



**PLAN COMMISSION AGENDA
VILLAGE HALL BOARD ROOM
25 E. STATE STREET
TUESDAY, DECEMBER 3, 2024
7:00 PM**

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated November 5, 2024.

PUBLIC HEARING

NEW BUSINESS

1. **Petition #24-07 (East of 1851 Orchard Gateway Blvd)**: The petitioner, Clover Communities North Aurora LLC, requests the following actions in the Towne Center Planned Unit Development:
 - a) Special Use – Planned Unit Development Amendment
 - b) Site Plan Approval
 - c) Preliminary Final Plat of Subdivision

OLD BUSINESS

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

ADJOURNMENT

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
NOVEMBER 5, 2024**

CALL TO ORDER

Chairman Mike Brackett called the meeting to order at 7:00pm.

ROLL CALL

In attendance: Commissioners, Anna Tuohy, Tom Lenkart, Alex Negro, Scott Branson, Richard Newell, Mark Bozik, and Doug Botkin.

Not in attendance: Commissioner Aaron Anderson.

Staff in attendance: Community Development Director Nathan Darga and Planner David Hansen

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated September 3, 2024.

Motion for approval was made by Commissioner Botkin and seconded by Commissioner Newell. All in favor. **Motion approved.**

PUBLIC HEARING

1. **Petition #24-07 (East of 1851 Orchard Gateway Blvd):** The petitioner, Clover Communities North Aurora LLC, requests the following actions in the Towne Center Planned Unit Development:
 - a. Special Use – Planned Unit Development Amendment
 - b. Site Plan Approval
 - c. Preliminary Final Plat of Subdivision

Motion to open the public hearing was made by Commissioner Bozik and seconded by Commissioner Negro. **Motion approved.**

Planner David Hansen introduced Petition #24-07 (East of 1851 Orchard Boulevard). This property is located in the Towne Center Planned Unit Development (PUD), which is zoned B-2 General Commercial District. Hansen mentioned the PUD amendment is to amend the Towne Center PUD to allow certain residential uses on the parcels north of Orchard Gateway Blvd directly north of the shopping center. The site plan approval part of the request is for Clover Communities North Aurora LLC to build an independent living facility on the eastern half of this 11.34 acre parcel. The preliminary plat of subdivision is needed since the parcel will need to be subdivided for the Clover Development, which is approximately 5.45 acres in size.

Hansen said the Towne Center PUD was originally approved in 2005 and included a residential area on the southeast portion of the PUD known as Lot 20. The PUD Ordinance was amended in 2013, which approved warehouse uses on Lot 20. Hansen shared Clover reached out to the Village in late 2023 regarding a residential use for this area. Staff brought the concept plan to the Village Board for review in early 2024. The Village Board supported adding residential back into the Towne Center PUD and had a favorable opinion of the proposed development. The 2005 PUD Ordinance included residential standards in Exhibit F. These standards included details that are no longer applicable to the property. The proposed standards for the new residential area are outlined in Exhibit D, which would be the 2nd PUD amendment ordinance.

Hansen said the Comprehensive Plan for this area is regional commercial. The subject property is located in the Comprehensive Plan's West Gateway Subarea Plan, which includes the existing North Aurora Towne Center. A recommendation of the West Gateway Subarea Plan states the shopping center should capitalize on its visibility from I-88 by intensifying development and creating a more attractive and walkable environment.

The petitioner is proposing a special use PUD Amendment to add a residential use area in the Towne Center PUD. The petitioner is proposing a senior (55 and older) apartment independent living facility on the vacant property. The 5.45-acre property would be improved with a single four story, 124 unit building with detached garages. Unit amenities include a full kitchen, walk-in showers and emergency pull cords in each unit. The overall building also includes amenities and activities for residents. Amenities include a large community room, coffee bar, fireplace lounge, and fitness center. Activities on site include book clubs, bingo, and various seasonal/social gatherings.

Hansen said the Independent Living Facility use requires one (1) parking space per dwelling unit plus two (2) parking spaces per 1,000 square feet of gross floor area of office. According to the petitioner there are 124 units and less than 1,000 square feet of gross floor area of office. As such, the Zoning Ordinance would require a total of 126 parking spaces for the entire site. The applicant has proposed 150 parking spaces for the site, which include 40 detached garages. The site currently has two access points. The western access point has a dedicated turn lane. The eastern access point is located at a four way stop but does not have a dedicated turn lane. The applicant is conducting a traffic study.

Hansen said site plan review is needed since the Zoning Ordinance requires it for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved. Hansen also said preliminary final plat of subdivision is needed since the petitioner intends to subdivide the eastern 9.28-acre parcel into two lots and build an independent living facility on the eastern 5.45 acres. Hansen shared that the Community Development Department finds the information presented **meets** the Standards for Specials Uses and Planned Unit Developments as submitted by the petitioner. The proposed site plan meets site plan review standards of the North Aurora Zoning Ordinance and the Towne Center PUD. Hansen said there are three conditions added to this petition request, which reiterates the Zoning Ordinance code regarding outdoor lighting, dumpster standards, and mechanical equipment screening. Hansen showed a PowerPoint with images of the proposed site plan, landscape plan and building elevations. Hansen mentioned Exhibit D would allow the following uses and standards for this area: Residential uses permitted for this area would include multi-family dwelling, independent living facility, and assisted living facility. Setbacks and the Floor Area Ratio (FAR) shall meet the Village's B-2 General Commercial District. Building Height: No residential buildings shall exceed fifty (50) feet in height.

Community Development Director Nathan Darga stated the original PUD had an exhibit that had standards and uses for a residential area, but it is no longer applicable. Darga said these standards have been rewritten to make it apply to present day standards and the existing developments in the area. Exhibit D would be the new standards to govern residential development in this area and the Clover Development that is presented would meet those standards. Hansen introduced Russell Caplin of Clover Development.

Caplin provided a summary of Clover Development, which was founded in 1987 in western New York. Clover's focus is on age restricted multi family housing and have properties in eight (8) different states. Their portfolio includes about 50 communities, and this type of housing is only type they focus on. There are no apartments, HUD financing, tax credit or affordable housing or meal service in there housing portfolio. Caplin said the residents go out into the community for meals, shopping, healthcare, and places of worship. Most residents who live in these apartments come from the community.

Chairman Mike Brackett confirmed there was no meal service and asked about the assisted living use. Darga said this is not assisted living and does not have a cafeteria or on site nurses. The use is age restricted apartments with amenities, and it is assumed you should be able to take care of yourself. Darga said the proposed Exhibit D mentions assisted living as a possible use for this area, however this project is independent living. Darga said the amendment would make this area a target for residential uses should the market think residential is warranted and would reintroduce the use into the Towne Center area. Also, this proposed area for residential still allows all other uses mentioned in the PUD. The only allowed residential uses would be multi-family dwelling, independent living facility, and assisted living facility. Townhomes were in the original PUD, but they would no longer fit in the PUD due to the lack of parcel size available, so they were excluded from the uses added in Exhibit D.

Commissioner Botkin had no questions. Commissioner Bozik asked if the garages are additional rent and how they are distributed. Caplin said there are 40 detached garages, and they are offered at a premium. Commissioner Bozik had a concern about the garage spaces not being used for parking and that perhaps they shouldn't count towards the parking count. Commissioner Bozik also asked about the eastern parcels future plans and what the Comprehensive Plan says about this area. Darga said a garage space does count as a parking space towards the parking count and the site meets the parking count requirements for the independent living facility use. Darga said there is still a lot of vacant land in the Towne Center area. There are possibilities of more car dealerships west of Target. Darga said that including a residential component is a way to help the businesses out there and there are no restaurants in Towne Center due to low daytime population in the area. Introducing residential would help put more people in the area and this area proposed isn't an ideal commercial space due to its location off I-88 and is across from the commercial area on the other side of Orchard Gateway Blvd. Darga said the Comprehensive Plan calls for intensifying the uses in the area to make it more walkable and pedestrian friendly. Slick City just opened in the old BestBuy location. Darga said the property directly east is wetlands and then the first buildable property, to the east, was bought by a union who is looking to build a union hall. There are no plans for the Village property parcel at this time. Commissioner Bozik said the original residential approved was pushed off due to utility and public safety burden of the area and asked if this was a concern for the proposed project. Darga said utilities are adequate for this area and the proposed new area is quite smaller than where the warehouses were built so it should be able to be serviced. Darga said the Fire District had no initial concerns and will be part of the ongoing review process.

Commissioner Tuohy asked how long after the building is built do you expect it to be at full capacity. Caplin said it takes about a year after the building is open to get to a high occupancy rate, but many of the properties run at 100% with a waiting list. Commissioner Lenkart asks what age a senior person is defined by. Caplin said it would be an age restricted development of 55 and over. Commissioner Lenkart asked how many bedrooms the units are. Caplin said all, but six apartment units are two bedroom units. Commissioner Lenkart said he was concerned that the parking for the 124 units could be skewed since there are majority 2 bedroom units, which could have multiple cars. Caplin said in the portfolio that majority of the properties are between one unit and 1.25 spaces per unit. Commissioner Lenkart said if there are half the units have more than one car it would require an additional sixty two parking spots or over thirty more than what the parking is proposed. Commissioner Lenkart asked if there are any other facilities in the area. Caplin said there is one under construction in Crystal Lake, but there are none operating in Chicagoland yet. Commissioner Lenkart asked what amenities are on site. Caplin said there are community rooms, fitness centers, and other bars and lounges for residents. Commissioner Lenkart asked if there will be a kitchen in the community room. Caplin said there will be a kitchen for warming stuff up or a catering area, but not a commercial kitchen. Darga said the parking does meet the Village's code for independent living and there is space on site to add additional spaces should it become an issue.

Commissioner Branson asked about garage sizes on site. Caplin said they are all detached one door garages, and no other sites have tandem or two car garages. Commissioner Branson asked if there are any wetland concerns for the site, if this is apartment living only (no condos) and potential rent rates. Darga mentioned the lot is buildable and there are utilities already installed on site. Caplin said the units are only available for rent and the rents are projected to be a single bill (cable, rent, utilities, etc.) of approximately \$2,000 price range. Commissioner Branson asked the average age of the renters. Caplin said its approximately around 70 and mostly retirees. Commissioner Negro asked how long the leases are for. Caplin said they are one year leases. Commissioner Negro asked if extended family is allowed to move in. Caplin said all occupants must be 55 and over. Darga added as part of the PUD a condition could be written to have it age restricted for this development and run with the land for any future owners.

Chairman Brackett asked what would differ if this were to be changed into an apartment complex. Darga said the parking lot requirement would be higher since the Zoning code allows one space per dwelling for an independent living facility use compared to an apartment which requires two spaces per unit. Darga said building height, landscaping, and access points would all be the same. Caplin said visitors are allowed, but there is a property manager on site. Darga said the zoning codes definition of the use requires occupants to be 55 or over for an independent living facility. Chairman Brackett asked if the parking spaces are compared, an apartment complex would require about 252 spaces compared to current proposed of 150 units. Darga said Clover has never converted a property to apartments for under 55 and worst case scenario a variance would need to be granted for the lack of parking should it be converted to an apartment complex.

Commissioner Newell asked about green spaces and the landscaping plan. Caplin said the courtyard patio in the rear of the property has a sitting area and comes off the community room. Commissioner Newell asked if there are any ideas to have a walkway go out to the wetland areas to incorporate that area for public use. Darga said this question has been asked numerous times in the past regarding bike paths and to see if the Forest Preserve would want to take over the wetlands and so far, nothing has been achievable.

Commissioner Bozik asked about the construction type and exterior finishes on the building. Caplin said its construction 5B which is wood frame and fully sprinkled including the balconies. Exterior materials include stone features and vinyl. Commissioner Tuohy asked if there will be a property manager on site during the day and what is the pet policy. Caplin said they will be on site during the day and there is no designated dog area and would need to speak to property management regarding the pets. Commissioner Tuohy recommended pets be allowed to increase longevity and asked about garages being utilized as storage areas. Caplin said there are 70 interior storage units for rent, which are cheaper than garage spaces. Commissioner Tuohy asked how many handicap spaces are needed. Darga said they have a lot of handicap spots by the entrances and are more than code requires. The spaces are determined by total parking spaces not by use of property. Caplin said they also meet the fair housing requirements. Commissioner Negro asked about sidewalk connectivity for the site. Darga said there is a sidewalk to connect south to Orchard Gateway Blvd by the stop sign. Darga said there is a sidewalk along south side of Orchard Gateway Blvd by the shopping center. Commissioner Newell asked if there should be sidewalk on north side since it is a residential property. Darga said if the entire site were to develop to residential it could be beneficial.

Commissioner Bozik said a sidewalk should be shown since this is a PUD amendment and if it is not shown now there would not be one in the future and walking in the parking lot would be the only walkways available. Darga said it could be added as a condition to have a sidewalk to run to the western edge of the property. Commissioner Bozik asked who owns the new residential area now. Darga said another property owner does, and part of the sale is to subdivide the eastern portion for the Clover development. Commissioner Bozik asked if there are any landscape color renderings. Darga said staff has provided landscape comments and the petitioner meets the requirements per Zoning Ordinance. Commissioner Bozik said since this is a PUD amendment can't we ask for additional submittals and requirements. In this case I would like to see a colorized rendering of the landscape plan.

Chairman Brackett asked if the audience had any comments. Corey Spooner of Riverfront Ram said if there is a sidewalk required in front leading west up to Riverfront Ram, these seniors are going to be walking through our parking lot and can cause damage to our vehicles. Spooner said this is a commercial sector that is turning into a residential space. Car dealers are loud, mechanics work until midnight and trucks come through the night to drop off vehicles and parts. Spooner said he is not opposed to the idea but opposed to the location.

Chairman Brackett closed the public hearing.

2. **Petition #24-13 (230 South Lincolnway):** The petitioner, Len McEnery / Gas N Wash, requests the following actions in the B-2 General Commercial District:
 - a. Special Use – Planned Unit Development
 - b. Site Plan Approval

Motion to open the public hearing was made by Commissioner Lenkart and seconded by Commissioner Botkin. **Motion approved.**

Community Development Director Nathan Darga introduced Petition #24-13 for Gas N Wash at 230 S Lincolnway. Darga mentioned the property is a vacant parking lot that is east of Asbury Gardens, south of Airport Rd, and north of Interstate 88. The parcel is currently zoned B-2 and the property has been vacant for several decades since the OTB was demolished. The property is owned by Asbury Gardens who owns the assisted living facility to the west. The petitioner, Gas N Wash, is proposing to redevelop the 4.7 acre property with a gas station, convenience store with two quick service restaurant spaces inside (one with drive thru), and a separate long tunnel car wash building with vacuums. There is also a separate diesel facility in the rear. Darga showed a PowerPoint of the site plan, landscape plan, building elevations, and signage plan. Darga said since the property is greater than 2 acres in size, so a planned unit development is required. Gas stations and car washes are special uses in the B-2 District. The ordinance would approve the uses and PUD. The Zoning Ordinance would require eighteen (18) parking spaces for the gas station use and one (1) parking space for the car wash use, for a total of 19 parking space for the entire site. The applicant has proposed fifty-five (55) parking spaces for the gas station and sixteen (16) parking spaces for the car wash for a total of seventy-one (71) parking spaces for the entire site.

The existing site has two access points. The petitioner would also add a third access point. The access points would include a full access on Airport Road, a left in and right out for the middle of the site onto Route 31, and the southern access point would be right in right out onto Route 31. Truck traffic would access the site off of Airport Rd or at the center of the site along Route 31. Truck traffic would flow around the buildings through the site to the diesel fueling canopy area on the western side of the property and only be able to exit at the southernmost access point on Route 31. The petitioner is working with Illinois Department of Transportation (IDOT) since Route 31 is an IDOT road. The 2023 Comprehensive Plan recommends ‘Local Commercial’ use for the subject property. The subject property is located in the Comprehensive Plan’s IL Route 31 I-88 Gateway Subarea Plan, which states I-88 Gateway, as Route 31 travels away from the Village Center, and its walkable, grid street blocks, the corridor becomes a large-scale, state highway district that caters to the automobile and truck traffic. Potential uses include a larger one use, or commercial retail and service uses catering to nearby residents and motorists traveling along IL Route 31.

Darga said Gas N Wash is asking for code exceptions in the PUD. Most of the requests have to do with fitting the plan into the existing site after the right of way takes happen and roadway improvements are done, which include widening the road. This area of town has a 50 foot landscape buffer on Airport Rd and Route 31. Several streets in the Village have this buffer. Most parcels on Route 31 have this buffer varied or entirely eliminated due to it being impossible with existing parcel setbacks and configurations. The rear

yard landscape setback is being reduced to six (6) inches, which is mostly along the access road that is touching the Asbury parking lot to the west. The garage, dumpster and maintenance building are all in this area for Asbury. Asbury's main building with residents is located further north and has the largest buffer and landscape area on site. No windows for this building face out towards the diesel area. The other exception for the site is a front yard setback for the canopy coming into the car wash. Darga said there are also signage exceptions that are listed in the packet. Darga showed signage elevations of monument signs, directional signage and wall signs. Darga said there are two monument signs (one for the car wash and one for the gas station). Darga added the signage exceptions are for more signage area and for the number signs located on the building walls. Most are for the Convenience Store (C-store) itself due to the store having two tenant spaces available inside. There is only one drive thru restaurant and the c-store would also have video gaming terminals.

Chairman Brackett asked how the semi traffic will flow on site. Darga said the front eastern portion of the site would have automobile gas pumps and the rear (west side) would have diesel pumps for trucks. Truck traffic would access the site off of Airport Rd or at the center of the site along Route 31. Truck traffic would flow around the buildings through the site to the diesel fueling canopy area on the western side of the property and only be able to exit at the southernmost access point on Route 31. Commissioner Botkin asked if you can go north when exiting the property on Route 31. Darga said only the Airport Rd exit allows vehicles to exit the site north.

Chris Kalischefski, the project planner/architect with the WT Group addressed the Plan Commission. Lyman Tieman, the attorney of Gas N Wash, Len McEnery, the ownership of Gas N Wash, Brian Hurts, the civil engineer for the project, and Micheal Werthmann of KLOA, conducted the traffic study, were in attendance.

Kalischefski mentioned the traffic for the commercial fueling lanes comes from the north and goes through the canopy, but there is a purposeful turn around spot for the trucks going through and can come back up to Airport Rd if necessary. Darga said trucks can turn left in from Route 31 or come in from Airport Rd. Then the trucks would come through the diesel fueling area, then either exit south out to Route 31 or they can make a U turn and go back north and exit onto Airport Rd, but are restricted from going into the front of the building to the general automobile area. Chairman Brackett asked how many fueling lanes there are for the diesel. Kalischefski said there are only two lanes for the fueling canopy near the building, but there is a two way bypass lane on the western edge of the pavement. Kalischefski said this is not a truck stop, there is no designated or aisle parking, no sit down restaurant, no shower room or laundry facility. The prime customers for the site are day runners who are already on Route 31. This should not increase truck traffic or draw more to the area since freeway traffic already have fueling cards to other larger gas station chains. Kalischefski said we are looking for box trucks, day runners and 53 foot trailers for our commercial truck traffic. Chairman Brackett asked about truckers who need to run inside the store. Kalischefski said there is a pavement line that allows trucks to pull up (about 70 feet long area) and run inside. Trucks take about 20 minutes to fuel up.

Kalischefski said the automobile and CDL traffic is separate for a reason and should enhance site accessibility and flow. The roadway connecting Airport Rd to the diesel pumps is 25 feet wide two lane road. Trucks can't park along this stretch, and this reduces hazards. The car wash customers are also separate on the north side of the site and it's an express car wash. Kalischefski said the car wash traffic would go to the canopy, through canopy and make a left hand turn so people can see where they are going, go through the tunnel and can vacuum before or after the wash. The car wash is rollover and there is a heater in the car wash to dry the vehicles.

Kalischefski went through the site exceptions for the PUD. The geometry of the site makes these exceptions warranted to meet drive aisle widths and building setbacks. The site exceptions include a reduction of the

front yard parking landscape setback to 9'-0" from the required 50'-0" landscape buffer required along IL Route 31. Darga said the current setback for the parking lot is zero feet at the property line. Kalischefski said there is a reduction of the corner side yard parking landscape setback to 35'-11" from the required 50'-0" landscape buffer required along Airport Road. A reduction of the rear yard parking landscape setback to 6" from the required 5'-0". A reduction of the front yard building setback to 16'-0" from the required 35'-0" building setback along IL Route 31. Kalischefski said this exception is needed to help provide sun shelters to see the ATMs for the car wash canopy.

Kalischefski went through the sign exceptions for the PUD and said when asking for a variance we need to usually give something up on our end. We have reduced the overall signage for the site by a large quantity. We have six businesses on this site and are complementary to each other. Thus, the sign exceptions are to allow an increase in the total allowed fuel pricing signage area to 46 square feet (15.3 square feet per price x 3 prices) from the maximum of 18 square feet (3 x 6 square feet fuel signs). To allow for signage for the rear (tenant-1) c-store tenant to be allowed along the front (east) and side (north) elevations of the c-store. To allow for the total allowed signage on the south of the car wash to increase to 68.3 square feet (building and pay canopy signage) from the maximum of 49 square feet (32.6' x 1.5). To allow for the total allowed signage on the north of the c-store to increase to 113.5 square feet (building, auto and diesel signage) from the maximum of 97 square feet (64.6 x 1.5). To allow the number of wall mounted signs on the c-store to be 5 signs from the maximum of 3. Darga said the packet includes the signage plan and all the details. Kalischefski went into detail regarding wall signage challenges since the building determines the sign size and quantity, so we are asking for more signs, but smaller signs. Kalischefski explained why the fueling signage numbers need to be bigger for safety purposes but are still in line with the United States sign council requirements.

Kalischefski said the quick service restaurants will be a coffee offering while the second tenant will be a restaurant for either tacos, burgers or something similar. Kalischefski said the landscape total trees variance is short on the total number required by code, but we still are providing 93 trees for the site, 166 evergreen shrubs, 284 deciduous shrubs, and 1,986 perennials and grasses. This will be a tremendous improvement of the current site. Gas N Wash is known for its landscaping, cleanliness, and ease of maneuvering around the site. All utilities are there and sufficient for the use and won't be a burden on the community. Kalischefski continued and said there will be high quality masonry materials, a t shaped canopy, and nice use of landscaping and signage. Lastly the floor area ratio density is a max of two (2.0) for the site per code, but we are only at .07. Also, this is an allowable special use in the B-2 and we hire and support local.

Commissioner Newell asked about truck maneuvering into the site. Kalischefski said there will be a provided left lane into the site as well as a dedicated right turn lane on Route 31 on the western portion of the road into the site. Darga said there will be two lanes in both directions with a center left turn lane as well as a deceleration lane southbound into the middle curb cut. The roadway will be wider than it is today. Commissioner Newell asked where other Gas N Wash businesses are located at. Kalischefski said there are quite a few from Green Oaks to Joliet, but Yorkville has a location that is pretty close. Hansen mentioned the closest Gas N Wash is located at the corner of Orchard Rd and Jericho Rd in Montgomery. Kalischefski said all sites have similar landscaping and food offerings.

Commissioner Negro thanked the petitioner for the through presentation and had no other questions. Commissioner Tuohy asked about the hours of operation for the restaurants. Commissioner Tuohy asked about truck deliveries for the c-store, overnight parking, and video gaming. Kalischefski said the restaurants are not 24/7 but there are set hours for each restaurant. The car wash is not 24 hours. Only the C-store, video gaming and gas pumps for automobiles are 24 hours. Truck fueling are for the day runners, so it is not open all night. Kalischefski said the truck delivery times are in the early mornings and from a safety standpoint, before the rush of other customers. There is no parking or overnight parking allowed for trucks. State of Illinois allows video gaming for diesel fueling, but video gaming is usually more local pull. Video

gaming is open 24 hours because it is part of the floor area of the C-store. Commissioner Tuohy asked about underground storage containers. Darga said they will need to follow all EPA regulations. Kalischefski said Illinois is third most stringent State on this topic. The State fire marshal can inspect whenever they want and the technology these days has made leaks and other concerns of tanks extremely rare.

Commissioner Lenkart asked about truck traffic configuration. Darga shared the improvements will help mitigate unnecessary turns and congestion into the site. Commissioner Lenkart was concerned about the turning movements on the southwestern position of the site by commercial fueling canopy. Kalischefski said it meets turning requirements and provides an ample amount of space to turn around. Commissioner Lenkart asked what vehicles are allowed to use the diesel canopy. Kalischefski said fueling in the front is for standard trucks and automobiles. Commissioner Lenkart had a concern about the vacuum area of the car wash regarding congestion. Kalischefski said the vacuum area spaces are 10 feet wide, and the vacuums have it where the hose is used for just that side of the car. The cars will travel south once done with the car wash and exit the site north or east depending on preference. Kalischefski mentioned he has designed various gas stations and car washes in the area and understand the concerns. This site is large enough it should alleviate congestion and dangerous movements. Commissioner Lenkart asked about parking for the C-store and quick service restaurants. Darga said it is on the north side of the c-store and meets code.

