cloudpermit, but does not include any content that is publicly available, currently or in the future.

“**Customer Systems**” means the Customer’s information technology infrastructure including computers, software, databases, database management systems, other electronic systems and networks, whether operated directly by the Customer or through the use of third-party services that enable the Customer and/or End Users to access the Cloudpermit Software.

“**End User**” means any individual that Customer has designated or authorized to use the Cloudpermit Software. End Users may include, for example, residents, employees,

consultants, contractors of Customer, and representatives of any other third parties with which Customer transacts business.

"End User Data" means the information, data and other content that is provided by an End User to Cloudpermit but does not include any content that is publicly available, currently or in the future.

"Fees" means the annual subscription fees, implementation fees and any other fees stated in the Order Form, any Appendix or otherwise agreed to in writing by the Parties.

"Force Majeure Event" means any event or occurrence which is outside the reasonable control of a Party and which is not attributable to any act or failure to take commercially reasonable preventative action by that Party, including war, act of foreign enemies, hostilities (regardless of whether war is declared), terrorist activities, strikes, lockouts, pandemics, interruption or failure of electricity, and Acts of God (including fire, flood, earthquake, hurricane, or other natural disaster), but not including insolvency or lack of funds.

"General Communications Network" means communication networks owned, and/or leased, and operated by internet service providers which allow individuals to access the internet and access the Cloudpermit Software via the internet.

"Identifier" means a user name and password that associates an End User with the End User's account or user ID in the Cloudpermit Software.

"Implementation" means the initial configuration and implementation of the Cloudpermit Software for the Customer.

"Party" and **"Parties"** mean Cloudpermit and its affiliates and/or the Customer.

2. CLOUDPERMIT'S RESPONSIBILITIES

- 2.1 Cloudpermit will make the Cloudpermit Software available to the Customer pursuant to this Agreement and the additional terms and conditions for use of the Cloudpermit Software by End Users available at www.cloudpermit.com as may be amended from time to time.
- 2.2 Cloudpermit will use all commercially reasonable efforts to keep the Cloudpermit Software available for use except for downtime or degradation for maintenance, installation, change, data security risk, requirements of law, regulation by government authorities, a Force Majeure Event, or any other circumstances beyond Cloudpermit's reasonable control.

3. CUSTOMER'S RESPONSIBILITIES

- 3.1 The Customer and each End User is required to maintain an internet connection at its own cost to access the Cloudpermit Software.
- 3.2 The Cloudpermit Software may be used by the Customer and End Users only in accordance with this Agreement and the additional terms and conditions for use by End Users available at www.cloudpermit.com as may be amended from time to time.

- 3.3 The Customer will at all times maintain and operate in good repair the Customer Systems and take all actions necessary to secure Customer Data, End User Data and access credentials, including Identifiers. Cloudpermit is not liable or responsible for any delay or performance failure caused by the Customer or Customer Systems.
- 3.4 If the Customer becomes aware of any actual or threatened harmful activity with respect to Customer Data, End User Data, Identifiers, unauthorized access to the Cloudpermit Software, unauthorized access to or acquisition of Customer Data or End User Data, or any other breach related to the Cloudpermit Software in any way, the Customer will immediately notify Cloudpermit and the Parties will each mitigate any negative effects of such harmful activity or breach.
- 3.5 The Customer will promptly, upon request by Cloudpermit, provide all necessary information and guidelines to Cloudpermit for providing the Cloudpermit Software to the Customer and its End Users. The Customer ensures that the information and guidelines it provides are correct.
- 3.6 The Customer shall not, and shall not authorize any other person to, access or use the Cloudpermit Software except as expressly permitted by this Agreement and the Customer shall not: (a) copy, modify or create derivative works or improvements to the Cloudpermit Software; (b) rent, lease, lend, sell, sublicense, assign, distribute, publish, transfer or otherwise make available the Cloudpermit Software to any person, including on or in connection with any time-sharing, service bureau, software as a service, cloud or other technology or service; (c) reverse engineer, disassemble, decompile, decode, adapt or otherwise attempt to derive or gain access to the source code of the Cloudpermit Software; (d) access or use the Cloudpermit Software other than by an authorized End User through the use of his or her own then-valid access credentials; (e) input, upload, transmit or otherwise provide to or through the Cloudpermit Software any content, information or materials that are unlawful or injurious, or contain, transmit or activate any harmful code or content; or (f) access or use the Cloudpermit Software for purposes of competitive analysis of the Cloudpermit Software, or for the development, provision or use of a competing software service or product.

4. SERVICE FEES AND PAYMENT TERMS

- 4.1 In consideration of Cloudpermit's performance of its obligations under this Agreement, the Customer will pay all Fees in the manner provided for in the Order Form.
- 4.2 All Fees and other amounts payable by Customer stated in the Order Form and in this Agreement are exclusive of applicable taxes.
- 4.3 All amounts payable to Cloudpermit will be paid by the Customer in full without any set-off, recoupment, counterclaim, deduction, debit or withholding for any reason.
- 4.4 Any sum not paid by the Customer when due will bear interest from the due date until paid at a rate of 1.5% per month, compounded monthly, or the maximum rate permitted by law.
- 4.5 Invoices will be sent to the Customer as provided in the Order Form.

5. CHANGES

- 5.1 Cloudpermit reserves the right to make any changes to the Cloudpermit Software that it deems necessary or useful to: (a) maintain or enhance the quality or delivery of the Cloudpermit Software to its customers, the competitive strength of or market for the Cloudpermit Software, or the cost efficiency or performance of the Cloudpermit Software; or (b) to comply with applicable law.
- 5.2 Cloudpermit will make reasonable efforts to notify the Customer of any changes in advance. If such advance notice is not reasonably possible, then Cloudpermit will notify Customer after the change without delay.

6. DATA, PRIVACY AND PROTECTION

- 6.1 The Parties will each comply with all applicable privacy and data protection laws in force during this Agreement.
- 6.2 Cloudpermit warrants that it will employ security measures in accordance with Cloudpermit's privacy policy available at www.cloudpermit.com as may be amended from time to time. Neither Party is responsible for the data security of the General Communications Network or any disturbance in the General Communications Network.
- 6.3 Customer has and will retain sole responsibility for: (a) all Customer Data and End User Data, including its content and use; (b) all information, instruction and materials provided by or on behalf of the Customer or any End User in connection with the Cloudpermit Software; (c) the Customer Systems; (d) the security and use of Customer's and End Users' access credentials, including Identifiers; and (e) all access to and use of the Cloudpermit Software directly or indirectly by or through the Customer Systems or any End Users' systems.
- 6.4 Customer will employ all physical, administrative, and technical controls, screening, and security procedures and other safeguards necessary to: (a) securely administer the distribution and use of Identifiers or other credentials to access the Cloudpermit Software; and (b) control the content and use of Customer Data and End User Data, including uploading or other use or processing of Customer Data and End User Data, whether or not related to the Cloudpermit Software.
- 6.5 Cloudpermit warrants that it will not cause or permit any Customer Data to be collected, reproduced, stored or otherwise processed in any manner or for any purpose other than performance of Cloudpermit's obligations stated in this Agreement.
- 6.6 As between Customer and Cloudpermit, Customer is and shall remain the sole and exclusive owner of all right, title, and interest in and to Customer Data. Customer hereby grants to Cloudpermit a license to use and process Customer Data as necessary for performance of the Cloudpermit's obligations stated in this Agreement and the Customer's and End User's use of the Cloudpermit Software.
- 6.7 The Cloudpermit Software may provide external links to other sites on the internet, as a convenience for the Customer and End Users. Cloudpermit is not responsible for such linked destinations and such links do not imply Cloudpermit's association, affiliation, sponsorship or endorsement of the content, operation or security of any such linked destination.

- 6.8 Cloudpermit will provide a mechanism for the Customer to download and export Customer Data and End User Data during the Term of the Agreement to the fullest extent commercially reasonable in light of the circumstances that required such data recovery and restoration.
- 6.9 Upon termination of the Order Form for any reason, whether or not Customer has retrieved Customer Data, Cloudpermit reserves the right to permanently and definitively delete the Customer Data held in the Services thirty (30) days following termination of the Order Form.

7. IDENTIFIERS AND THEIR USE

- 7.1 Cloudpermit will deliver to the Customer identifiers necessary for access to and use of the Cloudpermit Software in accordance with this Agreement and any additional terms and conditions for use by End Users.
- 7.2 The Customer will be responsible for the use of the Cloudpermit Software by its employees, agents and End Users, including use of Identifiers. The Customer will notify Cloudpermit without delay if an Identifier has been disclosed to a third party or if the Customer suspects that an Identifier has been disclosed or otherwise misused.
- 7.3 Upon request by Cloudpermit, the Customer will change any Identifier for access to the Cloudpermit Software.
- 7.4 Cloudpermit may change any Customer Identifier and will provide prompt notice to Customer of such change.

8. DATA LOCATION

- 8.1 The servers used by Cloudpermit to provide the Cloudpermit Software and all data regarding the Cloudpermit Software will be hosted in the USA.

9. WARRANTIES

- 9.1 Each Party represents and warrants to the other Party that it has all required powers and capacity to enter into this Agreement, to grant the rights and license granted under this Agreement, and to perform its obligations under this Agreement.
- 9.2 The Customer represents, warrants and covenants to Cloudpermit that the Customer owns or otherwise has, and will have, the necessary rights and consents in and relating to the Customer Data and End User Data so that, as received by Cloudpermit and processed in accordance with this Agreement, neither Party and will infringe, misappropriate or otherwise violate any intellectual property rights, or any privacy or other rights of any third party or violate any applicable law.
- 9.3 EXCEPT FOR THE EXPRESS WARRANTIES STATED IN THIS AGREEMENT, ALL SOFTWARE, SERVICES AND MATERIALS PROVIDED BY ONE PARTY TO THE OTHER HEREUNDER ARE PROVIDED "AS IS". CLOUDPERMIT HEREBY DISCLAIMS ALL CONDITIONS AND WARRANTIES, WHETHER EXPRESS, IMPLIED, STATUTORY OR OTHERWISE UNDER THIS AGREEMENT, AND CLOUDPERMIT SPECIFICALLY DISCLAIMS ALL IMPLIED CONDITIONS AND WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, AND ALL WARRANTIES ARISING FROM COURSE OF DEALING, USAGE OR TRADE PRACTICE.

10. OWNERSHIP AND INTELLECTUAL PROPERTY RIGHTS

- 10.1 The Customer acknowledges that, as between the Customer and Cloudpermit, Cloudpermit owns all right, title, and interest, including all intellectual property rights, in and to the Cloudpermit Software. The Customer and End Users are granted only a limited right to use the Cloudpermit Software during the term of this Agreement in accordance with this Agreement and the additional terms and conditions for use by End Users.
- 10.2 If the Customer or any of its employees or contractors sends or transmits any communications or materials to Cloudpermit by mail, email, telephone, or otherwise, suggesting or recommending changes to the Cloudpermit Software, including without limitation, new features or functionality relating thereto, or any comments, questions, suggestions, or the like, Cloudpermit is free to use and incorporate such feedback irrespective of any other obligation or limitation between the Parties governing such feedback for any purpose whatsoever and without any requirement to pay any compensation to the Customer or to any other person or entity.
- 10.3 If any part of the Cloudpermit Software is, or in Cloudpermit's reasonable opinion is likely to be, claimed to infringe, misappropriate or otherwise violate any third party intellectual property right, or if the Customer's or any End User's use of the Services is enjoined or threatened to be enjoined, Cloudpermit may, at its option and sole cost and expense: (a) obtain the right for the Customer to continue to use the Cloudpermit Software materially as contemplated by this Agreement; (b) modify or replace the Cloudpermit Software, in whole or in part, to seek to make the Cloudpermit Software (as so modified or replaced) non-infringing, while providing materially equivalent features and functionality, in which case such modifications or replacements will constitute the Cloudpermit Software as provided under this Agreement; or (c) by written notice provided sixty (60) calendar days in advance to the Customer to terminate this Agreement with respect to all or part of the Cloudpermit Software (providing a pro-rated refund for any prepaid access to the Cloudpermit Software) and require the Customer to immediately cease any use of the Cloudpermit Software or any specified part or feature thereof.

11. INDEMNITY

- 11.1 Each party will indemnify, defend and hold harmless the other Party and its officers, directors, employees, agents, successors, subcontractors, attorneys, affiliates and assigns from and against any and all losses, damages, liabilities, claims, penalties, fines, costs or expenses of whatever kind, including legal fees, disbursements and charges, and the cost of enforcing any right to indemnification and the cost of pursuing any insurance providers incurred by a Party to the extent arising out of or relating to: (a) any claim by a third party that a Party's acts or omissions with respect to the Cloudpermit Software infringes a third party's intellectual property right, provided that the foregoing obligation does not apply to any claim arising out of or relating to any access to or use of the Cloudpermit Software in a manner contrary to this Agreement or the additional terms and conditions for use by End Users available at www.cloudpermit.com as may be amended from time to time, or contrary to any instructions provided by Cloudpermit regarding use of the Cloudpermit Software or use of the Cloudpermit Software in combination with any hardware, system, software, network or other materials or service not provided or authorized by Cloudpermit; (b) the indemnifying Party's breach of this Agreement; or (c) the indemnifying Party's negligence or willful misconduct in connection with this Agreement.

12. LIMITATION OF LIABILITY

- 12.1 IN NO EVENT WILL EITHER PARTY BE LIABLE TO THE OTHER PARTY IN CONTRACT, TORT OR OTHERWISE, WHATEVER THE CAUSE THEREOF, FOR ANY LOSS OF PROFIT, BUSINESS, REVENUE OR GOODWILL, DAMAGES CAUSED BY DELAYS, OR A FAILURE TO REALIZE EXPECTED SAVINGS, OR ANY INDIRECT, SPECIAL, CONSEQUENTIAL, INCIDENTAL, EXEMPLARY, AGGRAVATED OR PUNITIVE COST, DAMAGES OR EXPENSE OF ANY KIND, HOWSOEVER ARISING UNDER OR IN CONNECTION WITH THIS AGREEMENT OR THE CLOUDPERMIT SOFTWARE, WHETHER OR NOT SUCH DAMAGES, COSTS, LOSSES OR EXPENSES COULD REASONABLY BE FORESEEN OR WHETHER OR NOT THEIR LIKELIHOOD HAS BEEN DISCLOSED.
- 12.2 NEITHER PARTY SHALL BE LIABLE FOR THE DESTRUCTION, LOSS OR ALTERATION OF THE OTHER PARTY'S DATA OR DATA FILES, NOR FOR ANY DAMAGES AND EXPENSES INCURRED AS A RESULT, INCLUDING EXPENSES INVOLVED IN THE RECONSTRUCTION OF DATA FILES.
- 12.3 IN NO EVENT SHALL EITHER PARTY'S AGGREGATE LIABILITY ARISING OUT OF OR RELATED TO THIS AGREEMENT, WHETHER ARISING OUT OF OR RELATED TO BREACH OF CONTRACT, TORT (INCLUDING NEGLIGENCE) OR OTHERWISE, EXCEED THE AGGREGATE AMOUNT PAID OR PAYABLE TO CLOUDPERMIT PURSUANT TO THIS AGREEMENT DURING THE SIX (6) MONTH PERIOD IMMEDIATELY PRECEDING THE EVENT GIVING RISE TO THE CLAIM. MAXIMUM LIABILITY SHALL BE SIX (6) MONTHS OF THE ANNUAL SUBSCRIPTION FEE.
- 12.4 NOTWITHSTANDING THIS SECTION 12, NOTHING IN THIS AGREEMENT SHALL LIMIT EITHER PARTY'S LIABILITY FOR DELIBERATE BREACH, DELIBERATE DEFAULT, WILLFUL MISCONDUCT OR GROSS NEGLIGENCE.

13. CONFIDENTIALITY

- 13.1 In connection with this Agreement each Party (as the "Disclosing Party") may disclose or make available Confidential Information to the other Party (as the "Receiving Party"). "Confidential Information" means information in any form or medium (whether oral, written, electronic or other) that the Disclosing Party considers confidential or proprietary, including, information consisting of, or relating to, the Disclosing Party's technology, trade secrets, know-how, business operations, plans, strategies, customers and pricing and information with respect to which the Disclosing Party has contractual or other confidentiality obligations, in each case whether or not marked, designated or otherwise identified as "confidential".
- 13.2 Confidential Information shall not include any data or information: (i) that, at the time of disclosure, is in or, after disclosure, becomes part of the public domain, through no act or failure on the part of the Receiving Party; (ii) that, prior to disclosure by the Disclosing Party, was already in the possession of the Receiving Party, as evidenced by written records kept by the Receiving Party in the ordinary course of its business, or as evidenced by proof of actual prior use by the Receiving Party; (iii) that was independently developed by the Receiving Party, by persons having no direct or indirect access to the Disclosing Party's Confidential Information provided that the Receiving Party provides clear and convincing evidence of such independent development; or (iv) which, subsequent to disclosure, is obtained from a third person: (A) who is lawfully in possession of the such information; (B) who is not in violation of any contractual, legal, or fiduciary obligation to either Party, as applicable, with respect

to such information; and (C) who does not prohibit either Party from disclosing such information to others; (v) is further disclosed with the prior written consent of the Disclosing Party, but only to the extent of such consent; or (vi) is a disclosure required by state or federal open records laws or a disclosure ordered by a court or similar adjudicator or authority.

- 13.3 Each Party will, and will cause its employees, agents and contractors to hold Confidential Information of the other Party in confidence, and will use the same degree of care by instruction, agreement or otherwise, to maintain the confidentiality of the other Party's Confidential Information that it uses to maintain the confidentiality of its own Confidential Information, and with at least a reasonable degree of care commensurate with the nature and importance of such Confidential Information. Each Party agrees not to make use of Confidential Information other than for the exercise of rights or the performance of obligations under this Agreement, and not to release, disclose, communicate or make it available to any third person other than employees, agents and contractors of any Party or third party who reasonably need to know it in connection with the exercise of rights or the performance of obligations under this Agreement.
- 13.4 In the event that a Party receives a request to disclose all or any part of the Confidential Information under the terms of a valid and effective subpoena or order issued by a court of competent jurisdiction or by a governmental authority, such Party will: (i) immediately notify the other Party of the existence, terms and circumstances surrounding such a request; (ii) consult with the other Party on the advisability of taking legally available steps to resist or narrow such request; and (iii) if disclosure of such Confidential Information is required, exercise reasonable efforts to obtain an order or other reliable assurance that confidential treatment will be accorded to such portion of the disclosed Confidential Information which the other Party so designates.
- 13.5 Each Party acknowledges and agrees that any unauthorized use or disclosure by it of any of the other Party's Confidential Information, in whole or part, will cause irreparable damage to the Disclosing Party, that monetary damages would be an inadequate remedy and that the amount of such damages would be extremely difficult to measure. The Receiving Party agrees that the Disclosing Party shall be entitled to seek temporary and permanent injunctive relief to restrain the Receiving Party from any unauthorized disclosure or use. Nothing in this Agreement shall be construed as preventing the Disclosing Party from pursuing any and all remedies available to it for a breach or threatened breach of this Agreement, including the recovery of monetary damages from the Receiving Party.
- 13.6 Cloudpermit is entitled to identify the Customer as a user or former user of the Cloudpermit Software without violating any confidentiality obligation.

14. TERM AND TERMINATION

- 14.1 This Agreement commences on the date of its execution by the Customer and will continue in effect for the term stated in the Order Form unless terminated earlier under any of this Agreement's express provisions.
- 14.2 Either Party may terminate this Agreement by giving written notice to the other Party upon the occurrence of any of the following: (a) the other Party defaults with respect to a material obligation under this Agreement and does not remedy that default within

ten (10) Business Days after receiving written notice of the default; or (b) the other Party: (i) makes a general assignment for the benefit of its creditors; (ii) has issued against it a bankruptcy order or otherwise becomes subject to any involuntary proceeding under any domestic or foreign bankruptcy law; or (iii) commences or institutes any application, proceeding or other action under any law relating to bankruptcy, insolvency, winding-up, reorganization, administration, plan of arrangement, relief or protection of debtors, compromise of debts or similar laws. Termination related to such assignment or bankruptcy will not result in any penalties or liability to either Party.

- 14.3 Upon the expiration or termination of this Agreement, except as expressly otherwise provided in this Agreement: (a) all rights, grants of rights, licenses, consents and authorizations by either Party to the other will immediately terminate; (b) notwithstanding anything to the contrary in this Agreement, with respect to Confidential Information then in its possession or control: (i) the Receiving Party may retain the Disclosing Party's Confidential Information in its then current state and solely to the extent and for so long as required by applicable law, (ii) Cloudpermit may retain Customer Data in its backups, archives and disaster recovery systems until such Customer Data is deleted in the ordinary course of its business, (iii) all information described in this Agreement will remain subject to all confidentiality, security and other applicable requirements of this Agreement; and (c) Cloudpermit may disable all Customer and End User access to the Cloudpermit Software.
- 14.4 Termination or expiration of this Agreement will be without prejudice to any rights, remedies or obligations of the Parties accrued under this Agreement prior to termination or expiration.

15. FORCE MAJEURE

- 15.1 Neither Party will be liable for failure to fulfill, or for delay in fulfilling, its obligations required hereunder due to a Force Majeure Event.
- 15.2 The Party whose performance under this Agreement is prevented or delayed by a Force Majeure Event will advise the other Party by notice in writing of the occurrence of the Force Majeure Event as soon as possible and shall do all things reasonably possible to mitigate any loss being caused to the other Party by reason of the Force Majeure Event, and will notify the other Party of the termination of the Force Majeure Event.

16. NOTICES

- 16.1 Every notice or other communication between the Parties will be deemed to have been given and made if in writing and if served by personal delivery upon the Party for whom it is intended, when sent by registered or certified mail, return receipt requested, or by a national courier service, or if sent by email (receipt of which is confirmed) to the Customer's and Cloudpermit's contact persons as stated in the Order form.
- 16.2 Any such notification will be deemed to have been delivered: (a) upon receipt, if delivered personally; (b) on the next Business Day, if sent by national courier service for next business day delivery or if sent by email and (c) in five Business Days if sent by mail when the actual time of receipt is not otherwise shown by the postal system. Any correctly addressed notice or last known address of the other Party that is reasonably relied upon that is refused, unclaimed, or undeliverable because of an act

or omission of the Party to be notified shall be deemed effective as of the first date that said notice was refused, unclaimed, or deemed undeliverable by the postal authorities by mail, through messenger or commercial express delivery services.

17. ASSIGNMENT

- 17.1 Neither Party may assign or transfer this Agreement or any right under this Agreement without the prior written consent of the other Party, except to an Affiliate or successor in interest by merger, acquisition or reorganization.

18. AMENDMENTS AND WAIVERS

- 18.1 No amendment to this Agreement will be valid or binding unless it is made in writing and executed by all Parties. No waiver of any breach of any provision of this Agreement will be effective or binding unless made in writing and signed by the Party purporting to give any waiver and, unless otherwise provided, any waiver will be limited to the specific breach waived.