Commissioner Negro had no comments. Commissioner Branson asked what the dimensions of the turnaround area is for the trucks. Kalischefski said the width of the driveway is 62 feet and the distance from the canopy to the southern curb is 141 feet. The turnaround is about 87 feet. Commissioner Branson asked if the dimensions are similar to Gas N Wash in Montgomery and what food tenants are there. Kalischefski said Orchard Rd goes out a little wider at this site and there is only one food tenant since the building is 6,500 square feet. Commissioner Botkin had no comments or questions.

Commissioner Bozik asked about the water detention and retention on the property. Brian Hurts, civil engineer, said the site drains west to east. It will go through IDOT hydraulic review. The site is actually reducing the impervious area compared to the site in the past when there was a building on the property. Hurts said the Kane County stormwater ordinance requires the imperious area of Jan 2002 to be listed. This should reduce the impervious surface down to 15,000 to 20,000 square feet to what it is now. The Ordinance requires the Village's engineer have a say on BMP's and other stormwater aspects to ensure the roadway does not become a hazard. Commissioner Bozik asked if cross access easements are provided for the north and south sides by Asbury for emergency vehicles. Darga said there is cross access on the north drive aisle, but the south access is blocked off currently but can add emergency access as a condition. Hansen said one of the conditions includes cross access easements on the north end with Asbury, but staff can add the southern access cross easement into the condition as well.

Commissioner Bozik asked what the pavement type will be for the turnaround area. Hurts said the area around the canopy is always concrete, but the turnaround bowl would be asphalt, but we can look at it to see if concrete makes sense. Commissioner Bozik asked about the existing Asbury sign on the property and if that will now be offsite. Darga said staff brought this up as a concern in the preliminary zoning comments. Darga added the Village is working on a project for the intersection of Airport and Lincolnway for the turn radius and redoing the signals. As part of the project, there was going to be a corner clip that would require the sign to be moved. Darga asked if the sign is still on the property or going to be located onto Asbury's. Hurts said the sign will be relocated to the northwest side of the drive aisle, but on the gas station property. Commissioner Bozik asked to have the off site sign be mentioned as a condition.

Chairman Brackett had a question regarding the size of the truck for diesel pumps. Hurts said there are no size restrictions since the dimensions are for a WB 65 which is the full size truck and trailer. Chairman Brackett asked about the number of monument signs on the property. Kalischefski said that there are two monument signs, one for the car wash and one for the gas station. The size, height and number all meet the

sign ordinance. The only thing that is an exception is the fuel pricing area for the c-store on the sign. Commissioner Newell asked about the c-store ownership and if it is a separate company. Kalischefski said Gas N Wash is the owner and it is not sublet.

Al Broholm, North Aurora resident and parcel owner on Route 31, said he is very excited about this project and this property has been vacant and an eye sore for a very long time. It used to be a racetrack, then a banquet hall with a second floor and then an OTB. This is an acceptable use for the property to me. I have bought property in numerous states and helped write the zoning code awhile back. This is a good use for this property and would love to see this project happen.

Chairman Brackett closed the public hearing.

NEW BUSINESS

1. **Petition #24-07 (East of 1851 Orchard Gateway Blvd):** The petitioner, Clover Communities North Aurora LLC, requests the following actions in the Towne Center Planned Unit Development:
 - a. Special Use – Planned Unit Development Amendment
 - b. Site Plan Approval
 - c. Preliminary Final Plat of Subdivision

Chairman Brackett summarized the concerns, which included the parking plan, an age restriction condition, front sidewalk addition and a colorized landscape plan. Darga said age restricted is mentioned in the zoning definition however it can be added as a condition to better clarify the intent. Chairman Brackett said regarding the dealership concern, I don't think the sidewalk would encourage walking through the parking lot but encourage the residents to go over to the traffic signal to cross especially if this is a residential area. Commissioner Tuohy said as a community and the Comprehensive Plan states pedestrian friendly connections are encouraged. Commissioner Lenkart asked if the sidewalk would be clear in the wintertime or who would maintain them. Darga said the property owners would maintain sidewalk on their property.

Commissioner Botkin said his two concerns are parking and the impact to the wetlands, but both have been addressed so he would recommend approval with the noted conditions. Commissioner Bozik said the parking concern has not been addressed yet and the landscaping/pedestrian access has not been figured out. The overall package doesn't seem to be complete, and it changes the character of the area too much not to have complete plans. Commissioner Bozik said he would prefer to table it and address these issues before moving forward. Commissioner Newell said the sidewalk, parking, and landscaping needs more work and agrees with Commissioner Bozik. Commissioner Branson, Tuohy and Negro agreed with Commissioner Bozik. Commissioner Lenkart asked if the northeast corner of the property could be modified for a dog park, gathering space or at least have some more green space.

Motion to table Petition #24-07 to the next Plan Commission meeting to address parking, sidewalk access, provide a colorized landscape plan with more amenities and add a condition regarding age restriction to the current and future development owners was made by Commissioner Bozik and seconded by Commissioner Negro. Vote: Tuohy – Yes, Lenkart – Yes, Negro – Yes, Branson– Yes, Newell – Yes, Bozik – Yes. Botkin – No. Brackett – Yes. **Motion approved to table Petition to next meeting.**

2. **Petition #24-13 (230 South Lincolnway):** The petitioner, Len McEnergy / Gas N Wash, requests the following actions in the B-2 General Commercial District:
 - a. Special Use – Planned Unit Development
 - b. Site Plan Approval

Chairman Brackett summarized the concerns, which included the turnaround area. Darga said the staff report has five conditions including screening for dumpsters and monitoring on site trucks. Staff recommends approval with these conditions. Darga said the first proposal was flipped with the car wash on the south and c-store on the north, but this one presented has been the best layout.

Commissioner Negro, Tuohy and Branson said the turnaround is concerning, but it appears it is a staff and engineering issue to review. Commissioner Lenkart voiced his concerns on the truck turnaround dimensions and how the vacuum area congestion could be problematic. Darga said there are a few areas in the Village that have these turnarounds in truck courts. Commissioner Newell said the plan looks great. Commissioner Bozik said the turnaround is a concern, but if it doesn't work out, the business will be the one who will be impacted and need to correct it. Otherwise, they will lose customers and revenue. Worst case scenario the trucks go out southbound and corrects itself.

Commissioner Bozik said the conditions for the offsite sign and cross access easements should be added and updated. Commissioner Botkin agreed with Commissioner Bozik's concerns and comments. Chairman Brackett agreed and said the project is going to be millions of dollars and the engineers must be confident it will work. Commissioner Lenkart asked if signage could be added to help alleviate potential turnaround confusion. Commissioner Lenkart asked why they have more signage than Casey's. Chairman Brackett said they have more businesses on site and that's why there is more signage. Darga said the sign sizes are smaller than code, but the number of signs is where it deviates from it. Commissioner Tuohy asked if a condition can be added to emphasize the turn radius be reviewed in great detail.

Motion for approval of Petition #24-13, as presented by staff with three additional conditions regarding emergency /cross easement access, off site signage and engineering review of the turnaround area was made by Commissioner Newell and seconded by Commissioner Bozik. Vote: Tuohy – Yes Lenkart – No, Negro – Yes, Branson– Yes, Newell – Yes, Bozik – Yes. Botkin – Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Darga shared MI Homes bought Autumn Ridge subdivision off of Deerpath Rd. Darga said only one home was built by the other developer and has sat vacant for 20 years. MI Homes was just issued a permit for a model home. Commissioner Lenkart asked what type of homes will be built. Darga said ranch style homes up to two stories, which are semi-custom homes, but not all custom built like the Moose Lake subdivision. Darga said MI Homes would like to complete the entire subdivision in a year or two. Darga said this is an approved project and straight code. Darga said the annexation agreement is expired, and the lots are platted, and roads are in so there is nothing to vote on.

Darga said the Village has also seen a few concept plans come through recently. One is for a mixed use building near Turf Room and would be a mirror image of the existing one. Darga said the project would also include converting the MyPlace Hotel to independent senior living since the hotel is struggling. Both projects would require a PUD amendment. Darga added that a Shodeen concept plan may be another item in the future. This project would be for the land south of Randall Terrace by Miller Drive, west off Randall Rd. Darga said Shodeen had a concept for an apartment project back in 2016. Darga said the parcel is unincorporated and the project would also include connecting Miller Dr and have commercial buildings fronting Randall Rd. Shodeen has built in St. Charles, Geneva, and Batavia in the past.

Darga added Slick City opened in the old BestBuy location. Kids Empire permit has been issued, which will be adjacent to JCPenney. Commissioner Negro asked about UFC Gym. Darga said Signature Fitness

was supposed to take it over, but then news dropped the chain was scamming other customers around the area and has closed all locations. Commissioner Newell asked about 950 Ice Cream Drive warehouse and the water usage concern. Darga said it has been bought by the company the Village was speaking to, but the water usage would be so high it would impact Village water system that an impact fee would need to be negotiated prior to opening.

ADJOURNMENT

Motion to adjourn made by Commissioner Brackett and seconded by Commissioner Negro. All in favor.
Motion approved.

Respectfully Submitted,

David Hansen
Planner

DRAFT

**VILLAGE OF NORTH AURORA
PLAN COMMISSION REPORT UPDATE**

TO: Plan Commission
CC: Steve Bosco, Village Administrator

FROM: Nathan Darga, Community Development Director; David Hansen, Planner

SUBJECT: Special Use Planned Unit Development Amendment for Towne Center Regarding Residential Uses and Site Plan Approval

AGENDA: December 3, 2024 - Plan Commission Meeting

BACKGROUND

Clover Communities North Aurora LLC presented their plan for an age restricted (55+) independent senior living facility at the November 5, 2024 Plan Commission meeting. At that meeting, the Commission had concerns over parking, pedestrian connections, and site amenities. Clover has updated their plans to address these concerns.

DISCUSSION

Included in this packet are updated site and landscaping plans. These plans show the following:

1. The sidewalk has been extended along the entire frontage of the development. As the parcels to the west develop, they will be responsible for their section of sidewalk up to the traffic light signal by Target.
2. Land banked parking has been added. The parking provided meets the zoning code requirement. However, since the Commission had concerns about parking, the applicant identified areas on the north (rear) side of the building where future parking could be added. The plan now shows 50 land banked parking spaces that can be installed if needed.
3. A dog park area has been added to the northeast corner of the property. Additional sidewalks, benches, and waste receptacles have been provided.

The updated plans are attached to this memo. Also included is the full packet from the November 5th meeting for your reference.

Nov 21, 2024 - 10:32am
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141 Elm Street, Suite 100
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www.cscos.com

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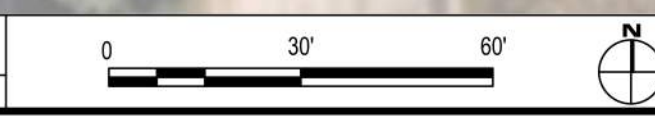
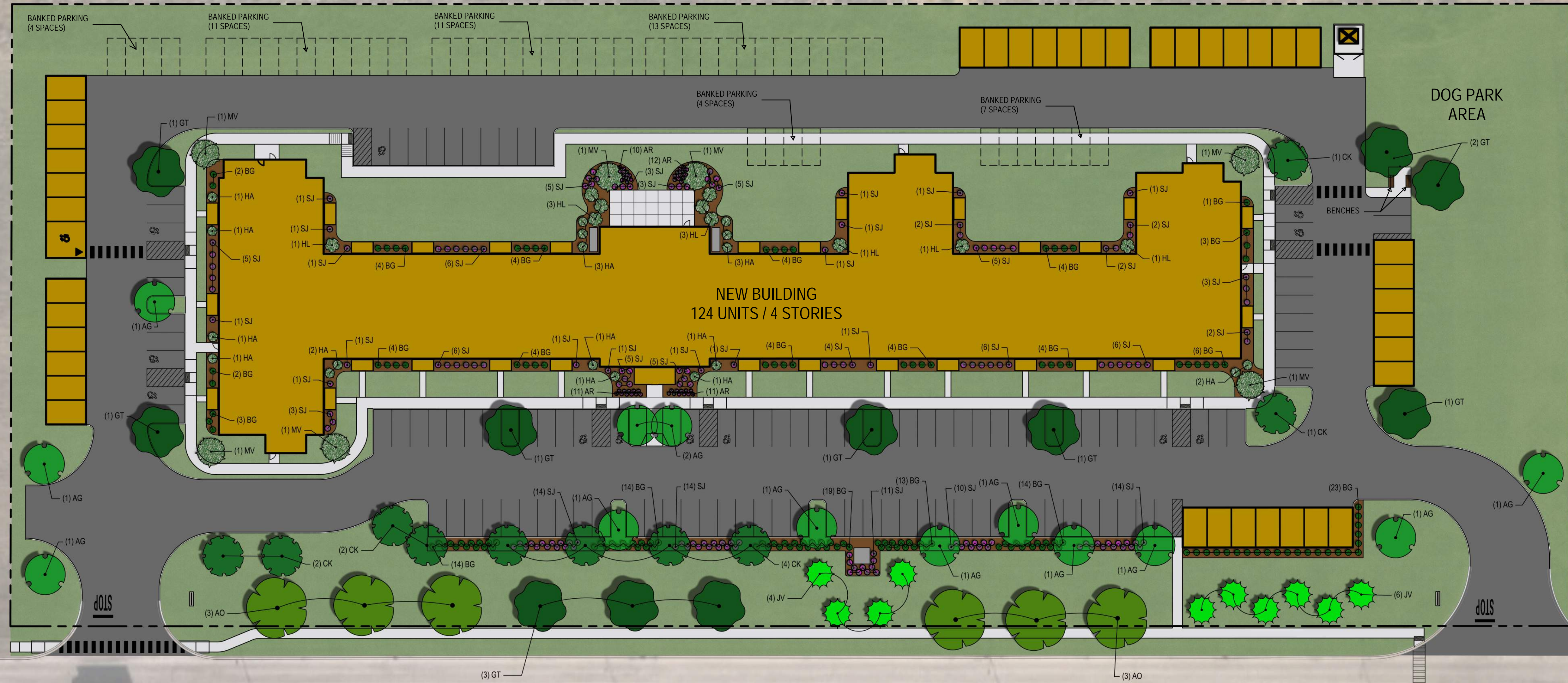


EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

ORCHARD GATEWAY BLVD.



A1 COLORED LANDSCAPE PLAN
SCALE: 1"=30'

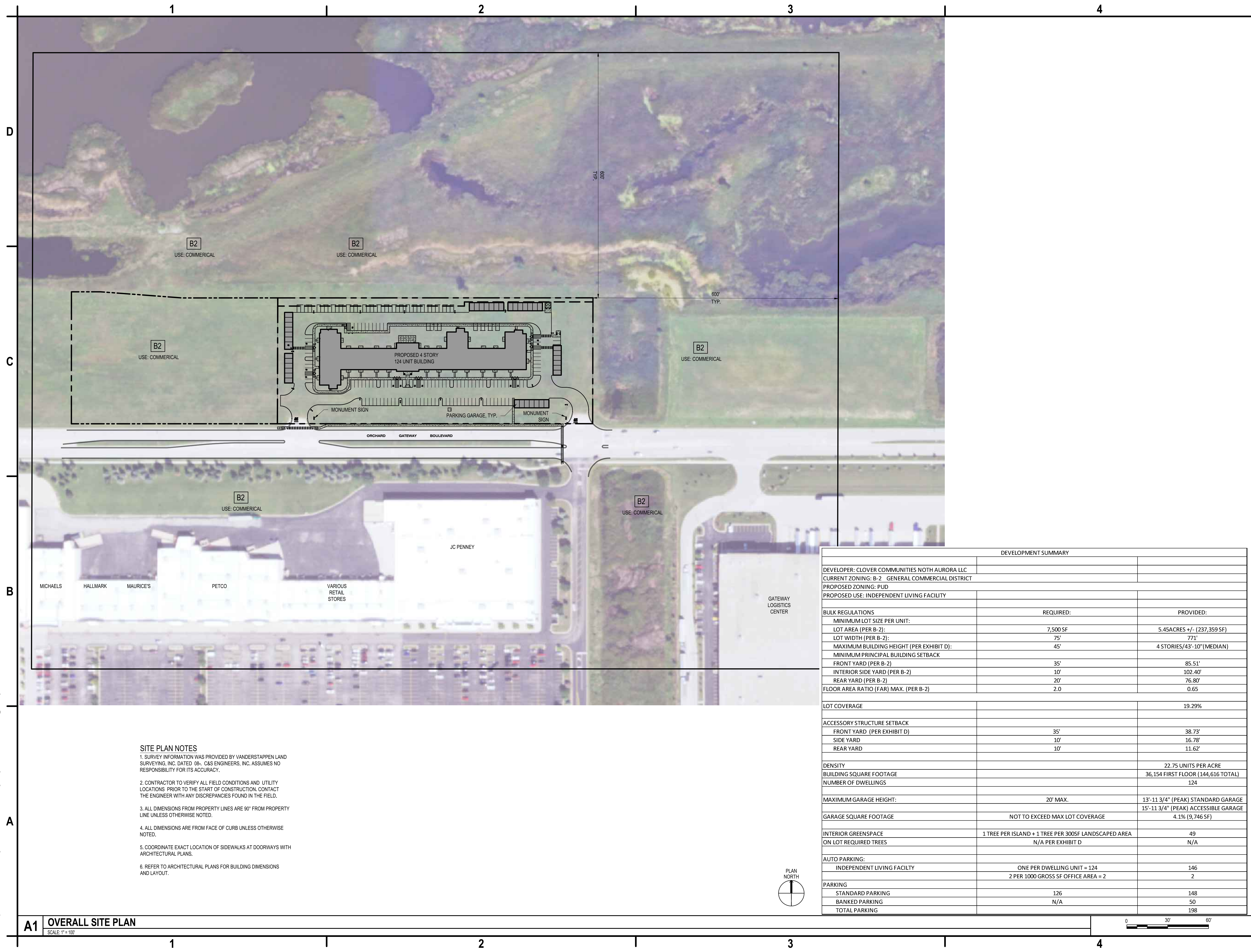
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: F53.546.002		
DATE: OCTOBER 25, 2024		
DRAWN BY: S. SCHIENER		
DESIGNED BY: E. DANIEL		
CHECKED BY:		

PRELIMINARY

**EXHIBIT 1:
COLORED
LANDSCAPE PLAN**

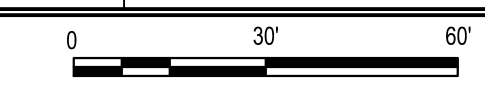
C-104.B

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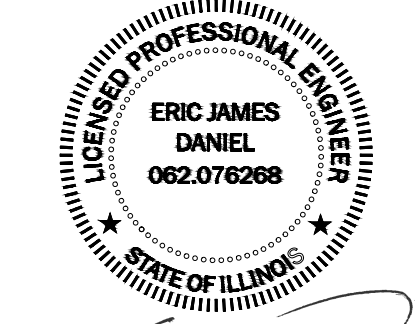
- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY VANDERSTAPPEN LAND SURVEYING, INC. DATED 08- C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

DEVELOPMENT SUMMARY		
DEVELOPER: CLOVER COMMUNITIES NORTH AURORA LLC		
CURRENT ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
PROPOSED ZONING: PUD		
PROPOSED USE: INDEPENDENT LIVING FACILITY		
BULK REGULATIONS		
	REQUIRED:	PROVIDED:
MINIMUM LOT SIZE PER UNIT:		
LOT AREA (PER B-2):	7,500 SF	5.45ACRES +/- (237,359 SF)
LOT WIDTH (PER B-2):	75'	771'
MAXIMUM BUILDING HEIGHT (PER EXHIBIT D):	45'	4 STORIES/43'-10" (MEDIAN)
MINIMUM PRINCIPAL BUILDING SETBACK		
FRONT YARD (PER B-2)	35'	85.51'
INTERIOR SIDE YARD (PER B-2)	10'	102.40'
REAR YARD (PER B-2)	20'	76.80'
FLOOR AREA RATIO (FAR) MAX. (PER B-2)	2.0	0.65
LOT COVERAGE		19.29%
ACCESSORY STRUCTURE SETBACK		
FRONT YARD (PER EXHIBIT D)	35'	38.73'
SIDE YARD	10'	16.78'
REAR YARD	10'	11.62'
DENSITY		
BUILDING SQUARE FOOTAGE		22.75 UNITS PER ACRE
NUMBER OF DWELLINGS		36,154 FIRST FLOOR (144,616 TOTAL)
		124
MAXIMUM GARAGE HEIGHT:	20' MAX.	13'-11 3/4" (PEAK) STANDARD GARAGE
		15'-11 3/4" (PEAK) ACCESSIBLE GARAGE
GARAGE SQUARE FOOTAGE	NOT TO EXCEED MAX LOT COVERAGE	4.1% (9,746 SF)
INTERIOR GREENSPACE	1 TREE PER ISLAND + 1 TREE PER 300SF LANDSCAPED AREA	49
ON LOT REQUIRED TREES	N/A PER EXHIBIT D	N/A
AUTO PARKING:		
INDEPENDENT LIVING FACILITY	ONE PER DWELLING UNIT = 124	146
	2 PER 1000 GROSS SF OFFICE AREA = 2	2
PARKING		
STANDARD PARKING	126	148
BANKED PARKING	N/A	50
TOTAL PARKING		198



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11/21/2024
 EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
 ORCHARD GATEWAY BLVD.
 VILLAGE OF NORTH AURORA, IL**

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	F53.546.002	
DATE:	OCTOBER 25, 2024	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:		

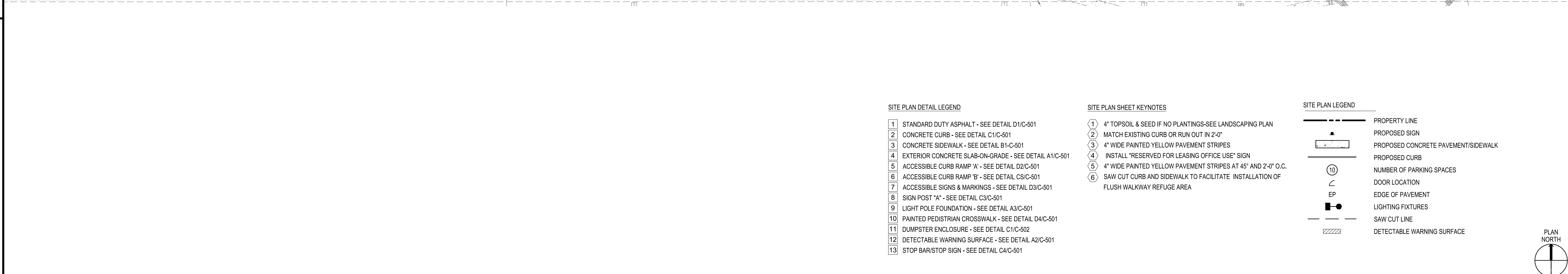
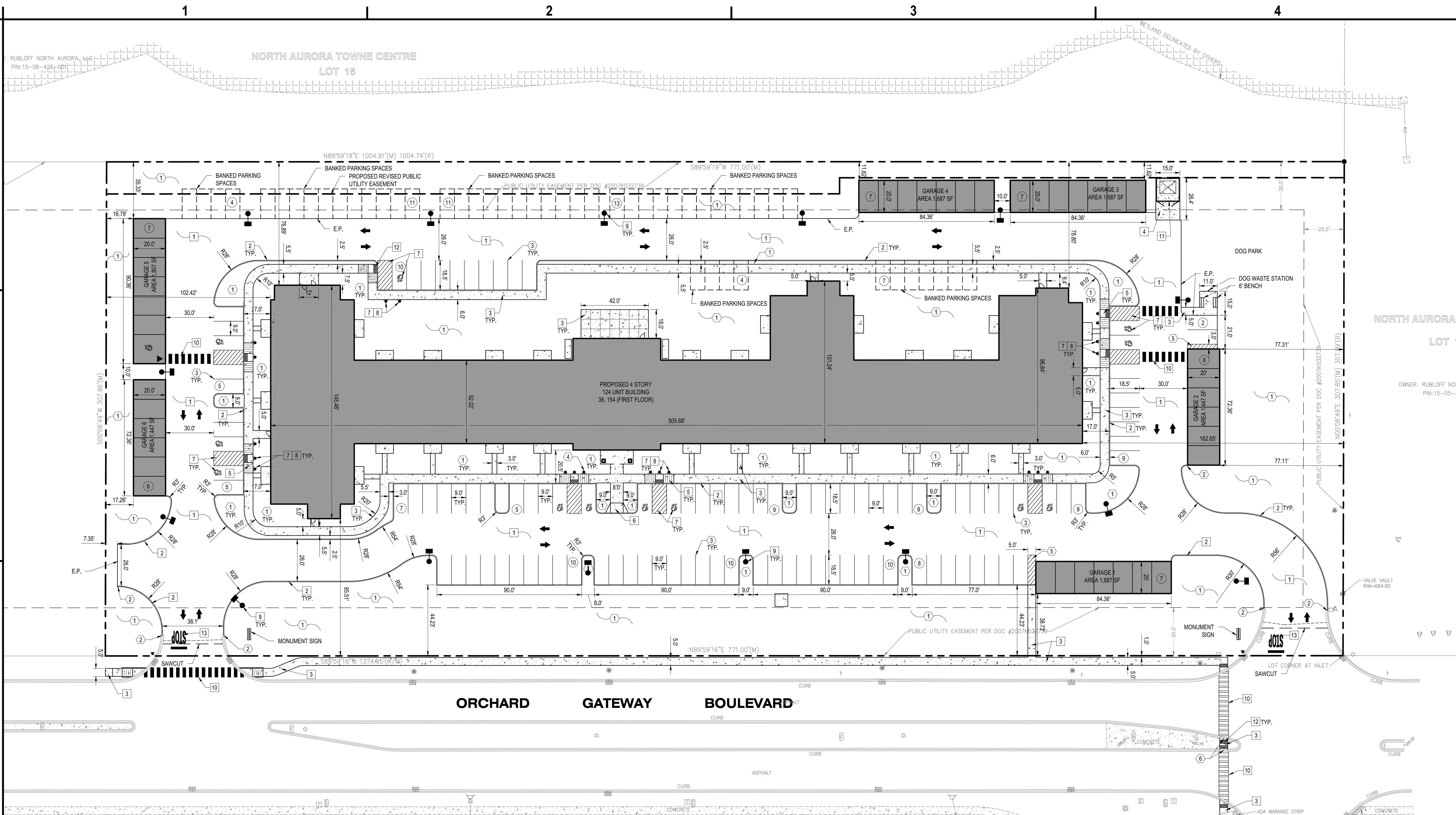
PRELIMINARY