19. SEVERABILITY

- 19.1 If a provision of this Agreement is or becomes invalid, ineffective or unenforceable, the validity, effectiveness or enforceability of the remaining provisions will remain unaffected. The Parties will negotiate in good faith to replace the invalid, ineffective or unenforceable provision immediately with a valid, effective or enforceable provision which comes as close as possible to the spirit and purpose of the provision to be replaced.

20. APPLICABLE LAW AND DISPUTES

- 20.1 This Agreement is governed by the laws of the state in which the Customer is located excluding any conflict of law rule or principle of such laws that might refer such interpretation or enforcement to the laws of another jurisdiction. Each Party submits to the jurisdiction of the applicable court(s) in such location with respect to any matter arising under this Agreement.

21. CONTINUING TO PERFORM

- 21.1 Except in the event of termination of this Agreement pursuant to its terms, during a dispute or notice or cure period, Cloudpermit will continue to fulfill all its obligations under this Agreement, and Customer will continue to make all payments required by the Agreement.

22. ENTIRE AGREEMENT

- 22.1 This Agreement is the complete agreement between the Parties concerning the subject matter of this Agreement and replaces any prior oral or written communications between the Parties. There are no conditions, understandings, agreements, representations, or warranties expressed or implied, that are not specified in this Agreement including, without limitation, the Order Form. In the event and to the extent of an inconsistency or conflict between any of the terms of this Agreement, including its appendices, and any other documents incorporated herein by reference,

the conflict or inconsistency shall be resolved by giving those provisions and documents the following order of descending precedence: (1) the Order Form; (2) this Software Service Agreement; (3) any Appendices; (4) any other document referenced by this Agreement or agreed to by the Parties, unless it expressly and specifically replaces or modifies any of the prior documents, in whole or in part.

23. RELATIONSHIP

23.1 The Parties are independent contractors and no other relationship is intended. Nothing herein shall be deemed to constitute either Party as an agent, representative or employee of the other Party, or both Parties as joint venturers or partners for any purpose. Neither Party shall act in a manner that expresses or implies a relationship other than that of independent contractor. Each Party shall act solely as an independent contractor and shall not be responsible for the acts or omissions of the other Party. Neither Party will have the authority or right to represent nor obligate the other Party in any way except as expressly authorized by this Agreement.

24. NO THIRD PARTY BENEFICIARIES

24.1 This Agreement is for the sole benefit of the Parties and their successors and assigns and nothing herein, express or implied, is intended to or shall confer upon any other person any legal or equitable right, benefit or remedy. End Users may benefit from their use of the Cloudpermit Software, but End Users' relationships to the Parties are not defined by this Agreement because they are defined solely: (a) to Cloudpermit by the terms and conditions for use by End Users available at www.cloudpermit.com as may be amended from time to time; and (b) to the Customer by separate agreement(s), if any, between the Customer and End Users.

25. EXECUTION

25.1 ***This Agreement must be executed simultaneously in two separate places:*** (1) on the Order Form; and (2) in the signature block below (both documents must be signed by the Customer before execution of this Agreement is complete). They may be executed in two or more identical counterparts, or by way of facsimile and electronic transmission without any further exchange of documents containing original signatures, each of which when executed by a Party will be deemed an original and such counterparts together will constitute one and the same Agreement.

CUSTOMER NAME: _____

Signature: _____

Printed Name of Person Signing: _____

Title: _____

Date: _____

I confirm that I have received and read all applicable product descriptions.

By signing here, the Customer agrees to the Order Form, this Software Service Agreement and any other appendices and documentation expressly referenced in the Order Form, this Software Service Agreement and/or any amendments (together the "**Agreement**").

The individual signing this Agreement represents and warrants that he or she has the right and authority to bind the Customer.

Cloudpermit

Signature: _____

Printed Name of Person Signing: **Peter Rotenberg**

Title: **SVP Sales USA**

Date: _____



**CLOUDPERMIT
IMPLEMENTATION MODEL**



TABLE OF CONTENTS

CLOUDPERMIT IMPLEMENTATION DESCRIPTION..... 2
 IMPLEMENTATION TIMELINE..... 2
 IMPLEMENTATION MODEL 3
 Kickoff..... 3
 Workshop 3
 Configuration 3
 Training & Testing..... 3
 Go Live..... 3
 MILESTONES & ACCEPTANCE CRITERIA 4
 CHANGE MANAGEMENT 4
 ADDITIONAL SERVICES COST..... 4

CLOUDPERMIT IMPLEMENTATION DESCRIPTION

The implementation model, described herein, details the proven model used to implement the various products offered by Cloudpermit for a new public-facing solution for the Customer. This is accomplished through a five-stage implementation process: Stage 1 – Kickoff, Stage 2 – Workshop, Stage 3 – Configuration, Stage 4 - Training & Testing and Stage 5 - Go Live.

The product(s) to be implemented is identified on the approved order form and is inclusive of the functionality that is identified in the product specific documentation.

Any services not listed on the Order Form are considered out of scope and can only be added through an agreed upon change order.

IMPLEMENTATION TIMELINE

The implementation schedule for Cloudpermit is mutually agreed upon prior to the Kickoff meeting and documented with a project plan. Any modifications or extensions to the project plan will be requested through the customer’s authorized representative and evaluated by Cloudpermit Head of Professional Services for review and discussion. If this modification or extension is granted, Cloudpermit will provide a change order to be signed by the Customer. Cloudpermit standard implementation timeline is detailed below.

Cloudpermit Estimated Project Timeline	Week 1	Week 2	Week 3	Week 4	Week 5	Week 6	Week 7	Week 8	Week 9	Week 10	Week 11	Week 12	Week 13	Week 14	Week 15	Week 16	Week 17	Week 18	Week 19	
Building Department	5-6 weeks																			
By-Law or Code Enforcement						4-5 Weeks														
Planning Department										8-10 weeks										



To manage this timeline, Cloudpermit Implementation Specialist will establish a weekly meeting checkpoint to ensure the implementation is on track and weekly action items are achieved.

IMPLEMENTATION MODEL

As part of the Implementation Model, Cloudpermit and the Customer will be responsible for performing tasks throughout the various stages of the implementation process. The following is a description of tasks needed to successfully complete the implementation of the Cloudpermit Product. For a more detailed description please refer to the Cloudpermit Implementation Methodology documentation.

Kickoff

A meeting between Cloudpermit and the Customers staff and key stakeholders to provide an overview of the product, discuss the goals and objectives and the agreed upon project schedule to establish a plan for a successful implementation.

Workshop

Cloudpermit solution is built on standard, out of the box, functionality. The workshop will ensure that the Implementation Specialist has a full understanding of the business processes, the details the municipality needs to collect from the applicant, fee schedules and any templates which needs to be generated. Cloudpermit standard out of the box solution integrates with ESRI ArcGIS through a REST(API) to establish the property location and also integrates with certain Payment Providers to allow for online payments. Cloudpermit encourages the use of 3rd party payment providers which are already integrated with Cloudpermit. The Implementation Specialist can provide a full list of the 3rd party payment providers, however, if the municipality uses another 3rd party vendor, then a custom integration is needed and could impact the schedule. This should be identified as soon as possible to minimize the impact to the schedule.

Note: Any Non-Standard Integrations are subject to additional Scope and costs.

Configuration

Configuration of Cloudpermit with the features and functionalities needed to allow the customer the ability to process applications using the online Cloudpermit solution.

Training & Testing

Cloudpermit Implementation Specialist will provide two (2) standard training sessions to key users of the system to ensure the customer can successfully test the product.

Additional Training: Cloudpermit's training is built to ensure the customer is ready to utilize the software to its full extent. In some cases, additional training is necessary during implementation or Post Go Live. The customer can order additional training according to Cloudpermit's price list.

Go Live

Go Live includes a Go/No Go decision prior to a scheduled Go Live meeting where the training environment configuration will be promoted to the production. At the Go Live meeting the customer will



submit their first Customer permit/application and/or create their first case in Cloudpermit to satisfy the Customers go live.

MILESTONES & ACCEPTANCE CRITERIA

Milestones are used for acceptance of various steps within the Implementation process. At the completion of each milestone the client will receive a Milestone Acceptance Document to be signed accepting that the tasks provided within each milestone have been completed. It is agreed that the Customer will accept each Milestone, unless such Milestone contains a “go live blocker” defect and Customer so notifies Cloudpermit, in writing, within 5 business days of the Milestone Acceptance Request. Milestones that do not receive notification of non-acceptance within 5 business days will be deemed accepted.

Milestone Number	Milestone Description	Billable Amount
M1	Project Plan Acceptance	50%
M2	The kickoff, configuration, and 1 st training sessions has been completed	50%
	Go Live tasks have been completed and the first permit/application is entered in Cloudpermit production Environment.	

Once Cloudpermit has provided corrections, Customer will have Seven (7) business days to verify that the corrections are sufficient and to provide written notice of any failure to correct a Go Live Blocker. If no written notification is provided, the corrections and the Milestone will be deemed accepted.

Cloudpermit will correct all Go Live Blockers as described above and handle Post Go Live issues within a reasonable Post Go Live window. All other Defects will be tracked for potential future releases. Notice of any Go Live Blocker defect must be provided to Cloudpermit in writing.

CHANGE MANAGEMENT

Cloudpermit Implementation Model provides a comprehensive, fully inclusive approach to implement the Cloudpermit solution. During the implementation process, additional needs may be identified for the Customer, that are outside of the project scope. These items once identified will be managed through a Change Request. The Change Order will identify the request, detail the requirements and justification and any scheduling or cost implications resulting from the change Request.

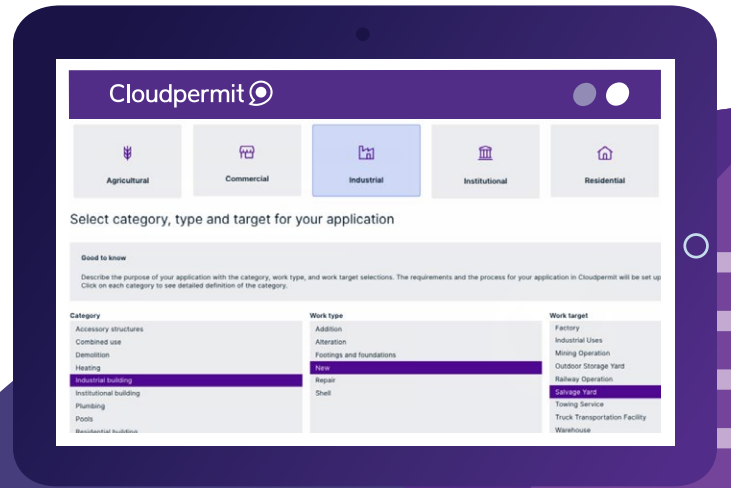
ADDITIONAL SERVICES COST

Additional Services are available from the Professional Services team that may not be included in the previously agreed upon scope. Cloudpermit can provide additional services as per the price list and through a change order

For on-site meetings, travel and per diem expenses will be invoiced to the Customer in accordance with Cloudpermit Travel Policy which will include airfare, mileage, hotel accommodations and daily per diem.

Permitting

Software Description Guide 2024



Contents

The Cloudpermit Platform	1
Building Permits	2
Applying for a Permit	3
Navigating the Permitting Process	4
Functionality Overview	4
Descriptions and Functionality	5
Application Submission Process.....	5
Archive/Inactive View	6
Attachments	6
Case/Workspace Package	6
Configurable Application Numbering	6
Configurable Standard Phrases	7
Data Import.....	7
Document/Templates	7
Email Notifications.....	7
Fees and Payments.....	7
GIS Integration	8
Inspections.....	8
Issuance.....	8
Messaging and Notifications	8
Multi-language Support.....	8
Pre-consultation Meeting.....	9
Processing Times	9
Project View	9
Property View.....	9
Report Management.....	10
Review and Circulation	10
Support Portal and Help Documentation	10
User Management	10
Violations/Deficiencies	11
Appendix 1: Cloudpermit Third-Party Integrated Systems	11
Standard Configurable Third-Party Integrations.....	11
Customized Integrations (Paid Engagements)	12

The Cloudpermit Platform

The Cloudpermit platform offers a comprehensive suite of cloud-based products designed to optimize how local governments manage community development and regulatory compliance. Our platform encompasses various products, including Building, Enforcement, Licensing, Planning, Contractor Registration, and Land Use. These products, accessible 24/7 from any browser or operating system, facilitate more efficient and responsive municipal operations.

Definitions:

- **Platform:** Cloudpermit’s foundational infrastructure and services necessary for deploying and managing various products aimed at streamlining municipal operations. It ensures seamless integration, security, and scalability, supporting the diverse needs of local governments.
- **Product:** Our products are specialized applications within the Cloudpermit platform, including Building, Enforcement, Licensing, Planning, Contractor Registration, and Land Use. Each product is designed to address specific municipal functions, enabling efficient management of processes such as permitting, inspections, and compliance.
- **Solution:** Solutions refer to the combined offerings of our products and add-on features/functionality, such as the Data Import tool and the Inspector App. These solutions enhance the functionality of the individual products, providing a comprehensive approach to managing municipal operations and regulatory compliance.

Key Benefits:

- **Streamlined Processes:** Automate and standardize workflows to efficiently manage permits, applications, and enforcement cases, improving turnaround times and reducing manual effort.
- **Enhanced Accessibility:** Our cloud-based platform ensures that services are available around the clock, supporting remote and on-site work for greater operational flexibility.
- **Continuous Improvement:** Benefit from automatic updates with the latest features and enhancements, keeping your system current without manual installations.
- **Rapid Deployment:** Quick and easy setup with minimal impact on municipal resources.
- **Informed Decision Making:** Integration with Geographic Information Systems (GIS) providing up-to-date information for better planning and analysis.
- **Collaborative Environment:** Facilitate instant communication and collaboration within applications, enhancing efficiency and transparency for staff, citizens and/or contractors.
- **Effortless Updates & Comprehensive Features:** Updated automatically, Cloudpermit ensures the latest features and enhancements are seamlessly integrated without any need for manual downloads or installations by users.

Below highlights the functionalities across all Cloudpermit products, including Building Permits, Code Enforcement, Licensing, Planning, Contractor Registration, and Land Use. While this product description specifically focuses on the Building Permits product, it's important to note

the comprehensive capabilities of Cloudpermit's suite of products designed to meet a wide range of municipal and contractor needs.

Features	Building Permits	Enforcement	Licensing	Planning	Contractor Registration	Land Use
Application Submission	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Archive/Inactive View	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Attachments	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Case/workspace package	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Conditions and Comments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Configurable Application Numbering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Configurable Standard Phrases	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Data Import	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Document/Templates	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Email Notifications	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fees and Payments	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
GIS integration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inspections	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Issuance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Meeting Process (Committees and Councils)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Messaging and Notifications	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Multi-language support	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Pre-Con Meeting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Processing times	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Project view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Property View	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Public Notice	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Renewal Process	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Report Management	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Review and Circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Support Portal and Help Documentation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
User Management	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Violations/Deficiencies	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Building Permits

Cloudpermit offers a transformative approach for building departments to manage and automate Permitting processes. Designed with flexibility and efficiency in mind, our software ensures a streamlined workflow from application to issuance and beyond.

Our Permitting product provides a one-stop solution for managing building permits, offering features like application and issuance processes, fee management, compliance monitoring, and reporting tools. These capabilities ensure building departments can deliver superior service while maintaining control and insight over building data.

Key Features:

- **End-to-End Online Management:** Automate your entire permitting process, from initial application to compliance monitoring.
- **Centralized Permit Management:** Simplify the management of Building permits, reducing time and effort for both municipalities and applicants.
- **Automatic Updates:** Benefit from a system that's always current, with regular updates and enhancements delivered seamlessly.
- **Insightful Reporting:** Gain valuable insights into permitting data, making data analysis and forecasting more accessible and actionable.
- **Continuous Improvement and Support:** Demonstrating a commitment to continuous product enhancement, Cloudpermit actively incorporates industry standards and user feedback, ensuring the Permitting product stays technologically advanced with regular feature updates and improvements.

Designed with both flexibility and efficiency at its core, this product not only simplifies the workflow from application to issuance but also ensures a user-friendly experience for applicants and municipal administrators alike. Our aim is to eliminate the need for time-consuming manual processes and foster a more responsive municipal operation.

Applying for a Permit

Cloudpermit's Application Wizard offers an intuitive and streamlined experience for permitting, ensuring that each step from initial application creation to final submission is clear and efficient.

Seamless Application Creation:

- **Intuitive User Interface:** From the dashboard, the wizard leads users through the entire process of creating and submitting permit applications, tailored to a variety of building needs.
- **State and Municipality Selection:** Applicants start by selecting the state and municipality for their application, which automatically tailors the application process to comply with local regulations and available application types.
- **Permit Category and Application Selection:** For Building, applicants specify their building category and application, allowing for a customized application process that meets the specific requirements and processes in Cloudpermit.

Collaborative and Flexible Drafting:

- **Draft Workspace:** A draft workspace with a "Required Tasks" progress bar visually guides applicants through the necessary steps to complete their application, related to the selected permit or registry category.
- **Adding Parties to Applications:** The wizard facilitates the addition of individuals and contractors as parties within the application workspace. Invitations are sent via email, and upon acceptance, parties can take part in the application process within designated permissions.

- **Automatic invitations:** Invitations are sent to email addresses provided, ensuring streamlined collaboration.
- **Manual entry options:** Parties can be activated at once if they lack an email account.
- **Existing contractor partners:** Contractor partners in the user's account database are instantly active in the new application when added.
- **Inviting a new contractor:** Creates a new contractor account, enabling access to application data for all contractor members.

Efficient Submission Process:

- **Customized Application Data:** The wizard dynamically adjusts the required application information based on the registry category and trade(s) selected, ensuring that applicants always have the correct form.
- **Digital Signing and Submission:** Upon completing all required information, applicants complete their application with a digital signature before submitting it directly to the municipal department via Cloudpermit, marking a move towards a more transparent and efficient review process.

Navigating the Permitting Process

Cloudpermit's Permitting product is designed to facilitate a smooth transition through various phases of the permitting process, ensuring that local governments can manage applications and issuances efficiently and transparently.

- **Review and Circulation:** Upon submission, applications undergo a thorough review by municipal authorities. For specific permit types, applications may be circulated to third-party organizations for additional evaluations.
- **Inspections:** Certain permits require inspections before issuance. Cloudpermit schedules and tracks these inspections, ensuring compliance with municipal standards.
- **Permit Issuance:** After successful review and inspection, the municipal authority issues the permit. Cloudpermit automates the creation of the permit, including setting the issue date, validity period, and expiration date.
- **Archival Status:** Completed permits and all associated data can be assigned an archival status in Cloudpermit. The permit remains available for future reference, ensuring a secure record of all permitting activities.

Functionality Overview

Cloudpermit's Permitting product elevates the management of municipal permitting through a robust suite of features, designed to optimize every aspect of the workflow. Here's how these features work together to provide a seamless, efficient experience:

- **Comprehensive Permit Oversight:** The "Project View" and "Property View" functionalities offer a panoramic and detailed view of all permits, making management straightforward and transparent.

- **Automated Alerts System:** Notifications and alerts keep all stakeholders up to date on crucial permitting milestones and requirements, reducing the risk of oversight.
- **Streamlined Inspections:** The integration of inspections into the permitting process ensures that compliance is maintained without complicating the workflow.
- **Simplified Document Handling:** A centralized document management system allows for efficient storage, retrieval, and submission of necessary permitting documents.
- **Seamless Data Integration:** The data import feature makes migrating existing permit data into Cloudpermit a hassle-free process, enhancing initial setup and ongoing operations.
- **Proactive Fee Management:** Late fees management automates the calculation and enforcement of penalties, ensuring accuracy and fairness in fee assessment.
- **Insightful Reporting:** Comprehensive report management tools enable the generation of detailed reports, offering valuable insights into the permitting landscape. These include:
 - **Permit Reports:** Generate reports on submitted applications and issued permits, offering a detailed view of permitting activities within selected times and categories.
 - **Payment Reports:** Track and analyze online payments and fees, offering insights into financial transactions associated with the permitting process.
 - **Inspection Reports:** Facilitate regulatory compliance and public safety through detailed reports on inspections, site visits, open inspections, and orders, ensuring all permitting requirements are met.
 - **Review Reports:** Compile data on review activities and events, helping municipalities assess the efficiency of the review process and identify areas for improvement.

Together, these features form the backbone of Cloudpermit's Permitting product, ensuring that building department staff and contractors can navigate the permitting process with greater ease, accuracy, and efficiency. More detailed descriptions along with functionality and settings are provided in the following Descriptions and Functionality section.

Descriptions and Functionality

This section provides an in-depth look at the settings and configuration options available for each feature within the Cloudpermit Permitting product, allowing for tailored setup and optimal performance.

Application Submission Process

- **Description:** Enables the creation of applications tied to specific projects or properties through a user dashboard and application creation wizard.
- **Functionality:**
 - **User Dashboard:** Central hub for initiating applications.

- **Application Creation Wizard:** Guides users through the setup process to create the appropriate workspace.

Archive/Inactive View

- **Description:** Allows completed permits and associated data to be set as Archived and stored for future reference, ensuring a secure record of all building activities.
- **Functionality:**
 - **Data Archiving:** Disabling workspace features and setting Archive status.
 - **Future Accessibility:** Easy retrieval of archived data for reference.

Attachments

- **Description:** Supports the attachment of necessary documents during the application process, with visibility control features.
- **Functionality:**
 - **Configurable Requirements:** Set necessary attachments based on application type.
 - **Visibility Control:** Manage who can see the attachments within the workspace.

Case/Workspace Package

- **Description:** Enables authority users to generate downloadable packages with information from specific workspaces, tailored for various purposes.
- **Functionality:**
 - **Configurable Packages:** Tailor packages for record keeping or legal cases.
 - **Authority-Only Access:** Restricts package generation and download to authority users.

Configurable Application Numbering

- **Description:** Offers automated and flexible options for assigning application or case numbers.
- **Functionality:**
 - **Manual Assignment:** Flexibility without automation.
 - **Cloudpermit Application Number:** Automated number generation by Cloudpermit.
 - **Custom Application Number:** Combines automation with custom formatting options.

Configurable Standard Phrases

- **Description:** Allows commonly used phrases to be pre-configured for easy selection during application processing.
- **Functionality:**
 - **Phrase Library:** Users can select from a list of standard phrases.
 - **Category Organization:** Phrases are organized by related categories.

Data Import

- **Description:** Supports the importation of necessary data for setting up the permitting system, enhancing initial setup and ongoing operations.
- **Functionality:**
 - **Workspace Creation:** Facilitates setup of application workspaces from imported data (tombstone data, inspections, and attachments).
 - **Historical Data Handling:** Manages the integration of existing records.

Document/Templates

- **Description:** Provides customizable document and template options to fit the specific needs of permitting processes.
- **Functionality:**
 - **Editable Templates:** Diverse user-data driven template options modified using HTML and CSS (various forms for application, sign-off, permit, inspections, fees, payment, and order templates).

Email Notifications

- **Description:** Enables configurable email notifications about various events in the permitting process.
- **Functionality:**
 - **Opt-in Settings:** Users can choose which notifications to receive.
 - **Event-Based Notifications:** Automated alerts for key permitting events.

Fees and Payments

- **Description:** Manages fee schedules and facilitates payment processing within the permitting application.
- **Functionality:**
 - **Configurable Fee Schedules:** Set fixed or calculated fees.
 - **Payment Notifications:** Informs applicants of due payments and confirmation.

GIS Integration

- **Description:** Enhances property identification accuracy by integrating with municipal GIS systems.
- **Functionality:**
 - **Property Data Accuracy:** Ensures precise location and property details.

Inspections

- **Description:** Manages the scheduling and documentation of required inspections for permit applications. The available add-on option through Cloudpermit's Inspector App offers offline inspection capabilities.
- **Functionality:**
 - **Inspection Scheduling:** Organize inspections according to permit requirements.
 - **Compliance Tracking:** Ensures inspections adhere to municipal standards (dispatch, time tracking/management, orders, quick pass, internal notes, deficiencies – phrases).
 - **Offline Inspections:** Handled through Cloudpermit Inspector App (add-on).

Issuance

- **Description:** Automates the process of issuance after successful application review and/or inspections.
- **Functionality:**
 - **Automated Application/Permit Creation:** Streamlines the issuance process.
 - **Validity Tracking:** Manages issue dates, validity periods, and expiration dates.

Messaging and Notifications

- **Description:** Facilitates communication between all parties involved in the permitting process through an integrated messaging system.
- **Functionality:**
 - **Direct and Public Messaging:** Supports both private and public communications.
 - **Email Notifications for Unread Messages:** Alerts users to new messages.

Multi-language Support

- **Description:** Provides support for multiple languages in citizen-facing functionalities, enhancing accessibility and user experience.

Pre-consultation Meeting

- **Description:** Tracks preliminary meetings with municipal staff to receive detailed information on requirements and potential issues.
- **Functionality:**
 - **Comprehensive Discussion:** Communicate and document zoning requirements, building codes, necessary permits, and other regulations.
 - **Documentation Guidance:** Outline the required documentation and steps for formal application submission.

Processing Times

- **Description:** Defines specific points to start and stop tracking processing time for each application.
- **Functionality:**
 - **Customizable Parameters:** Set specific start and end points for various stages.
 - **Automated Tracking:** Automatically record timestamps at defined stages.
 - **Dashboard Integration:** Set alerts for applications nearing or exceeding time limits.
 - **Customizable Reports:** Tailor reports to specific needs and metrics.

Project View

- **Description:** Organizes similar workspaces into a single project container, offering a comprehensive view of all related activities.
- **Functionality:**
 - **Consolidated Project Information:** Displays all relevant data in one view.
 - **Status and Payment Tracking:** Offers updates on project progress and financials.

Property View

- **Description:** Offers a detailed view of all workspaces related to a specific property, enhancing oversight and management.
- **Functionality:**
 - **Automated Data Aggregation:** Collects and displays information specific to a property.
 - **Condition and Application Tracking:** Provides updates on conditions and ongoing applications.

Report Management

- **Description:** Generates comprehensive reports (csv/pdf) on permitting activities, offering insights into application processes and outcomes.
- **Functionality:**
 - **Customizable Reports:** Tailors reports to meet specific informational needs (operational reports, payments, inspections, reviews, etc.).
 - **Data-Driven Insights:** Supports strategic decision-making through detailed analyses.

Review and Circulation

- **Description:** Ensures thorough review of applications and facilitates the circulation of documents to necessary parties for additional evaluation.
- **Functionality:**
 - **Detailed Review Process:** Incorporates both internal and external evaluations and task tracking.
 - **Circulation Management:** Manages the sharing of applications with relevant stakeholders.

Support Portal and Help Documentation

- **Description:** Provides a comprehensive resource hub with guides, videos, and release notes to aid users in navigating the platform.
- **Functionality:**
 - **Extensive Help Resources:** Offers detailed articles and video tutorials.

User Management

- **Description:** Allows for the administration of user roles and permissions, ensuring that each user has proper access to the platform/product.
- **Functionality:**
 - **Add New Users:** Offers the capability to add new users to the system, assigning roles and access levels based on their responsibilities.
 - **Edit Existing Users:** Allows administrators to modify user details, such as first and last names, and update roles and permissions as needed.
 - **Roles/Permissions:** Enables control over what each user can access and perform within the system, including granting inspection qualifications and managing inspection-related permissions.

Violations/Deficiencies

Description: Manages records of any violations or deficiencies noted during the permitting process, ensuring compliance and accountability.

Appendix 1: Cloudpermit Third-Party Integrated Systems

Cloudpermit has standard configurable integrations categorized under six different integration types described below.

Suppose the need for integration with a standard configurable integration cannot be fulfilled. In that case, Cloudpermit may integrate a new system, make a minor change to an existing one, or develop a custom one. These integrations are priced separately and, if applicable, addressed within your contract.

Standard Configurable Third-Party Integrations

Cloudpermit offers integration with a variety of third-party systems, enhancing the functionality and flexibility of its permitting platform. These integrations are designed to streamline processes, improve data accuracy, and enhance user experience for municipalities and their constituents.

Integrations:

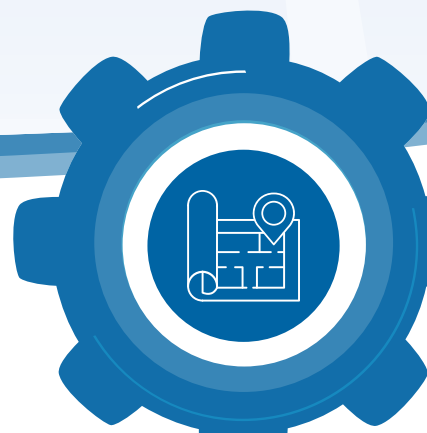
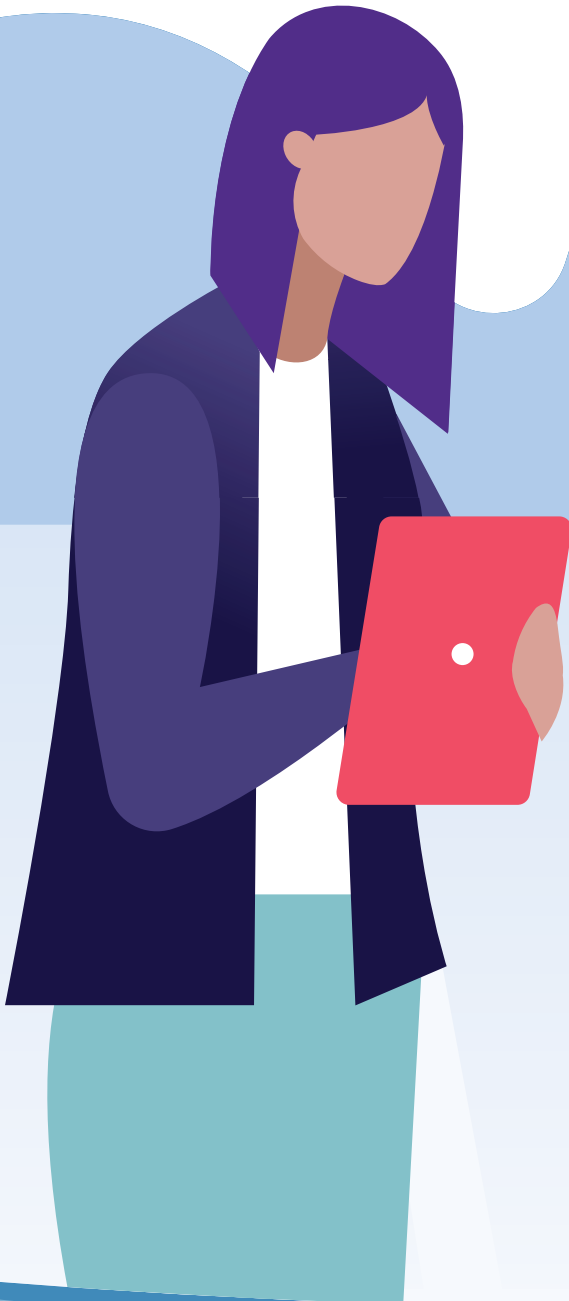
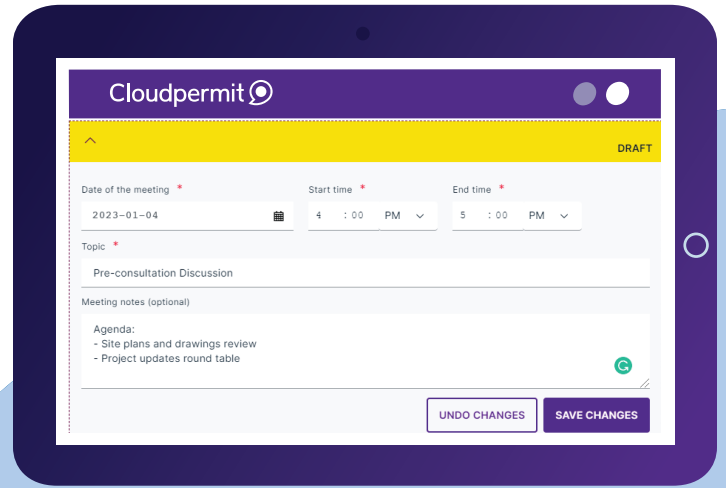
- **Geographic Information System (GIS):** Cloudpermit integrates with leading GIS providers like ESRI ArcGIS and CartoVista, allowing municipalities to accurately search and retrieve property information, enhancing the precision of permitting processes.
- **Online Payment:** Cloudpermit supports a wide array of online payment providers, ensuring flexibility and convenience for municipalities and their users. The platform integrates seamlessly with leading payment gateways and providers, including but not limited to:
 - **Payment Gateways:** Allpaid, ACI, Authorize.net, Bambora, CCP / NIC (PayPort), Clover, Elavon, E-xact, ePay, Government Window, InvoiceCloud, Merchante, Moneris, MSB, OpenEdge / Global, Payeezy, PayNowLink, Paymentus, Paypoint, Payport, PayPal, Point & Pay, PSN, Square, Stripe, Xpress Bill Pay.
- **Archival/Markup:**
 - **Markup:** DigEplans
 - **Archival:** LaserFische
- **Authentication Services:** Using Open ID Connect (OIDC), Cloudpermit integrates with authentication systems like Azure AD, ensuring secure and straightforward user access management.
- **Multi-Factor Authentication (MFA):** For added security, Cloudpermit can support MFA integrations, such as Duo, to safeguard user accounts and sensitive data.

Customized Integrations (Paid Engagements)

While Cloudpermit provides a comprehensive range of standard integrations, there may be instances where these offerings do not fully meet the specific requirements of a municipality. In such cases, Cloudpermit is equipped to develop custom solutions or adapt existing ones. These customized integrations are outside the standard offerings provided with the platform and are treated as separate, paid engagements. This ensures that each municipality's unique needs are addressed with precision and tailored functionality, enhancing the overall efficiency and effectiveness of the Cloudpermit platform.

Land Use Permitting

Software Description Guide 2024



Contents

The Cloudpermit Platform	2
Cloudpermit Land Use	3
Functionality Overview	4
Land Use Lifecycle.....	6
Functionality Overview	6
Descriptions and Functionality	7
Application Submission Process	7
Archive/Inactive View	7
Attachments	7
Conditions and Comments	8
Configurable Application Numbering	8
Configurable Standard Phrases	8
Data Import	8
Document/Templates.....	9
Email Notifications.....	9
Fees and Payments.....	9
GIS Integration.....	9
Inspections.....	9
Issuance	10
Meeting Process	10
Messaging and Notifications	10
Multi-language Support.....	10
Pre-consultation Meeting.....	10
Processing Times	10
Project View.....	11
Property View	11
Report Management	12
Review and Circulation	12
Support Portal and Help Documentation	12
User Management.....	12
Appendix 1: Cloudpermit Third-Party Integrated Systems	12
Standard Configurable Third-Party Integrations	13
Customized Integrations (Paid Engagements)	13

The Cloudpermit Platform

The Cloudpermit platform offers a comprehensive suite of cloud-based products designed to optimize how local governments manage community development and regulatory compliance. Our platform encompasses various products, including Building, Enforcement, Licensing, Planning, Contractor Registration, and Land Use. These products, accessible 24/7 from any browser or operating system, facilitate more efficient and responsive municipal operations.

Definitions:

- **Platform:** Cloudpermit’s foundational infrastructure and services necessary for deploying and managing various products aimed at streamlining municipal operations. It ensures seamless integration, security, and scalability, supporting the diverse needs of local governments.
- **Product:** Our products are specialized applications within the Cloudpermit platform, including Building, Enforcement, Licensing, Planning, Contractor Registration, and Land Use. Each product is designed to address specific municipal functions, enabling efficient management of processes such as permitting, inspections, and compliance.
- **Solution:** Solutions refer to the combined offerings of our products and add-on features/functionality, such as the Data Import tool and the Inspector App. These solutions enhance the functionality of the individual products, providing a comprehensive approach to managing municipal operations and regulatory compliance.

Key Benefits:

- **Streamlined Processes:** Automate and standardize workflows to efficiently manage permits, applications, and enforcement cases, improving turnaround times and reducing manual effort.
- **Enhanced Accessibility:** Our cloud-based platform ensures that services are available around the clock, supporting remote and on-site work for greater operational flexibility.
- **Continuous Improvement:** Benefit from automatic updates with the latest features and enhancements, keeping your system current without manual installations.
- **Rapid Deployment:** Quick and easy setup with minimal impact on municipal resources.
- **Informed Decision Making:** Integration with Geographic Information Systems (GIS) providing up-to-date information for better planning and analysis.
- **Collaborative Environment:** Facilitate instant communication and collaboration within applications, enhancing efficiency and transparency for staff, citizens and/or contractors.
- **Effortless Updates & Comprehensive Features:** Updated automatically, Cloudpermit ensures the latest features and enhancements are seamlessly integrated without any need for manual downloads or installations by users.

Below highlights the functionalities across all Cloudpermit products, including Building Permits, Code Enforcement, Licensing, Planning, Contractor Registration, and Land Use. While this product description specifically focuses on the Land Use product, it's important to note the

comprehensive capabilities of Cloudpermit's suite of products designed to meet a wide range of municipal and contractor needs.

Features	Building Permits	Enforcement	Licensing	Planning	Contractor Registration	Land Use
Application Submission	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Archive/Inactive View	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Attachments	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Case/workspace package	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Conditions and Comments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Configurable Application Numbering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Configurable Standard Phrases	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Data Import	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Document/Templates	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Email Notifications	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fees and Payments	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
GIS integration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inspections	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Issuance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Meeting Process (Committees and Councils)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Messaging and Notifications	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Multi-language support	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Pre-Con Meeting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Processing times	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Project view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Property View	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Public Notice	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Renewal Process	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Report Management	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Review and Circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Support Portal and Help Documentation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
User Management	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Violations/Deficiencies	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Cloudpermit Land Use

Cloudpermit's comprehensive suite of cloud-based solutions, including the Land Use product, offers a transformative approach for local governments to manage and streamline urban and regional land use processes. With a focus on flexibility and efficiency, our software facilitates a seamless workflow from initial consultation to final decision-making.

Cloudpermit Land Use integrates seamlessly into local government operations to enhance urban and regional land use processes. By offering a digital solution for managing land use applications and engaging public and internal stakeholders, Cloudpermit Land Use streamlines every step from pre-consultation to approval, facilitating a more efficient and transparent land use environment.

Key Features:

- **End-to-End Online Management:** Manages the complete lifecycle of land use applications from initiation to decision, ensuring all processes are efficiently handled within a single platform.
- **Dynamic Public Engagement:** Empowers public participation through sophisticated online tools for submitting and tracking land use applications, as well as providing feedback.
- **Automated Notifications and Public Notices:** Streamlines communication by automating public notices and stakeholder notifications, enhancing community involvement and compliance.
- **Robust Circulation and Collaboration Tools:** Facilitates the circulation of applications to relevant stakeholders for feedback and approvals, significantly speeding up the review process.
- **Comprehensive Conditions and Compliance Tracking:** Allows municipal authorities to set and monitor compliance with land use conditions, ensuring developments proceed according to approved standards.
- **Advanced Reporting and Analytics:** Generates insightful reports that aid in decision-making and strategic planning, enhancing the efficacy and accountability of land use processes.

Functionality Overview

Cloudpermit's Application Wizard revolutionizes the registration process, offering an intuitive and streamlined experience for the application process. This wizard ensures that every step, from initial application creation to final submission, is clear and efficient.

Seamless Application Creation:

- **Intuitive User Interface:** From the dashboard, the wizard leads users through the entire process of creating and submitting permit applications, tailored to a variety of land use needs.
- **State and Municipality Selection:** Applicants start by selecting the state and municipality for their application, which automatically tailors the application process to comply with local regulations and available application types.
- **Land Use Category and Application Selection:** For Land Use, applicants specify their land use category and application, allowing for a customized application process that meets the specific requirements and processes in Cloudpermit.

Collaborative and Flexible Drafting:

- **Draft Workspace:** A draft workspace with a "Required Tasks" progress bar visually guides applicants through the necessary steps to complete their application, related to the selected application.

- **Adding Parties to Applications:** The wizard facilitates the addition of individuals and businesses as parties within the application workspace. Invitations are sent via email, and upon acceptance, parties can participate in the application process within designated permissions.
- **Automatic Invitations:** Invitations are sent to email addresses provided, ensuring streamlined collaboration.
- **Manual entry options:** Parties can be activated at once if they lack an email account.
- **Existing Business Partners:** In the user's account database are instantly active in the new application when added.
- **Inviting a new business:** Creates a new business account, enabling access to application data for all business members.
- **Guided Pre-Consultation Process:** Assists applicants in initiating consultations with municipal staff and external agencies, ensuring all necessary preliminary discussions are held to refine development proposals.

Efficient Submission Process:

- **Customized Application Data:** The wizard dynamically adjusts the required application information based on the registry category and trade(s) selected, ensuring that applicants always have the correct form.
- **Digital Signing and Submission:** Upon completing all required information, applicants finalize their application with a digital signature before submitting it directly to the municipal department via Cloudpermit, marking a move towards a more transparent and efficient review process.
- **Seamless Integration of Meetings and Public Consultations:** Manages scheduling and documentation for committee and council meetings directly within the platform, enhancing coordination and documentation.
- **Streamlined Submission and Review Process:** Simplifies application submissions and reviews by guiding applicants through each step, ensuring all required documents and information are accurately provided.

The Application Wizard is an integral part of Cloudpermit Land Use, designed to guide users through the land use application process with ease and precision:

- **Guided Pre-Consultation Process:** Assists applicants in initiating consultations with municipal staff and external agencies, ensuring all necessary preliminary discussions are held to refine development proposals.
- **Seamless Integration of Meetings and Public Consultations:** Manages scheduling and documentation for committee and council meetings directly within the platform, enhancing coordination and documentation.
- **Streamlined Submission and Review Process:** Simplifies application submissions and reviews by guiding applicants through each step, ensuring all required documents and information are accurately provided.

Land Use Lifecycle

Cloudpermit Land Use supports a comprehensive lifecycle that covers all aspects of the land use process:

- **Initial Application and Pre-Consultation:** Begins with applicants submitting a pre-consultation request, followed by detailed discussions to ensure all parties have a clear understanding of the proposal.
- **Public Engagement and Notice:** Utilizes digital platforms to notify the public and gather feedback, integrating community insights directly into the land use process.
- **Detailed Review and Circulation:** Facilitates a thorough review by internal and external stakeholders, ensuring all necessary approvals and comments are collected and considered.
- **Decision and Compliance Monitoring:** Concludes with the final decision and ongoing monitoring of conditions compliance, ensuring developments adhere to approved plans and regulations.

Functionality Overview

Cloudpermit's Land Use product elevates the management of municipal applications through a robust suite of features, designed to optimize every aspect of the workflow. Here's how these features work together to provide a seamless, efficient experience:

- **Comprehensive Land Use Oversight:** The "Project View" and "Property View" functionalities offer a panoramic and detailed view of all applications, making management straightforward and transparent.
- **Committee and Council Meetings Management:** Organizes and documents essential meetings within the platform, ensuring transparency and accessible records.
- **Public Notice System:** Automates the creation and distribution of public notices, enhancing the efficiency and reach of community notifications.
- **Circulation Feature:** Streamlines the sharing of applications with necessary parties, enabling real-time feedback and faster processing times.
- **Conditions and Comments Oversight:** Manages the stipulation and review of conditions applied to applications, ensuring all requirements are met before final approval.
- **Automated Alerts System:** Notifications and alerts keep all stakeholders up-to-date on crucial application milestones and requirements, reducing the risk of oversight.
- **Simplified Document Handling:** A centralized document management system allows for efficient storage, retrieval, and submission of necessary application documents.
- **Seamless Data Integration:** The data import feature makes migrating existing application data into Cloudpermit a hassle-free process, enhancing initial setup and ongoing operations.
- **Proactive Fee Management:** Late fees management automates the calculation and enforcement of penalties, ensuring accuracy and fairness in fee assessment.
- **Insightful Reporting:** Comprehensive report management tools enable the generation of detailed reports, providing valuable insights into the land use landscape. These include:

- **Application Reports:** Generate reports on submitted applications and issued permits, providing a detailed view of application activities within selected time frames and categories.
- **Payment Reports:** Track and analyze online payments and fees, offering insights into financial transactions associated with the application process.
- **Review Reports:** Compile data on review activities and events, helping municipalities assess the efficiency of the review process and identify areas for improvement.
- **Processing Time Calculator:** Provides a clear timeline for each stage of the application process, helping to manage expectations and improve workflow efficiency.

By integrating these features into a cohesive solution, Cloudpermit Land Use not only simplifies the management of land use applications but also ensures that local governments can provide superior service while maintaining control and insight over land use data. This approach enhances the overall land use process, promoting a more engaged, compliant, and efficient land use environment.

Descriptions and Functionality

This section provides an in-depth look at the settings and configuration options available for each feature within the Cloudpermit Land Use product, allowing for tailored setup and optimal performance.

Application Submission Process

- **Description:** Enables the creation of land use applications tied to specific projects and properties through a user dashboard and application creation wizard.
- **Functionality:**
 - **User Dashboard:** Central hub for initiating applications.
 - **Application Creation Wizard:** Guides users through the setup process to create the appropriate workspace.

Archive/Inactive View

- **Description:** Allows completed land use applications and associated data to be inactivated, stored for future reference, and ensures a secure record.
- **Functionality:**
 - **Data Archiving:** Secure storage of information.
 - **Future Accessibility:** Easy retrieval of archived data for reference.

Attachments

- **Description:** Supports the attachment of necessary documents during the application process, with visibility control features.

- **Functionality:**
 - **Configurable Requirements:** Set necessary attachments based on application type.
 - **Visibility Control:** Manage who can see the attachments within the workspace.

Conditions and Comments

- **Description:** Offers users the ability to configure, manage and digitally track conditions and comments for applications and workspaces
- **Functionality:**
 - **Configuration:** Configure conditions to assign to applications based on their type
 - **Tracking:** Share conditions via circulation requests, sign-off on conditions to verify completeness
 - **Management:** Create lists of comments, assign to specific people, manage the status and organize threads so comments and responses are never lost

Configurable Application Numbering

- **Description:** Offers automated and flexible options for assigning application or case numbers.
- **Functionality:**
 - **Manual Assignment:** Flexibility without automation.
 - **Cloudpermit Application Number:** Automated number generation by Cloudpermit.
 - **Custom Application Number:** Combines automation with custom formatting options.