OVERALL SITE PLAN

C-100

Nov 21, 2024 - 2:57pm
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A1 OVERALL SITE PLAN
 SCALE: 1"=100'

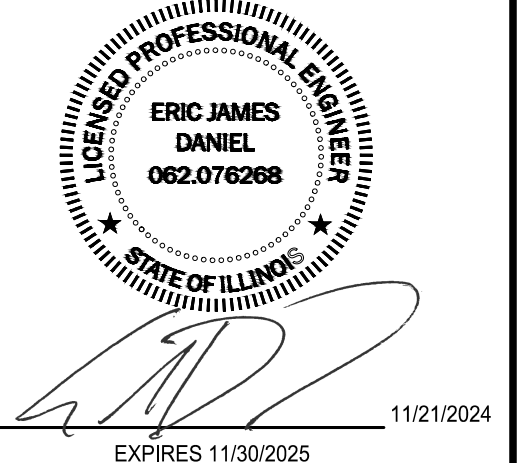


A1 SITE PLAN
SCALE: 1"=30'



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**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

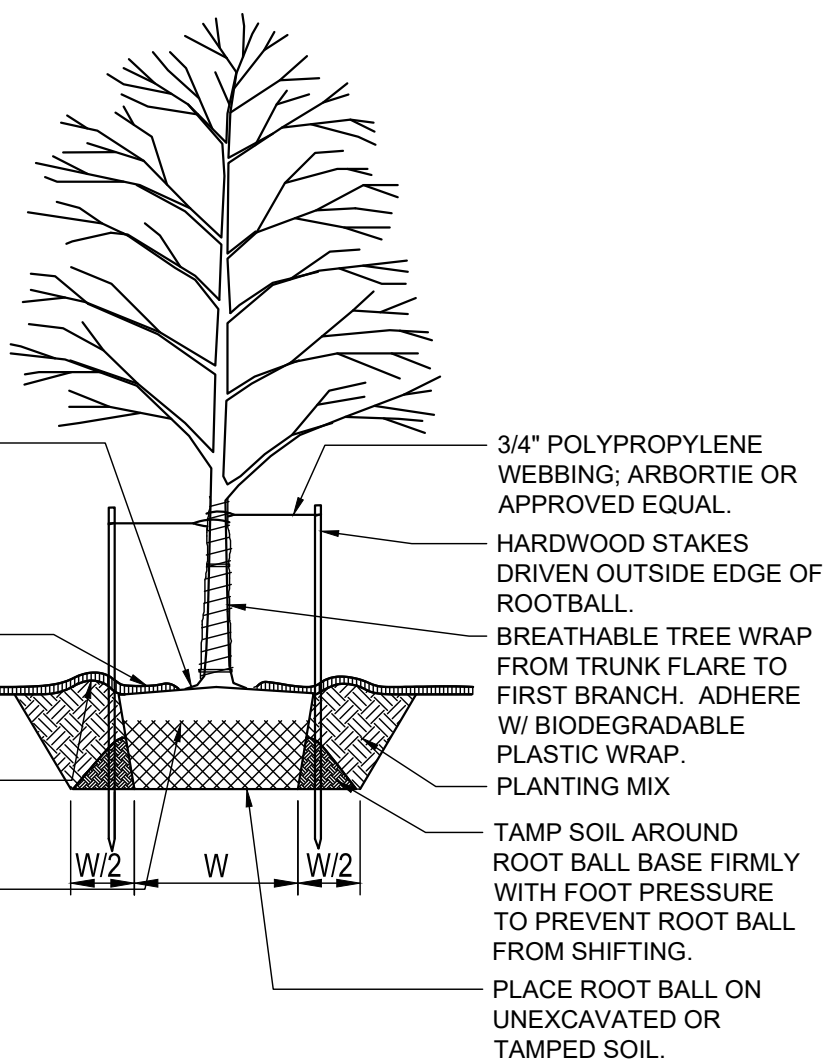
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PRELIMINARY

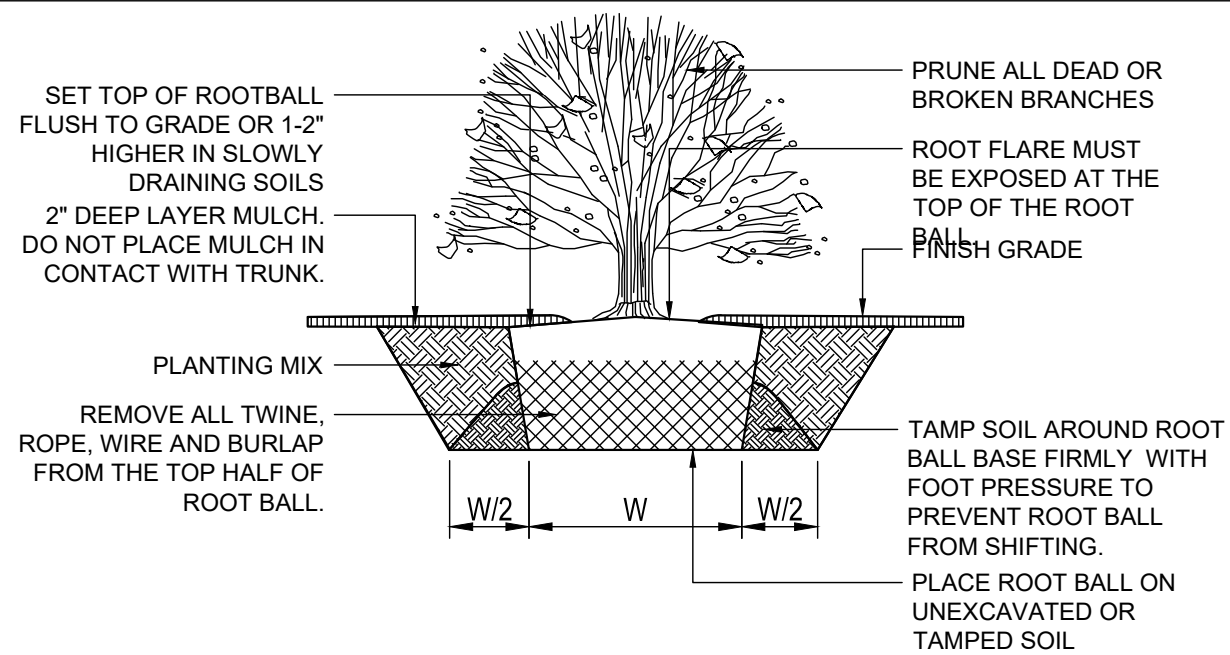
SITE PLAN



C-101



PLANT SCHEDULE				
CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES				
AO	Acer rubrum 'October Glory' / October Glory Red Maple	2.5" Cal.	B&B	6
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	2.5" Cal.	B&B	13
CK	Cornus kousa / Kousa Dogwood	2" Cal.	B&B	10
GT	Gleditsia triacanthos 'nervis' 'Skycole' / Skyline® Honey Locust	2.5" Cal.	B&B	11
JV	Juniperus virginiana / Eastern Redcedar	5" Ht.	B&B	10
SHRUBS				
AR	Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe	#1	Cont.	44
BG	Buxus x 'Green Velvet' / Green Velvet Boxwood	18"	Cont.	151
HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	#5	Cont.	18
HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	#5	Cont.	10
MV	Magnolia virginiana / Sweetbay Magnolia	7 gal.	Pot.	7
SJ	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Japanese Spirea	18"	Cont.	157

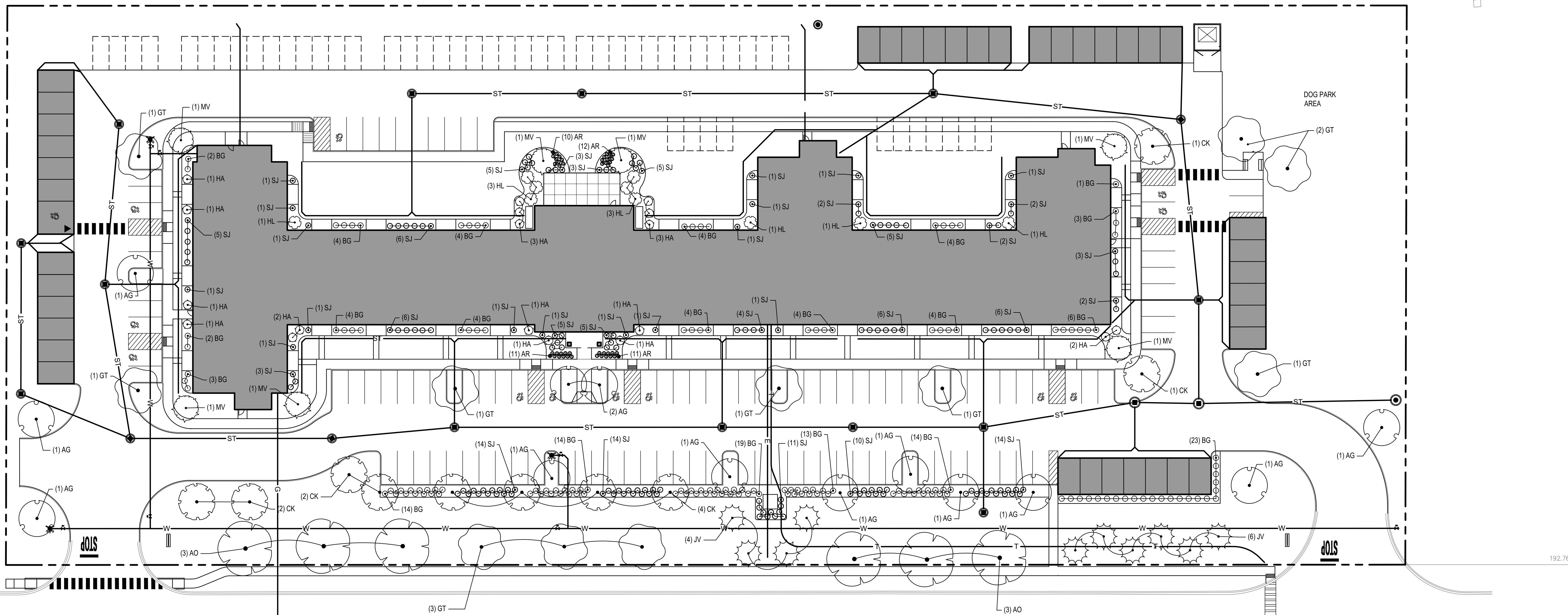


C1 TREE PLANTING DETAIL

C2 SHRUB PLANTING DETAIL

PLANTING SPECIFICATION

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING, AND GRUBBING SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE INCLUDING ALL LABOR MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THE PROJECT.
- MATERIALS
 - PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AND BE OF NUMBER ONE GRADE.
 - VARIETIES AND SIZES OF PLANTS SHALL BE SHOWN ON DRAWING.
- FERTILIZER
 - FERTILIZER SHALL BE MILORGANITE (6-2-0) OR APPROVED EQUAL.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPING CONSTRUCTION AND PLANTING.
- WEEDING
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- PLANTING
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, AS SHOWN ON THE PLANTING DETAILS.
 - 3 PARTS TOPSOIL
 - 1 PART PEAT MOSS OR COMPOST
 - 1/3 PART MILORGANITE FERTILIZER
 - PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND WATER. COMPLETE BACK-FILLING AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
 - IMMEDIATELY AFTER PLANTING, STAKE ALL TREES PER DETAILS AND AS DIRECTED BY LANDSCAPE ARCHITECT
 - PREPARE RAISED EARTH SAUCER AS WIDE AS PLANTING HOLE OF EACH PLANT.
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- AFTER SHRUB BEDS AND TREE SAUCERS ARE BACKFILLED AND FINE GRADED, MULCH WITH 3" DEPTH OF DARK, SHREDDED HARDWOOD BARK MULCH.
- FINISH GRADING
 - PLUS/MINUS .1 FOOT OF FINISH GRADE
 - ALL LAWNS AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR
- CLEAN-UP
 - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL ACCEPTABLE CONDITIONS AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.
- MAINTENANCE
 - MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION
 - MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORT AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

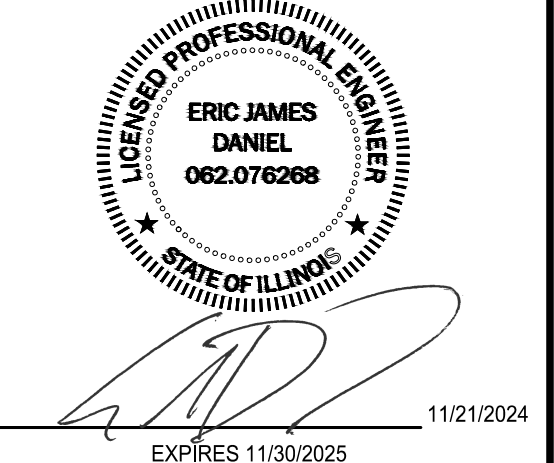


A1 LANDSCAPE PLAN SCALE: 1"=30'



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NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL

MARK	DATE	DESCRIPTION
REVISIONS		
	PROJECT NO:	F53.546.002
	DATE:	OCTOBER 25, 2024
	DRAWN BY:	S. SCHIENER
	DESIGNED BY:	E. DANIEL
	CHECKED BY:	

PRELIMINARY

LANDSCAPE PLAN

Nov 21, 2024 - 3:09pm
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VILLAGE OF NORTH AURORA- STAFF REPORT

TO: Plan Commission
 CC: Steve Bosco, Village Administrator

FROM: Nathan Darga, Community Development Director; David Hansen, Planner

SUBJECT: Special Use Planned Unit Development Amendment for Towne Center Regarding Residential Uses and Site Plan Approval

AGENDA: November 5, 2024 - Plan Commission Meeting

GENERAL INFORMATION

Meeting Date: November 5, 2024

Petition Number: 24-07

Petitioner: Clover Communities North Aurora LLC

Location: Directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney)



Requests:

- 1) Special Use for a Planned Unit Development (PUD) Amendment to Towne Center PUD regarding Residential Uses and Standards
- 2) Site Plan Approval
- 3) Preliminary Final Plat of Subdivision

Parcel Number(s): 15-06-426-003 and 15-06-401-004

Property Size: 11.34 acres for entire residential area with the eastern 5.45 acres for Clover Development

Comprehensive Plan Designation: ‘Regional Commercial’

	<i>ZONING DISTRICT</i>	<i>LAND USE</i>	<i>USER</i>
SITE	B-2, General Commercial District / Towne Center PUD	Vacant	None
NORTH	B-2, General Commercial District / Towne Center PUD	Open Space	Wetlands
SOUTH	B-2, General Commercial District / Towne Center PUD	Commercial	Shopping Center / JCPenney
EAST	B-2, General Commercial District / Towne Center PUD	Open Space	Wetlands
WEST	B-2, General Commercial District / Towne Center PUD	Commercial	Riverfront Ram Truck Dealership

BACKGROUND

The subject property is located in the B-2 General Commercial District and has already been granted a special use for a general mixed-use planned unit development by Ordinance No. 05-05-02-02, referred to as the “Towne Center Planned Unit Development”. The PUD Ordinance approved a mix of uses including a residential component on Lot 20. The PUD Ordinance was amended by Ordinance No. 13-04-01-01, dated April 1, 2013. This 1st Amendment approved warehouse uses on Lot 20 instead of residential uses.

Clover reached out to the Village in late 2023 regarding a residential use for this area. Staff brought the concept plan to the Village Board for review in early 2024. The Village Board supported adding residential back into the Towne Center PUD and had a favorable opinion of the proposed development. Clover has been working on its due diligence for the property over the last few months and has provided a completed PUD application with a full set of plans.

The 2005 PUD Ordinance included residential standards in Exhibit F. These standards included details that are no longer applicable to the property such as townhome dwelling density requirements. The standards for the new residential area are outlined in Exhibit D in the 2nd amendment ordinance. These standards are designed for multi-family buildings and uses. These standards were created in partnership with the Clover Development and their proposed site plan meets these new standards. The standards are included in the packet and any future development in the new residential area would need to follow these standards.

PROPOSAL

The petitioner is proposing a special use PUD Amendment to add a residential use area in the Towne Center PUD. The total acreage for the new proposed residential area is approximately 11.34 acres. The 11.34-acre vacant tract is situated directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney). The property is currently comprised of two separate parcels. A 9.28-acre parcel and 2.06-acre parcel. The petitioner intends to subdivide the eastern 9.28-acre parcel into two parcels and build the independent living facility on the eastern 5.45 acres.

Use of Property

The petitioner is proposing a senior (55 and older) apartment independent living facility on the vacant property. The 5.45-acre property would be improved with a single four story, 124 unit building with detached garages. The floorplan shows six (6) one-bedroom one-bath units, seventy-eight (78) two-bedroom one-bath units, thirty-two (32) two-bedroom one and half bath units, and eight (8) two-bedroom one-bath extended units. Unit amenities include a full kitchen, stainless steel appliances, walk-in showers, indoor mailboxes and emergency pull cords in each unit. The overall building also includes amenities and activities for residents. Amenities include a large community room, coffee bar, fireplace lounge, fitness center, game room/library, and onsite beauty salon/barbershop. Activities include book clubs, knitting clubs, bingo, and various seasonal/social gatherings.

Parking and Site Access

The Independent Living Facility use requires one (1) parking space per dwelling unit plus two (2) parking spaces per 1,000 square feet of gross floor area of office. According to the petitioner there are 124 units and less than 1,000 square feet of gross floor area of office. As such, the Zoning Ordinance would require a total of 126 parking spaces for the entire site. The applicant has proposed 150 parking spaces for the site, which include 40 detached garages. The site currently has two access points. The western access point has a dedicated turn lane. The eastern access point is located at a four way stop but does not have a dedicated turn lane. The applicant is conducting a traffic study. This study will evaluate options including adding an additional left turn lane or converting the eastern access point to right in and right out.

REQUESTED ACTIONS

Special Use - Planned Unit Development (PUD) Amendment to Towne Center PUD regarding Residential Uses and Standards

The PUD Ordinance was approved through the special use process; as such, any amendments to the PUD must be subsequently approved through the special use process. The 2nd amendment will grant residential uses in the new residential area and standards for their development.

Entitlement Process - PUD Amendment

The entitlement process requires an amendment to the Towne Center PUD to amend the existing residential uses and standards permitted within the PUD. The amendment would add three multi-family residential uses: multi-family dwelling, independent living facility, and assisted living facility, to the permitted use list. The amendment would also include a new list of updated standards for yard and bulk regulations for multi-family dwellings as well as development standards for multi-family dwellings. No other permitted uses or standards would be changed as part of the amendment. Please see attached Exhibit D for the updated list of uses and standards. The petition also requires site plan approval and a preliminary final plat of subdivision.

SITE PLAN REVIEW

Site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:

- a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.
4. The design of off-street parking lots or garages to:
- a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.
5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
- a. Create a logical transition to adjoining lots and developments.
 - b. Screen incompatible, negative, or unsightly uses.
 - c. Minimize the visual impact of the development on adjacent sites and roadways.
 - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
 - e. Promote and enhance the appearance and image of the Village.
6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

PRELIMINARY FINAL PLAT OF SUBDIVISION

The subject property is currently comprised of two separate parcels located north of Orchard Gateway Blvd. A 9.28-acre parcel and 2.06-acre parcel. The petitioner intends to subdivide the eastern 9.28-acre parcel into two lots and build an independent living facility on the eastern 5.45 acres. A final plat of subdivision will be provided at final engineering. As part of this request, a preliminary final plat has been provided.

If the final plat is consistent with the preliminary plat, no further action by the Plan Commission and/or Village Board would be required. If the petitioner is required to make any minor changes to the plat to accommodate any engineering comments, such changes shall be deemed to be a “Technical Change” to the plat.

COMPREHENSIVE PLAN

The 2023 Comprehensive Plan recommends ‘Regional Commercial’ use for the subject property. The subject property is located in the Comprehensive Plan’s West Gateway Subarea Plan, which includes the existing North Aurora Towne Center. A recommendation of the West Gateway Subarea Plan states *the shopping center should capitalize on its visibility from I-88 by intensifying development and creating a more attractive and walkable environment.*

FINDINGS & RECOMMENDATION

The Community Development Department finds that the information presented **meets** the Standards for Specials Uses and Planned Unit Developments as submitted by the petitioner. The proposed site plan meets site plan review standards of the North Aurora Zoning Ordinance and the Towne Center PUD. Based on the above considerations, staff recommends that the Plan Commission make the following motion recommending **approval** of Petition #24-07, subject to the following conditions:

1. All outdoor lighting shall follow the Village’s Outdoor Lighting Ordinance (Chapter 8.32).

2. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
3. All mechanical equipment shall follow Village standards outlined in Section 12.3.D of the Zoning Ordinance.

Exhibit D

The following standards are applicable to Multi-Family Residential Uses. Any standards that are not mentioned shall default to the PUD Ordinance and the Village's Zoning Ordinance (Title 17) requirements.

Multi-Family Uses

Permitted Uses: Residential uses permitted for this area will include multi-family dwelling, independent living facility, and assisted living facility.

Yard and Bulk Regulations for Multi-Family Dwellings

- Setbacks and the Floor Area Ratio (FAR) shall meet the Village's B-2 General Commercial District.
- Building Height: No residential buildings shall exceed fifty (50) feet in height.
- Accessory Building and Structures standards shall meet the Village's Zoning Ordinance for Accessory Buildings (Non-Residential Districts) except for the following:
 - Location. May be located in front of the principal building but not in any required yard in the B-2 District setback.
 - Height. Shall not exceed the peak height of the principal structure (when measured to the highest point on the roof or parapet) or twenty (20) feet in height, whichever is less.
 - Area. The combined square footage of all detached accessory buildings shall be included in the applicable floor area ratio (FAR) requirement and shall not exceed the maximum lot coverage allowed in each zoning district.
 - Style. The exterior elevations of accessory buildings shall be architecturally compatible, and comprised of the same material and color, as the principal structure.

Development Standards for Multi-Family Dwellings

- Parking standards including location, design, required number of off-street parking spaces shall adhere to Chapter 13 of the Village's Zoning Ordinance.
- Lighting Standards shall adhere to Chapter 8.32 – Outdoor Lighting Ordinance - of the Village's Municipal Code.
- Signage Standards shall adhere to Chapter 15.48 – Signs - of the Village's Municipal Code except for the following for monument signage:
 - Number. One monument sign shall be permitted per site access entrance.
 - Material. The brick façade shall match the brick elevation of the principal building.
 - Area. Monument sign area shall be 8'-2" by 12'-2" by 2'-6" in dimension.
- Landscaping Standards and Plans shall adhere to Chapter 14 of the Village's Zoning Ordinance with the following exceptions:
 - Plans are exempt from the on-lot landscaping required trees landscape standard outlined in section 17.14.5.B.1.



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

APPLICATION FOR SPECIAL USE PLANNED UNIT DEVELOPMENT (PUD)

Project Name: Towne Centre Senior Apartments

Subject Property/Location: Lot 16, North Aurora Towne Centre - North of Orchard Gateway

PIN(s): 15-06-426-003 [portion of]

Parcel(s) Acreage: 5.45 Acres Number of Lots: _____ Number of Units: 124

Current Zoning District: B-2 / PUD Present Use: Vacant

Proposed Zoning District: B-2 / PUD Intended Use: Age-restricted multifamily

Comprehensive Plan Designation for this Property: Regional Commercial

Contiguous Zoning: B-2 / PUD

Is this an Amendment to an existing PUD? Yes No PUD Name: North Aurora Towne Centre

CONTACT INFORMATION:

Applicant Name: Michael Joseph on behalf of entity to be formed by Lancaster Land, L.P Phone: 314.21.2110

Applicant Address: 348 Harris Hill Rd, Williamsville, NY 14221

Applicant Email: rcaplin@cloverdevelopment.com

Signature of Applicant: _____ Signature Date: 9.27.2024

Property Owner(s): Orchard11 LLC Phone: (630) 244-4141

Owner Address: 333 N Randall Rd #120, St. Charles, IL 60174

Owner Email: andersonclinton@colonialcafe.com

Signature of Owner*: _____ Signature Date: _____

*A signed letter by the owner authorizing the applicant to apply for a special use PUD may be submitted in lieu of signing this form. If Applicant is other than owner, please attach letter of authorization from Owner.