Configurable Standard Phrases

- **Description:** Allows commonly used phrases to be pre-configured for easy selection during application processing.
- **Functionality:**
 - **Phrase Library:** Users can select from a list of standard phrases.
 - **Category Organization:** Phrases are organized by related categories.

Data Import

- **Description:** Supports the importation of necessary data for setting up the land use system, enhancing initial setup and ongoing operations.
- **Functionality:**
 - **Workspace Creation:** Facilitates setup of application workspaces from imported data.
 - **Historical Data Handling:** Manages the integration of existing records.

Document/Templates

- **Description:** Provides customizable document and template options to fit the specific needs of land use processes.
- **Functionality:**
 - **Editable Templates:** Templates can be modified using HTML and CSS.
 - **Diverse Template Options:** Suitable for various Cloudpermit products.

Email Notifications

- **Description:** Enables customizable email notifications about various events in the land use process.
- **Functionality:**
 - **Opt-in Settings:** Users can choose which notifications to receive.
 - **Event-Based Notifications:** Automated alerts for key events within the lifecycle of land use applications.

Fees and Payments

- **Description:** Manages fee schedules and facilitates payment processing within the land use application.
- **Functionality:**
 - **Configurable Fee Schedules:** Set fixed or calculated fees.
 - **Payment Notifications:** Informs applicants of due payments and confirmation.

GIS Integration

- **Description:** Enhances property identification accuracy by integrating with municipal GIS systems.
- **Functionality:**
 - **Property Data Accuracy:** Ensures precise location and property details.

Inspections

- **Description:** Manages the scheduling and documentation of required inspections for land use applications. The available add-on option through Cloudpermit's Inspector App offers offline inspection capabilities.
- **Functionality:**
 - **Inspection Scheduling:** Organize inspections according to permit requirements.
 - **Compliance Tracking:** Ensures inspections adhere to municipal standards (dispatch, time tracking/management, orders, quick pass, internal notes, deficiencies – phrases).
 - **Offline Inspections:** Handled through Cloudpermit Inspector App (add-on).

Issuance

- **Description:** Automates the process of issuance after successful application review and/or inspections.
- **Functionality:**
 - **Automated Application/Permit Creation:** Streamlines the issuance process.
 - **Validity Tracking:** Manages issue dates, validity periods, and expiration dates.

Meeting Process

- **Description:** Supports the management of upcoming public meetings for land use applications.
- **Functionality:** Allows land use departments to assign applications to upcoming meetings and track the outcomes of the meetings. In addition, pre-configured agenda and meeting package templates can be generated and downloaded.

Messaging and Notifications

- **Description:** Facilitates communication between all parties involved in the land use process through an integrated messaging system.
- **Functionality:**
 - **Direct and Public Messaging:** Supports both private and public communications.
 - **Email Notifications for Unread Messages:** Alerts users to new messages.

Multi-language Support

- **Description:** Provides support for multiple languages in citizen-facing functionalities, enhancing accessibility and user experience.

Pre-consultation Meeting

- **Description:** Tracks preliminary meetings with municipal staff to receive detailed information on requirements and potential issues.
- **Functionality:**
 - **Comprehensive Discussion:** Communicate and document zoning requirements, building codes, necessary permits, and other regulations.
 - **Documentation Guidance:** Outline the required documentation and steps for formal application submission.

Processing Times

- **Description:** Defines specific points to start and stop tracking processing time for each application.

- **Functionality:**
 - **Customizable Parameters:** Set specific start and end points for various stages.
 - **Automated Tracking:** Automatically record timestamps at defined stages.
 - **Dashboard Integration:** Set alerts for applications nearing or exceeding time limits.
 - **Customizable Reports:** Tailor reports to specific needs and metrics.

Project View

- **Description:** Organizes similar workspaces into a single project container, offering a comprehensive view of all related activities.
- **Functionality:**
 - **Consolidated Project Information:** Displays all relevant data in one view.
 - **Status and Payment Tracking:** Offers updates on project progress and financials.

Property View

- **Description:** Offers a detailed view of all workspaces related to a specific property, enhancing oversight and management.
- **Functionality:**
 - **Automated Data Aggregation:** Collects and displays information specific to a property.
 - **Condition and Application Tracking:** Provides updates on conditions and ongoing applications.

Public notice

- **Description:** Empowers building departments to digitalize and streamline several public notice requirements and responsibilities.
- **Functionality:**
 - **Property List Generation:** Generate and download a list of property owners within a defined radius of the subject lands.
 - **Public Notice Letter:** Generate a templated public notice letter that can be sent to nearby property owners.
 - **Decision Notifications:** Publish a subscribe-able link that allows interested stakeholders to opt-in to automatically receive the decision of the application when it becomes available. The list of subscribers is automatically recorded and can be downloaded.
 - **Attachment Management:** Manage attachments related to the public notice such as opinion letters, remarks, etc. and control their visibility.

Report Management

- **Description:** Generates comprehensive reports (csv/pdf) on land use activities, offering insights into application processes and outcomes.
- **Functionality:**
 - **Customizable Reports:** Tailors reports to meet specific informational needs (operational reports, payments, inspections, reviews, etc.).

Review and Circulation

- **Description:** Ensures thorough review of applications and facilitates the circulation of documents to necessary parties for additional evaluation.
- **Functionality:**
 - **Detailed Review Process:** Incorporates both internal and external evaluations and task tracking.
 - **Circulation Management:** Manages the sharing of applications with relevant stakeholders.

Support Portal and Help Documentation

- **Description:** Provides a comprehensive resource hub with guides, videos, and release notes to aid users in navigating the platform.
- **Functionality:**
 - **Extensive Help Resources:** Offers detailed articles and video tutorials.

User Management

- **Description:** Allows for the administration of user roles and permissions, ensuring that each user has proper access to the platform/product.
- **Functionality:**
 - **Add New Users:** Offers the capability to add new users to the system, assigning roles and access levels based on their responsibilities.
 - **Edit Existing Users:** Allows administrators to modify user details, such as first and last names, and update roles and permissions as needed.
 - **Roles/Permissions:** Enables control over what each user can access and perform within the system, including granting inspection qualifications and managing inspection-related permissions.

Appendix 1: Cloudpermit Third-Party Integrated Systems

Cloudpermit has standard configurable integrations categorized under six different integration types described below.

Suppose the need for integration with a standard configurable integration cannot be fulfilled. In that case, Cloudpermit may integrate a new system, make a minor change to an existing one, or develop a custom one. These integrations are priced separately and, if applicable, addressed within your contract.

Standard Configurable Third-Party Integrations

Cloudpermit offers integration with a variety of third-party systems, enhancing the functionality and flexibility of its land use product. These integrations are designed to streamline processes, improve data accuracy, and enhance user experience for municipalities and their constituents.

Integrations:

- **Geographic Information System (GIS):** Cloudpermit integrates with leading GIS providers like ESRI ArcGIS and CartoVista, allowing municipalities to accurately search and retrieve property information, enhancing the precision of permitting processes.
- **Online Payment:** Cloudpermit supports a wide array of online payment providers, ensuring flexibility and convenience for municipalities and their users. The platform integrates seamlessly with leading payment gateways and providers, including but not limited to:
 - **Payment Gateways:** Allpaid, ACI, Authorize.net, Bambora, CCP / NIC (PayPort), Clover, Elavon, E-xact, ePay, Government Window, InvoiceCloud, Merchante, Moneris, MSB, OpenEdge / Global, Payeezy, PayNowLink, Paymentus, Paypoint, Payport, PayPal, Point & Pay, PSN, Square, Stripe, Xpress Bill Pay.
- **Archival/Markup:**
 - **Markup:** DigEplans
 - **Archival:** LaserFische
- **Authentication Services:** Using Open ID Connect (OIDC), Cloudpermit integrates with authentication systems like Azure AD, ensuring secure and straightforward user access management.
- **Multi-Factor Authentication (MFA):** For added security, Cloudpermit can support MFA integrations, such as Duo, to safeguard user accounts and sensitive data.

Customized Integrations (Paid Engagements)

While Cloudpermit provides a comprehensive range of standard integrations, there may be instances where these offerings do not fully meet the specific requirements of a municipality. In such cases, Cloudpermit is equipped to develop custom solutions or adapt existing ones. These customized integrations are outside the standard offerings provided with the platform and are treated as separate, paid engagements. This ensures that each municipality's unique needs are addressed with precision and tailored functionality, enhancing the overall efficiency and effectiveness of the Cloudpermit platform.

A woman wearing a white hard hat and a high-visibility safety vest is shown in profile, looking at a tablet device. She is holding the tablet with both hands. The background is dark with some blurred lights, suggesting an outdoor or industrial setting at night. The overall color palette is dominated by dark blues and greys, with the white of the hard hat and vest providing contrast.

Cloudpermit Data Import

March 2023

Description

Cloudpermit Data Import allows the Customer to import the Customer's existing legacy data (applications, permits, inspections, and attachments) into the Cloudpermit system.

The information in this document is subject to change without notice aligning with future releases.

Data Import Process

The data import process includes five (5) steps:

1. Exporting data from the Customer's existing system.
2. Adding the exported data into an Excel spreadsheet.
3. Reviewing the data in the spreadsheet.
4. Correcting possible errors in the spreadsheet.
5. Importing data into the Cloudpermit system.

Roles and responsibilities

1. *Exporting data from existing system:* Customer is responsible for exporting cleansed and normalized data from its existing system into a CSV file format.
 - Data Cleansing: the process of fixing incorrect, incomplete, duplicate or otherwise erroneous data in a data set.
 - Data Normalization: the process of organizing data entries so they appear similar across all fields and records, making it possible to find, group and analyse the information.
2. *Adding exported data into an Excel spreadsheet.* Customer adds the data into the Cloudpermit-provided Excel template. Customer is responsible that the data matches the Excel template's format.
3. *Reviewing data.* Cloudpermit does one round of reviewing the spreadsheet and provides information to Customer about possible errors in entry of the data to the Excel spreadsheet.
4. *Possible correction of errors.* Customer corrects possible errors and provides a cleansed Excel spreadsheet back to Cloudpermit.
5. *Import data into Cloudpermit system.* Cloudpermit and Customer imports the data from the spreadsheet into the Cloudpermit system.

After data has been successfully imported to Cloudpermit, the Customer can find and use the data in the Cloudpermit workspace section as if it would have been created in the Cloudpermit system.

Excel Spreadsheet and data requirements

In order for the content to operate properly within the Cloudpermit system, the exported data will need to be in certain required column and format. Cloudpermit provides an Excel template to Customers who are importing data. The examples below shows the required formatting for each import and field found within the Import Excel templates:

Workspace Import format requirements

Column	Field Name	Required Y/N	Field Type	Req. Formatting
B	Permit Number	YES	TEXT OR NUMBER	N/A
C	Location	YES	TEXT OR NUMBER	Match GIS Format
D	Municipality	NO	TEXT OR NUMBER	N/A
E	Roll Number/PIN	YES	TEXT OR NUMBER	Match GIS Format
F	Permit description	NO	TEXT OR NUMBER	N/A
G	Category	NO	TEXT OR NUMBER	Map to CP Categories
H	Work Type	NO	TEXT OR NUMBER	Map to CP Categories
I	Work Target	NO	TEXT OR NUMBER	Map to CP Categories
J	Workspace Status	NO	TEXT OR NUMBER	Map to CP Categories
K	Assignee (Workspace)	NO	TEXT OR NUMBER	Map to CP Users
L	Date Submitted	NO	DATE AND TIME	MM/DD/YYYY 00:00:00
M	Date issued	NO	DATE AND TIME	MM/DD/YYYY 00:00:00
N	Issued by	NO	TEXT OR NUMBER	N/A
O	Zoning	NO	TEXT OR NUMBER	Match GIS Format
P	Worksla	NO	TEXT OR NUMBER	N/A
Q	Construction cost	NO	NUMBER	N/A
R	Applicant first Name	NO	TEXT OR NUMBER	Initcap
S	Applicant last name	NO	TEXT OR NUMBER	Initcap
T	Applicant street address	NO	TEXT OR NUMBER	N/A
U	Applicant unit number	NO	TEXT OR NUMBER	N/A
V	Applicant postal code	NO	TEXT OR NUMBER	N/A
W	Applicant municipality	NO	TEXT OR NUMBER	N/A
X	Applicant province	NO	TEXT OR NUMBER	N/A
Y	Applicant corporation or partnership	NO	TEXT OR NUMBER	Initcap
Z	Applicant mobile phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AA	Applicant other phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AB	Applicant email	NO	TEXT OR NUMBER	N/A
AC	Owner first name	NO	TEXT OR NUMBER	Initcap
AD	Owner last name	NO	TEXT OR NUMBER	Initcap
AE	Owner street address	NO	TEXT OR NUMBER	N/A
AF	Owner unit number	NO	TEXT OR NUMBER	N/A
AG	Owner postal code	NO	TEXT OR NUMBER	N/A
AH	Owner municipality	NO	TEXT OR NUMBER	N/A
AI	Owner province	NO	TEXT OR NUMBER	N/A
AJ	Owner corporation or partnership	NO	TEXT OR NUMBER	Initcap
AK	Owner mobile phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AL	Owner other phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AM	Owner email	NO	TEXT OR NUMBER	N/A
AN	Builder first name	NO	TEXT OR NUMBER	Initcap
AO	Builder last name	NO	TEXT OR NUMBER	Initcap
AP	Builder street address	NO	TEXT OR NUMBER	N/A
AQ	Builder unit number	NO	TEXT OR NUMBER	N/A
AR	Builder postal code	NO	TEXT OR NUMBER	N/A
AS	Builder municipality	NO	TEXT OR NUMBER	N/A
AT	Builder province	NO	TEXT OR NUMBER	N/A
AU	Builder corporation or partnership	NO	TEXT OR NUMBER	Initcap
AV	Builder mobile phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AW	Builder other phone	NO	TEXT OR NUMBER	(XXX) XXX-XXXX
AX	Builder email	NO	TEXT OR NUMBER	N/A
AY	Permit Comments	NO	TEXT OR NUMBER	N/A

*Initcap = replace the first letter of every word in a character string with an uppercase letter.

Inspection Import format requirements

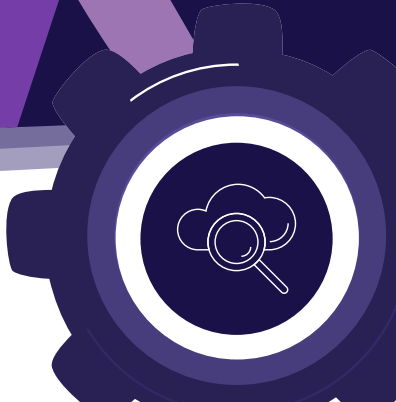
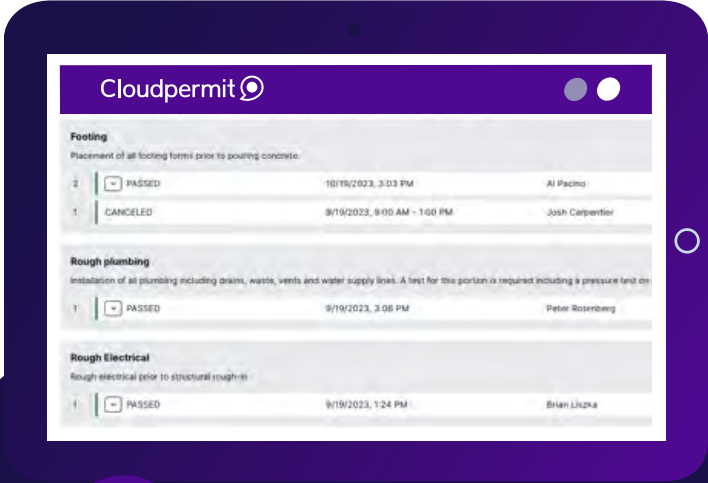
Column	Field Name	Required Y/N	Field Type	Field Formatting
B	Permit Number	YES	TEXT OR NUMBER	N/A
C	Inspection Type	YES	TEXT OR NUMBER	Map to CP Inspections
D	Result for this visit	NO	TEXT OR NUMBER	Map to CP Results
E	Site Conditions	NO	TEXT OR NUMBER	N/A
F	Internal Notes	NO	TEXT OR NUMBER	N/A
G	Inspection Date	NO	DATE AND TIME	MM/DD/YYYY 00:00:00
H	Inspector	NO	EMAIL (USER IN CLOUDPERMIT)	N/A
I	Inspector Status	NO	TEXT OR NUMBER	Map to CP Statuses
J	Inspection Comments	NO	TEXT OR NUMBER	N/A
K	Requested inspection start time	NO	DATE AND TIME	MM/DD/YYYY 00:00:00
L	Confirmed inspection start time	NO	DATE AND TIME	MM/DD/YYYY 00:00:00

Attachment Import format requirements

Column	Field Name	Required Y/N	Field Type	Field Formatting
B	File Name	YES	TEXT OR NUMBER	N/A
C	Permit	YES	TEXT OR NUMBER	N/A
D	Attachment Type	NO	TEXT OR NUMBER	N/A
E	Description	NO	TEXT OR NUMBER	N/A

Inspections App

Product Description



Cloudpermit Inspections App: Empowering Inspectors Anywhere, Anytime

Our app, *Cloudpermit Inspections*, is designed to enhance the efficiency and effectiveness of building, enforcement, and licensing inspections. Seamlessly integrated with the Cloudpermit platform, this app provides a comprehensive toolset that enables inspectors to navigate their daily tasks with unparalleled ease and precision, directly from their mobile devices.

Main Features:

- **Offline Capability:** Work without limits. The Inspector App's advanced offline capabilities allow inspectors to perform inspections in any location — even without internet connectivity. Data captured during these offline inspections, including notes, photos, and videos, is synchronized with the Cloudpermit workspaces once connectivity is restored, ensuring no detail is lost.
- **Inspection Management:** Stay organized and flexible. Inspectors can view, schedule, and manage their inspections with just a few taps. The app supports the reordering of daily inspections to accommodate changing priorities, adding unscheduled and ad-hoc inspections, and accessing detailed inspection information such as permit numbers, addresses, and inspection types.
- **Data Capture:** Inspectors can effortlessly take photos and jot down notes, even when offline. The app also supports adding standard comments, deficiencies, remarks, and violations, to document the inspection process.
- **Map View and GPS Integration:** *Cloudpermit Inspections* provides a visual map view of all scheduled inspections, utilizing GPS functionality for route planning and optimization. This feature enables inspectors to visualize their day's work and plan their routes between sites.
- **Automatic Email Synchronization:** The app ensures that inspection results are automatically emailed to relevant stakeholders for a streamlined communication process. This feature allows for real-time updates and ensures that all parties are promptly informed of inspection outcomes.

Features:

This appendix provides a concise description of each feature available in the Cloudpermit Inspections App.

- **Integration with the Cloudpermit Platform:** Seamlessly connects with the Cloudpermit platform real-time data synchronization and access.
- **View Inspections on a Map:** Visualize scheduled inspections on a map to plan routes and manage time effectively.
- **Search for an Address on the Map:** Quickly find specific locations on a map using address search functionality.
- **View "My Today" Inspections:** Access a daily overview of scheduled inspections for efficient planning and prioritization.
- **Record Inspection Results:** Complete inspections by entering results, including status updates, directly through the app.
- **Work Offline in the Field:** Perform and record inspections without an internet connection, with data syncing once connectivity is restored.
- **Schedule Inspections:** Easily schedule new inspections directly from a mobile device for better time management.
- **Access Key Fields:** Enter detailed inspection results, including status, quick pass, notes, and checklist items.
- **Manage Multiple Inspections with the Actions Tab: Perform** batch actions such as Quick Pass, reassigning, rescheduling, or route planning for multiple inspections.
- **Access the Inspection Checklist:** View and complete the inspection checklist items directly through the app.
- **Add Photos (Take/Edit Photo Names) and Edit Photo Descriptions:** Capture and manage photos with the option to edit names and descriptions for detailed documentation.
- **Upload Photos in Bulk:** Upload multiple photos simultaneously to save time and document inspections more efficiently.
- **Add Standard Comments:** Insert predefined comments into inspection records for faster data entry.
- **Add Deficiencies, Remarks, and Violations:** Record detailed findings, including deficiencies, remarks, and violations during inspections.
- **Use Talk-to-Text within Comment Fields:** Use voice-to-text functionality for convenient and fast entry of comments and notes.
- **Link Violations to Cases:** Connect violations discovered during an inspection directly to the corresponding case.
- **Email Inspection Results Automatically:** Send inspection results via email automatically once data syncs with the Cloudpermit platform.
- **Access Permit Details and Associated Inspections:** View detailed permit information, including all associated inspections, for comprehensive case management.
- **Add an Additional Visit to a Code Enforcement Case:** Schedule follow-up inspections for ongoing code enforcement cases.
- **Schedule Follow-Up Visits for Code Enforcement Cases: Start** code enforcement cases proactively based on inspection findings, without a complaint.

- **Access Property Information with Cloudpermit Links:** View detailed property information, including links to records within the Cloudpermit platform (this requires mobile connectivity).
- **Access Finalized Attachments:** Access and review all finalized attachments and documents stored in the Cloudpermit platform for comprehensive information.

Additional Services Price List

Prices in USD valid as of March 2024

Category	Description of Services	Rate	Billable
Professional Services	Hourly Rate	\$180	<i>Per Hour</i>
Additional Training (remote)	2 hours with recording	\$1,500	<i>Per Session</i>
Additional Training (Onsite)	First day of Onsite training (recording and travel is included)	\$3,000	<i>Per Project</i>
Additional Training (Onsite)	Second and Third day of Onsite training, up to 3 days max of Onsite training	\$1,000	<i>Per Day</i>
Data Import	Data import of 1 Product	\$3,000	<i>Upon Delivery</i>
Data Import	Data import of 2 Products	\$5,000	<i>Upon Delivery</i>
Data Import	Data import of 3 Products	\$6,000	<i>Upon Delivery</i>
Data Import	Data import of 4 or more Products	\$7,000	<i>Upon Delivery</i>
GIS Hosting	Integration ESRI - Implementation	Based on Scope	<i>Upon Delivery</i>
	Integration ESRI - Subscription	Based on Scope	<i>Annually</i>
Integration - AD (Azure)	AD (Azure) - Implementation	\$700	<i>Upon Delivery</i>
	AD (Azure) - Subscription	\$500	<i>Annually</i>
Integration - Bluebeam	Bluebeam - Implementation	TBD	<i>Upon Delivery</i>
	Bluebeam - Subscription	TBD	<i>Annually</i>
Integration - DigEplan	DigEplan - Implementation	\$1,500	<i>Upon Delivery</i>
	DigEplan - Subscription	\$1,000	<i>Annually</i>
Integration - Laserfiche	Laserfiche - Implementation	\$3,000	<i>Upon Delivery</i>
	Laserfiche - Subscription	\$2,500	<i>Annually</i>
Integration - Online Payments	Online Payments - Implementation	Based on Complexity	<i>Upon Delivery</i>
	Online Payments - Subscription	\$700	<i>Per Project</i>

Integration - SSO	SSO Open ID - Implementation	\$700	<i>Upon Delivery</i>
	SSO Open ID - Subscription	\$700	<i>Per Project</i>
Integration - Vizzly	Vizzly - Implementation	TBD	<i>Upon Delivery</i>
	Vizzly - Subscription	TBD	<i>Per Project</i>
Integration - Out of Scope	Out of Scope - Implementation	Based on Scope	<i>Upon Delivery</i>
	Out of Scope - Subscription	\$500	<i>Annually</i>



Memorandum

To: Village President and Village Board of Trustees
Cc: Steve Bosco, Village Administrator
From: Joseph DeLeo, Chief of Police & Nathan Darga, Community Development Director
Date: December 11, 2024
Re: Code Updates Pertaining to Vehicle Weights on Village Streets, Abandoned & Inoperable Vehicles, E-Bikes, and Hawksley Lane Parking

OVERVIEW

In coordination with the Community Development Department, Public Works, and Police, staff has identified several sections of code recommended for revisions. These revisions pertain to vehicle weight limits on streets, an adjustment to parking hours on Hawksley, regulation of E-Bikes, E-Scooters, motorized bicycles, and abandoned and inoperable vehicles definitions. The Village Board reviewed the changes at the November 18, 2024 Committee of the Whole meeting and directed staff to also address motorized bicycles. There is an attached ordinance with the proposed changes to the municipal code.

DISCUSSION

Overweight Vehicles

The Police Department has been working to reestablish a more comprehensive truck safety enforcement team to handle truck related motor-vehicle violations, such as overweight vehicles, safety testing requirements and unsafe use of equipment. In the reestablishment of this program, it came to the attention of staff that the Village code section pertaining to truck weights, needed further review. This section of code was updated in 2023 however, based on feedback from the truck enforcement officers, a simplification of section 10.12.110 is requested to enforce code more effectively.

Rather than listing the prohibited streets (for vehicles weighing over 10,000 pounds), as they are currently, staff proposes to list only the streets which allow travel by vehicles over 10,000 pounds. This reversed method simplifies the process by defining a much shorter list of streets that allow for heavy vehicle traffic, rather than listing out all the residential streets and other areas where heavy vehicles are not permitted. Exceptions would remain the same to include emergency vehicles, local deliveries, school buses and refuse collection vehicles, Village owned vehicles, and the addition of permitted transits.

Staff recommends this update and slight restructure to the section prescribing weight limitations on Village streets (10.12.110). Streets currently prohibiting vehicles over 10,000 pounds will maintain the same status, the change simply streamlines the code's explanation on what streets allow trucks over 10,000 pounds.

If passed, these regulations would become effective at such time that signs are posted accordingly.

No Parking

Additionally, staff recommends an update to the recently approved ordinance regarding no parking areas in the Village. Hawksley Lane was previously approved for no parking along the residence side of Hawksley Lane from 8:00 am to 11:00 pm from April 1 to August 1. These hours are proposed to be updated to 7:30 am to 11:00 pm to match the school parking and the baseball parking times.

The below update appears in section two of the attached ordinance, all other streets in the table will remain the same.

Hawksley Lane	
	Along the residence side of Hawksley Lane from 8:00 am 7:30 am to 11:00 pm from April 1 to August 1.

Abandoned/Inoperable Vehicles

The regulations for abandoned or inoperable vehicles are currently listed in two places in the North Aurora Code. In Chapter 8 under *Abandonment of motor vehicles—Nuisance*, and in Chapter 10 under *Vehicles and Traffic*. The language in these sections do not match. They also lump everything under 'abandoned' when most of the citations the Village issues are for 'inoperable' vehicles. The new proposed definitions are as follows:

Abandoned vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that (a) does not have a current state registration or does not display a current state license plate with valid registration sticker affixed; or (b) a vehicle not removed within ten (10) hours of its involvement in a collision; or (c) a vehicle where the Police Department has attempted and not been able to make contact with the registered owner for a period of at least 48 hours.

Inoperable vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that for a period of at least 48 hours has had the tires removed, one or more tires are flat, major vehicle parts have been removed (i.e. windshield, engine, transmission, brakes, body panels) or is otherwise incapable of being moved under its own power or unlawful to operate.

The sections were also updated to remove outdated towing and impounding language and to refer to our current municipal adjudication process.

Propelled Bicycles and Scooters

Finally, the growth in popularity of E-Bikes, E-Scooters, and motorized bicycles has led to questions on where they can be allowed. The proposed update would add a section to Title 10, *Vehicles and Traffic*. The new section, 10.31, would define E-Bikes, E-Scooters, and motorized bicycles. The rules would prohibit E-Bikes and motorized bicycles on sidewalks and require them to follow all the rules of the road.

ORDINANCE NO. _____

AN ORDINANCE TO UPDATE REGULATION OF ABANDONED, INOPERABLE, AND OVERWEIGHT AND/OR OVERDIMENSION VEHICLES

BE IT ORDAINED by the President and the Board of Trustees of the Village of North Aurora, Kane County, Illinois, as follows:

SECTION 1: Title 8, Chapter 8.04 of the North Aurora Municipal Code is hereby amended to read as follows:

Chapter 8.04 – ABANDONED AND INOPERABLE VEHICLES

8.04.010 – Abandoned and Inoperable motor vehicles - Declared a Nuisance.

The abandonment of a motor vehicle, or any part of a motor vehicle, or the keeping of an inoperable vehicle on any highway in the village; and the abandonment of a motor vehicle, or any part of a motor vehicle, or the keeping of an inoperable vehicle on private or public property, other than a highway, in view of the general public in the village is unlawful and is declared to be a public nuisance which may be abated in accordance with the provisions of this chapter.

8.04.020 - Definitions.

- A. Abandoned vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that (a) does not have a current state registration or does not display a current state license plate with valid registration sticker affixed; or (b) a vehicle not removed within ten (10) hours of its involvement in a collision; or (c) a vehicle where the Police Department has attempted and not been able to make contact with the registered owner for a period of at least 48 hours.
- B. Highway or road or street. The entire width between the boundary lines of every public way when any part thereof is open to the use of the public for purposes of vehicle travel.
- C. Inoperable vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that for a period of at least 48 hours has had the tires removed, one or more tires are flat, major vehicle parts have been removed (i.e. windshield, engine, transmission, brakes, body panels) or is otherwise incapable of being moved under its own power or unlawful to operate.
- D. Motor vehicle. Every vehicle which is self-propelled and every vehicle which is propelled by electric power obtained from overhead trolley wires, but not operated upon rails, except for vehicles moved solely by human power and motorized wheelchairs.
- E. Residential street. A street as defined in this section, located adjacent to

residentially zoned property or property primarily used for residential housing units.

- F. Semitrailer. Every vehicle without motive power, other than a pole trailer, designed for carrying persons or property and for being drawn by a motor vehicle and so constructed that some part of its weight and that of its load rests upon or is carried by another vehicle
- G. Trailer. Every vehicle without motive power in operation, other than a pole trailer, designed for carrying persons or property and for being drawn by a motor vehicle and so constructed that no part of its weight rests upon the towing vehicle.
- H. Truck tractor. Every motor vehicle designed and used primarily for drawing other vehicles and not so constructed as to carry a load other than a part of the weight of the vehicle and load so drawn.
- I. Village. The corporate boundaries of the Village of North Aurora.

8.04.030 - Duty to notify the police department.

When an abandoned, inoperable, stolen or unclaimed motor vehicle or other vehicle comes into the temporary possession or custody of a person in this state, not the owner of the vehicle, such person shall immediately notify the North Aurora police department when the vehicle is within the corporate limits of the village.

8.04.040 - Removal of motor vehicles.

Abandoned and inoperable vehicles may be removed by a towing service under the direction of the North Aurora police department in compliance with regulations regarding commercial relocators as provided for in Chapter 10.32 as follows:

- A. When such a vehicle is located on a public way in an area zoned for business purposes within the village for ten (10) hours or more;
- B. When such a vehicle is located on a public way or public property in any portion of the village for a period of forty-eight (48) hours or more;
- C. When such a vehicle is creating a traffic hazard because of its position in relation to the public way or its physical appearance is causing the impediment of traffic;

8.04.050 - Removal costs.

When an abandoned, inoperable, stolen, unclaimed or impounded motor vehicle is removed from a highway, or public property pursuant to this chapter, the owner or the person having custody of the vehicle shall be responsible for all towing costs. When a vehicle is abandoned, it shall be presumed that the registered owner is

responsible for the abandonment and shall be liable for all towing, storage, and processing charges and collection costs, less any amount realized in the disposal of the vehicle. The last registered owner's liability for storage fees may not exceed a maximum of thirty (30) days storage fees. The presumption established under this section may be rebutted by showing that, prior to the time of the tow: (1) a report of vehicle theft was filed with respect to the vehicle; or (2) the vehicle was sold or transferred, and the last registered owner provides the towing service with the correct identity and address of the new owner at the time of the sale or transfer. If the presumption established under this subsection is rebutted, the person responsible for the theft of the vehicle or to whom the vehicle was sold or transferred is liable for all towing, storage, and processing charges and collection costs.

8.04.060 – Violations.

Any person, firm, corporation, or entity who violates any provision of this chapter shall be deemed guilty of a misdemeanor. Each day a violation occurs or continues shall be deemed a separate violation.

8.04.070 – Appeals.

Any appeal of any action taken or any administrative decision made by any village personnel charged with the administration, enforcement or application of any of the provisions of this chapter shall be taken to and heard by the Village administrative hearing officer pursuant to Section 2.70 of the Village of North Aurora Code of Ordinances.

8.04.080 - Penalty.

Any person, firm, corporation, or entity violating any provision of this chapter shall be deemed guilty of a misdemeanor and upon conviction of such violation, shall be fined an amount not exceeding five hundred dollars (\$500.00).

8.04.090 - Right to abate nuisances.

The Village of North Aurora retains all other existing legal rights to abate the nuisances prohibited by this chapter.

8.04.100 - Reserved.

SECTION 2: Title 10, Chapter 10.12.110 of the North Aurora Municipal Code is hereby amended to read as follows:

10.12.110 Weight limits prescribed for specified Village streets.

- A. Vehicles with a total gross weight above ten thousand (10,000) pounds, shall be restricted to travel only on the roads listed below in subsection B of this section under the jurisdiction of the Village.

This section shall not apply to school buses, refuse trucks, Village vehicles, emergency vehicles, permitted transits or local deliveries as limited in Section 10.12.090 above, where no viable alternative route is available.

- B. The Public Works Director or his or her designee is authorized to obtain signs and to post signs on Village streets not listed below, posting the weight limit prescribed in subsection A above.

Road	Applicable/Authorized Portion	Permitting Agency
Airport Road	In its entirety	Village of North Aurora
Alder Drive	In its entirety	Village of North Aurora
Deerpath Road	South of Tanner Road	Kane County / Aurora Township
Evergreen Drive	In its entirety	Village of North Aurora
Grant Street/South Street	South from Route 25/ S River Road intersection	Village of North Aurora
Hansen Boulevard	South of Orchard Gateway Boulevard	Village of North Aurora
Hart Road	In its entirety	Village of North Aurora
Ice Cream Drive	In its entirety	Village of North Aurora
Mooseheart Road	From Route 31 to Randall Road	Kane County
Mitchell Road	In its entirety	Village of North Aurora
Oak Street	West from Route 31 Intersection	Village of North Aurora
Orchard Gateway Boulevard	In its entirety	Village of North Aurora
Orchard Road	In its entirety	Kane County
Overland Drive	In its entirety	Village of North Aurora
Poplar Place	In its entirety	Village of North Aurora
Randall Road	In its entirety	Village of North Aurora

Route 25/River Street	In its entirety	State of Illinois
Route 31/Lincolnway	In its entirety	State of Illinois
Route 56/Butterfield/State Street	East from Route 31 Intersection	State of Illinois
Smoke Tree Plaza	In its entirety	Village of North Aurora
Tanner Road	Deerpath Road to Orchard Road	Village of North Aurora

SECTION 3: Title 10, Chapter 10.20.030 of the North Aurora Municipal Code is hereby amended to read as follows:

10.20.030 No Parking Areas

When signs are erected giving notice thereof, no person shall stop, stand, or park a vehicle during the hours specified herein on any day or upon any of the streets or parts of the streets as follows:

Street Name	Description
Acorn Drive	
	Along the west side of Acorn Drive from a point that is ninety (90) feet south of the southern edge of Magnolia Drive to a point that is ninety (90) feet north of the northern edge of Magnolia Drive.
Airport Road	
	Along both sides of Airport Road from IL 31 to the western terminus west of Alder Drive.
Alder Drive	
	Along both sides of Alder Drive from the northern terminus of Alder Drive to Airport Road.
April Lane	
	Along the north side of April Lane from 8:00 am to 11:00 pm from April 1 to August 1 from Hill Avenue to the eastern terminus of April Lane.
Banbury Road	
	Along the east side of Banbury Road from Sharon Lane to Oak Crest Drive.
	Along the west side of Banbury Road from Sharon Lane to the Village corporate limit north of Oak Crest Drive.
Butterfield Annex Road	

	Along the north side of Butterfield Annex Road from Laurel Drive east for a distance of three hundred eighty (380) feet.
	Along the south side of Butterfield Annex Road from Laurel Drive east for a distance of sixty-five (65) feet.
Comiskey Avenue	
	Along both sides of Comiskey Avenue from Kettle Avenue to Randall Road.
Dee Road	
	Along the north side of Dee Road from Lilac Lane to Laurel Drive.
	Along the south side of Dee Road from Lilac Lane east for a distance of eighty (80) feet.
Deerpath Road	
	Along both sides of Deerpath Road for all segments within the Village corporate limits.
East Victoria Circle	
	Along the entire east, north, and south side of East Victoria Circle.
Evergreen Drive	
	Along both sides of Evergreen Drive from Sullivan Road to Smoke Tree Plaza.
Foxhill Lane	
	Along the north side of Foxhill Lane from Parkside Court to Hidden Creek Lane.
Grant Street	
	Along the entire east side of Grant Street.
	Along the west side of Grant Street from State Street south for a distance of two hundred fifty-five (255) feet.
	Along the west side of Grant Street from IL 25 north/west for a distance of two hundred forty-five (245) feet.
Hart Road	
	Along both sides of Hart Road for all segments within the Village corporate limits.
Hawksley Lane	
	Along the residence side of Hawksley Lane from 7:30 am to 11:00 pm from April 1 to August 1.
Hettinger Lane	
	Along the north side of Hettinger Lane from IL 25 to the eastern terminus of Hettinger Lane.

	Along the south side of Hettinger Lane from the eastern terminus of Hettinger Lane west for thirty (30) feet.
Hidden Creek Lane	
	Along the entire west, north, and south side of Hidden Creek Lane.
Hill Avenue	
	Along both sides of Hill Avenue from the southern terminus of Hill Avenue north for fifty (50) feet.
Ice Cream Drive	
	Along both sides of Ice Cream Drive from Randall Road to Alder Drive.
Laurel Drive	
	Along the west side of Laurel Drive from 8:00 am to 11:00 pm from April 1 to August 1 from Sharon Lane to April Lane.
Mitchell Road	
	Along both sides of Mitchell Road for all segments within the Village corporate limits.
Monroe Street	
	Along the east side of Monroe Street from West State Street to the northern terminus of Monroe Street.
Oak Street	
	Along both sides of Oak Street from Orchard Road to Monroe Street.
Orchard Gateway Boulevard	
	Along both sides of Orchard Gateway Boulevard from Randall Road to Deerpath Road.
Pierce Street	
	Along the north side of Pierce Street from IL 25 to the eastern terminus of Pierce Street.
Randall Road	
	Along both sides of Randall Road from Orchard Road to the south Village corporate limit.
Ritter Street	
	Along both sides of Ritter Street from Randall Crossing Lane to Randall Road.
Robert Street	
	Along both sides of Robert Street from West State Street south for a distance of eighty (80) feet.

Smoke Tree Plaza	
	Along both sides of Smoke Tree Plaza from Evergreen Drive to IL 31.
Spruce Street	
	Along the south side of Spruce Street from Laurel Drive to East Arrowhead Street.
	Along the north side of Spruce Street from Laurel Drive east for a distance of sixty (60) feet.
State Street	
	Along the north side of West State Street from IL 31 to Adams Street.
	Along the south side of West State Street from Adams Street east for a distance of one hundred twenty (120) feet.
	Along both sides of West State Street from Robert Street east for a distance of eighty (80) feet.
Stone Avenue	
	Along both sides of Stone Avenue from the northern terminus of Stone Avenue south for a distance of fifty (50) feet.
Sycamore Lane	
	Along the east side of North Sycamore Lane from Oak Street to Birchwood Drive.
Tanner Road	
	Along both sides of Tanner Road from Orchard Road to Deerpath Road.
White Oak Drive	
	Along both sides of White Oak Drive from Hartsburg Lane to Waterford Road.
Zepelak Drive	
	Along both sides of Zepelak Drive from Orchard Road to Deerpath Road.

SECTION 4: Title 10, Chapter 10.30 of the North Aurora Municipal Code is hereby amended to read as follows:

Chapter 10.30 - ABANDONED AND INOPERABLE MOTOR VEHICLES

10.30.10 - Definitions.

- A. Abandoned vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that
 - (a) does not have a current state registration or does not display a current

state license plate with valid registration sticker affixed; or (b) a vehicle not removed within ten (10) hours of its involvement in a collision; or (c) a vehicle where the Police Department has attempted and not been able to make contact with the registered owner for a period of at least 48 hours.

- B. Highway or road or street. The entire width between the boundary lines of every public way when any part thereof is open to the use of the public for purposes of vehicle travel.
- C. Inoperable vehicle. Any motor vehicle, semitrailer, trailer, or truck tractor that for a period of at least 48 hours has had the tires removed, one or more tires are flat, major vehicle parts have been removed (i.e. windshield, engine, transmission, brakes, body panels) or is otherwise incapable of being moved under its own power or unlawful to operate.
- D. Motor vehicle. Every vehicle which is self-propelled and every vehicle which is propelled by electric power obtained from overhead trolley wires, but not operated upon rails, except for vehicles moved solely by human power and motorized wheelchairs.
- E. Semitrailer. Every vehicle without motive power, other than a pole trailer, designed for carrying persons or property and for being drawn by a motor vehicle and so constructed that some part of its weight and that of its load rests upon or is carried by another vehicle
- F. Trailer. Every vehicle without motive power in operation, other than a pole trailer, designed for carrying persons or property and for being drawn by a motor vehicle and so constructed that no part of its weight rests upon the towing vehicle.
- G. Truck tractor. Every motor vehicle designed and used primarily for drawing other vehicles and not so constructed as to carry a load other than a part of the weight of the vehicle and load so drawn.
- H. Village. The corporate boundaries of the Village of North Aurora.

10.30.20 – Abandoned or Inoperable Vehicles prohibited

It shall be unlawful for any person, firm, corporation, or entity to park or leave an abandoned or inoperable vehicle on any highway, road, or street within the Village.

10.30.30 - Removal of motor vehicles.

Abandoned and inoperable vehicles may be removed by a towing service under the direction of the North Aurora police department in compliance with regulations regarding commercial relocators as provided for in Chapter 10.32 as follows:

- A. When such a vehicle is located on a public way in an area zoned for business purposes within the village for ten (10) hours or more;
- B. When such a vehicle is located on a public way or public property in any portion of the village for a period of forty-eight (48) hours or more;
- C. When such a vehicle is creating a traffic hazard because of its position in relation to the public way or its physical appearance is causing the impediment of traffic;

10.30.40 – Violations.

Any person, firm, corporation, or entity who violates any provision of this chapter shall be deemed guilty of a misdemeanor. Each day a violation occurs or continues shall be deemed a separate violation.

10.30.50 – Appeals.

Any appeal of any action taken or any administrative decision made by any village personnel charged with the administration, enforcement or application of any of the provisions of this chapter shall be taken to and heard by the Village administrative hearing officer pursuant to Section 2.70 of the Village of North Aurora Code of Ordinances.

10.30.60 - Penalty.

Any person, firm, corporation, or entity violating any provision of this chapter shall be deemed guilty of a misdemeanor and upon conviction of such violation, shall be fined an amount not exceeding five hundred dollars (\$500.00).

SECTION 5: Title 10, Chapter 10.31 of the North Aurora Municipal Code is hereby added to the North Aurora Municipal Code to read as follows:

Chapter 10.31 – Propelled Bicycles and Scooters

10.31.10 - Definitions.

- A. *Electric Bicycle (E-Bike)*. A bicycle equipped with fully operable pedals and an electric motor of less than 750 watts. This does not include “Moped” or “Motor Driven Cycle.” E-Bikes are divided into three classifications:
 - 1. Class 1 - A low-speed electric bicycle equipped with a motor that provides assistance only when the rider is pedaling and that ceases to provide assistance when the bicycle reaches a speed of 20mph.

2. Class 2 - low-speed electric bicycle equipped with a motor that may be used exclusively to propel the bicycle and that is not capable of providing assistance when the bicycle reaches 20mph.
 3. Class 3 - low-speed electric bicycle equipped with a motor that provides assistance only when the rider is pedaling and that ceases to provide assistance when the bicycle reaches a speed of 28mph.
- B. *Electric Scooter (E-Scooter)*. A device that weighs less than 100 lbs, has a top speed of 10 mph or less, and is powered by an electric motor and human power.
- C. *Motorized Bicycle*. A bicycle with an attached gas-powered motor or engine that can be used to power the vehicle or assist with pedaling.

10.31.20 – Regulations

- A. All Propelled Bikes and Scooters must comply with all equipment and manufacturing specifications and requirements.
- B. E-Bikes and Motorized Bicycles are prohibited on all Village sidewalks. E-Scooters are permitted.
- C. Class 3 E-Bike riders must be 16 years old or older to ride.
- D. All Propelled Bikes and Scooters riders must follow all applicable traffic regulations.
- E. Propelled Bikes and Scooters are permitted on bike paths unless otherwise posted.

10.31.30 – Violations.

Any person, firm, corporation, or entity who violates any provision of this chapter shall be deemed guilty of a misdemeanor. Each day a violation occurs or continues shall be deemed a separate violation.

10.31.40 – Appeals.

Any appeal of any action taken or any administrative decision made by any village personnel charged with the administration, enforcement or application of any of the provisions of this chapter shall be taken to and heard by the Village administrative hearing officer pursuant to Section 2.70 of the Village of North Aurora Code of Ordinances.

10.31.50 - Penalty.

Any person, firm, corporation, or entity violating any provision of this chapter shall be deemed guilty of a misdemeanor and upon conviction of such violation, shall be fined an amount not exceeding five hundred dollars (\$500.00).

SECTION 6: No other portion of the Village of North Aurora Municipal Code is amended or modified by this Ordinance.

SECTION 7: This Ordinance shall take immediate full force and effect from and after its passage, approval and publication in pamphlet form by the Village Clerk, and such other acts as required by law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2024, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2024, A.D.