FOR OFFICE USE

Petition Number: 27-07 File Name: Clover 1 TC PUD Amendment

Filing Date: 9/30/24 Fee Received: 405 \$1,000

September 27, 2024

Nathan Darga
Community Development Director
Village of North Aurora
Via email

RE: Towne Center Senior Apartments

Dear Nathan,

Clover Development is pleased to present Towne Centre Senior Apartments. The project will consist of 124 market-rate, age restricted multifamily units in a single, four-story building located on the north side of Orchard Gateway in the Towne Centre PUD.

We are requesting that the existing PUD is modified to allow for the development of the project. Submitted with this letter are the following:

- Application for Special Use Planned Unit Development
- Project Narrative
- Site Location map with existing land use and zoning of all properties within 200'
- Preliminary Development Plan
- Statement of Compliance with Planned Unit Development Standards
- Statement of Compliance with Special Use Standards
- Written certified list identifying all properties within 250' of the property, including mailing addresses and public hearing and notice requirements statement
- Deed for the subject property
- Survey of the property
- Site location map with all structures within 600'
- Site plan including building footprints, heights, dimensions of setbacks, parking, photoelectric
- Building Elevations
- Schematic Floorplans
- Preliminary Drainage Plan
- Evidence of Water & Sewer availability
- Landscape Plan
- Exceptions Schedule

We anticipate continuing to provide additional documentation as it is prepared further illustrating the project in street perspective as well as any additional required or requested items.

Please feel free to contact me to further discuss. We look forward to working with you on this exciting project.

Thanks,

Russell Caplin

Russell Caplin
Development Director
Clover Development



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

PUBLIC HEARING AND NOTICE REQUIREMENTS

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for sending mail notices to properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing. The Village will publish a legal notice in the newspaper, which the applicant shall reimburse the Village for any fees associated with it. Please see Chapter 3.3 and 3.4 of the Village Zoning Ordinance, Title 17, for all public hearing and notice requirements.

The undersigned hereby also agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Chapter 15.56 of the North Aurora Municipal Code. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

9.27.2024
Date

STATE OF NEW YORK)

) SS

COUNTY OF ERIE)

I, Michael Joseph, being first duly sworn on oath depose and say that I am Manager of on behalf of entity to be formed by Lancaster Land, L.P. and that the following are all of the beneficiaries of the properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing.

Manager

SUBSCRIBED AND SWORN TO

Before me this 27th day of September, 2024.

Erie County, Susan J. Simonick
A Notary Public in and for such County

SUSAN J. SIMONICK
Notary Public-State of New York
No. 01SI6194093
Qualified in Erie County
Commission Expires September 29, 2028



25 East State Street, North Aurora, IL 60542
 P: 630.897.1457 F: 630.897.0269
 Website: www.northaurora.org/forms/
 Email: cdinfo@northaurora.org

Below is a template for PINs, names and mailing addresses of all property owners within 250 feet of the property in questions for which the Special Use PUD is being requested. An attached spreadsheet or list matching the template below also is permitted.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-06-476-015	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-016	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-017	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, STE 260, Henderson, NV 89052-2703
15-06-476-018	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-019	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-009	Penney Property Sub Holdings LLC	6501 Legacy Dr., MS #5213, Plano, TX 75024-3698
15-06-451-002	Target Corporation	PO Box 9456, Minneapolis, MN 55440
15-05-301-002	Oper Plasterers & Cement Masons	1102Rail Dr., Woodstock, IL 60098-9430
15-05-301-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-004	BA Leasing BSC LLC	6000 Windward Pkwy, Alpharetta, GA 30005-8882
15-06-401-006	WM Financial Group LLC	200 Hansen Blvd., North Aurora, IL 60542
15-05-426-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200 Rockford, IL 61108

I, Michael Joseph, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

[Signature]
 Applicant Signature

9.27.2024
 Date

**NOTICE OF PUBLIC HEARING
BEFORE THE VILLAGE OF NORTH AURORA PLAN COMMISSION
NORTH AURORA, ILLINOIS**

Notice is hereby given that the Village of North Aurora Plan Commission will conduct a Public Hearing on Tuesday, November 5, 2024 at 7:00 p.m. at the North Aurora Village Board Meeting Room, 25 E. State Street, North Aurora, Illinois.

This Public Hearing will be conducted by the Plan Commission to consider an application from Clover Communities North Aurora LLC "Applicant" to allow a Special Use for a Planned Unit Development (PUD) Amendment to Towne Center regarding Residential Uses. The Applicant is proposing a senior (55 and older) apartments independent living facility on the vacant property directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney). The 5.45 acre property would be improved with a single four story, 124 unit building with detached garages. The entitlement process requires an amendment to the Towne Center PUD to allow residential uses on certain properties within the PUD. The total acreage for the proposed residential area is approximately 11.34 acres.

Property Index Numbers (PIN): 15-06-426-003 and 15-06-401-004

The Subject Property is legally described as follows:

LOTS 2 AND 3 OF THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS, ACCORDING TO THE DOCUMENT THEREOF RECORDED MARCH 22, 2006, AS DOCUMENT NO. 2006K031047.

The address of the Applicant is 348 Harris Hill Rd, Williamsville, NY 14221. The Applicant's phone number is (314) 210 - 2110.

Applications have been filed by the petitioner and are known as Petition #24-07. The application for Special Use is on file at the office of the North Aurora Community Development Department and are available for public inspection. Public comments will be taken at the public hearing. Further information is available by contacting the Community Development Department at 630-897-1457.

DATED: October 16, 2024

/s/ Nathan Darga
Community Development Director



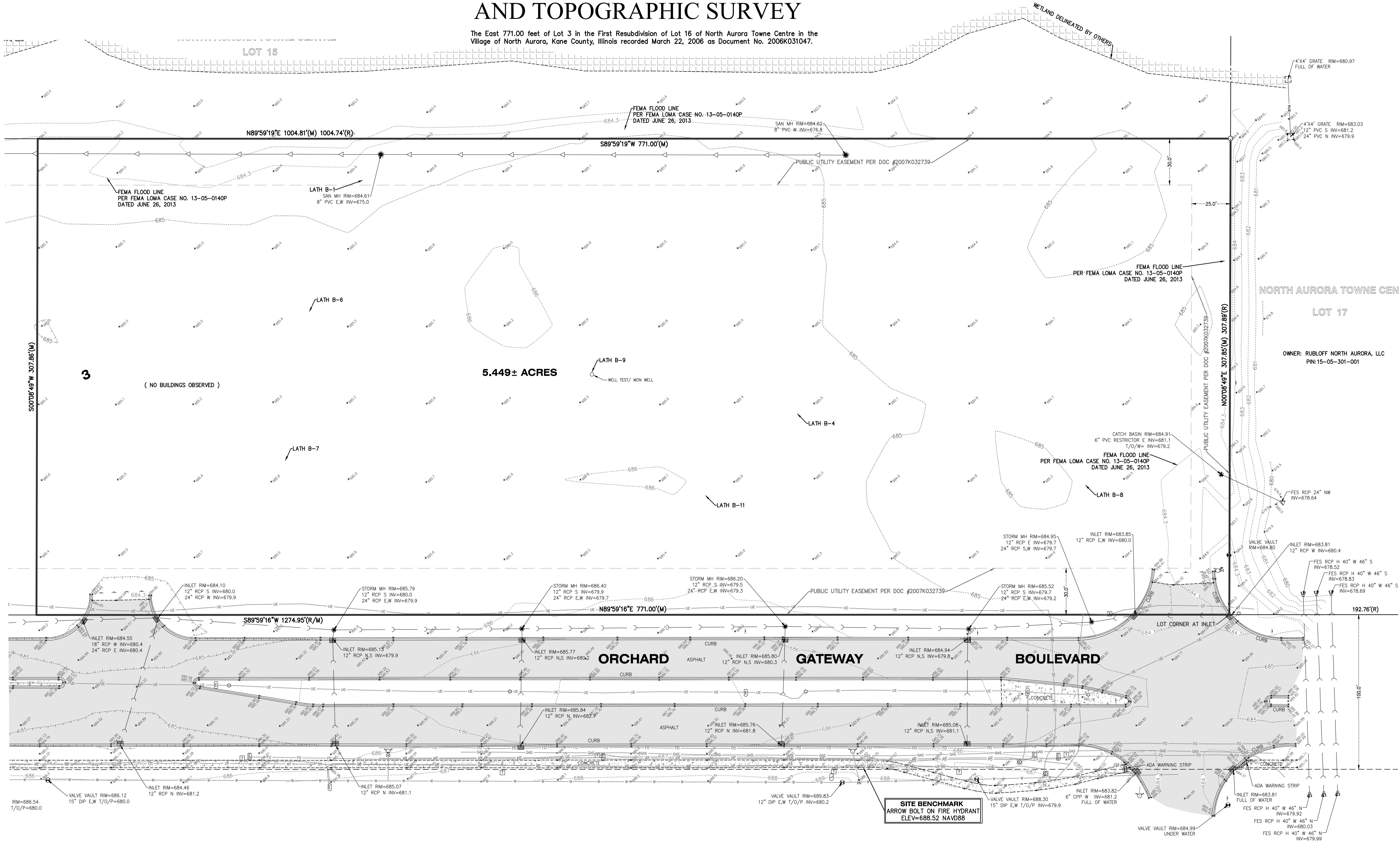
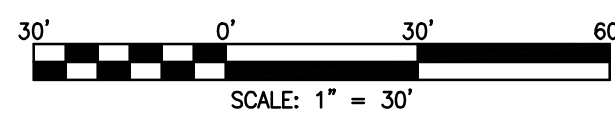
ALTA/NSPS LAND TITLE SURVEY AND TOPOGRAPHIC SURVEY

The East 771.00 feet of Lot 3 in the First Resubdivision of Lot 16 of North Aurora Towne Centre in the Village of North Aurora, Kane County, Illinois recorded March 22, 2006 as Document No. 2006K031047.

UTILITY LINE LEGEND	
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	GAS LINE
	OVERHEAD UTILITIES

LEGEND	
	CATCH BASIN
	CURB INLET
	ELECTRIC HANDHOLE
	ELECTRIC METER
	FIBER OPTIC HAND HOLE
	FIRE HYDRANT
	FLARED END SECTION
	FOUND IRON PIPE
	FOUND MAG NAIL
	HANDHOLE UNKNOWN
	LIGHT
	LOCATED LATH
	SANITARY MANHOLE
	SET CROSS
	SIGN
	STORM MANHOLE
	TELEPHONE RISER
	TRANSFORMER
	TOP OF WATER
	VALVE VAULT
	WATER VALVE
	MEASURE
	RECORD

PROJECT BENCHMARK
 NGS DATA BENCHMARK
 DESIGNATION "X 19"
 ELEV=683.34 NAVD88



SURVEYOR'S NOTES:

- The legal description and utility easements shown hereon have been provided by First American Title Insurance Company, Commitment policy #3177754 dated April 16, 2024. The title information shown hereon is exclusively that provided to the Surveyor by the Title Insurer or the client. The Surveyor does not warrant the exact location of the Utility Easements shown hereon, but does state that they are located as accurately as possible from the information provided.
- Based on Flood Insurance Rate Map, Panel No. 17089C0340H, dated September 3, 2009, the subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance of Floodplain and within Zone "AE" areas where base flood elevation determined. (Pertains to Table A, Item 3).
- Distances are marked in feet and decimal places thereof, no dimension shall be assumed by scale measurement hereon. Distances and/or bearings shown with a "D" in parenthesis (D) are record or deed values, not field measured.
- Compare this plat, legal description and all survey monuments before building, and immediately report any discrepancies to the surveyor.
- The location of the property lines shown on the face of this plat are based on the legal description contained in the title commitment and shown hereon. This information has been furnished by the client and compared to record deeds to check for gaps and/or overlaps. However, this survey may not reflect historical matters of title and ownership that have not been disclosed by the title commitment.
- Only the improvements which were visible from above ground at time of survey and through a normal search and walk through of the site are shown on the face of this plat. Lawn sprinkler systems, if any, are not shown on this survey.

- Manholes, inlets and other utility rims or grates shown hereon are from field location of such, and only represent such utility improvements which are visible from above ground survey at the time of survey, through a normal search and walk through of the site. The labeling of these manholes (sanitary, water, etc) are based solely on the "stamped" markings on the rim. No underground observations have been made to verify the actual use or existence of underground utilities.
- Surface indications of utilities on the surveyed parcel have been shown. Underground and offsite observations have not been made to determine the extent of utilities serving or existing on the property, public and/or private records have not been searched to provide additional information. Overhead wires and poles (if any) have been shown, however their function and dimensions have not been shown.
- This survey may not reflect all utilities or improvements, if such items are hidden by landscaping, or are covered by such items as dumpsters or trailers or when the site was covered with snow. At the time of survey, the site was not covered by snow.
- This survey makes no statement regarding the actual presence or absence of any service or utility line. Controlled underground exploratory effort together with "JULIE" markings is recommended to determine the full extent of underground service and utility lines. Contact JULIE at 1-800-892-0123. Underground utilities shown hereon were delineated by Lucky Locators. (Pertains to Table A, Items 11a & 11b).
- Restrictions that may be found in local buildings and/or zoning codes have not been shown. Height and bulk restrictions (if any) have not been shown. Only those setback restrictions shown on the recorded subdivision plat or in the title commitment have been shown.
- Site address: Vacant Lot Orchard Gateway Boulevard, North Aurora, Illinois 60542 (Pertains to Table A, Item 2).

- The surveyed property is Zoned "B-2" based on the General Business District. Plottable restrictions from said Zoning District have not been supplied to the Surveyor or at the time of the Survey and heron shown. (Pertains to Table A, Item 6, 6a).
 - There is a total of 0 striped parking spaces for cars, including 0 of which are marked handicapped and 0 of which are for motorcycles. (Pertains to Table A, Item 9).
 - The property is approximately 2500 ft West of Randall Road (Pertains to Table A Item 14)
 - There was no observable evidence of earth moving work, building construction or building additions at time of fieldwork. (Pertains to Table A, Item 16)
- SCHEDULE B, PART II EXCEPTIONS:**
- Exceptions 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 37, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54 & 55 are not surveyed related.
 - Exceptions 2 & 3 are blanket in nature.
 - Exception 35: Shown hereon.
 - Exception 36: The lands described in Declaration of Use, Maintenance and Easement Agreement recorded June 01, 2005 as document 2005K061900 do not lie on the above described lands. Exhibit "X" in said document further clarifies this tract is not included. See document for particulars.
 - Exception 38: Signage Easement and Maintenance Agreement recorded September 29, 2008 as document 2008K075119 & Partial Release of Signage Easement as document 2013K066839 see document for particulars

22. Exception 39: Covenants, conditions and restrictions contained in the Declaration of Restrictive Covenants recorded as document no. 2006K061458 see document for particulars.

STATE OF ILLINOIS)
) 9/19/24 APC - REVISED BOUNDARY, ADDITIONAL SPOT ELEVATIONS & EXCEPTION NOTES
) S.S.
 COUNTY OF McHENRY)

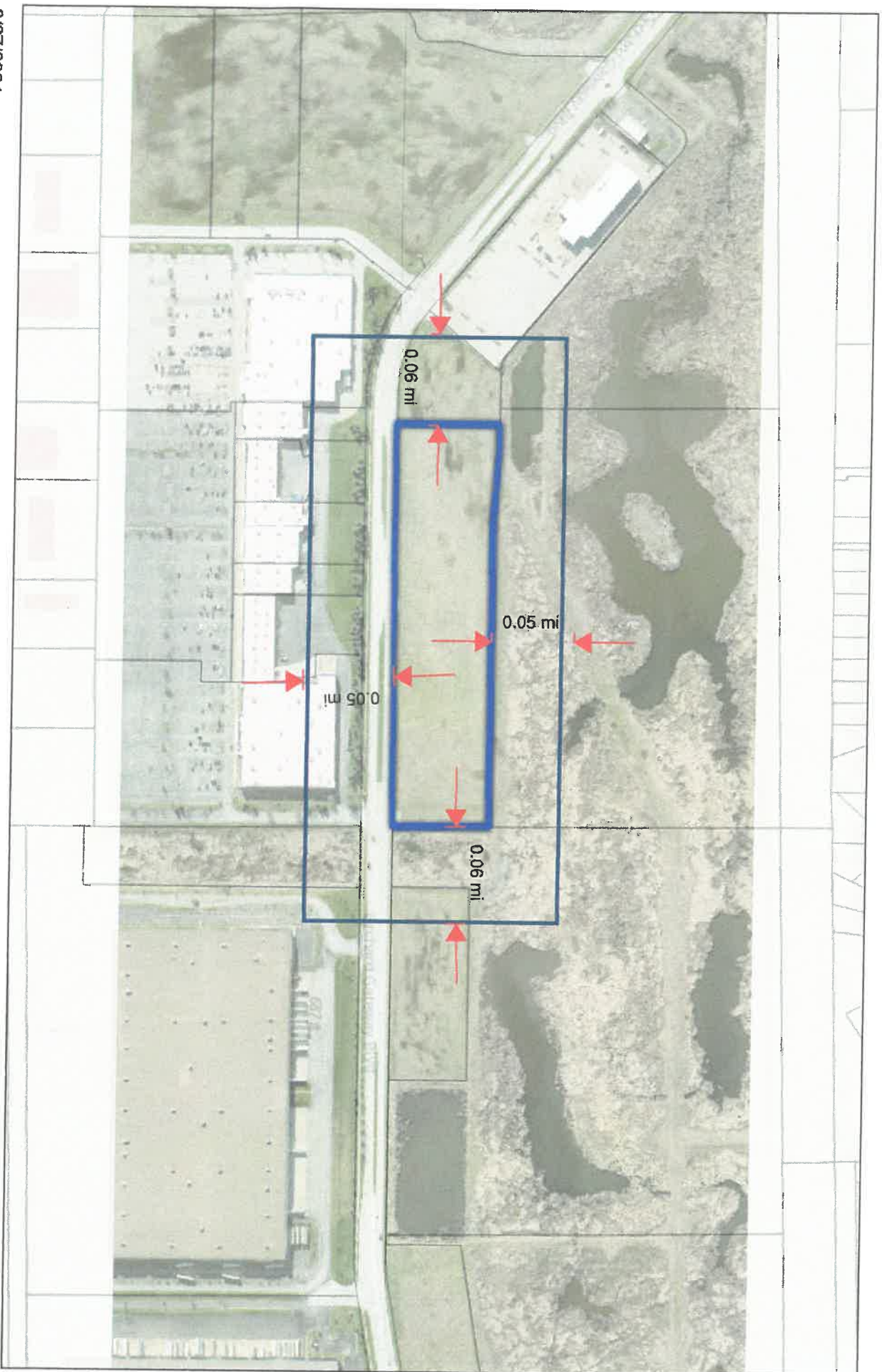
Certified to: 1) IRC North Aurora Venture, L.L.C. formerly known as Inland North Aurora Venture, L.L.C.
 2) First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 7a, 7c, 8, 9, 11a, 11b, 13, 14, 16, 18 & 19 of Table A thereof. The field work was completed on August 19th, 2024.

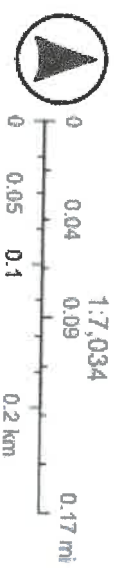
Dated this 21th day of August, A.D., 2024.

PRELIMINARY
 DATE: 9/25/2024 (seal)
 PROFESSIONAL LAND SURVEYOR

Kane County Illinois - KaneGIS4



9/27/2024



Esri, NASA, NOAA, USGS, FEMA, Esri Community Maps Contributors, City of Aurora, IL, County of Kane, © OpenStreetMap, Microsoft, Esri, TomTom. These layers do not represent a survey. No Accuracy is assumed for the data records, including plans, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

CLOVER OVERVIEW AND PROJECT NARRATIVE

Who is Clover?

Clover Management started in 1987 by our current owner and President, Mr. Michael Joseph. Clover Management owns and manages (47) market rate, Senior Independent Living communities, totaling over 6,000 units in New York, Ohio, and Pennsylvania, Indiana, Kentucky. We also have another (7) Senior Independent Living properties under construction currently. Additionally, Clover manages many condo associations, and commercial space. Our portfolio consists of more than 150 properties.



Over the past 15 years the company's strategy has been to focus on Market Rate, Senior Independent Living communities.

- Clover develops, owns, and operates the communities for the long term.
- Clover has never converted a Senior community to Low Income.
- Clover has never converted a Senior community to an All-Age community.
- Clover has no HUD funded properties in its portfolio.

What is Clover Independent Living?

- Clover provides a market rate alternative for senior (55+) Independent Living for those residents who no longer desire to own but do not want to move into an expensive full-service retirement community.
- Our senior residents typically come from a three to five - mile radius around the Community. They prefer to stay in the area to be close to family and friends.
- Our developments allow for these senior citizens to remain in the community that they grew up and raised their families in, to continue attending their place of worship, to enjoy their local restaurants and entertainment facilities, and to continue seeing their own doctors which in turn contributes to the economic welfare of the community.

North Aurora Project Narrative:

Clover Communities North Aurora LLC is proposing a four-story/ 124-unit Market Rate – Senior Independent Living Community on Orchard Gateway Blvd. The units will be Age-Restricted 55+ consistent with Fair Housing Guidelines.

Clover Communities generally draw from 3-5 miles of the property and allow for residents to age in place, staying close to family and friends and familiar places of business. This in turn frees up housing stock for young families moving into the area.

The proposed use is consistent with the Goals set forth in the 2024-2025 Strategic Plan, including the goal of Economic Development. This meets two of stated objectives:

- Review zoning use classifications for all non-residential districts
- Enhance the Towne Centre Development.

Additional Notes:

- Architecture: Traditional style architecture with Versetta LedgeStone accents at the building entrance on the front elevation and with the balance of the building clad in multi-color durable vinyl siding.
- Proposed parking is 150 spaces (including 40 garages) or 1.2 spaces/unit - consistent with other Clover Senior Living properties.
- Driveway locations: The proposed driveways will be existing curb cuts at the eastern edge of the property [across from shopping center entrance] and a drive on the western edge of the property allowing access to the remaining parcel north of Orchard Gateway.
- Traffic: Our senior communities don't impact peak traffic. Our residents control their schedules and can choose when they want to be on the road. Typically, our peak hour is between 2 pm and 3 pm with a traffic count of 33 cars per hour during that timeframe.
- Amenities and Activities: Our Senior independent living apartments provide a friendly place to live where you can spend less time worrying about daily chores and maintenance, and gain more time pursuing the things you enjoy, like hobbies, travel, reading, or visiting friends.

- 1st Floor: On the first floor of every building is a large Community Room- a hotspot for social gatherings. The Community Room holds many activities such as weekly Bingo, Pinochle, Yahtzee, and game and trivia nights. It is also a meeting point for many clubs among residents- such as Book Clubs, Knitting Clubs, Card Clubs, Puzzle Fanatics, and even Singing Club. The Community Room also holds seasonal gatherings and catered dinners, as well as exercise classes, chair yoga, ceramics classes, and much more. The large TV provides endless entertainment with Wii Bowling tournaments and Friday Night Movies.



- The Fireplace Lounge has comfy chairs, couches, and a coffee table for residents to sit back and relax by the fire. A TV above the mantel allows residents to catch up on news and events.
- 2nd Floor: The Community Room isn't the only place where residents can meet, talk, and enjoy some conversation- the Coffee Bar is a great place for residents to have their morning coffee, read the paper, watch tv in front of the fireplace, or simply relax- just steps out their front door.



- Residents can focus on their physical health at our on-site Fitness Center. Fully equipped with cardio equipment as well as dumbbells for strength training, residents are encouraged to maintain their strength and wellness. Many residents undergoing physical therapy will also use the space to work with their therapists, a great way to ensure residents can stay in their homes while receiving therapy.



- Residents are thrilled to know that an onsite beauty salon/barbershop is located within the building to serve all their beauty needs- A stylist works several days a week and will perform salon services from a wash and set, to a full haircut and/or shave. This amenity is exclusive to residents only and does not compete with the outside public.

- 3rd Floor: A Family room: Residents can enjoy a space to socialize with each other or guests. A great place for activities, or to read a book, do crafts or host small meetings.

- Fourth Floor: Game Rooms/Library are home to shuffleboards, checkers/chess tables, and a full-size poker table for the residents to enjoy. The Game Room/Library is also a place for residents to sit and enjoy a good book, attend a Bible Study, watch TV, or simply socialize.