Jason Christiansen _____	Laura Curtis _____
Mark Guethle _____	Michael Lowery _____
Todd Niedzwiedz _____	Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____ 2024, A.D.

Village President

ATTEST:

Village Clerk



Memorandum

To: Mark Gaffino, Village President & Board of Trustees

Cc: Steven Bosco, Village Administrator

From: Brian Richter, Public Works Director

Date: December 9, 2024

Re: Cancel Purchase of a 2026 International Truck and Purchase a 2026 Freightliner Truck

At the June 14, 2023, the Public Works Department, Street Division, received Village Board approval to purchase a new International HV607 truck from Rush Truck Center in the amount of \$114,962.00. The outfitting of the snow and ice equipment for this truck is going to be done by Monroe Truck Equipment. This was already approved by the Village Board at the June 14, 2023, meeting. The 2023-24 budgeted amount for this truck was carried over to the 2024-25 budget because the truck order is still delayed due to supply chain issues. Staff recently reached out to Rush Truck Center to inquire about the order and delivery date of the truck. Staff was informed that the Village was number 101 on their waiting list and could not provide us with a delivery date, which may cause the funds to be carried over for another fiscal year. After receiving this news, the staff started exploring options of purchasing a different brand of truck. The installation of the snow and ice equipment is still on schedule for October of 2025, Monroe Truck Equipment will be performing this work. The amount for this work is \$203,197.00 and this amount will be carried over to the 2025-26 fiscal year budget.

Staff reached out to three other truck dealers and requested quotes for the purchase of new truck. We received quotes back from all three dealers and all three said that they could provide us with a truck by the end of this fiscal year. All three dealers are part of the Sourcewell Purchasing Program, which is a cooperative purchasing program that the Village has used utilized to purchase several from in the past.

1. Trans Chicago Truck Group, Elmhurst, IL. – 2026 Freightliner, \$114,440.00
2. CIT Kenworth, Mokena, IL. – 2025 Kenworth, \$131,707.36
3. JX Truck Center, Bolingbrook, IL. – 2025 Peterbilt, \$146,673.10

We have purchased all our Freightliners from Trans Chicago Truck Group in the past and they have provided the Village with good service. The approximate build date for this truck would be in April of 2025 with a delivery date in May of 2025 if this truck order is placed in December of this year, 2024.

The staff is recommending canceling the order with Rush Truck Center and purchasing the 2026 Freightliner 108SD from Trans Chicago Truck Group in the amount of \$114,440.00. The total cost for the truck with the outfitting will be \$317,352.00, which is below the \$350,000.00 budgeted for this vehicle. Attached is a copy of the specification proposal for you to review.



TransChicago Truck Group

776 North York St., Elmhurst IL 60126 (Ph) 630-279-0600

Date 12/10/2024



Name NORTH AURORA, VILLAGE OF
 Street 25 EAST STATE STREET
 City, St, Zip NORTH AURORA, IL 60542 County _____
 Phone (708) 897- 1457 E-mail: BRICHTER@NORTHAURORA.ORG
 Contact BRIAN RICHTER Customer PO: TBD

MAKE FREIGHTLINER	MODEL 108SD PLUS	COLOR YELLOW W/ BLACK HOOD	STK# TBD	YEAR 2026
BODY STYLE TRUCK	TYPE OF SALE CASH	SALESMAN ARKEL / SEBASTIEN WOD	VIN#	TBD

PLEASE TAKE NOTICE: THIS ORDER IS NOT VALID UNLESS SIGNED BY MANAGEMENT OF TRANSCHICAGO TRUCK GROUP

11. Any used motor vehicle sold to Purchaser by Dealer under this Order is sold at the time of delivery by Dealer without any guarantee or warranty, whether expressed or implied, including without limitation, any implied warranty of merchantability or fitness for a particular purpose, as to its condition or the condition of any part thereof except as may be otherwise specifically provided in writing on the face of this Order or in a separate writing furnished to and signed by Purchaser by Dealer.

Purchaser has declined to purchase any extended warranty coverage offered on the Vehicle(s) sold on this buyers order. Purchaser Initial: _____

Purchaser acknowledges that extended warranty coverage is not available for purchase on Vehicle(s) sold on this Buyers Order. Purchaser Initial: _____

PAYMENT IN FULL, IS DUE WITHIN 30 DAYS OF CHASSIS DELIVERY.

VEHICLE PAYOFF INFORMATION		TOTAL CASH SALE PRICE	\$113,687.00
COMPANY		Trade-in Value	\$0.00
OFFICE LOCATION		Sub-Total	\$113,687.00
PHONE		Federal Excise Tax	\$0.00
CONTACT		Sales tax	\$0.00
AMOUNT		License & Title/Documentation	\$523.00
ACCOUNT#	GOOD UNTIL	Safety Inspection	\$0.00
		GAP Waiver	\$0.00
		Sub Total	\$114,210.00
		Add Payoff	\$0.00
		Cash Price Less Warranty	\$114,210.00
		Extended Service Plan	\$230.00
		TOTAL CASH DELIVERED PRICE	\$114,440.00
		Deposit Receipt	\$0.00
		Down Payment	\$0.00
		C.O.D.	\$114,440.00
		Contract	

• This agreement is subject to the additional terms and conditions on the back of this order.
 • Sales Tax to be calculated based on IL or IN state tax law at time of delivery.

PURCHASER SIGNATURE _____ SALES ASSOCIATE _____ MANAGER _____

Re Sales Order Dated 12/10/2024 Name: NORTH AURORA, VILLAGE OF
Year: 2026 FREIGHTLINER 408SD PLUS Stock# TBD

ADDITIONAL TERMS AND CONDITIONS

- 1) As used in this Sales Order the terms (a) "Dealer" shall mean the authorized Dealer to whom this Sales Order is addressed and who shall become a party hereto by its acceptance hereof, (b) "Purchaser" shall mean the party executing this Sales Order as such on the face hereof, and (c) "Manufacturer" shall mean the Corporation that manufactured the vehicle or chassis, it being understood by Purchaser and Dealer that Dealer is not the agent of Manufacturer, that Dealer and Purchaser are the sole parties to this Sales Order and that reference to Manufacturer herein is for the purpose of explaining generally certain contractual relationships existing between Dealer and Manufacturer with respect to new motor vehicles.
- 2) Manufacturer has reserved the right to change the price the Dealer charges for new motor vehicles without notice. In the event the price to Dealer of a new motor vehicle of the series and body type ordered hereunder is changed by Manufacturer prior to delivery of the new motor vehicle ordered hereunder to Purchaser, Dealer reserves the right to change the cash delivered price of such motor vehicle to Purchaser accordingly.
- 3) Notwithstanding any terms and conditions contained in Purchaser's Purchase Order, Purchaser agrees that Dealer's terms and conditions set forth in this Sales Order shall be the only terms and conditions regarding any purchase by Purchaser from Dealer. Purchaser expressly waives the provisions of Purchaser's terms and conditions and agrees to be bound exclusively by Dealer's terms and conditions as set forth herein. If Purchaser is an entity, the undersigned represents and warrants to Dealer that the undersigned has authority to bind Purchaser to the terms and conditions outlined herein, and the terms and conditions as outlined herein are enforceable against Purchaser in accordance with their terms.
- 4) All used motor vehicles which are to be traded in as part of the consideration for the motor vehicle ordered hereunder are subject to Dealer's Trade Terms and Conditions which are incorporated herein by reference. Although Dealer may provide Purchaser with an initial appraisal(s) of the value of and allowance for any used motor vehicle, such initial appraisal and allowance are not binding. Each used motor vehicle shall be reappraised at that time of actual delivery to Dealer for acquisition, and such reappraisal value shall determine the actual allowance made for such motor vehicle. If such reappraised value is lower than the original appraised value and allowance therefor shown on the front of this Sales Order, Purchaser may, if dissatisfied herewith, cancel this Sales Order, provided, however, that such right to cancel must be exercised prior to the delivery of the motor vehicle ordered hereunder to the Purchaser.
- 5) Purchaser agrees to deliver to Dealer satisfactory evidence of title to any used motor vehicle traded in as part of the consideration for the motor vehicle ordered hereunder at the time of delivery of such used motor vehicle to Dealer. Purchaser warrants any such used motor vehicle to be his or its property free and clear of all liens and encumbrances except as otherwise noted within.
- 6) Dealer shall have the right, upon failure or refusal of Purchaser to accept delivery of the motor vehicle ordered hereunder or to comply with any of the other terms of this Sales Order, to retain any cash deposit made by Purchaser without the waiver of any other right or remedy available to Dealer.
- 7) Manufacturer has reserved the right to change the design of any new motor vehicle, chassis, accessories or parts thereof at any time without notice and without obligation to make the same or any similar change upon any motor vehicle, chassis, accessories or parts thereof previously purchased by or shipped to Dealer or being manufactured or sold in accordance with Dealer's orders. Correspondingly, in the event of any such change by Manufacturer, Dealer shall have no obligation to Purchaser to make the same or any similar change in any motor vehicle, chassis, accessories or parts thereof covered by this Sales Order either before or subsequent to delivery thereof to Purchaser.
- 8) Dealer shall not be liable for failure to deliver or delay in delivering the motor vehicle covered by this Sales Order where such failure or delay is due, in whole or in part, to any cause beyond the control or without the fault or negligence of Dealer.
- 9) The price for the motor vehicle specified on the face of this Sales Order includes reimbursement for Federal Excise taxes, but does not include sales taxes, use taxes or occupational taxes based on sales volume, (Federal, State or Local) unless expressly so stated. Purchaser assumes and agrees to pay, unless prohibited by law, any such sales, use or occupational taxes imposed on or applicable to the transaction covered by this Sales Order, regardless of which party may have primary tax liability therefor.
- 10) There are no warranties, whether expressed or implied, made by the Dealer herein, or the Manufacturer, on the vehicle or chassis described on the face hereof except in the case of a new vehicle or chassis for which the warranty shall be limited to such warranty as provided for in writing on the face of this Sales Order or in a separate writing furnished to and signed by Purchaser and Dealer. The printed new vehicle warranty delivered to Purchaser with such vehicle or chassis is made a part hereof as though fully set forth herein, and it is the only warranty applicable to such new vehicle or chassis and is expressly in lieu of all other warranties, whether expressed or implied, including any implied warranty of merchantability or fitness for a particular purpose.
- 11) Any used motor vehicle sold to Purchaser by Dealer under this Sales Order is sold at the time of delivery by Dealer without any guarantee or warranty, whether expressed or implied, including without limitation, any implied warranty of merchantability or fitness for a particular purpose, as to its condition or the condition of any part thereof except as may be otherwise specifically provided in writing on the face of this Sales Order or in a separate writing furnished to and signed by Purchaser by Dealer.
- 12) The Purchaser, before or at the time of delivery of the motor vehicle covered by this Sales Order will execute such forms of agreement or documents as may be required by the terms and conditions of payment indicated on the front of this Sales Order.
- 13) In the event Purchaser desires to modify or otherwise change the equipment content of a vehicle specifically ordered for him from the Manufacturer, the change will be made only if the Manufacturer has sufficient time to accommodate the request. Moreover, any service charge or fee made by the Manufacturer as a result of such request will be borne by the purchaser.
- 14) The parties agree that they will comply with all Federal, State, and local laws and regulations, including those governing and/or restricting export of products or any technical data relating thereto outside of the United States. In carrying on Purchaser's business, each of Purchaser, its officers, directors, employees or agents (collectively and individually in this clause "Purchaser") must comply with its obligations under the law including without limitation, the following: (a) not violate any anti-bribery or anti-corruption law of any jurisdiction applicable to this Order, including those of the United States of America's Foreign Corrupt Practices Act ("FCPA"), and any similar anti-corruption or anti-bribery laws and regulations applicable to the Purchaser or related to this Order; (b) not pay, offer or promise to pay, or authorize the payment of, any monies or anything of value, directly or indirectly, to any government official or employee, any official or employee of a state-run or state-owned or controlled enterprise or entity, any official or employee of a public international organization, any candidate for political or public office, any official or employee of any political party, or any family member or relative of such persons or any political party for the purpose of influencing any act or decision of any such official, employee, candidate, political party, enterprise or entity, public organization, or government to obtain or retain business, or direct business to any person or entity, or for any other improper advantage or purpose; (c) warrants that as at the date of this Order, none of its owners, officers, directors, employees or agents or any immediate family member of such persons, is presently (or has been recently) an official or employee of any government, state-run or state-owned or controlled enterprise or entity, or political party, or a candidate for political or public office. Purchaser must provide written notification to Dealer within ten (10) days of any of the above persons becoming such official, employee or candidate; (d) comply with all applicable export and import laws and regulations, including associated embargo and sanction regulations; and (e) certifies that no vehicle or chassis subject to this Order, nor any direct products thereof, will be made available or re-exported, directly or indirectly, by Purchaser (or by any employee or contractor of Purchaser) to any prohibited person, entity or country (including to nationals of any prohibited country, wherever they may be located) unless such prior written authorization as may be required is obtained by Purchaser from the appropriate U.S. government agency(ies), including, as applicable, the U.S. Office of Export Licensing of the U.S. Department of Commerce, in accordance with the U.S. Export Administration Regulations (15 CFR, Parts 779 et seq. or any similar regulation) issued by the Department of Commerce of the United States in the administration of the Export Administration Act of 1979, as amended from time to time, or any subsequently issued similar rule, law or regulation. Purchaser will designate an officer to be responsible for compliance with all such legislation and upon the request of Dealer will certify compliance with such legislation. In the event Purchaser breaches its obligations under this paragraph, or Dealer learns of or has a reasonable suspicion that Purchaser has breached this paragraph, notwithstanding any other provision hereunder to the contrary, Dealer may immediately terminate this Order and Purchaser hereby waives any and all claims against Dealer for any loss, cost or expense, including, but not limited to, loss or profits, incidental or consequential damages, that Purchaser may incur by virtue of such termination.

15) Purchaser shall, from the execution of this Order and for a period of one (1) year after the completion of this Order maintain all records, together with such supporting or underlying documents and materials, related to the motor vehicle ordered hereunder, including but not limited to all records related to the use, the location(s) of such use, the repair and the sale, lease or other transfer of such motor vehicle or any interest therein, as well as Purchaser's compliance with the FCPA and any other applicable anti-corruption or anti-bribery laws or regulations. Purchaser shall at any time requested by Dealer whether during or after completion of this Order, with five (5) days' notice and at Purchaser's own expense make such records available for inspection and audit (including copies and extracts of records as required) by Dealer. Such records shall be made available to Dealer during normal business hours at a time and location that is convenient for Dealer.

16) **Documentary Fee.** Documentary fee is not an official fee. A documentary fee is not required by law, but may be charged to buyers for handling documents and performing services related to closing of a sale. The base documentary fee beginning 1/1/20 was \$300. The maximum amount that may be charged for a documentary fee is the base documentary fee of \$300, which shall be subject to an annual rate adjustment equal to the percentage of change in the Bureau of Labor Statistics Consumer Price Index. This notice is required by law.

17) Purchaser shall pay on demand all of Dealer's cost and expenses, including its attorney's fees incurred in enforcing the terms of this Sales Order, including but not limited to defending any claims by Purchaser, collecting any payments due hereunder or repossessing the vehicle.

18) The remedies herein reserved shall be cumulative and in addition to any further remedies provided to Dealer whether at law or in equity. No delay or failure by the Dealer to exercise or enforce at any time, any right or provision in this Sales Order, will be considered a waiver thereof or of Dealer's right thereafter to exercise or enforce each and every right and provision of this Sales Order. To be valid, any waiver shall be in writing, but need not be supported by consideration. No single waiver shall constitute a continuing or subsequent waiver.

19) This Sales Order has been negotiated, executed and delivered in Illinois, and shall be construed and enforced in accordance with the laws of the State of Illinois, without reference to the choice of law or conflicts of law principles of any other state.

20) **Purchaser hereby consents to the exclusive jurisdiction of any state or federal court located in DuPage County, Illinois regarding any disputes regarding this matter. Purchaser waives any trial by jury and waives any objection based on improper venue or forum non conveniens in any action or proceeding to which Purchaser and Dealer may be parties arising out of, or in connection with, or in any way pertaining to this Sales Order. It is agreed and understood by Purchaser that this waiver constitutes a waiver of trial by jury of all claims by Purchaser against the Dealer. This waiver is knowingly, willingly and voluntarily made by Purchaser and Purchaser hereby represents that no representations of fact or opinion have been made by any individual to induce this waiver of trial by jury or to, in any way, modify or nullify its effect. Purchaser further represents and warrants that it either has been represented in the signing of this Sales Order and the making of this Sales Order by the attorney of its choosing, or it has had time to seek independent counsel selected of Purchaser's own free will, and to discuss the terms and conditions of this Sales Order with such counsel.**

21) In the event that any provision of this Sales Order shall be deemed to be invalid by reason of the operation of any law or by reason of the interpretation placed on this Sales Order by any court, this Sales Order shall be construed as not containing such provision to the extent of the invalidity and the invalidity of such provision shall not affect the validity of any and all provisions hereby which are otherwise lawful and valid, and such other provisions shall remain in full force and effect.

22) All notices and other communications required hereunder shall be in writing and delivered by personal delivery, overnight delivery service, or certified or registered mail, postage prepaid, return receipt requested. Any such notice shall be deemed to have been given on the date it is received during regular office hours at the address listed on the applicable order or at such other address as the affected party may have previously designated for notices.

23) To the full extent permitted by laws, Purchaser waives all rights against Dealer for any damage to its property or that of third parties, or for injury to any person, however caused. In no event shall Dealer's total liability exceed Dealer's anticipated net profit on the specified purchase price of the vehicles covered by this Sales Order.

24) This Sales Order constitutes the entire agreement between the parties hereto relating to the subject matter hereof and supersedes all prior oral and written and all contemporaneously oral negotiations, commitments and understandings of the parties, except as otherwise expressly set forth in this Sales Order. This Sales Order may not be changed or amended except by writing and executed by both Purchaser and Dealer.

IN WITNESS WHEREOF, the Purchaser has executed these terms and conditions as of the date herein written below.

PURCHASER

TITLE

DATE

Prepared for:
 NORTH AURORA, VILLAGE OF
 314 BUTTERFIELD ROAD
 NORTH AURORA, IL 60542
 ATTN: BRIAN RICHTER
 630-281-0779
 MEMBER#: 156048
 DAIMLER SOURCEWELL
 CONTRACT#: 032824-DAI

Prepared by:
 Sebastien Wodzinski
 TRANSCHICAGO TRUCK GROUP
 776 N. YORK STREET
 ELMHURST, IL 60126
 Phone: 630 815 9100

SPECIFICATION PROPOSAL

Data Code	Description	Weight Front	Weight Rear	Retail Price
Vehicle Configuration				
001-176	108SD PLUS CONVENTIONAL CHASSIS	6,829	3,748	\$134,782.00
004-226	2028 MODEL YEAR SPECIFIED			STD
002-004	SET BACK AXLE - TRUCK			STD
019-006	TRAILER TOWING PROVISION AT END OF FRAME WITH SAE J560	10	10	\$1,025.00
003-001	LH PRIMARY STEERING LOCATION			STD
General Service				
AA1-003	TRUCK/TRAILER CONFIGURATION			N/C
AA6-002	DOMICILED, USA (EXCLUDING CALIFORNIA AND CARB OPT-IN STATES)			STD
99D-027	EPA CLEAN IDLE LABEL FOR INITIAL REGISTRATION IN EPA OR ACT STATES - (INCLUDES 6X4 INCH LABEL ON LOWER FORWARD OF DRIVER DOOR)			STD
A85-010	UTILITY/REPAIR/MAINTENANCE SERVICE			N/C
A84-1GM	GOVERNMENT BUSINESS SEGMENT			N/C
AA4-010	DIRT/SAND/ROCK COMMODITY			N/C
AA5-002	TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN TRANSIT, IS SPENT ON PAVED ROADS			STD
AB1-008	MAXIMUM 8% EXPECTED GRADE			STD
AB5-001	SMOOTH CONCRETE OR ASPHALT PAVEMENT - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE			STD
995-1AE	FREIGHTLINER LEVEL II WARRANTY			N/C
A68-99D	EXPECTED FRONT AXLE(S) LOAD : 20000.0 lbs			
A68-99D	EXPECTED REAR DRIVE AXLE(S) LOAD : 21000.0 lbs			



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Data Code	Description	Weight Front	Weight Rear	Retail Price
A63-99D	EXPECTED GROSS VEHICLE WEIGHT CAPACITY : 41000.0 lbs			
A70-99D	EXPECTED GROSS COMBINATION WEIGHT : 45000.0 lbs			
Truck Service				
AA3-018	FRONT PLOW/END DUMP BODY			N/C
A88-99D	BRAKING-EXPECTED CAB TO BODY CLEARANCE : 15.0 in			
AF3-142	MONROE TRUCK EQUIPMENT			N/C
Tractor Service				
AA2-005	FLATBED TRAILER			N/C
AH6-001	SINGLE (1) TRAILER			N/C
Engine				
101-3BR	CUM L9 360 HP @ 2200 RPM; 2200 GOV RPM, 1150 LB-FT @ 1200 RPM			\$6,520.00
Electronic Parameters				
79A-065	65 MPH ROAD SPEED LIMIT			N/C
79B-000	CRUISE CONTROL SPEED LIMIT SAME AS ROAD SPEED LIMIT			N/C
79K-033	PTO MODE ENGINE RPM LIMIT - 950 RPM			N/C
79P-032	PTO RPM CONTROL WITH STEERING WHEEL SWITCHES			N/C
79U-001	PTO GOVERNOR RAMP RATE - 25 RPM PER SECOND			N/C
79V-001	FUEL DOSING OF AFTERTREATMENT ENABLED IN PTO MODE-CLEANS HYDROCARBONS AT HIGH TEMPERATURES ONLY			N/C
79W-025	CRUISE CONTROL BUTTON PTO CONTROL AND ONE REMOTE PTO SPEED			N/C
79X-005	PTO SPEED 1 SETTING - 900 RPM			N/C
80G-002	PTO MINIMUM RPM - 700			N/C
80S-021	PTO 1, WITH SWITCH, TEM SUPPLIED REQUEST AND INTERLOCKS, WITH PTO CONNECTIONS, ENGAGE BEFORE DRIVING INTERLOCKS			N/C
80V-100	PTO MODE SPEED CONTROL ACTIVATION REQUEST FOR REMOTE ENGINE INTERFACE			N/C
Engine Equipment				
99C-024	EPA 2010/GHG 2024 CONFIGURATION			STD
13E-001	STANDARD OIL PAN			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
105-015	OIL FILL AND DIPSTICK LOCATED FOR ENHANCED SERVICEABILITY			\$83.00
014-108	SIDE OF HOOD AIR INTAKE WITH FIREWALL MOUNTED DONALDSON AIR CLEANER WITH SAFETY ELEMENT AND INSIDE/OUTSIDE AIR WITH SNOW DOOR	10		\$562.00
124-1D7	DR 12V 160 AMP 28-SI QUADRAMOUNT PAD ALTERNATOR WITH REMOTE BATTERY VOLT SENSE			STD
292-235	(2) DTNA GENUINE, FLOODED STARTING, MIN 2000CCA, 370RC, THREADED STUD BATTERIES			STD
290-017	BATTERY BOX FRAME MOUNTED			STD
281-001	STANDARD BATTERY JUMPERS			STD
282-001	SINGLE BATTERY BOX FRAME MOUNTED LH SIDE UNDER CAB			\$18.00
291-017	WIRE GROUND RETURN FOR BATTERY CABLES WITH ADDITIONAL FRAME GROUND RETURN			STD
289-001	NON-POLISHED BATTERY BOX COVER			STD
293-058	NON-ESSENTIAL POSITIVE LOAD DISCONNECT, IN CAB CONTROL SWITCH MOUNTED OUTBOARD OF DRIVER SEAT	2		\$208.00
295-003	POSITIVE AND NEGATIVE POSTS FOR JUMPSTART CHASSIS MOUNTED LH BACK OF CAB	4		\$105.00
308-015	PROGRESSIVE LOW VOLTAGE DISCONNECT AT 12.3 VOLTS FOR DESIGNATED CIRCUITS	2		STD
107-032	CUMMINS TURBOCHARGED 18.7 CFM AIR COMPRESSOR WITH INTERNAL SAFETY VALVE			STD
152-041	ELECTRONIC ENGINE INTEGRAL SHUTDOWN PROTECTION SYSTEM			STD
128-076	CUMMINS ENGINE INTEGRAL BRAKE WITH VARIABLE GEOMETRY TURBO ON/OFF	20		STD
016-1C2	RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE	30	25	\$816.00
28F-015	ENGINE AFTERTREATMENT DEVICE, AUTOMATIC OVER THE ROAD ACTIVE REGENERATION AND VIRTUAL REGENERATION REQUEST SWITCH IN CLUSTER AND DASH MOUNTED INHIBIT SWITCH			N/C
239-026	10 FOOT 06 INCH (126 INCH+0/-5.9 INCH) EXHAUST SYSTEM HEIGHT			(\$3.00)
237-1CR	RH CURVED VERTICAL TAILPIPE B-PILLAR MOUNTED ROUTED FROM STEP			N/C



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Data Code	Description	Weight Front	Weight Rear	Retail Price
23U-001	6 GALLON DIESEL EXHAUST FLUID TANK	-35	-10	N/C
30N-003	100 PERCENT DIESEL EXHAUST FLUID FILL			(\$17.00)
23Y-001	STANDARD DIESEL EXHAUST FLUID PUMP MOUNTING			STD
43X-002	LH MEDIUM DUTY STANDARD DIESEL EXHAUST FLUID TANK LOCATION			STD
43Y-001	STANDARD DIESEL EXHAUST FLUID TANK CAP			STD
242-001	STAINLESS STEEL AFTERTREATMENT DEVICE/MUFFLER/TAIPIPE SHIELD			\$48.00
273-058	AIR POWERED ON/OFF ENGINE FAN CLUTCH			STD
276-001	AUTOMATIC FAN CONTROL WITHOUT DASH SWITCH, NON ENGINE MOUNTED			STD
110-003	CUMMINS SPIN ON FUEL FILTER			STD
118-008	COMBINATION FULL FLOW/BYPASS OIL FILTER			STD
266-104	1115 SQUARE INCH ALUMINUM RADIATOR			STD
103-039	ANTIFREEZE TO -34F, OAT (NITRITE AND SILICATE FREE) EXTENDED LIFE COOLANT			STD
171-007	GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT			STD
172-001	CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES			STD
270-016	RADIATOR DRAIN VALVE			STD
360-013	1350 ADAPTER FLANGE FOR FRONT PTO PROVISION	20		\$487.00
138-011	PHILLIPS-TEMRO 1000 WATT/115 VOLT BLOCK HEATER	4		\$92.00
140-022	CHROME ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR			\$6.00
132-004	ELECTRIC GRID AIR INTAKE WARMER			STD
155-058	DELCO 12V 38MT HD STARTER WITH INTEGRATED MAGNETIC SWITCH			STD

Transmission

342-582	ALLISON 3000 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION			STD
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Transmission Equipment

343-339	ALLISON VOCATIONAL PACKAGE 223 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODELS RDS, HS, MH AND TRV			STD
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Data Code	Description	Weight Front	Weight Rear	Retail Price
84B-012	ALLISON VOCATIONAL RATING FOR ON/OFF HIGHWAY APPLICATIONS AVAILABLE WITH ALL PRODUCT FAMILIES			N/C
84C-023	PRIMARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			STD
84D-023	SECONDARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			STD
84E-017	S5 PERFORMANCE LIMITING PRIMARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			N/C
84F-016	S5 PERFORMANCE LIMITING SECONDARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY			N/C
84G-009	1800 RPM PRIMARY MODE SHIFT SPEED			N/C
84H-009	1800 RPM SECONDARY MODE SHIFT SPEED			N/C
84K-002	2ND GEAR ENGINE BRAKE ALTERNATE PRESELECT WITH MODERATE DOWNSHIFT STRATEGY			STD
84N-011	NEUTRAL AT STOP ENABLED			\$420.00
84U-000	DRIVER SWITCH INPUT - DEFAULT - NO SWITCHES			STD
85E-009	MAXIMUM ENGINE SPEED FOR PTO ENGAGEMENT 900 RPM			N/C
85F-042	MAXIMUM ENGINE SPEED FOR PTO OPERATION 2400 RPM			N/C
85G-009	MAXIMUM OUTPUT SPEED FOR PTO ENGAGEMENT 250 RPM			N/C
85H-159	MAXIMUM OUTPUT SPEED FOR PTO OPERATION 4000 RPM - ALLISON 5TH GEN TRANSMISSIONS			N/C
85T-998	NO AMT HOLD MODE			STD
353-075	QUICKFIT BODY LIGHTING CONNECTOR AT END OF FRAME, WITH CAP			\$200.00
34C-011	ELECTRONIC TRANSMISSION WIRING TO CUSTOMER INTERFACE CONNECTOR			\$125.00
362-2JT	CUSTOMER INSTALLED CHELSEA 281 SERIES PTO			N/C
363-001	PTO MOUNTING, LH SIDE OF MAIN TRANSMISSION ALLISON			N/C
341-018	MAGNETIC PLUGS, ENGINE DRAIN, TRANSMISSION DRAIN, AXLE(S) FILL AND DRAIN			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
345-003	PUSH BUTTON ELECTRONIC SHIFT CONTROL, DASH MOUNTED			\$254.00
97G-004	TRANSMISSION PROGNOSTICS - ENABLED 2013			STD
370-015	WATER TO OIL TRANSMISSION COOLER, IN RADIATOR END TANK	15		STD
346-013	TRANSMISSION OIL CHECK AND FILL WITH CROSSOVER TO CLEAR LH PTO AND DIRECT MOUNT PUMP			\$61.00
35T-001	SYNTHETIC TRANSMISSION FLUID (TES-295 COMPLIANT)			STD

Front Axle and Equipment

400-1AC	MERITOR MFS-20-133A 20,000# FL1 71.0 INCH KPI/3.74 INCH DROP SINGLE FRONT AXLE	260		\$3,576.00
402-013	MERITOR 16.5X6 Q+ CAST SPIDER HEAVY DUTY CAM FRONT BRAKES, DOUBLE ANCHOR, FABRICATED SHOES			\$68.00
403-002	NON-ASBESTOS FRONT BRAKE LINING			STD
419-001	CAST IRON OUTBOARD FRONT BRAKE DRUMS			STD
427-001	FRONT BRAKE DUST SHIELDS	5		\$102.00
409-006	FRONT OIL SEALS			STD
408-001	VENTED FRONT HUB CAPS WITH WINDOW, CENTER AND SIDE PLUGS - OIL			STD
416-022	STANDARD SPINDLE NUTS FOR ALL AXLES			STD
405-002	MERITOR AUTOMATIC FRONT SLACK ADJUSTERS			STD
406-001	STANDARD KING PIN BUSHINGS			STD
536-055	TRW THP-60 POWER STEERING WITH RCH45 AUXILIARY GEAR	130		N/C
539-003	POWER STEERING PUMP			STD
534-003	4 QUART POWER STEERING RESERVOIR			N/C
533-001	OIL/AIR POWER STEERING COOLER			N/C
40T-002	CURRENT AVAILABLE SYNTHETIC 75W-90 FRONT AXLE LUBE			\$17.00

Front Suspension

620-006	20,000# FLAT LEAF FRONT SUSPENSION	310		\$815.00
619-004	GRAPHITE BRONZE BUSHINGS WITH SEALS - FRONT SUSPENSION			N/C
62G-015	AUXILIARY AIR SPRING ON RIGHT SIDE FOR PLOW APPLICATIONS	25		\$945.00
62H-010	FRONT SUSPENSION WITH LEFT HAND OFFSET SHACKLE BRACKET	4		\$79.00



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Data Code	Description	Weight Front	Weight Rear	Retail Price
410-001	FRONT SHOCK ABSORBERS			\$121.00
Rear Axle and Equipment				
420-051	MERITOR RS-23-160 23,000# R-SERIES SINGLE REAR AXLE		180	\$872.00
421-614	6.14 REAR AXLE RATIO			N/C
424-001	IRON REAR AXLE CARRIER WITH STANDARD AXLE HOUSING			STD
386-073	MXL 17T MERITOR EXTENDED LUBE MAIN DRIVELINE WITH HALF ROUND YOKES	20	20	STD
452-001	DRIVER CONTROLLED TRACTION DIFFERENTIAL - SINGLE REAR AXLE		20	\$734.00
878-018	(1) DRIVER CONTROLLED DIFFERENTIAL LOCK REAR VALVE FOR SINGLE DRIVE AXLE			N/C
87B-015	INDICATOR LIGHT FOR EACH DIFFERENTIAL LOCKOUT SWITCH, ENGAGE <5 MPH, DISENGAGE >25 MPH			N/C
423-020	MERITOR 16.5X7 Q+ CAST SPIDER CAM REAR BRAKES, DOUBLE ANCHOR, FABRICATED SHOES			STD
433-002	NON-ASBESTOS REAR BRAKE LINING			STD
434-019	ASPHALT SPREADER CLEARANCE REAR BRAKE GEOMETRY			N/C
451-001	CAST IRON OUTBOARD REAR BRAKE DRUMS		-10	STD
425-002	REAR BRAKE DUST SHIELDS		5	\$65.00
440-006	REAR OIL SEALS			STD
426-100	WABCO TRISTOP D LONGSTROKE 1-DRIVE AXLE SPRING PARKING CHAMBERS			STD
428-003	HALDEX AUTOMATIC REAR SLACK ADJUSTERS			\$47.00
41T-002	CURRENT AVAILABLE SYNTHETIC 75W-90 REAR AXLE LUBE			STD
42T-001	STANDARD REAR AXLE BREATHER(S)			STD
Rear Suspension				
622-1MJ	23,000# 52 INCH VARIABLE RATE MULTI-LEAF SPRING REAR SUSPENSION WITH LEAF SPRING HELPER		30	(\$6.00)
621-002	SPRING SUSPENSION - 1.00" AXLE SPACER			\$68.00
431-001	STANDARD AXLE SEATS IN AXLE CLAMP GROUP			STD
Pusher / Tag Equipment				
429-998	NO PUSHER/TAG BRAKE DUST SHIELDS			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
Brake System				
490-121	WABCO 4S/4M ABS WITH TRACTION CONTROL			STD
871-001	REINFORCED NYLON, FABRIC BRAID AND WIRE BRAID CHASSIS AIR LINES			STD
904-001	FIBER BRAID PARKING BRAKE HOSE			STD
412-001	STANDARD BRAKE SYSTEM VALVES			STD
46D-002	STANDARD AIR SYSTEM PRESSURE PROTECTION SYSTEM			STD
413-002	STD U.S. FRONT BRAKE VALVE			STD
432-003	RELAY VALVE WITH 5-8 PSI CRACK PRESSURE, NO REAR PROPORTIONING VALVE			STD
480-009	BW AD-9 BRAKE LINE AIR DRYER WITH HEATER	20		N/C
479-003	AIR DRYER MOUNTED INBOARD ON LH RAIL			N/C
460-019	ALUMINUM AIR BRAKE RESERVOIRS MOUNTED INSIDE RAILS			\$258.00
477-008	BW DV-2 AUTO DRAIN VALVE WITH HEATER - WET TANK, PETCOCKS ALL OTHERS			\$86.00
Trailer Connections				
481-998	NO TRAILER AIR HOSE			STD
476-998	NO AIR HOSE HANGER			STD
914-001	AIR CONNECTIONS TO END OF FRAME WITH GLAD HANDS FOR TRUCK AND NO DUST COVERS			N/C
296-010	PRIMARY CONNECTOR/RECEPTACLE WIRED FOR SEPARATE STOP/TURN, ABS CENTER PIN POWERED THROUGH IGNITION			N/C
303-025	SAE J560 7-WAY PRIMARY TRAILER CABLE RECEPTACLE MOUNTED END OF FRAME			N/C
310-998	NO TRAILER ELECTRICAL CABLE			STD
Wheelbase & Frame				
545-415	4150MM (163 INCH) WHEELBASE			N/C
548-101	11/32X3-1/2X10-15/16 INCH STEEL FRAME (8.73MMX277.8MM/0.344X10.94 INCH) 120KSI	90		\$600.00
547-001	1/4 INCH (6.35MM) C-CHANNEL INNER FRAME REINFORCEMENT	150	340	\$1,000.00
548-803	TEM TO EVALUATE AND INSTALL FRAME RAIL REINFORCEMENT AS NEEDED FOR FRONT FRAME MOUNTED EQUIPMENT			N/C
552-037	1775MM (70 INCH) REAR FRAME OVERHANG			N/C
55W-006	FRAME OVERHANG RANGE: 61 INCH TO 70 INCH			N/C



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Data Code	Description	Weight Front	Weight Rear	Retail Price
549-002	24 INCH INTEGRAL FRONT FRAME EXTENSION	115	-20	\$4.00
AC8-99D	CALC'D BACK OF CAB TO REAR SUSP C/L (CA) : 97.83 in			
AE8-99D	CALCULATED EFFECTIVE BACK OF CAB TO REAR SUSPENSION C/L (CA) : 82.83 in			
AE4-99D	CALC'D FRAME LENGTH - OVERALL : 298.44 in			
FSS-0LH	CALCULATED FRAME SPACE LH SIDE : 55.73 in			N/C
FSS-0RH	CALCULATED FRAME SPACE RH SIDE : 64.37 in			N/C
AM6-99D	CALC'D SPACE AVAILABLE FOR DECKPLATE 0.0 in			
553-001	SQUARE END OF FRAME			STD
550-001	FRONT CLOSING CROSSMEMBER			STD
559-003	LIGHTWEIGHT HEAVY DUTY ALUMINUM ENGINE CROSSMEMBER	-12		\$50.00
562-001	STANDARD MIDSHIP #1 CROSSMEMBER(S)			STD
572-001	STANDARD REARMOST CROSSMEMBER			STD
565-001	STANDARD SUSPENSION CROSSMEMBER			STD
Chassis Equipment				
556-1E5	14 INCH PAINTED STEEL BUMPER			STD
558-001	FRONT TOW HOOKS - FRAME MOUNTED	15		\$80.00
574-001	BUMPER MOUNTING FOR SINGLE LICENSE PLATE			STD
585-998	NO MUDFLAP BRACKETS			STD
590-998	NO REAR MUDFLAPS			STD
551-007	GRADE 8 THREADED HEX HEADED FRAME FASTENERS			STD
44Z-002	EXTERIOR HARNESSSES WRAPPED IN ABRASION TAPE			STD
Fifth Wheel				
578-998	NO FIFTH WHEEL			STD
Fuel Tanks				
204-152	70 GALLON/264 LITER ALUMINUM FUEL TANK - LH	5		\$107.00
218-008	25 INCH DIAMETER FUEL TANK(S)			STD
215-004	POLISHING OF FUEL/HYDRAULIC TANK(S) WITH PAINTED BANDS			\$196.00
212-007	FUEL TANK(S) FORWARD			STD
664-001	PLAIN STEP FINISH			STD
205-002	CHROME FUEL TANK CAP(S)			\$13.00



Prepared for:
 NORTH AURORA, VILLAGE OF
 314 BUTTERFIELD ROAD
 NORTH AURORA, IL 60542
 ATTN: BRIAN RICHTER
 630-281-0779
 MEMBER#: 156048
 DAIMLER SOURCEWELL
 CONTRACT#: 032824-DAI

Prepared by:
 Sebastien Wodzinski
 TRANSCHICAGO TRUCK GROUP
 776 N. YORK STREET
 ELMHURST, IL 60128
 Phone: 630 815 9100

Data Code	Description	Weight Front	Weight Rear	Retail Price
122-1H8	DAVCO 245 FUEL/WATER SEPARATOR WITH 12 VOLT HEAT AND WATER IN FUEL SENSOR	5		\$313.00
216-020	EQUIFLO INBOARD FUEL SYSTEM			STD
202-016	HIGH TEMPERATURE REINFORCED NYLON FUEL LINE			STD
Tires				
093-1YU	CONTINENTAL HAU 3 WT 315/80R22.5 20 PLY RADIAL FRONT TIRES	100		\$896.00
094-1YV	CONTINENTAL INTELLIGENT HDC3 11R22.5 16 PLY RADIAL REAR TIRES		96	\$560.00
Hubs				
418-060	CONMET PRESET PLUS PREMIUM IRON FRONT HUBS			STD
450-060	CONMET PRESET PLUS PREMIUM IRON REAR HUBS			STD
Wheels				
502-433	ACCURIDE 29039 22.5X9.00 10-HUB PILOT 5.25 INSET 5-HAND STEEL DISC FRONT WHEELS	66		\$216.00
505-428	ACCURIDE 28828 22.5X8.25 10-HUB PILOT 2-HAND HD STEEL DISC REAR WHEELS		52	STD
496-011	FRONT WHEEL MOUNTING NUTS			STD
497-011	REAR WHEEL MOUNTING NUTS			STD
Cab Exterior				
829-1A5	108 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB			STD
850-008	AIR CAB MOUNTING			STD
705-012	CAB ROOF REINFORCEMENTS FOR ROOF MOUNTED COMPONENTS	2		\$87.00
648-002	NONREMOVABLE BUGSCREEN MOUNTED BEHIND GRILLE			STD
667-037	SHORT FENDER WITH MUDFLAP			\$141.00
754-017	BOLT-ON MOLDED FLEXIBLE FENDER EXTENSIONS	10		\$115.00
678-067	SAFETY YELLOW LH AND RH INTERIOR GRAB HANDLES AND LH AND RH EXTERIOR GRAB HANDLES WITH SINGLE RUBBER INSERT			\$80.00
645-002	BRIGHT FINISH RADIATOR SHELL/HOOD BEZEL			\$253.00
646-042	STATIONARY BLACK GRILLE WITH BRIGHT ACCENTS			\$88.00
65X-003	CHROME HOOD MOUNTED AIR INTAKE GRILLE			\$15.00



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Data Code	Description	Weight Front	Weight Rear	Retail Price
644-006	FIBERGLASS HOOD WITH ACCESS HATCHES	10		\$682.00
652-001	FREIGHTLINER NAME PLATES			STD
690-017	HOOD LINER, ADDED FIREWALL AND FLOOR HEAT INSULATION	5		\$117.00
727-1AF	SINGLE 14 INCH ROUND HADLEY AIR HORN UNDER LH DECK			(\$23.00)
726-002	DUAL ELECTRIC HORNS			\$14.00
575-001	REAR LICENSE PLATE MOUNT END OF FRAME			STD
327-012	SWITCH, INDICATOR LIGHT AND WIRING FOR (2) CUSTOMER FURNISHED BEACONS			\$76.00
312-067	HALOGEN COMPOSITE HEADLAMPS WITH BRIGHT BEZELS			N/C
302-047	LED AERODYNAMIC MARKER LIGHTS			STD
314-824	WIRING AND SWITCH FOR CUSTOMER FURNISHED SNOW PLOW LAMPS WITH DUAL CONNECTIONS AT BUMPER			\$162.00
311-001	DAYTIME RUNNING LIGHTS			STD
294-001	INTEGRAL STOP/TAIL/BACKUP LIGHTS			STD
300-015	STANDARD FRONT TURN SIGNAL LAMPS			STD
744-103	DUAL WEST COAST BRIGHT FINISH HEATED MIRRORS WITH LED LIGHTS AND LH AND RH REMOTE			\$250.00
797-001	DOOR MOUNTED MIRRORS			STD
796-001	102 INCH EQUIPMENT WIDTH			STD
743-204	LH AND RH 8 INCH BRIGHT FINISH CONVEX MIRRORS MOUNTED UNDER PRIMARY MIRRORS			N/C
729-001	STANDARD SIDE/REAR REFLECTORS			STD
768-043	63X14 INCH TINTED REAR WINDOW			STD
661-004	TINTED DOOR GLASS LH AND RH WITH TINTED OPERATING WING WINDOWS			STD
654-011	RH AND LH ELECTRIC POWERED WINDOWS			STD
663-029	1-PIECE BONDED HEATED WIPER PARK SOLAR GREEN GLASS WINDSHIELD			\$423.00
659-007	8 LITER (2 GAL) WINDSHIELD WASHER RESERVOIR, CAB MOUNTED, WITHOUT FLUID LEVEL INDICATOR			STD
647-001	WHITE WINTERFRONT	2		\$60.00
Cab Interior				
055-019	RUGGED TRIM PACKAGE			STD
707-107	GRAY & CARBON VINYL INTERIOR "RUGGED"			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
70K-020	CARBON WITH PREMIUM GUNMETAL ACCENT (RUGGED)			STD
706-013	MOLDED PLASTIC DOOR PANEL			STD
708-013	MOLDED PLASTIC DOOR PANEL			STD
772-006	BLACK MATS WITH SINGLE INSULATION			STD
785-025	(1) 12V DASH MOUNTED POWER OUTLET			STD
691-001	FORWARD ROOF MOUNTED CONSOLE			STD
693-019	LH AND RH DOOR STORAGE POCKETS INTEGRATED INTO MOLDED DOOR PANELS			STD
738-021	DIGITAL ALARM GLOCK IN DRIVER DISPLAY			STD
742-007	(2) CUP HOLDERS LH AND RH DASH			STD
680-029	M2/SD DASH			STD
720-003	5 LB. FIRE EXTINGUISHER	10		\$60.00
700-002	HEATER, DEFROSTER AND AIR CONDITIONER			STD
701-008	STANDARD HVAC DUCTING WITH SNOW SHIELD FOR FRESH AIR INTAKE			\$31.00
703-005	MAIN HVAC CONTROLS WITH RECIRCULATION SWITCH			STD
170-045	STANDARD HEATER PLUMBING WITH BALL SHUTOFF VALVES AT SUPPLY LINES ONLY			\$16.00
130-041	VALEO HEAVY DUTY A/C REFRIGERANT COMPRESSOR			STD
702-002	BINARY CONTROL, R-134A			STD
739-034	PREMIUM INSULATION			\$145.00
285-013	SOLID-STATE CIRCUIT PROTECTION AND FUSES			STD
280-007	12V NEGATIVE GROUND ELECTRICAL SYSTEM			STD
324-1B3	STANDARD LED CAB LIGHTING			STD
787-998	NO SECURITY DEVICE			N/C
657-001	DOOR LOCKS AND IGNITION SWITCH KEYED THE SAME			STD
78G-004	KEY QUANTITY OF 4			\$18.00
655-005	LH AND RH ELECTRIC DOOR LOCKS			STD
740-998	NO MATTRESS	-20	-15	STD
722-028	TRIANGULAR REFLECTORS KIT WITHOUT FLARES SHIPPED LOOSE IN CAB	10		\$24.00
756-339	PREMIUM ISRINGHAUSEN HIGH BACK AIR SUSPENSION DRIVERS SEAT WITH 2 AIR LUMBAR, INTEGRATED CUSHION EXTENSION, TILT AND ADJUSTABLE SHOCK	70		\$414.00