- Outside Areas: When the weather permits, our communities offer great exterior amenities as well. The community patio hosts many warm weather gatherings where residents can socialize and soak up the summer sun. There, residents can enjoy outdoor grilling, seasonal speakers and seminars, and hosted cookouts on holidays like Memorial Day and the 4th of July. Residents take part in lawn games, such as cornhole or horseshoes; some communities also have a walking club that walks the sidewalk loop of the building.



Unit Amenities:

- Full/Modern kitchen with breakfast bar and pantry
- Stainless Steel Appliances including refrigerator, microwave, range, dishwasher and in-unit washer/dryer.
- Walk-in showers
- Master bedroom
- Slider patio doors
- Private patio or balcony
- Indoor Mailboxes
- Individually controlled heat and A/C
- Emergency Pull Cords in each Unit.
- Pet Friendly



Community Amenities:

In addition to the Amenities and Activities previously mentioned, Clover Communities also offer the following:

- Controlled access building entry system
- Central Elevator Service
- Convenient Indoor Trash Facilities on every floor
- Central Indoor Mail System
- On-site parking – including leasable garages.
- Indoor Storage Units
- Camera Monitored Vestibule
- Smoke Free Community
- Activities Director
- Day Trips (shows, etc.)
- Safety Seminars

Project Schedule:

- Approvals/Permits: completed 4Q24.
- Start Construction: 3Q25.
- Anticipated Opening: 1Q27



Mr. Nathan Darga
Village of North Aurora
Community Development Director
25 East State Street
North Aurora, IL 60542

September 24, 2024

RE: Proposed Clover Senior Independent Living
Development

A portion of Tax PIN 15-06-426-003 (±5.45 acres) -see
attached site drawing

Orchard Gateway Blvd
North Aurora, IL 60542

Dear Mr. Darga,

Orchard11 LLC is the owner of Tax PIN 15-06-426-003 (±9.28 acres) with an address of Orchard Gateway Blvd, Village of North Aurora, Kane County, IL. We authorize Clover Communities North Aurora LLC to submit plans, applications, and related info for the purpose of obtaining City approvals - including amending the existing planned unit development for development of the additional permitted use of a Senior Living Community on the referenced parcel.

As the property owner we feel this is a great compliment to the existing center and the Village of North Aurora.

Sincerely,

A handwritten signature in black ink, appearing to read "Clinton T Anderson". The signature is fluid and cursive, with the first name "Clinton" being the most prominent part.

Clinton T Anderson
Manager
Orchard 11 LLC

Cc: file

Planned Unit Development Standards Statment

- 1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?**

Clover: The site is adaptable to the unified development. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 2. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?**

Clover: The proposed development will not impede neither the existing uses nor the future potential uses. The project does not limit the viability of the center or the ability of the center to market existing vacant storefronts or pads to potential users.

- 3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted**

Clover: The proposed development will not impede the current property uses and users already in the development. It will strengthen these users by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- 4. Will the proposed planned unit development not diminish or impair property values within the neighborhood**

Clover: Property values will not be impaired by the new development. Higer density residential is a complementary use to the neighborhood. and will free up housing stock for younger families in the area, many of whom will choose to renovate and upgrade. This will raise the value of the existing stock.

- 5. Will the proposed planned development not impede the normal and orderly development and improvement of surrounding property for uses permitting in the zoning district?**

Clower: The proposed development will not impede the development and improvement of surrounding uses. Our residents will further strengthen the surrounding retail and create demand for additional goods and services in the area.

6. Is there provision for adequate utilities, drainage off-street parking and loading, pedestrian access and all other necessary facilities?

Clower: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clower engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic upon public streets?

Clower: The property has adequate ingress and egress. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for 'Senior Adult Housing Attached' the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?

Clower: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

9. Are the areas of the proposed planned unit development which are not used for structured, parking, and loading areas, or access ways, suitably landscaped?

Clower: The landscaping is typical for an active adult community. Any areas not covered by improvements will be greenspace, enhanced with plantings as appropriate.

10. Is the proposed planned unit development, in the specific location proposed, consistent with the spirit and intent of this Ordinance and the adopted comprehensive plan?

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

Clover: The project is designed to meet the needs of an underserved population of seniors, desiring to age in place while utilizing the community shopping, dining, healthcare, and places of worship to which they have become accustomed. They are seeking market rate housing, designed with hard and soft programming to suit their changing housing needs.

Special Use Standards

- 1. That the establishment, maintenance, and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.**

Clover: The property will not endanger the health, safety, comfort or welfare of anyone in the community. Furthermore, seniors choosing to live at the property will be able to remain in the community, aging in place in a facility with hard and soft programming designed to further their comfort and well-being.

- 2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.**

Clover: The proposed project is compatible with the adjacent properties. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 3. That the special use in the specific location proposed is consistent with the spirit and intent of the zoning ordinance and the adopted Comprehensive Plan**

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

- 4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard individually.**

- The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.**

Clover: A Planned Unit Development is an authorized special use in B-2 Zoning.

- The proposed special use does not create excessive additional impacts at public expense for the public facilities and services and will be beneficial to the economic welfare of the community.**

Clover: The proposed development will not create excessive impacts at public expense or public facilities. It will strengthen the economic welfare of the

community by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- **The proposed use is in conformance with the goals and policies of the comprehensive Plan and all Village codes and regulations**

Clover: The proposed development is consistent with ordinances and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

- **The proposed special use will not significantly diminish the safety, use, enjoyment, and value of the other property in the neighborhood in which it is located**

Clover: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

- **The proposed special uses minimizes potentially dangerous traffic movements and provides adequate and safe access to the site**

Clover: The property minimizes dangerous traffic and has safe and adequate access. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for ‘Senior Adult Housing Attached’ the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

- **The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of the Ordinance.**

Clover: Per Chapter 14 of the Municipal Code, Independent Living Facilities require one space per dwelling unit + two spaces for every 1,000 sqft of gross office area. Based on this, the minimum off-street parking requirement would be 126 spaces. We are currently projecting to provide 148 spaces, including 110 surface parking spaces and 40 detached garages.

- **The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.**

Clover: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clover engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

- **The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.**

Clover: To the best of our knowledge, The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Applicant: Clover Communities North Aurora LLC
Contact: Russell Caplin
Address: 348 Harris Hill Road
Williamsville, IL 14221

Project: North Aurora Senior Apartments
Address: Orchard Gateway Boulevard, North Aurora

IDNR Project Number: 2504108
Date: 09/23/2024

Description: Construction of a 4-story, 124-unit senior apartment building with 5 garages and associated parking and utilities.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kane

Township, Range, Section:

38N, 8E, 5

38N, 8E, 6



IL Department of Natural Resources Contact

Adam Rawe
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Village of North Aurora
Nathan Darga
Village Hall
25 East State Street
North Aurora, Illinois 60542

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt	Project Code 2504108
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APPLICANT	DATE
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Clover Communities North Aurora LLC Russell Caplin 348 Harris Hill Road Williamsville, IL 14221	9/23/2024
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DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
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EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81
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TOTAL PAID	\$ 127.81
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Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov



Natural Resources Inventory (NRI) Application

Petitioner: _____
Contact Person: _____
Address: _____
City, State, Zip: _____
Phone Number: _____
Email: _____

Owner: _____
Address: _____
City, State, Zip: _____
Phone Number: _____
Email: _____

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location

Address: _____
City, State, Zip: _____
Township(s) _____ N Range(s) _____ E Section(s) _____
Parcel Index Number(s): _____

Type of Request

- Change in Zoning from _____ to _____
- Subdivision or Planned Unit Development (PUD)
- Variance (Please describe fully on a separate sheet)
- Special Use Permit (Please describe on separate sheet)

Site Information

Municipality/Permitting Unit of Government: _____ Acres of Disturbance: _____
Project or Subdivision Name: _____ Total Acres: _____
Current Use of Site: _____ Proposed Use: _____
Surrounding Land Use: _____ Hearing Date: _____

Proposed Improvements (Check all that apply)

- Dwellings with Basements
- Dwellings without Basements
- Parking Lots
- Roads and Streets
- Commercial Buildings
- Utility Structures
- Common Open Space
- Other _____

Stormwater Treatment

- Drainage Ditches or Swales
- Storm Sewers
- Dry Detention Basins
- Wet Detention Basins
- No Detention Facilities Proposed
- Other _____

Water Supply

- Individual Wells
- Community Water

Wastewater Treatment

- Septic System
- Sewers
- Other _____

Required: Include One Copy of Each of the Following (Processing will not begin until all items are received)

- Application** (completed and signed)
- Fee** (according to fee schedule on back)
- Make Checks payable to Kane-DuPage Soil and Water Conservation District
- Plat of Survey** showing legal description, legal measurements
- Site Plan/Drawings** showing lots, storm water detention areas, open areas, streets etc.
- Project Narrative** with additional details on the proposed use, including total area of ground disturbance
- Location Map** (if not on maps above) include distances from major roadways or tax parcel numbers

If Available- Not Required:

Any applicable surveys including wetland deliniation, detailed soil survey, topographic survey etc.

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent _____ **Date** _____

FOR OFFICE USE ONLY

NRI # _____ Natural Resource Review Letter _____ Date Initially rec'd _____ Date all rec'd _____

Date Due _____ Fee Due \$ _____ Refund Due _____ Check # _____

The report will be issued on a nondiscriminatory basis without regard to race, color, religion, sex, age, marital status, handicap, or national origin.

Natural Resources Inventory (NRI) Fees

FEE AMOUNTS FOR TOTAL ACRES OF PARCEL*: Effective January 01, 2024

¼ acre or less= \$100

¼ acre-5 acres or fraction thereof= \$475.00

6 acres or fraction thereof = \$500.00

ADD \$20 for each additional acre or fraction thereof OVER 6

Please contact KDSWCD for non-contiguous parcels

MAKE CHECKS PAYABLE TO: Kane DuPage Soil and Water Conservation District

Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee
1	475	21	800	41	1200	61	1600	81	2000	101	2400	121	2800	141	3200	161	3600	181	4000
2	475	22	820	42	1220	62	1620	82	2020	102	2420	122	2820	142	3220	162	3620	182	4020
3	475	23	840	43	1240	63	1640	83	2040	103	2440	123	2840	143	3240	163	3640	183	4040
4	475	24	860	44	1260	64	1660	84	2060	104	2460	124	2860	144	3260	164	3660	184	4060
5	475	25	880	45	1280	65	1680	85	2080	105	2480	125	2880	145	3280	165	3680	185	4080
6	500	26	900	46	1300	66	1700	86	2100	106	2500	126	2900	146	3300	166	3700	186	4100
7	520	27	920	47	1320	67	1720	87	2120	107	2520	127	2920	147	3320	167	3720	187	4120
8	540	28	940	48	1340	68	1740	88	2140	108	2540	128	2940	148	3340	168	3740	188	4140
9	560	29	960	49	1360	69	1760	89	2160	109	2560	129	2960	149	3360	169	3760	189	4160
10	580	30	980	50	1380	70	1780	90	2180	110	2580	130	2980	150	3380	170	3780	190	4180
11	600	31	1000	51	1400	71	1800	91	2200	111	2600	131	3000	151	3400	171	3800	191	4200
12	620	32	1020	52	1420	72	1820	92	2220	112	2620	132	3020	152	3420	172	3820	192	4220
13	640	33	1040	53	1440	73	1840	93	2240	113	2640	133	3040	153	3440	173	3840	193	4240
14	660	34	1060	54	1460	74	1860	94	2260	114	2660	134	3060	154	3460	174	3860	194	4260
15	680	35	1080	55	1480	75	1880	95	2280	115	2680	135	3080	155	3480	175	3880	195	4280
16	700	36	1100	56	1500	76	1900	96	2300	116	2700	136	3100	156	3500	176	3900	196	4300
17	720	37	1120	57	1520	77	1920	97	2320	117	2720	137	3120	157	3520	177	3920	197	4320
18	740	38	1140	58	1540	78	1940	98	2340	118	2740	138	3140	158	3540	178	3940	198	4340
19	760	39	1160	59	1560	79	1960	99	2360	119	2760	139	3160	159	3560	179	3960	199	4360
20	780	40	1180	60	1580	80	1980	100	2380	120	2780	140	3180	160	3580	180	3980	200	4380

For the convenience of those who must comply with the provisions of the Illinois Soil and Water Conservation District Act, Section 22.02a (Illinois Compiled Statutes, Chapter 70, Paragraph 405, Section 22.02a), enacted December 3, 1971, effective July 1, 1972, we quote this section:

“The Soil and Water Conservation District shall make all-natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality’s or county’s zoning ordinance or who proposes to subdivide vacant or agricultural lands therein shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall be given not more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action.”

***Fees may be adjusted based on size of disturbance and adjacent natural resources which may be impacted.**

2023K026682

Sandy Wegman
RECORDER - KANE COUNTY, IL
RECORDED: 8/4/2023 03:39 PM
REC FEE: 59.00 RIHSPS FEE: 18.00
STATE TAX: 650.50
COUNTY TAX: 325.25
PAGES: 6

Prepared by:
Michael R. Brancheau
Higgins & Brancheau LLC
200 West Adams Street, Suite 2220
Chicago, Illinois 60606

After Recording Return to:
John J. Hoscheit
Hoscheit, McGuirk, McCracken & Cuscaden, P.C.
1001 East Main Street, Suite G
St. Charles, Illinois 60174

Mail Tax Bills To:
ORCHARD11, LLC
333 N. Randall Road
Suite 120
St. Charles, Illinois 60174

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the 3rd day of August, 2023, by **IRC NORTH AURORA VENTURE, L.L.C.**, a Delaware limited liability company (the "Grantor"), whose address is c/o Pine Tree, 814 Commerce Drive, Suite 300, Oak Brook, Illinois 60523, to and in favor of **ORCHARD11, LLC**, an Illinois limited liability company (the "Grantee"), whose address is 333 N. Randall Road, Suite 120, St. Charles, Illinois 60174.

WITNESSETH:

THAT THE GRANTOR, for the sum of Ten Dollars and other valuable consideration paid by the Grantee, the receipt of which is acknowledged, has REMISED, ALIENATED and CONVEYED to the Grantee, its successors and assigns forever, that real property located in Kane County, Illinois, which is described in the attached **Exhibit A**, together with all appurtenances, tenements and hereditaments, easements, rights-of-way and appurtenances belonging or in anywise appertaining to the same, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, thereunto appertaining, and subject to (i) those matters described in the attached **Exhibit B**, provided this mention shall not serve to reimpose same, and (ii) any accrued taxes or assessments not yet due and payable.

AND THE GRANTOR does hereby, for itself, hereby covenants with Grantee that it has not done or suffered to be done, anything whereby the said real property hereby granted is, or may be, in any manner encumbered or charged, except as herein recited, and that Grantor is lawfully seized of said real property in fee simple subject, however, to the matters set forth in **Exhibit B** attached hereto and made a part hereof; and that Grantor has good right and lawful authority to

PAGE 1

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Handwritten number 6

Handwritten number 77

sell and convey said real property; and hereby warrants the title to said real property and will WARRANT AND DEFEND the same against the lawful claims of all persons claiming by, through or under Grantor, but no others, subject to the matters set forth in Exhibit B.

[signatures on the following page]

PAGE 2

IN WITNESS WHEREOF, the Grantor has executed this Special Warranty Deed as of the day and year first above written.

IRC NORTH AURORA VENTURE, L.L.C.,
a Delaware limited liability company

By: Midwest Retail Mezz, LLC
a Delaware limited liability company
its sole member

By: Midwest Retail Mezz II, LLC
a Delaware limited liability company
its sole member

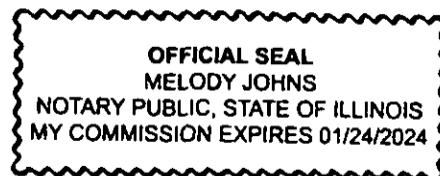
By: IRC Retail Centers, LLC
a Delaware limited liability company
its sole member

By: Peter Foran
Name: Peter Foran
Title: Vice President

STATE OF ILLINOIS
COUNTY OF DUPAGE

The foregoing instrument was acknowledged before me this 27th day of July, 2023, by Peter Foran, as Vice President of IRC Retail Centers, LLC, a Delaware limited liability company, which is the sole member of Midwest Retail Mezz II, LLC, a Delaware limited liability company, which is the sole member of Midwest Retail Mezz, LLC, a Delaware limited liability company, which is the sole member of IRC NORTH AURORA VENTURE, L.L.C., a Delaware limited liability company, on behalf of the limited liability companies, who was physically present and who is personally known to me or who produced _____ as identification.

Melody Johns
Notary Public Melody Johns
Commission number _____
My commission expires: 1/24/2024



PAGE 3

EXHIBIT A

LEGAL DESCRIPTION

LOTS 2 AND 3 IN THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS RECORDED MARCH 22, 2006 AS DOCUMENT NO. 2006K031047.

PERMANENT INDEX NUMBER: 15-06-401-004
 15-06-426-003

COMMONLY KNOWN AS: Vacant Land Near Intersection of S. Randall Road
 and Orchard Gateway Boulevard
 North Aurora, Illinois 60542

EXHIBIT B

PERMITTED EXCEPTIONS

1. Taxes for the years 2022 and 2023

Permanent Tax Nos.: 15-06-401-004
 15-06-426-003

2. The Land lies within the boundaries of Special Services Areas 32 and 36, as disclosed by Ordinances recorded as document nos. 2006K004036 and 2006K123248, and is subject to additional taxes under the terms of said Ordinance and subsequent related Ordinances.
3. The Land lies within the boundaries of the Fox Metro Water Reclamation District as disclosed by Ordinance recorded as document no. 2008K062417, and is subject to additional taxes under the terms of said Ordinance and subsequent related Ordinances.
4. Easement in favor of Aurora Sanitary District for sanitary sewer created by Grant from Elmer J. Konen and Clara E. Konen recorded September 24, 1969 as document no. 1149690, and the provisions relating thereto.
5. Easement in favor of Fox Metro Water Reclamation District for sanitary sewer as shown on Plat of North Aurora Towne Centre Subdivision recorded as document no. 2006K029817.
6. Easement for public utilities in favor of the Village of North Aurora, and all public utility companies of any kind operating under franchise granting them easement rights from the Village, including, but not limited to Comcast, AT&T, Commonwealth Edison Company and Northern Illinois Gas Company, together with their respective successors and assigns, as reserved and granted by the Grant of Easement recorded as document no. 2007K032739, and the provisions relating thereto.
7. Declaration of Use and Maintenance Agreement recorded June 1, 2005 as document no. 2005K061900, executed by and between Rubloff North Aurora, L.L.C., an Illinois limited liability company, MB Financial Bank, N.A., as Trustee under Trust Agreement dated December 19, 2003 and known as Trust Number 3351, concerning, among other matters, common area, maintenance, repair, and costs.

Assignment and Assumption of Rights and Interest under Declaration of Use, Maintenance and Easement Agreement dated August 3, 2023 and recorded 8-4, 2023 as document number 2023 F.O. 26684

8. Declaration of Restrictive Covenants recorded June 8, 2006 as document no. 2006K061458 made by Rubloff North Aurora, L.L.C., an Illinois limited liability company.

PAGE 5

9. Declaration of Restrictive Covenants made by Rubloff North Aurora, L.L.C., an Illinois limited liability company, recorded September 12, 2006 as document no. 2006K099514.
10. Village of North Aurora Ordinance Number 05-03-23-02 annexing the Land, recorded April 25, 2005 as document no. 2005K046080, and Ordinance Number 05-03-23-01 concerning annexation agreement recorded April 25, 2005 as document no. 2005K046081, and Amendment to Annexation Agreement recorded July 5, 2007 as document no. 2007K061238, and amended by Letter recorded June 17, 2008 as document no. 2008K050722.

Amendments to the Annexation Agreement and Planned Unit Development recorded July 9, 2013 as document nos. 2013K050344 and 2013K050345.

11. Village of North Aurora Ordinance concerning Rubloff Economic Incentive Agreement recorded May 12, 2005 as document no. 2005K053993.
12. Sales Tax Reporting agreements between Rubloff North America L.L.C. and NARE/Inland North Aurora Venture II, L.L.C., dated August 30, 2006 and recorded September 12, 2006 as document nos. 2006K099515 and 2006K099516.
13. Signage Easement and Maintenance Agreement by and between Preferred Real Estate LLC, Nare/Inland North Aurora Venture LLC, Nare/Inland North Aurora Venture II LLC and Nare/Inland North Aurora Venture III L.L.C., recorded September 29, 2008 as document no. 2008K075119.

Partial Release of Signage Easement and Maintenance Agreement recorded September 13, 2013 as document no. 2013K066839.

14. Building line over the Southerly 25 feet as shown on the Plat of Subdivision of the First Resubdivision of Lot 16 of North Aurora Towne Centre, recorded as document no. 2006K31047.



VILLAGE OF NORTH AURORA
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 897-8228

Stat ID: WVH0612 Date: 10/23/2024
Oper ID:mflatt Time: 03:04 PM
Receipt No. 00410747

DETAILS:

01-310-3140
Special Use PUD 1,000.00

PAYOR:

Customer #: 024163
Clover Construction Management West Corp
348 Harris Hill Road

Williamsville NY 14221

TENDOR:

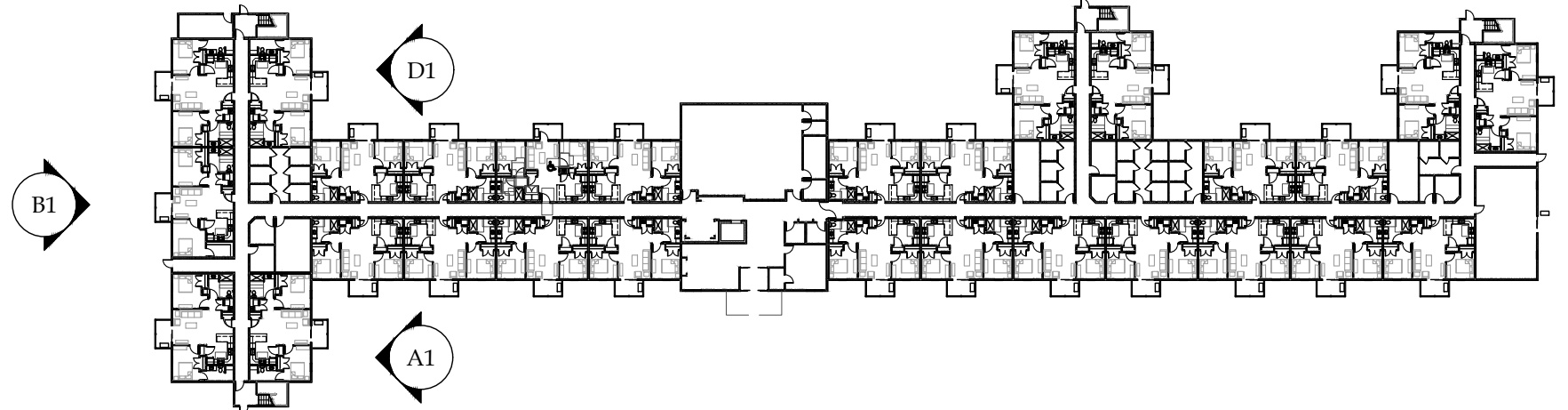
Cash: 0.00
Check: 1,000.00 Check No: 39730
Other: 0.00
Change: 0.00

Receipt Total: 1,000.00

--THANK YOU--







E5 KEY PLAN
SCALE: NTS

D1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



B1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS



SILVESTRI ARCHITECTS - PC

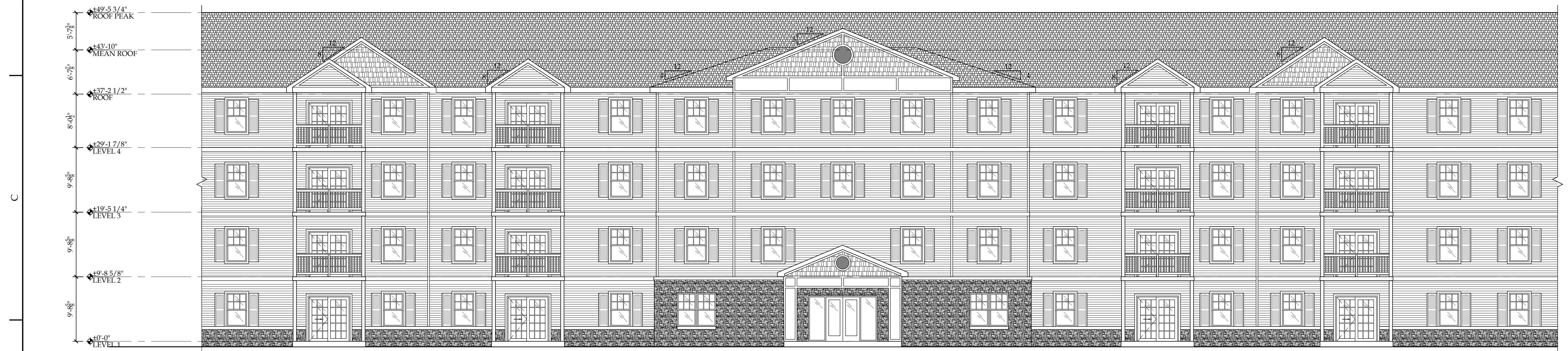
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-201**



D1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



B1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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Orchard Gateway Blvd,
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PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
EXTERIOR ELEVATIONS - OPTION "A"



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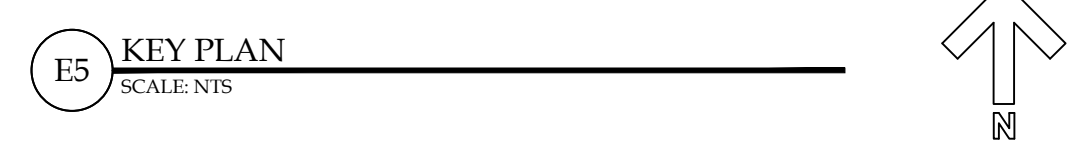
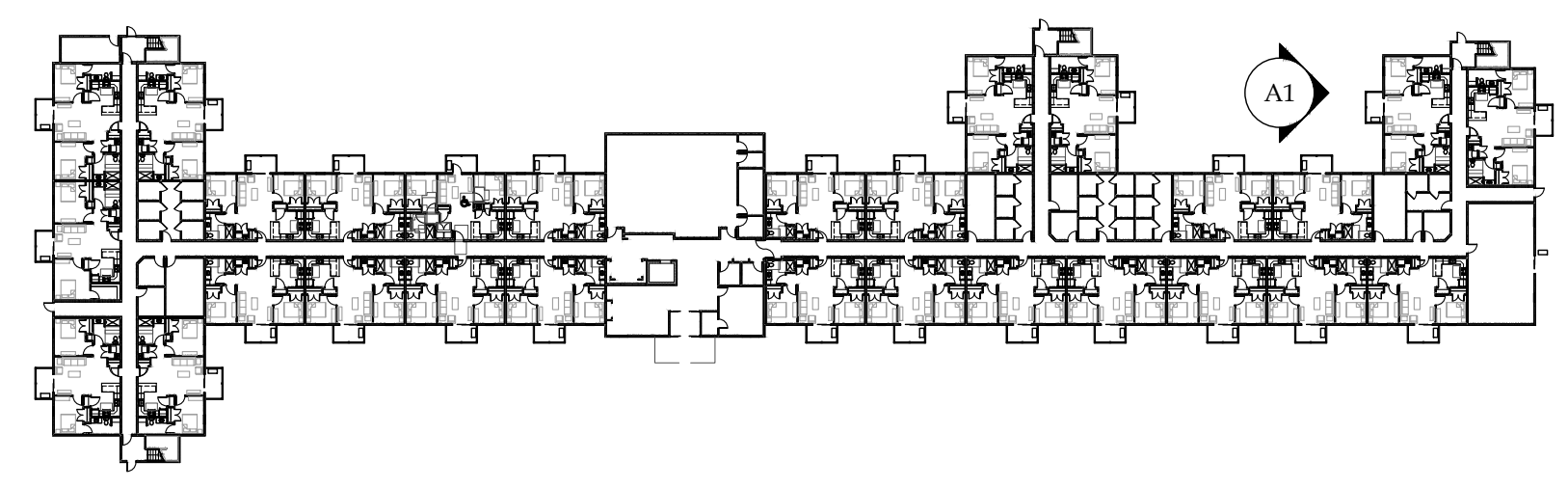
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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-202**

1 2 3 4 5 6

E
D
C
B
A



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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
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JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
EXTERIOR ELEVATIONS



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ARCHITECTS · PC

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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-203**



B1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

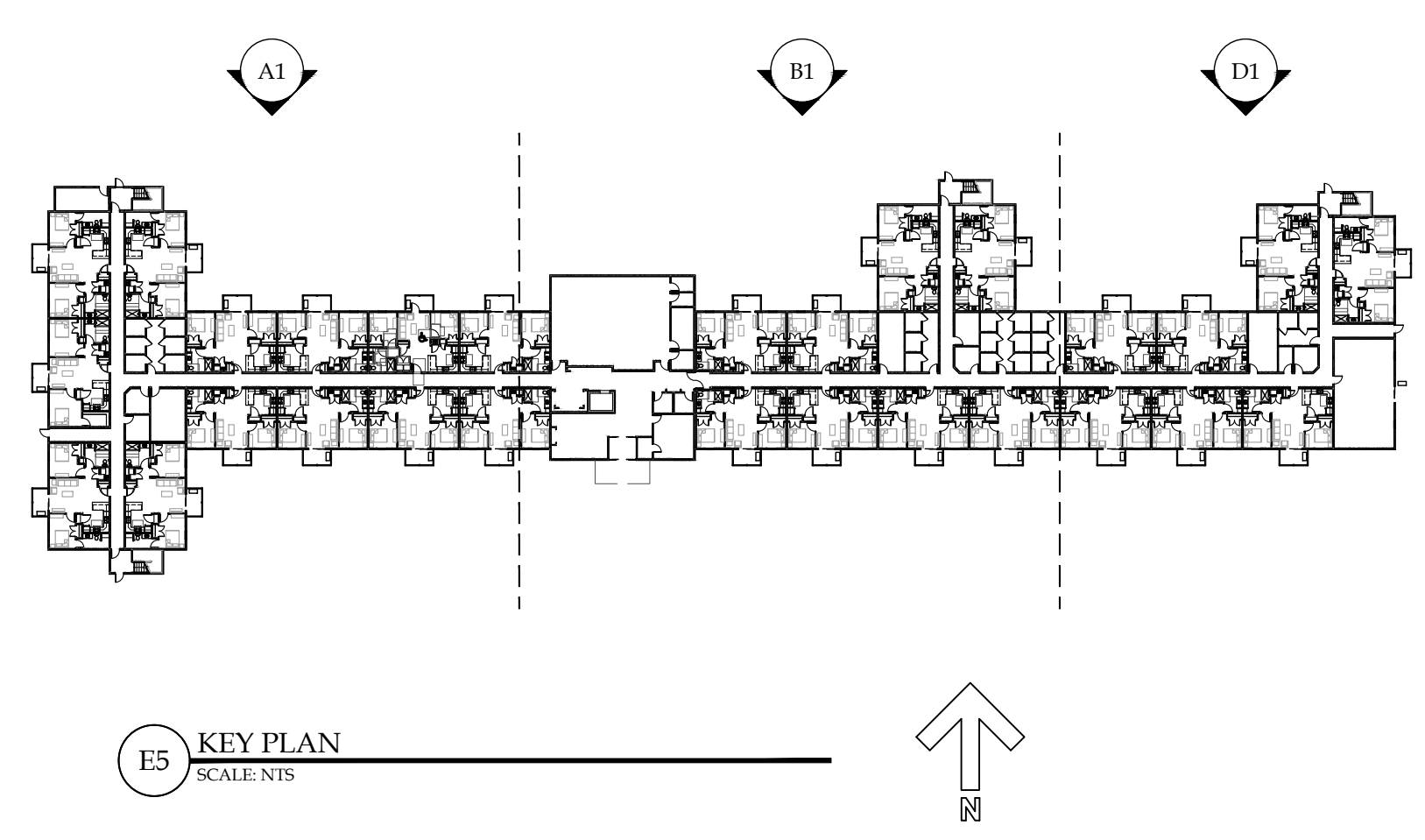


A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

1 2 3 4 5 6



D1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



E5 KEY PLAN
SCALE: 1/8" = 1'-0"



B1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

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JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS

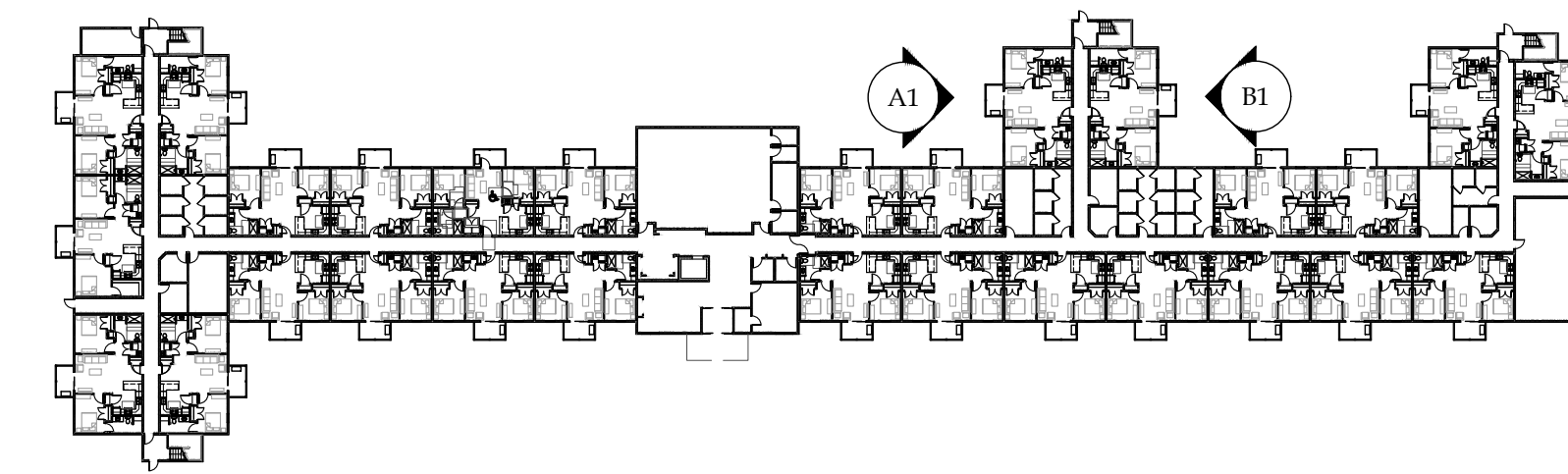


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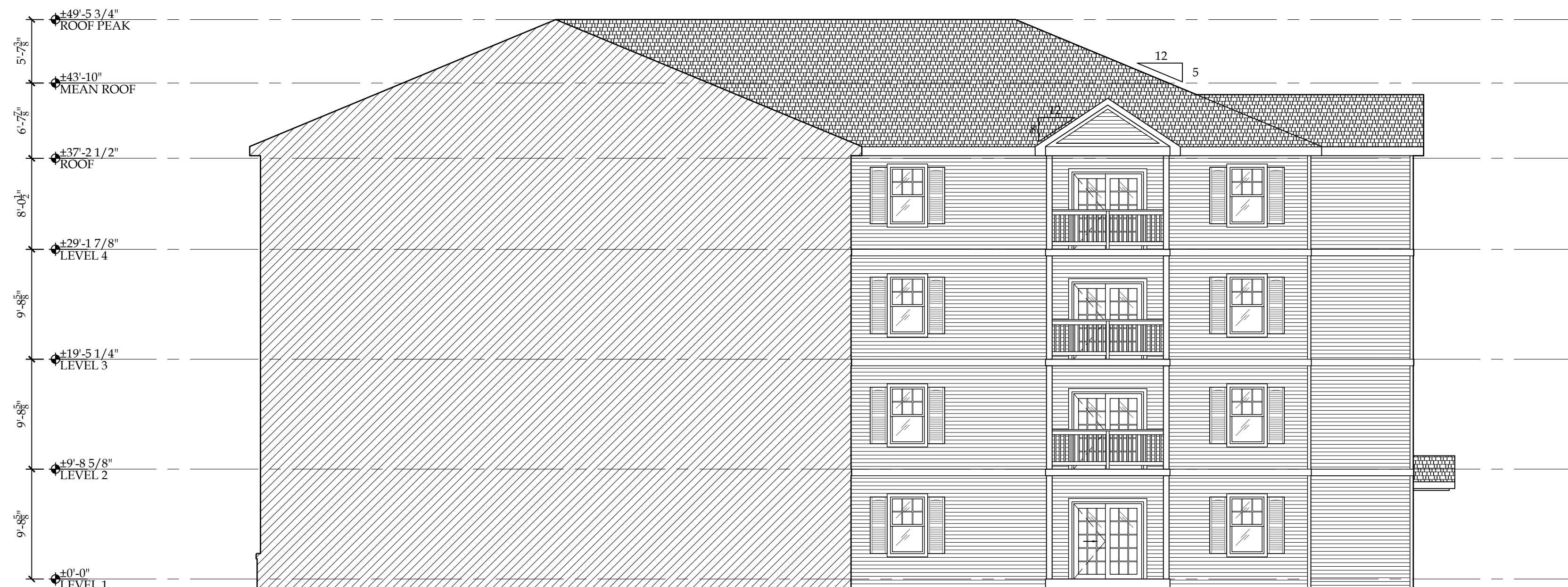
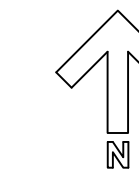
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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: A-204



E5 KEY PLAN
SCALE: NTS



B1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS

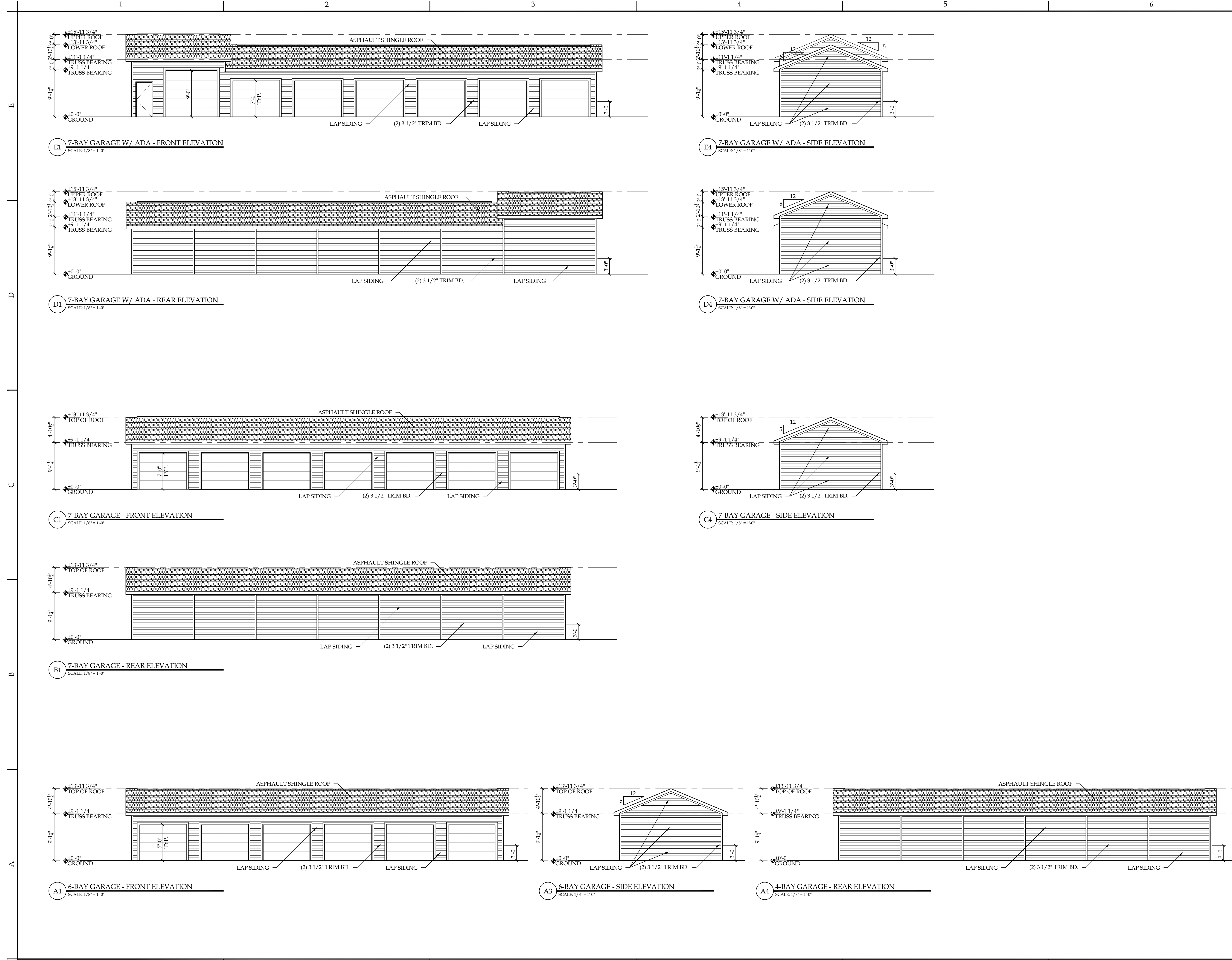


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North Aurora Senior Apartments
 Orchard Gateway Blvd,
 North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
 PROJ. ARCH. S. Hunt DRAFTER _____
 JOB CAPT. J. Somers INTERIORS A. Nagle

SEAL:

TITLE:
GARAGE ELEVATIONS



SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-206**



**CONTRACT DRAWINGS
FOR THE CONSTRUCTION OF**

**NORTH AURORA SENIOR APARTMENTS
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

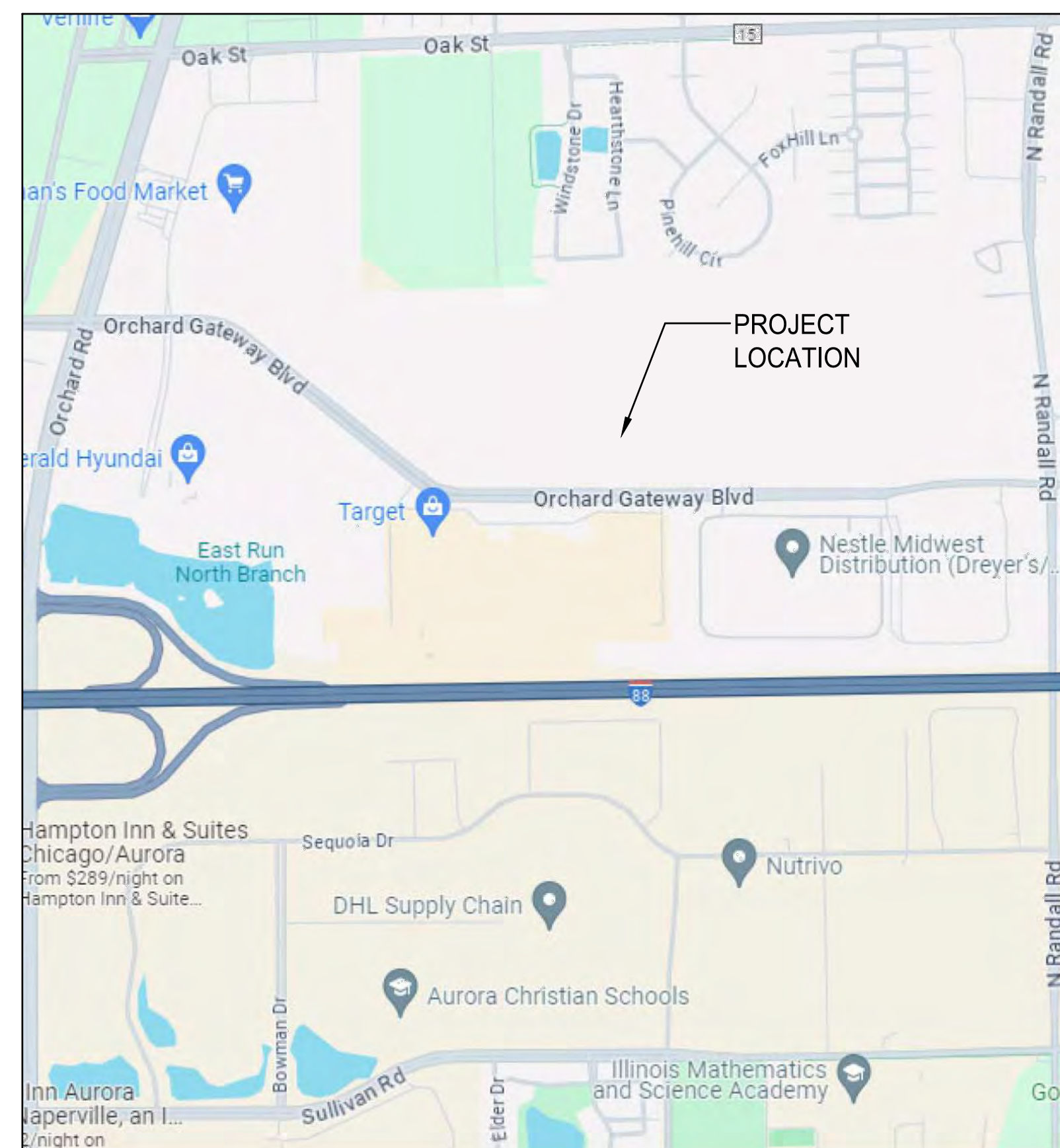


APPLICANT/DEVELOPER:
CLOVER COMMUNITIES NORTH AURORA LLC
348 HARRIS HILL ROAD
WILLIAMSVILLE, NY 14221
CONTACT: RUSSELL CAPLIN, DEVELOPMENT DIRECTOR
PHONE: 314-210-2110

ENGINEER:
ERIC DANIEL, P.E.
C&S ENGINEERS, INC.
141 ELM STREET, SUITE 100
BUFFALO, NEW YORK 14203
PHONE: 716-847-1630

SURVEYOR:
VANDERSTAPPEN LAND SURVEYING, INC.
1316 N. MADISON ST.
WOODSTOCK, IL 60098
PHONE: 815-337-8310

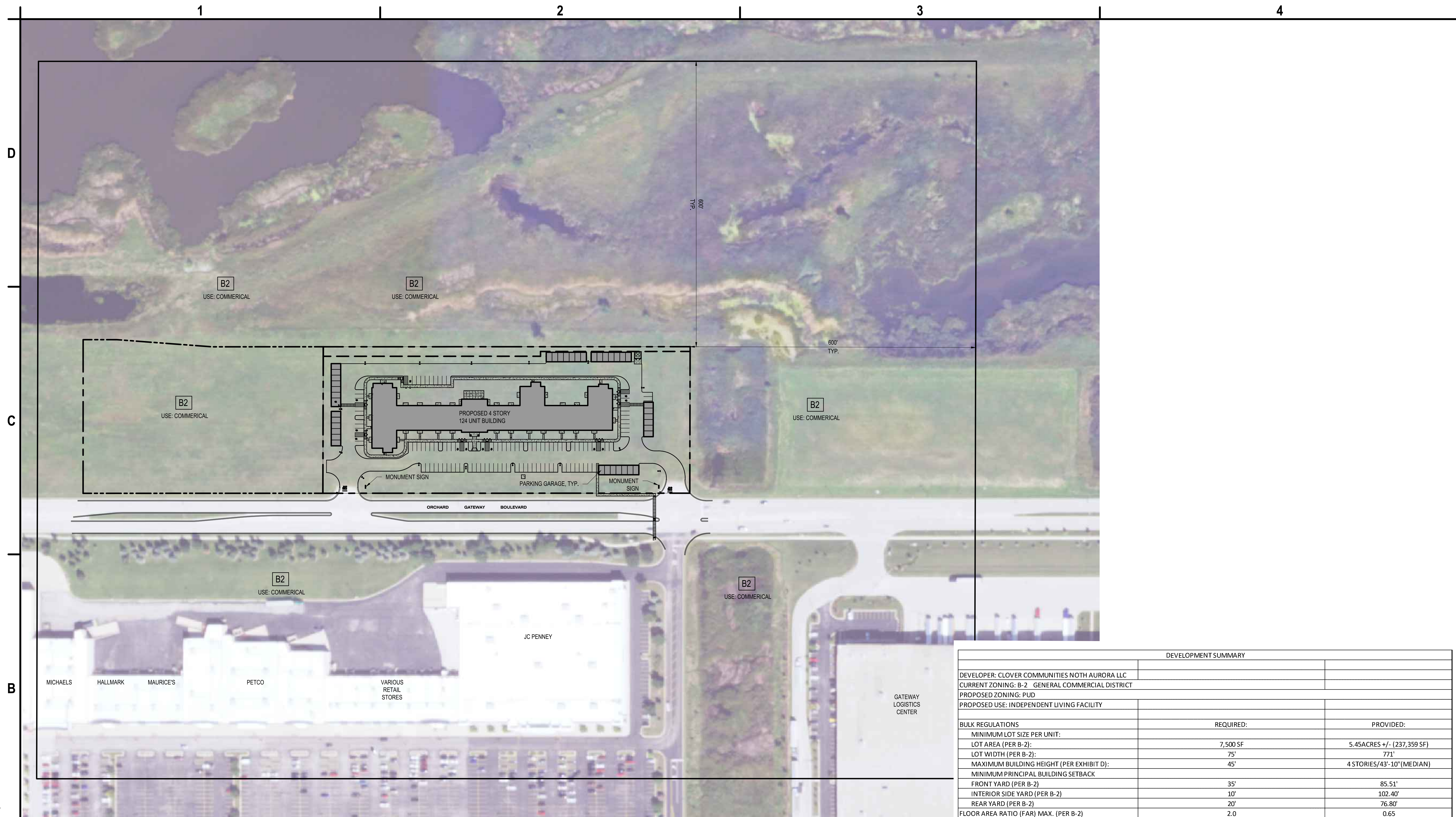
C&S PROJECT: F53.546.002



DRAWING INDEX	
SURVEY	
OVERALL SITE PLAN	C-100
SITE PLAN	C-101
GRADING PLAN	C-102
UTILITY PLAN	C-103
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SITE DETAILS	C-501
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SANITARY SEWER DETAILS	C-504
STORM DETAILS	C-505
EROSION & SEDIMENT CONTROL DETAILS	C-506
EROSION & SEDIMENT CONTROL DETAILS	C-507