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Data Code	Description	Weight Front	Weight Rear	Retail Price
760-339	PREMIUM ISRINGHAUSEN HIGH BACK AIR SUSPENSION PASSENGER SEAT WITH 2 AIR LUMBAR, INTEGRATED CUSHION EXTENSION, TILT AND ADJUSTABLE SHOCK	60	20	\$451.00
759-005	DUAL DRIVER AND PASSENGER SEAT ARMRESTS	8		\$138.00
711-004	LH AND RH INTEGRAL DOOR PANEL ARMRESTS			STD
758-014	BLACK CORDURA PLUS CLOTH DRIVER SEAT COVER			(\$76.00)
761-014	BLACK CORDURA PLUS CLOTH PASSENGER SEAT COVER			(\$70.00)
763-102	HIGH VISIBILITY ORANGE SEAT BELTS			\$26.00
532-002	ADJUSTABLE TILT AND TELESCOPING STEERING COLUMN			STD
540-044	4-SPOKE 18 INCH (450MM) BLACK STEERING WHEEL WITH SWITCHES			(\$124.00)
765-002	DRIVER AND PASSENGER INTERIOR SUN VISORS			STD

Instruments & Controls

106-002	ELECTRONIC ACCELERATOR CONTROL			STD
732-998	NO INSTRUMENT PANEL-DRIVER			STD
734-022	FULLY CONFIGURABLE CENTER INSTRUMENT PANELS			STD
870-002	BRIGHT ARGENT FINISH GAUGE BEZELS			STD
488-001	LOW AIR PRESSURE INDICATOR LIGHT AND AUDIBLE ALARM			STD
838-001	(1) PNEUMATIC SINGLE BRAKE APPLICATION AIR GAUGE			\$67.00
840-001	DUAL NEEDLE PRIMARY AND SECONDARY AIR PRESSURE GAUGE			STD
198-002	INTAKE MOUNTED AIR RESTRICTION INDICATOR WITH GRADUATIONS			\$12.00
721-003	87 DECIBELS TO 112 DECIBELS AUTOMATIC SELF-ADJUSTING BACKUP ALARM		3	\$77.00
149-015	ELECTRONIC CRUISE CONTROL WITH CONTROLS ON STEERING WHEEL SPOKES			STD
156-007	KEY OPERATED IGNITION SWITCH AND INTEGRAL START POSITION; 4 POSITION OFF/RUN/START/ACCESSORY			STD
811-044	PREMIUM INSTRUMENT CLUSTER WITH 5.0 INCH TFT COLOR DISPLAY			STD
81B-003	DIGITAL PANEL LAMP DIMMER SWITCH IN DRIVER DISPLAY			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
160-038	HEAVY DUTY ONBOARD DIAGNOSTICS INTERFACE CONNECTOR LOCATED BELOW LH DASH			STD
844-001	2 INCH ELECTRIC FUEL GAUGE			STD
148-072	ENGINE REMOTE INTERFACE WITH ONE OR MORE SET SPEEDS			\$134.00
48H-003	QUICKFIT POWERTRAIN INTERFACE CONNECTOR UNDER CAB WITH CAPS			\$79.00
48C-001	QUICKFIT PROGRAMMABLE INTERFACE CONNECTOR(S) BETWEEN SEATS WITH CAP			N/C
163-014	ENGINE REMOTE INTERFACE CONNECTOR AT POWERTRAIN INTERFACE CONNECTOR			N/C
856-001	ELECTRICAL ENGINE COOLANT TEMPERATURE GAUGE			STD
852-002	ELECTRIC ENGINE OIL PRESSURE GAUGE			STD
864-022	DIGITAL TRANSMISSION OIL TEMPERATURE IN DRIVER DISPLAY			STD
867-004	ELECTRONIC OUTSIDE TEMPERATURE SENSOR DISPLAY IN DRIVER MESSAGE CENTER			STD
830-017	ENGINE AND TRIP HOUR METERS INTEGRAL WITHIN DRIVER DISPLAY			STD
372-123	PTO CONTROLS FOR ENHANCED VEHICLE ELECTRIC/ELECTRONIC ARCHITECTURE			\$60.00
736-998	NO OBSTACLE DETECTION SYSTEM			(\$4,324.00)
72J-998	NO DR ASSIST SYSTEM			(\$32.00)
49B-998	NO VEHICLE STABILITY ADVISOR OR CONTROL			(\$1,019.00)
73B-998	NO LANE DEPARTURE WARNING SYSTEM			(\$1,080.00)
72K-998	NO REVERSE PROXIMITY SENSOR			STD
679-998	NO OVERHEAD INSTRUMENT PANEL			STD
35M-010	1 QUICKFIT PROGRAMABLE MODULE (QPM/XMC)	10		\$735.00
1U1-002	TOP OF DASH RAM MOUNT WITHOUT POWER OR GROUND, FOR CUSTOMER FURNISHED DEVICE			\$32.00
746-143	7" B-PANEL INTERACTIVE TOUCHSCREEN DISPLAY RADIO W/ USB-C, APPLE CARPLAY, ANDROID AUTO, BLUETOOTH/AM/FM/SXM/WB, WITH MICROPHONE			STD
747-001	DASH MOUNTED RADIO			STD
750-002	(2) RADIO SPEAKERS IN CAB			STD
753-998	NO AM/FM RADIO ANTENNA			STD



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Data Code	Description	Weight Front	Weight Rear	Retail Price
748-006	POWER AND GROUND WIRING PROVISION OVERHEAD			N/C
749-001	ROOF/OVERHEAD CONSOLE CB RADIO PROVISION			N/C
75W-002	SHARKFIN MULTI-BAND ANTENNA: AM/FM/WEATHERBAND, WIFI/BLUETOOTH, SDAR/SIRIUSXM, GNSS/GPS			STD
78C-003	INTEROPERABLE SDAR ANTENNA			STD
810-027	ELECTRONIC MPH SPEEDOMETER WITH SECONDARY KPH SCALE, WITHOUT ODOMETER			STD
817-001	STANDARD VEHICLE SPEED SENSOR			STD
812-001	ELECTRONIC 3000 RPM TACHOMETER			STD
813-1C8	DETROIT CONNECT PLATFORM HARDWARE			STD
8D1-313	3 YEARS DAIMLER CONNECTIVITY BASE PACKAGE ON (FEATURES VARY BY MODEL) POWERED BY DETROIT CONNECT ON CUMMINS ENGINES			STD
8DE-998	NO ASE DATA SVCE EXTENSION			STD
RDE-998	NO EXTENSIONS			STD
6TS-009	(2) TMC RP1226 ACCESSORY CONNECTORS: (1) LOCATED BEHIND PASSENGER SIDE REMOVEABLE DASH PANEL (1) CENTER OF BACKWALL/PASSENGER SIDE BAGGAGE COMPARTMENT			\$45.00
162-002	IGNITION SWITCH CONTROLLED ENGINE STOP			STD
329-133	FOUR EXTRA HARDWIRED SWITCHES IN DASH, ROUTE TO BETWEEN SEATS, BLUNTCUT			\$150.00
4C1-005	HARDWIRE SWITCH #1,ON/OFF MOMENTARY, 20 AMPS IGNITION POWER			\$15.00
4C2-005	HARDWIRE SWITCH #2,ON/OFF MOMENTARY, 20 AMPS IGNITION POWER			\$15.00
4C3-005	HARDWIRE SWITCH #3,ON/OFF MOMENTARY, 20 AMPS IGNITION POWER			\$15.00
4C4-005	HARDWIRE SWITCH #4,ON/OFF MOMENTARY, 20 AMPS IGNITION POWER			\$15.00
81Y-005	PRE-TRIP INSPECTION FEATURE FOR EXTERIOR LAMPS ONLY			\$43.00
264-030	(1) OVERHEAD MOUNTED LANYARD CONTROL FOR DRIVER AIR HORN			STD
482-001	BW TRACTOR PROTECTION VALVE			N/C
883-001	TRAILER HAND CONTROL BRAKE VALVE			N/C



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Data Code	Description	Weight Front	Weight Rear	Retail Price
842-008	DIGITAL TURBO AIR PRESSURE IN DRIVER DISPLAY			N/C
838-015	DIGITAL VOLTAGE DISPLAY INTEGRAL WITH DRIVER DISPLAY			STD
660-008	SINGLE ELECTRIC WINDSHIELD WIPER MOTOR WITH DELAY			STD
304-030	ROTARY HEADLAMP SWITCH, MARKER LIGHTS/HEADLIGHTS SWITCH WITH PULL OUT FOR OPTIONAL FOG/ROAD LAMPS			N/C
882-004	TWO VALVE PARKING BRAKE SYSTEM WITH WARNING INDICATOR			N/C
299-020	SELF CANCELING TURN SIGNAL SWITCH WITH DIMMER, HEADLAMP FLASH, WASH/WIPE/INTERMITTENT			STD
298-046	INTEGRAL ELECTRONIC TURN SIGNAL FLASHER WITH 40 AMP (20 AMP PER SIDE) TRAILER LAMP CAPACITY			STD
87T-998	NO WRG/SW-OPTL #2,CHAS,AIR			STD
Design				
065-000	PAINT: ONE SOLID COLOR			STD
Color				
980-5J5	CAB COLOR A: L6460EY SCHOOL BUS YELLOW ELITE EY			N/C
988-020	BLACK, HIGH SOLIDS POLYURETHANE CHASSIS PAINT			STD
962-972	POWDER WHITE (N0006EA) FRONT WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)			STD
968-972	POWDER WHITE (N0006EA) REAR WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)			STD
964-6Z7	BUMPER PAINT: FP24812 ARGENT SILVER DUPONT FLEX			N/C
963-003	STANDARD E COAT/UNDERCOATING			STD
Certification / Compliance				
996-001	U.S. FMVSS CERTIFICATION, EXCEPT SALES CABS AND GLIDER KITS			STD
Secondary Factory Options				
998-001	CORPORATE PDI CENTER IN-SERVICE ONLY			N/C
999-999	SPECIAL NARRATIVE INSTRUCTIONS			N/C

TOTAL VEHICLE SUMMARY



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Adjusted List Price

Adjusted List Price ** \$156,304.00

Weight Summary

	Weight Front	Weight Rear	Total Weight
Factory Weight [†]	8396 lbs	4494 lbs	12890 lbs
Total Weight[†]	8396 lbs	4494 lbs	12890 lbs

ITEMS NOT INCLUDED IN ADJUSTED LIST PRICE

Other Factory Charges

PMV-024	GHG24 SURCHARGE - CUMMINS	\$555.00
PCA-005	SOURCEWELL DEALER CHARGE	\$800.00
RD1-313	3 YEARS DAIMLER CONNECTIVITY BASE PACKAGE ON (FEATURES VARY BY MODEL) POWERED BY DETROIT CONNECT ON CUMMINS ENGINES	STD
RAG-020	CUMMINS TARIFF CHARGE - \$205	\$205.00
R26-001	MY26 ESCALATOR	\$3,750.00
P73-2FT	STANDARD DESTINATION CHARGE	\$3,375.00

Extended Warranty

WAG-075	TOWING: 2 YEARS/UNLIMITED MILES/KM EXTENDED TOWING COVERAGE \$750 CAP FEX APPLIES	\$460.00
	Currency Exchange Rate	1.0000
	Total Extended Warranty (Local Currency)	\$460.00



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(+) Weights shown are estimates only.

If weight is critical, contact Customer Application Engineering.

(**) Prices shown do not include taxes, fees, etc... "Net Equipment Selling Price" is located on the Quotation Details Proposal Report.

(***) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.



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Q U O T A T I O N

108SD PLUS CONVENTIONAL CHASSIS

SET BACK AXLE - TRUCK CUM L9 360 HP @ 2200 RPM; 2200 GOV RPM, 1150 LB-FT @ 1200 RPM ALLISON 3000 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION MERITOR RS-23-160 23,000# R-SERIES SINGLE REAR AXLE 23,000# 52 INCH VARIABLE RATE MULTI-LEAF SPRING REAR SUSPENSION WITH LEAF SPRING HELPER MERITOR MFS-20-133A 20,000# FL1 71.0 INCH KPI/3.74 INCH DROP SINGLE FRONT AXLE 20,000# FLAT LEAF FRONT SUSPENSION	108 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB 4150MM (163 INCH) WHEELBASE NO FIFTH WHEEL 11/32X3-1/2X10-15/16 INCH STEEL FRAME (8.73MMX277.8MM/0.344X10.94 INCH) 120KSI 1775MM (70 INCH) REAR FRAME OVERHANG 1/4 INCH (6.35MM) C-CHANNEL INNER FRAME REINFORCEMENT TEM TO EVALUATE AND INSTALL FRAME RAIL REINFORCEMENT AS NEEDED FOR FRONT FRAME MOUNTED EQUIPMENT
--	--

		PER UNIT		TOTAL
VEHICLE PRICE	TOTAL # OF UNITS (1)	\$	113,457	\$ 113,457
EXTENDED WARRANTY		\$	480	\$ 480
DEALER INSTALLED OPTIONS		\$	0	\$ 0
CUSTOMER PRICE BEFORE TAX		\$	113,917	\$ 113,917
TAXES AND FEES				
TAXES AND FEES		\$	0	\$ 0
OTHER CHARGES		\$	0	\$ 0
TRADE-IN				
TRADE-IN ALLOWANCE		\$	(0)	\$ (0)
BALANCE DUE	(LOCAL CURRENCY)	\$	113,917	\$ 113,917

COMMENTS:

Projected delivery on ___ / ___ / ___ provided the order is received before ___ / ___ / ___.

APPROVAL:

Please indicate your acceptance of this quotation by signing below:

Customer: X _____ Date: ___ / ___ / ___



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Daimler Truck Financial

Financing that works for you.

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Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at www.daimler-truckfinancial.com.





Memorandum

To: Mark Gaffino, Village President & Board of Trustees

Cc: Steven Bosco, Village Administrator

From: Brian Richter, Public Works Director

Date: December 9, 2024

Re: Cancel Purchase of a 2026 International Truck and Purchase a 2026 Freightliner Truck

At the June 14, 2023, the Public Works Department, Street Division, received Village Board approval to purchase a new International HV607 truck from Rush Truck Center in the amount of \$114,962.00. The outfitting of the snow and ice equipment for this truck is going to be done by Monroe Truck Equipment. This was already approved by the Village Board at the June 14, 2023, meeting. The 2023-24 budgeted amount for this truck was carried over to the 2024-25 budget because the truck order is still delayed due to supply chain issues. Staff recently reached out to Rush Truck Center to inquire about the order and delivery date of the truck. Staff was informed that the Village was number 101 on their waiting list and could not provide us with a delivery date, which may cause the funds to be carried over for another fiscal year. After receiving this news, the staff started exploring options of purchasing a different brand of truck. The installation of the snow and ice equipment is still on schedule for October of 2025, Monroe Truck Equipment will be performing this work. The amount for this work is \$203,197.00 and this amount will be carried over to the 2025-26 fiscal year budget.

Staff reached out to three other truck dealers and requested quotes for the purchase of new truck. We received quotes back from all three dealers and all three said that they could provide us with a truck by the end of this fiscal year. All three dealers are part of the Sourcewell Purchasing Program, which is a cooperative purchasing program that the Village has used utilized to purchase several from in the past.

1. Trans Chicago Truck Group, Elmhurst, IL. – 2026 Freightliner, \$114,155.00
2. CIT Kenworth, Mokena, IL. – 2025 Kenworth, \$131,707.36
3. JX Truck Center, Bolingbrook, IL. – 2025 Peterbilt, \$146,673.10

We have purchased all our Freightliners from Trans Chicago Truck Group in the past and they have provided the Village with good service. The approximate build date for this truck would be in April of 2025 with a delivery date in May of 2025 if this truck order is placed in December of this year, 2024.

The staff is recommending canceling the order with Rush Truck Center and purchasing the 2026 Freightliner 108SD from Trans Chicago Truck Group in the amount of \$114,440.00. The total cost for the truck with the outfitting will be \$317,352.00, which is below the \$350,000.00 budgeted for this vehicle. Attached is a copy of the specification proposal for you to review.



Memorandum

To: Mark Gaffino, Village President & Board of Trustees
Cc: Steven Bosco, Village Administrator
From: Brian Richter, Public Works Director
Brandon Tonarelli, Assistant Public Works Director/Village Engineer
Date: December 9, 2024
Re: New Central Water Tower Letter of Intent to Award

At the Village Board meeting on December 4, 2023, Engineering Enterprises Inc. (EEI) was awarded the contract to design the new central water tower. EEI had determined that we need to build at a minimum an 1,000,000 gallon (1 MG) tower. The Village also bid an alternate for a 1,250,000 gallon (1.25 MG) tower to accommodate further future growth or additional increases from large water users. This is a change from the 750,000 MG tank that Rempe Sharpe originally designed.

Village staff along with EEI evaluated the four tank styles and determined a spheroid tank was the preferred style due to estimated construction costs, maintenance life-cycle costs, and the footprint of the tower necessary. The staff researched the number of companies that were identified as capable of building a spheroid water tower with a capacity of 1.0 MG and with a capacity of 1.25 MG as well as being able to conform to the USDOL Joint Apprenticeship Program requirement of the Village, and only one (1) company was identified being able to be able to meet these requirements.

At the September 16, 2024, Committee of the Whole Meeting, the Village Board directed Village staff with EEI's assistance to begin negotiations with CB&I for an agreement to construct the elevated water storage tank and to explore any potential cost savings suggested by the Contractor.

The Village's proposal documents were provided to CB&I, and they submitted a response on October 29, 2024. CB&I's proposal was responsive and in compliance with the specifications. They also included alternates for evaluation to potentially

reduce the cost of the project. A summary of the submittal is shown in the table below:

Item Description	1.00 MG Tank	1.25 MG Tank
<i>Total Cost Per Specifications</i>	\$7,530,765.00	\$8,112,554.00
<i>Construction Bond Deduct</i>	\$222,000.00	\$240,000.00
<i>Interior Seam Grinding Deduct</i>	\$102,000.00	\$117,000.00
<i>Containment Deduct</i>	\$240,000.00	\$240,000.00

CB&I also provided suggestions to further evaluate the type of foundation being utilized due to the high water table and moving the valve from below grade to a room inside the base of the tower as potential ways to reduce the project cost.

This past month, Village Staff, EEI, and CB&I have been coordinating and evaluating all these options as well as updating the design for some of the suggestions so that CB&I can provide pricing information.

With a cost differential of approximately \$600,000 between the two tank sizes and the Village's needs, focus has been on the 1.25 MG tank.

Staff and EEI's review and recommendation of the deducts are as follows: the interior seam grinding deduct is not going to be accepted due to past tank paint maintenance projects, the welded seams are typically the first locations to rust and deteriorate, so not having this as smooth as possible may result in quicker deterioration at these locations. The containment deduct is planned to be accepted as after further evaluation and discussion the risk of paint overspray on this project does not appear to be an issue. Further discussion of the surety is needed with the Village Board.

A new foundation design has also been determined and the deduct for the 1.00 MG tank is \$183,680.00 and for the 1.25 MG tank is \$138,680. There is an additional cost to move the valve into a heated room in the base of the tower instead of underground in a vault, which is \$42,640.00.

There are still a few minor items to work through and due to this, the Village, EEI, and CB&I are still working through any additional minor price adjustments while also wanting to keep the project moving forward to get it built in a timely manner CB&I would be willing to begin their internal engineering process for the project if the Village provides a Notification of Intent to Award for the project. The letter is included.

Village Staff is looking for feedback from the Village Board on if the Village would eliminate the Performance and Payment Bonds for the project, in which case CB&I would then furnish a Parent Company Guarantee Letter ensuring faithful performance.

The below table summarizes the current cost based on accepted and declined cost deductions for the 1.25 MG tank and options for the bonds.

Item Description	Status	1.25 MG Tank
<i>Total Cost Per Specifications</i>	N/A	\$8,112,554.00
<i>Construction Bond Deduct</i>	To Be Determined	\$240,000.00
<i>Interior Seam Grinding Deduct</i>	Decline	\$117,000.00
<i>Containment Deduct</i>	Accept	\$240,000.00
<i>Revised Foundation Deduct</i>	Accept	\$138,680.00
<i>Heated Valve Room Addition</i>	Accept	\$42,640.00
<i>Total Cost with Bonds</i>	N/A	<i>\$7,776,514.00</i>
<i>Total Cost without Bonds</i>	N/A	<i>\$7,536,514.00</i>

Staff recommends approval of the Notification of Intent to Award for the Princeton Drive Elevated Water Storage Tank Project to keep the project moving forward. Currently, it is anticipated the project completion to be in the 4th quarter of 2026.

Kyle Arlen, CBI Services, LLC
Business Development Specialist
kyle.arlen@CBI.com
14107 S. Route 59
Plainfield, Il. 60544-8984

December 16, 2024

Subject: Notification of Intent to award – Princeton Drive Elevated Water Storage Tank

Dear Kyle-

This is to inform you that we have considered the bid submitted by your company in response to our Request for Proposal, Princeton Drive Elevated Water Storage Tank, dated 10/29/24.

We are pleased to notify you that the North Aurora Village Board has determined to waive bidding and to accept the CB&I proposal, including subsequent correspondence related to that Project for construction of a new water tower, and the terms that have been negotiated to date are accepted in general. You are therefore being given this Notification of Intent to Award with a formal bid waiver pending the negotiation of the final contract terms and execution of the contract.

Project cost will be determined per items selected and shown per CBI Services, LLC proposal dated 10/29/24 for base bid "Option B" (1.25MMG Tank) and additional adds or deducts. (e.g. adder for 100% performance bond, deduct for a shallower, spread footing foundation (drawing "REVC" dated 11/14/24).

The inlet/outlet pipe will be positioned through the ringwall foundation and elbow downward below frost line. Option for enclosure inside base bell shall be reviewed and priced as additional scope upon review of Engineer Enterprises Inc. revised drawing specification. The requirement of NACE "C" interior grinding shall remain as is. The overall schedule will be approximately 700 calendar days from notice to proceed date.

We are currently finalizing approval of expenditures internally and when complete we will reach out to you.

Thank you.

Sincerely,

Mark Gaffino
Village President
Village of North Aurora