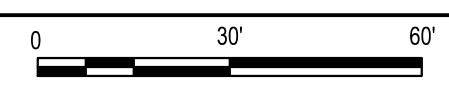
SEPTEMBER 2024

G-001



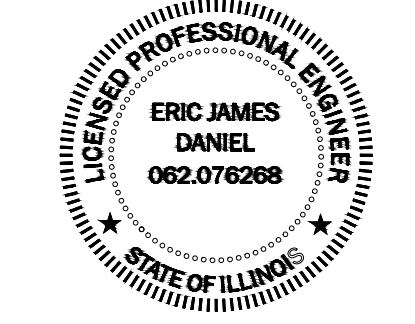
- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY VANDERSTAPPEN LAND SURVEYING, INC. DATED 08- C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

DEVELOPMENT SUMMARY		
DEVELOPER: CLOVER COMMUNITIES NORTH AURORA LLC		
CURRENT ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
PROPOSED ZONING: PUD		
PROPOSED USE: INDEPENDENT LIVING FACILITY		
BULK REGULATIONS		
	REQUIRED:	PROVIDED:
MINIMUM LOT SIZE PER UNIT:		
LOT AREA (PER B-2):	7,500 SF	5.45ACRES +/- (237,359 SF)
LOT WIDTH (PER B-2):	75'	771'
MAXIMUM BUILDING HEIGHT (PER EXHIBIT D):	45'	4 STORIES/43'-10"(MEDIAN)
MINIMUM PRINCIPAL BUILDING SETBACK		
FRONT YARD (PER B-2)	35'	85.51'
INTERIOR SIDE YARD (PER B-2)	10'	102.40'
REAR YARD (PER B-2)	20'	76.80'
FLOOR AREA RATIO (FAR) MAX. (PER B-2)	2.0	0.65
LOT COVERAGE		19.29%
ACCESSORY STRUCTURE SETBACK		
FRONT YARD (PER EXHIBIT D)	35'	38.73'
SIDE YARD	10'	16.78'
REAR YARD	10'	11.62'
DENSITY		22.75 UNITS PER ACRE
BUILDING SQUARE FOOTAGE		36,154 FIRST FLOOR (144,616 TOTAL)
NUMBER OF DWELLINGS		124
MAXIMUM GARAGE HEIGHT:	20' MAX.	13'-11 3/4" (PEAK) STANDARD GARAGE 15'-11 3/4" (PEAK) ACCESSIBLE GARAGE
GARAGE SQUARE FOOTAGE	NOT TO EXCEED MAX LOT COVERAGE	4.1% (9,746 SF)
INTERIOR GREENSPACE	1 TREE PER ISLAND + 1 TREE PER 300SF LANDSCAPED AREA	49
ON LOT REQUIRED TREES	N/A PER EXHIBIT D	N/A
AUTO PARKING:		
INDEPENDENT LIVING FACILITY	ONE PER DWELLING UNIT = 124	146
	2 PER 1000 GROSS SF OFFICE AREA = 2	2
TOTAL PARKING	126	148



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141 Elm Street, Suite 100
Buffalo, New York 14203
Phone: 716-847-1630
Fax: 716-847-1454
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EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

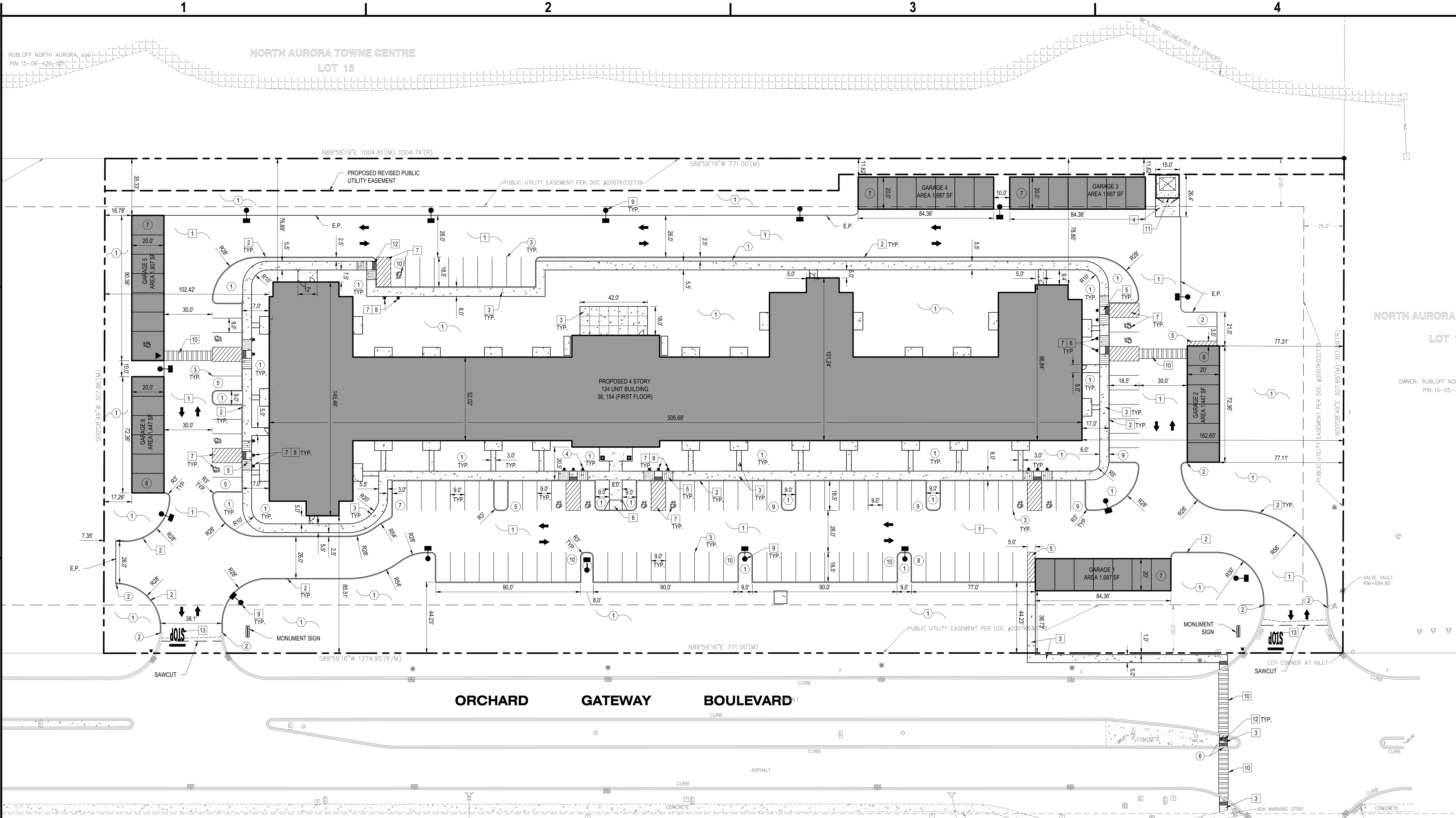
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:	F53.546.002	
DATE:	OCTOBER 25, 2024	
DRAWN BY:	S. SCHIENER	
DESIGNED BY:	E. DANIEL	
CHECKED BY:		

PRELIMINARY

**OVERALL
SITE PLAN**

C-100

Oct 30, 2024 - 2:32pm F:\Project\F53 - Affordable Senior Housing\F53546002 - North Aurora - IL\Design\Design\CAD\Sheet Files\F53546002_C-100.dwg



MARK	DATE	DESCRIPTION
REVISIONS		
	PROJECT NO:	F53.546.002
	DATE:	OCTOBER 25, 2024
	DRAWN BY:	S. SCHIENER
	DESIGNED BY:	E. DANIEL
	CHECKED BY:	

SITE PLAN DETAIL LEGEND

- 1 STANDARD DUTY ASPHALT - SEE DETAIL D1/C-501
- 2 CONCRETE CURB - SEE DETAIL C1/C-501
- 3 CONCRETE SIDEWALK - SEE DETAIL B1/C-501
- 4 EXTERIOR CONCRETE SLAB-ON-GRADE - SEE DETAIL A1/C-501
- 5 ACCESSIBLE CURB RAMP 'A' - SEE DETAIL D2/C-501
- 6 ACCESSIBLE CURB RAMP 'B' - SEE DETAIL C5/C-501
- 7 ACCESSIBLE SIGNS & MARKINGS - SEE DETAIL D3/C-501
- 8 SIGN POST 'A' - SEE DETAIL C3/C-501
- 9 LIGHT POLE FOUNDATION - SEE DETAIL A3/C-501
- 10 PAINTED PEDESTRIAN CROSSWALK - SEE DETAIL D4/C-501
- 11 DUMPSTER ENCLOSURE - SEE DETAIL C1/C-502
- 12 DETECTABLE WARNING SURFACE - SEE DETAIL A2/C-501
- 13 STOP BAR/STOP SIGN - SEE DETAIL C4/C-501

SITE PLAN SHEET KEYNOTES

- 1 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN
- 2 MATCH EXISTING CURB OR RUN OUT IN 2'-0"
- 3 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
- 4 INSTALL "RESERVED FOR LEASING OFFICE USE" SIGN
- 5 4" WIDE PAINTED YELLOW PAVEMENT STRIPES AT 45° AND 2'-0" O.C.
- 6 SAW CUT CURB AND SIDEWALK TO FACILITATE INSTALLATION OF FLUSH WALKWAY REFUGE AREA

SITE PLAN LEGEND

- PROPERTY LINE
- PROPOSED SIGN
- PROPOSED CONCRETE PAVEMENT/SIDEWALK
- PROPOSED CURB
- NUMBER OF PARKING SPACES
- DOOR LOCATION
- EDGE OF PAVEMENT
- LIGHTING FIXTURES
- SAW CUT LINE
- ▨ DETECTABLE WARNING SURFACE

A1 SITE PLAN
SCALE: 1"=30'

PLAN NORTH

C-101

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141 Elm Street, Suite 100
Buffalo, New York 14203
Phone: 716-847-1630
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**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

PRELIMINARY

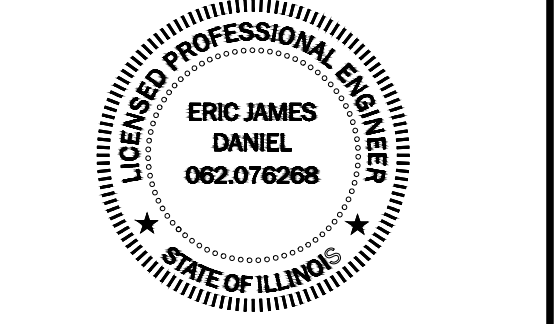
SITE PLAN

C-101



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 141 Elm Street, Suite 100
 Buffalo, New York 14203
 Phone: 716-847-1630
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EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
 ORCHARD GATEWAY BLVD.
 VILLAGE OF NORTH AURORA, IL**

MARK	DATE	DESCRIPTION
REVISIONS		
	PROJECT NO:	F53.546.002
	DATE:	OCTOBER 25, 2024
	DRAWN BY:	S. SCHIENER
	DESIGNED BY:	E. DANIEL
	CHECKED BY:	

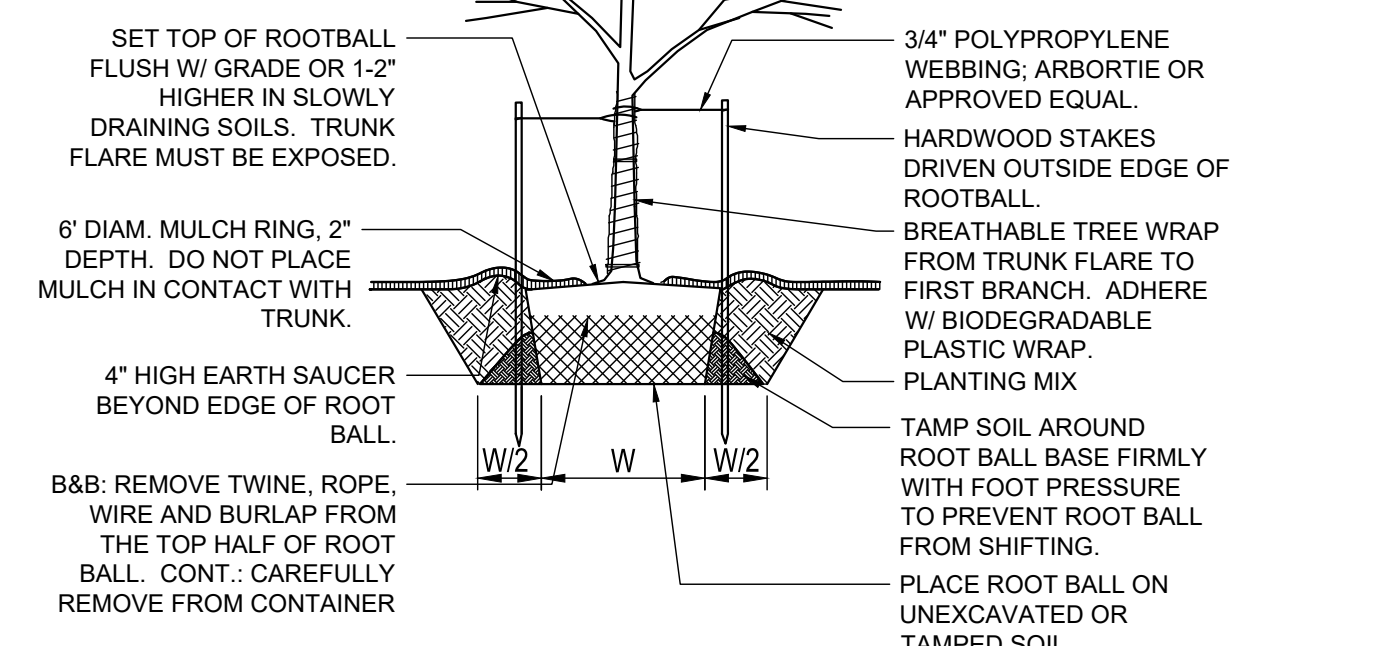
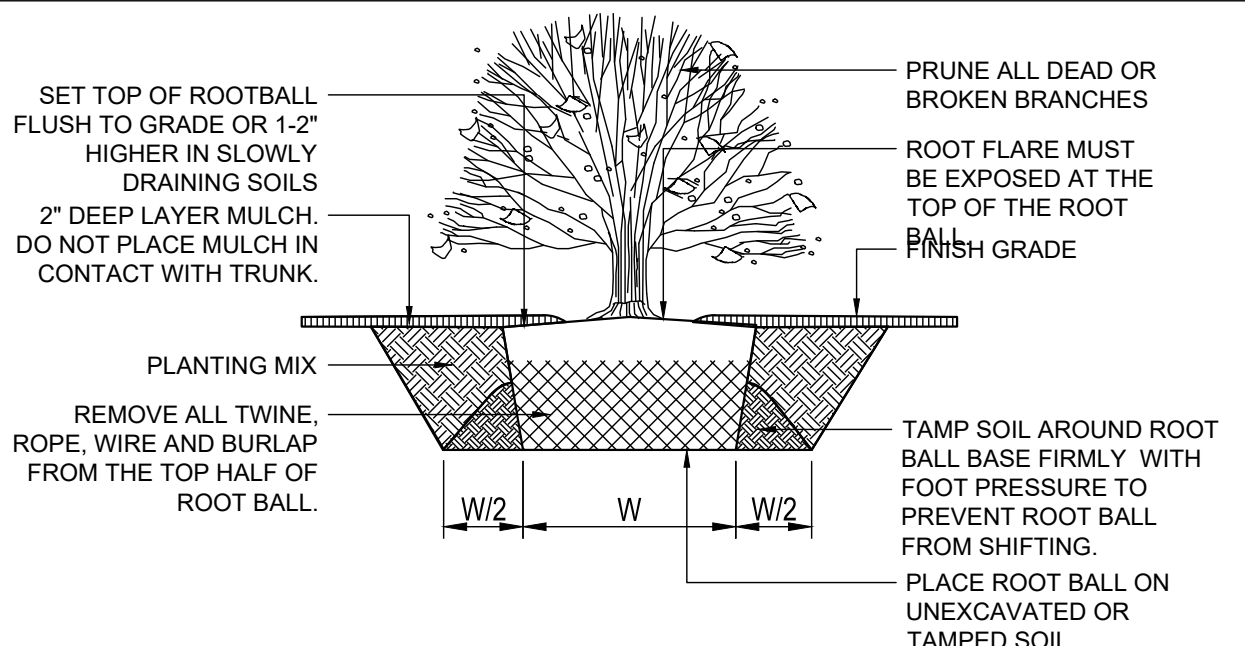
PRELIMINARY

LANDSCAPE PLAN

C-104

PLANT SCHEDULE

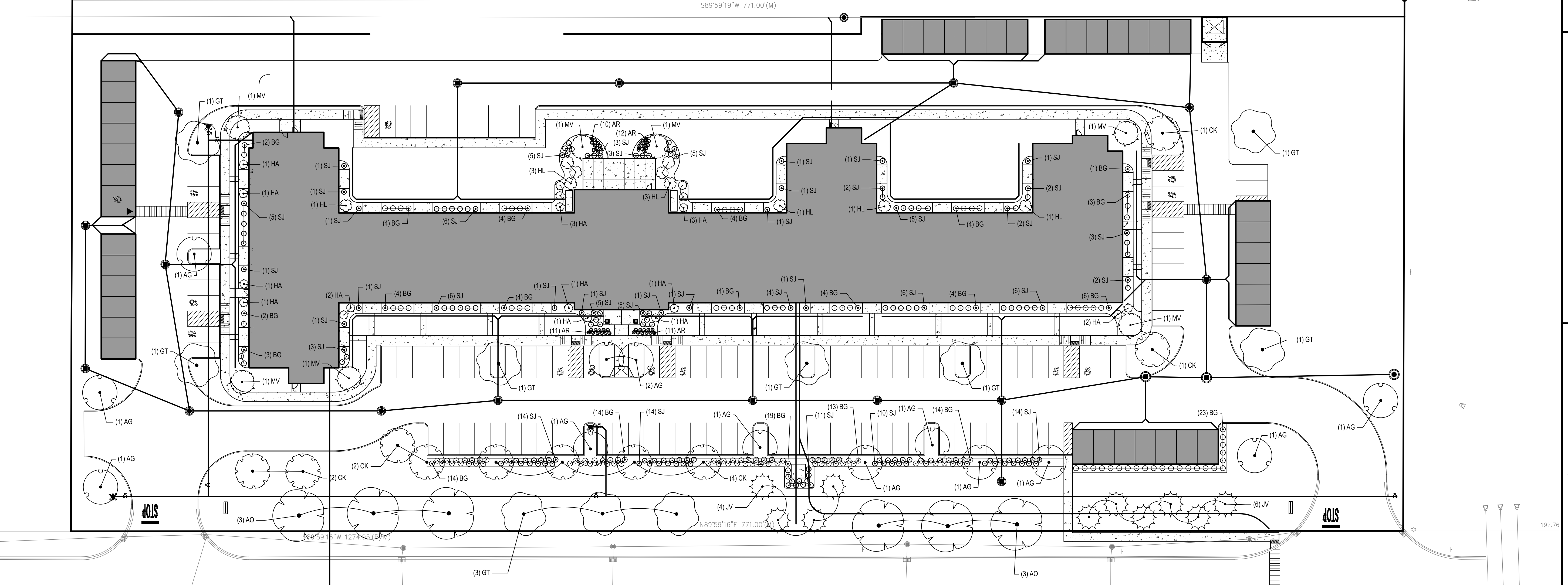
CODE	BOTANICAL / COMMON NAME	SIZE	ROOT	QTY
TREES				
AO	Acer rubrum 'October Glory' / October Glory Red Maple	2.5" Cal.	B&B	6
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	2.5" Cal.	B&B	13
CK	Cornus kousa / Kousa Dogwood	2" Cal.	B&B	10
GT	Gleditsia triacanthos 'nervis' 'Skycole' / Skyline® Honey Locust	2.5" Cal.	B&B	10
JV	Juniperus virginiana / Eastern Redcedar	5' Ht.	B&B	10
SHRUBS				
AR	Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe	#1	Cont	44
BG	Buxus x 'Green Velvet' / Green Velvet Boxwood	18"	Cont	151
HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	#5	Cont	18
HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	#5	Cont	10
MV	Magnolia virginiana / Sweetbay Magnolia	7 gal.	Pot	7
SJ	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Japanese Spirea	18"	Cont	157



- NOTES:**
- STAKE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. STAKING WILL BE REQ'D WHEN ROOT BALLS ARE VERY SANDY OR WET CLAY, WHEN SOIL IS VERY SOFT, OR WHEN PLANTING LOCATIONS ARE WINDY.
 - TIGHTEN ARBORTIE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT.
 - PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
 - TREE WRAP SHOULD BE INSTALLED AT TIME OF PLANTING AND REMOVED 12 MONTHS AFTER PLANTING.

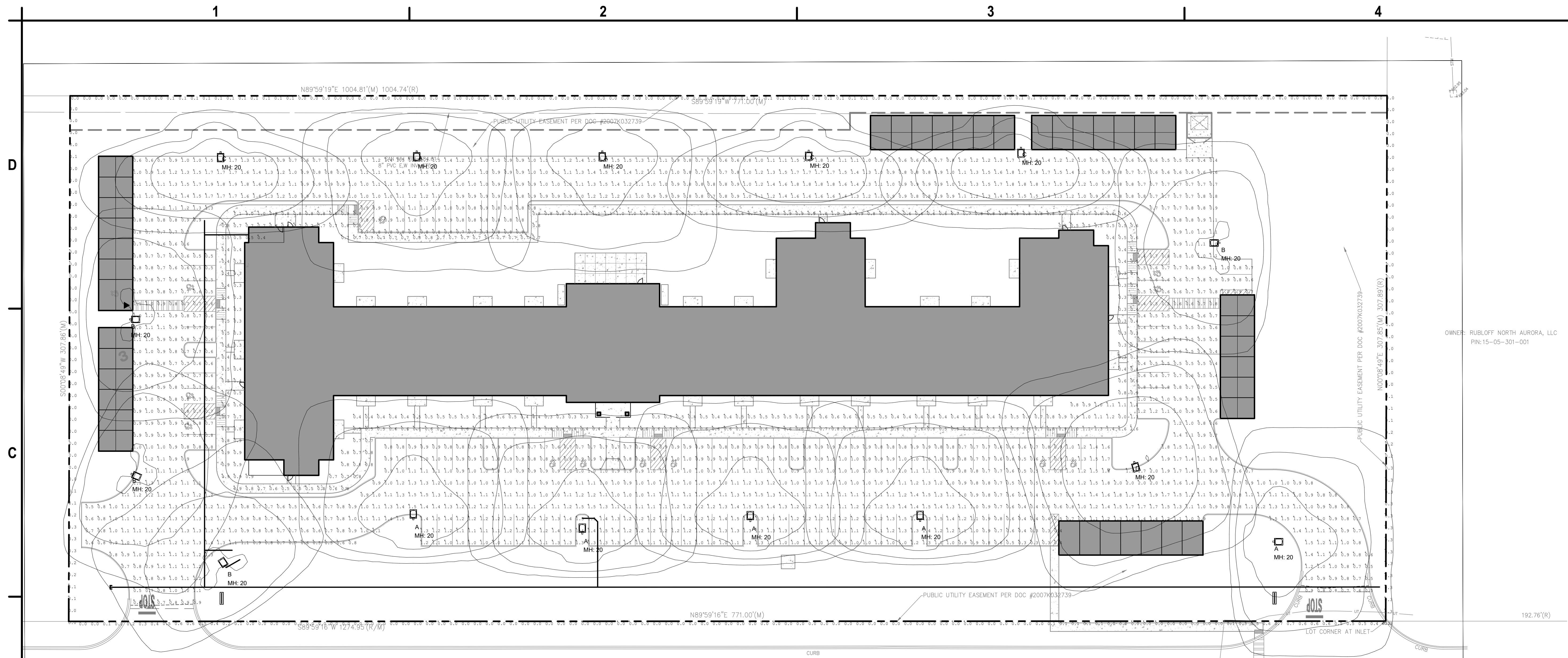
C1 TREE PLANTING DETAIL

C2 SHRUB PLANTING DETAIL



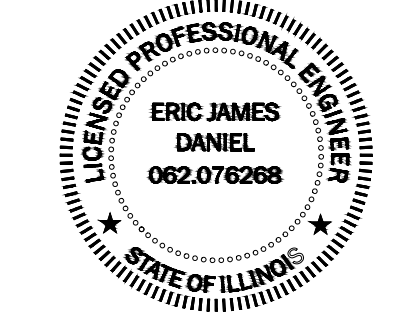
A1 LANDSCAPE PLAN

Oct 30, 2024 - 2:32pm
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EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
 ORCHARD GATEWAY BLVD.
 VILLAGE OF NORTH AURORA, IL**

MARK	DATE	DESCRIPTION

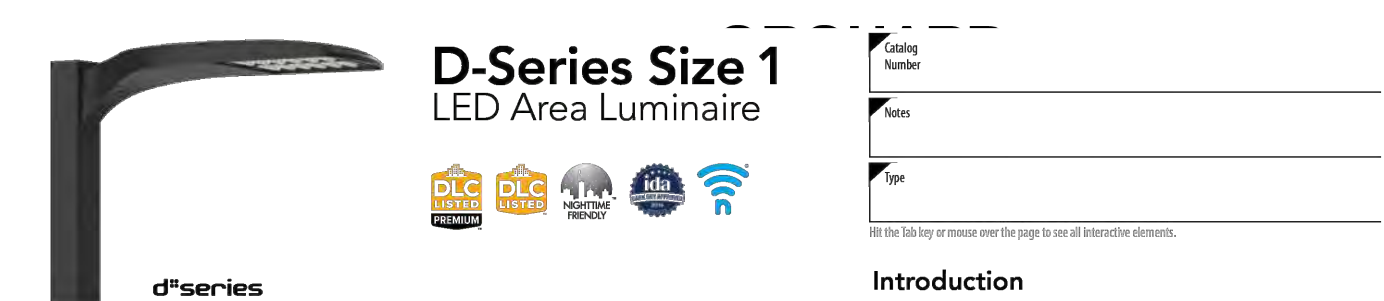
REVISIONS
 PROJECT NO: F53.546.002
 DATE: OCTOBER 25, 2024
 DRAWN BY: S. SCHIENER
 DESIGNED BY: E. DANIEL
 CHECKED BY:

PRELIMINARY

PHOTOMETRIC PLAN

A1

C-105



D-Series Size 1 LED Area Luminaire

Specifications
 EPA: 0.69 fP (0.040)
 Length: 32.71" (83.1 cm)
 Width: 14.26" (36.2 cm)
 Height H1: 7.88" (20.0 cm)
 Height H2: 2.73" (6.9 cm)
 Weight: 24 lbs (10.9 kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NILTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Color Rendering Index	Beam Distribution	Beam Angle	Voltage	Mounting
DSX1 LED	Forward optics	(This section 70CRI only)	70CRI	T15 Type I short	TSM Type I medium	MVOLT (120V-277V) ¹	SPA Square pole mounting (90° offset)
P1	P6	30K 3000K	70CRI	T15 Type I short	TSM Type I low glare	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P2	P7	40K 4000K	70CRI	T15 Type II medium	TSM Type II medium	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P3	P8	50K 5000K	70CRI	T15 Type III long	TSM Type III long	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P4	P9	(This section 80CRI only, extended lead times)	80CRI	T15 Type III low glare ¹	TSM Type III low glare ¹	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P5	P10	(This section 80CRI only, extended lead times)	80CRI	T15 Type IV medium	TSM Type IV medium	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P6	P11	(This section 80CRI only, extended lead times)	80CRI	T15 Type IV low glare ¹	TSM Type IV low glare ¹	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P7	P12	(This section 80CRI only, extended lead times)	80CRI	T15 Type V forward throw medium	TSM Type V forward throw medium	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)
P8	P13	(This section 80CRI only, extended lead times)	80CRI	T15 Type V forward throw medium	TSM Type V forward throw medium	MVOLT (120V-480V) ¹	SPA Square pole mounting (90° offset)

Option	Description	Option	Description
SHIPPED INSTALLED	Niltar2 PIRHN rL 90° RLL gpr 2 enabled with 10' level motion / ambient sensor, 3.40' mounting height, ambient sensor enabled at 20' Lx, 10' Lx	PER7	Seven-pin receptacle only (controls 100W/150W/200W)
PIR	High flow, motion sensitive sensor, 8-40' mounting height, ambient sensor enabled at 20' Lx, 10' Lx	PER8	Five-pin receptacle only (controls 100W/150W/200W)
PER	NSMA 100' receptacle only (controls 100W/150W/200W)	PER9	Five-pin receptacle only (controls 100W/150W/200W)
PER5	Five-pin receptacle only (controls 100W/150W/200W)	PER10	Five-pin receptacle only (controls 100W/150W/200W)

Calculation Summary

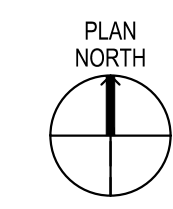
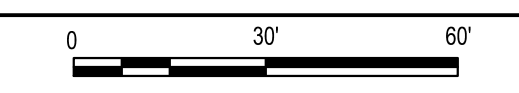
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	1.00	2.0	0.3	3.33	6.67
Property Line	Illuminance	Fc	0.07	0.7	0.0	N.A.	N.A.
Sidewalk-	Illuminance	Fc	0.63	1.6	0.0	N.A.	N.A.
Green Space							

Luminaire Schedule

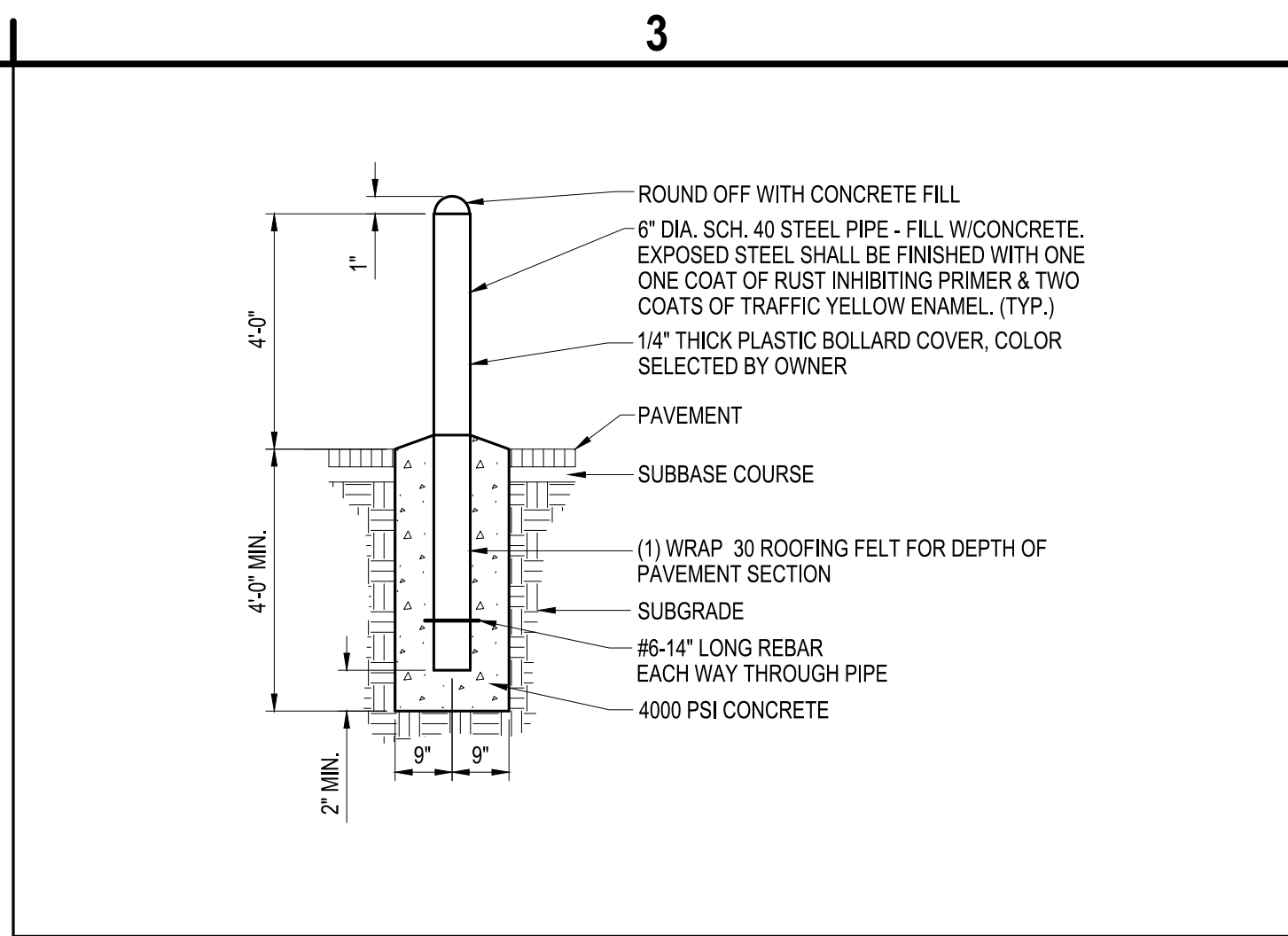
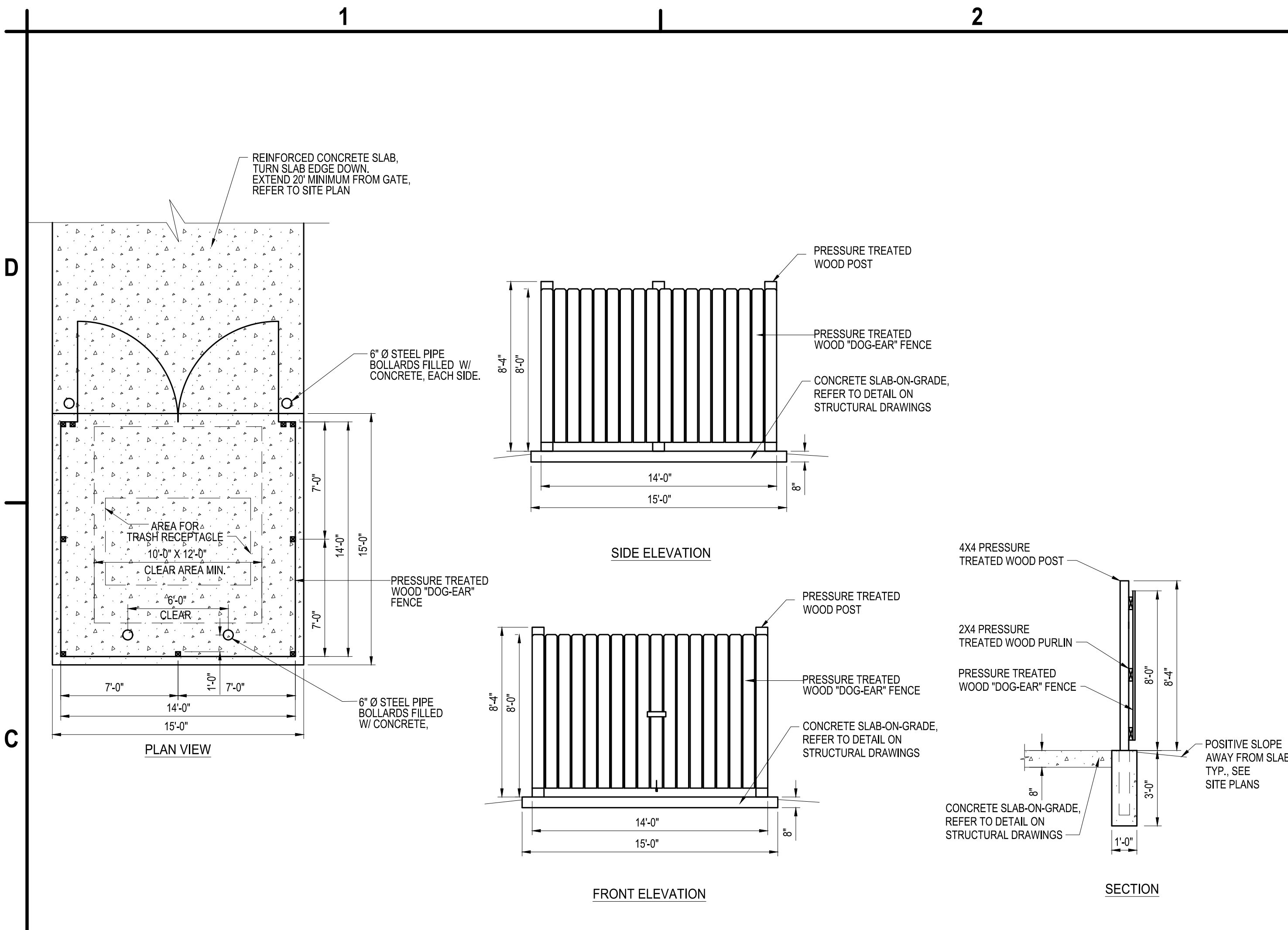
Symbol	Tag	Qty	[MANUFAC]	[LUMCAT]	Luminaire	Lumens
	A	7	Lithonia Lighting	DSX1 LED P3 40K 80CRI T5W HS	9101	
	B	4	Lithonia Lighting	DSX1 LED P2 40K 80CRI T5W HS	6456	
	C	3	Lithonia Lighting	DSX1 LED P1 40K 70CRI T2M	7506	
	D	1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T5M	14369	

Oct 30, 2024 - 2:32pm
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A1 PHOTOMETRIC PLAN
 SCALE: 1"=30'



04/04/2024 - 3:10pm F:\Project\F33 - Affordable Senior Housing\F33\Sheet\CADD\Sheet\F33\4002_C-502.dwg



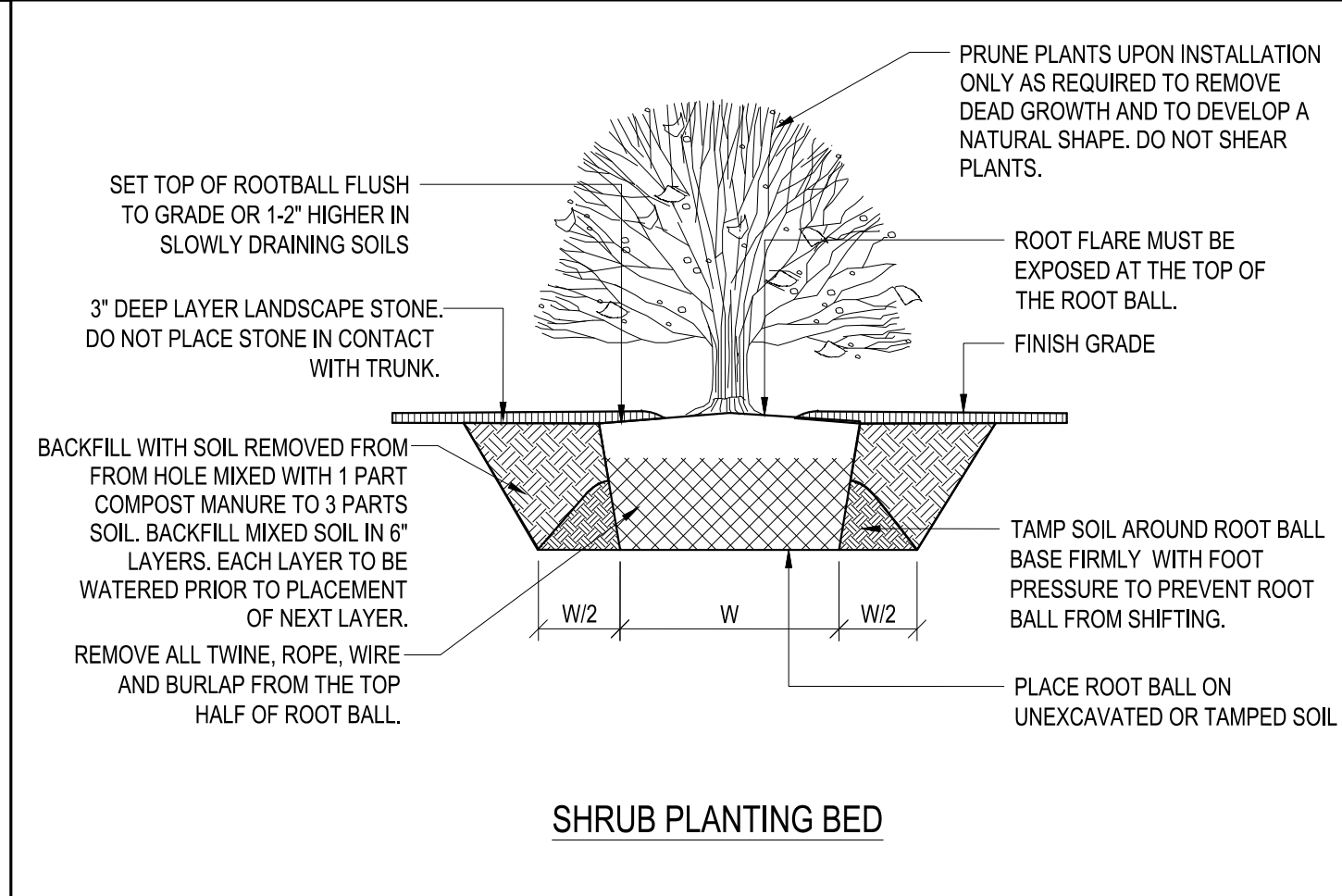
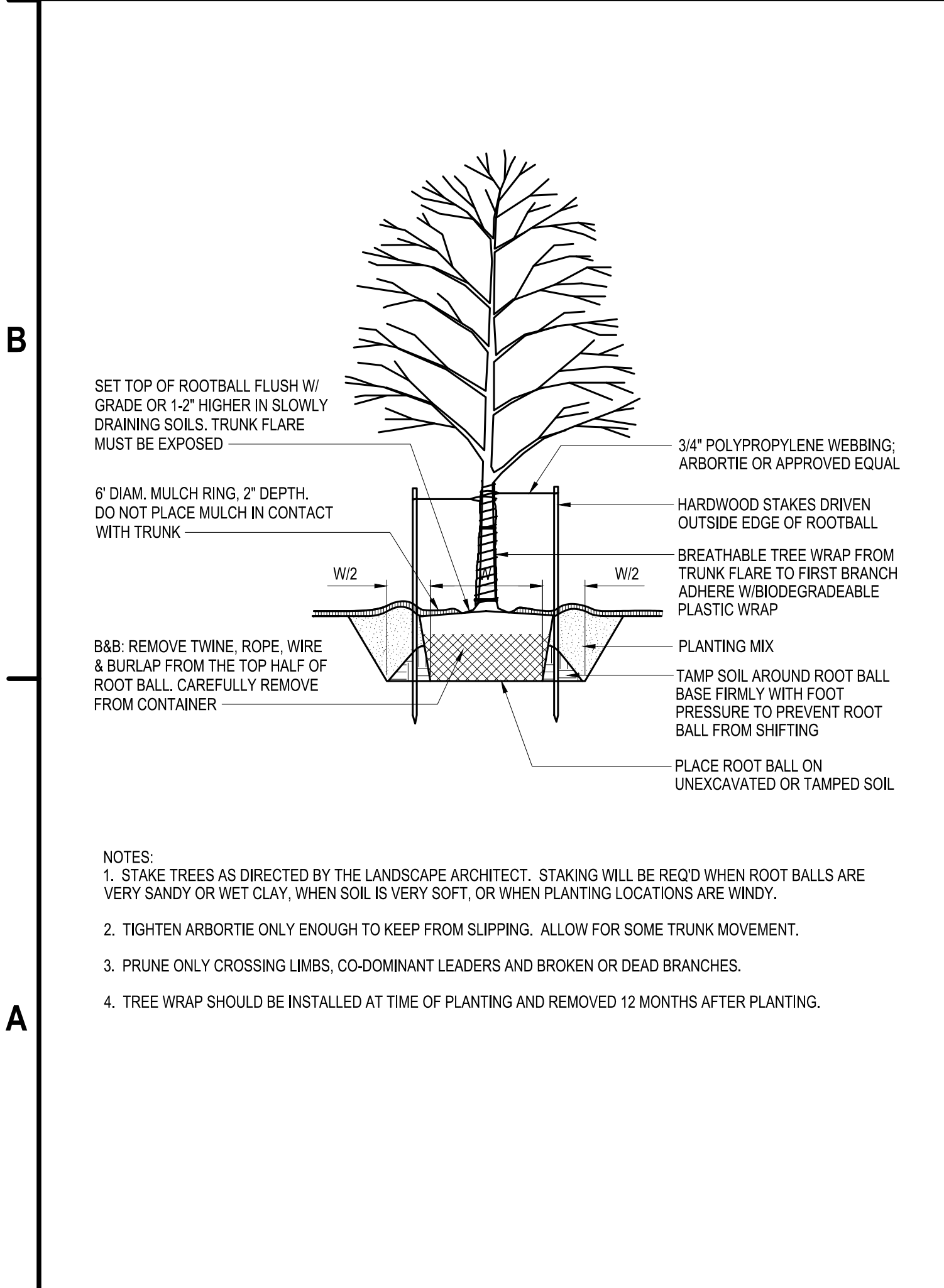
D3 BOLLARD DETAIL
N.T.S.

D4 NOT USED
N.T.S.

C1 DUMPSTER ENCLOSURE
N.T.S.

C3 NOT USED
N.T.S.

C4 NOT USED
N.T.S.



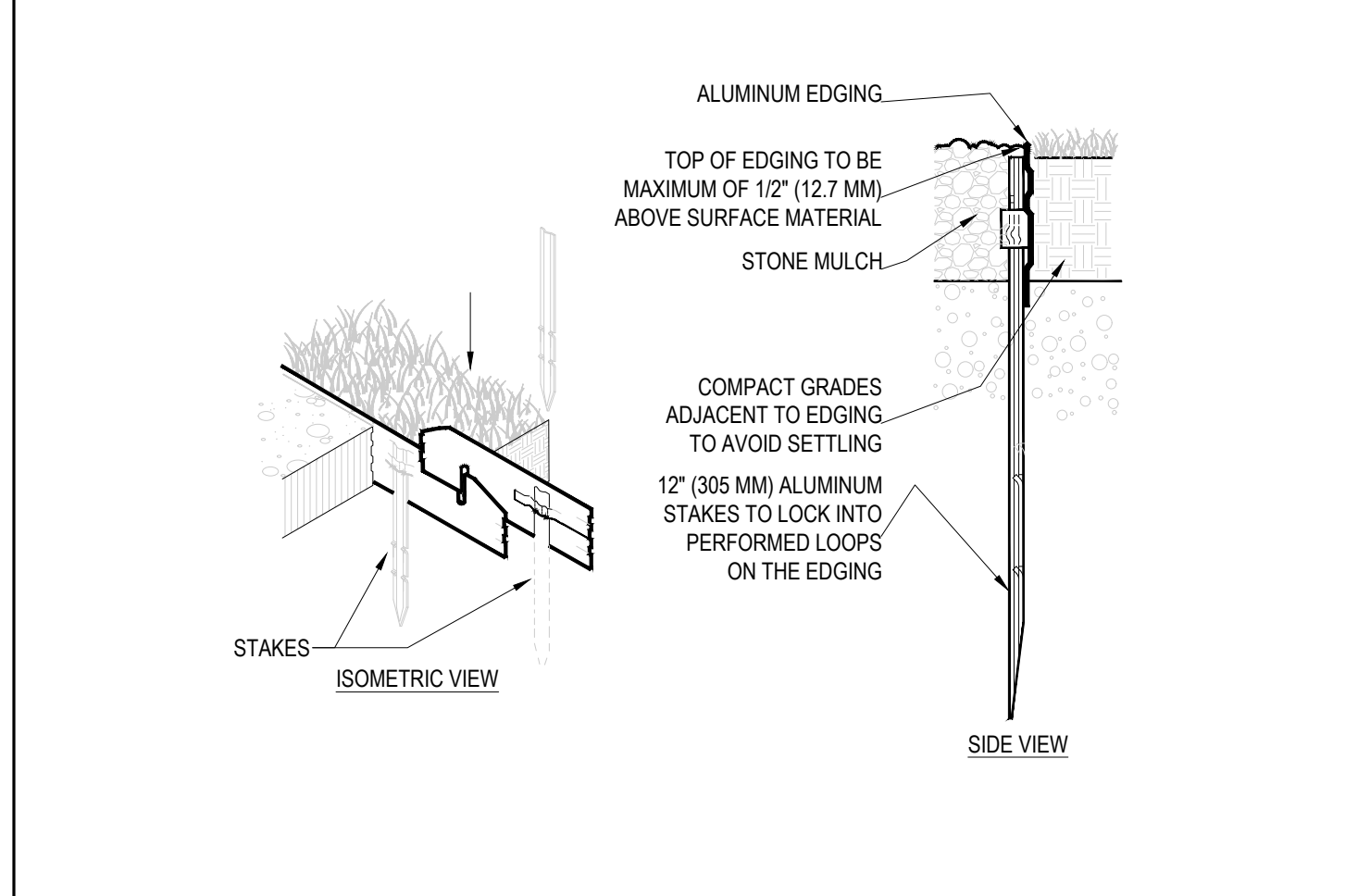
B2 SHRUB PLANTING DETAIL (LANDSCAPE STONE)
N.T.S.

B3 NOT USED
SCALE: N.T.S.

B4 NOT USED
N.T.S.

A1 DECIDUOUS TREE PLANTING DETAIL
N.T.S.

A2 STONE MULCH DETAIL
N.T.S.



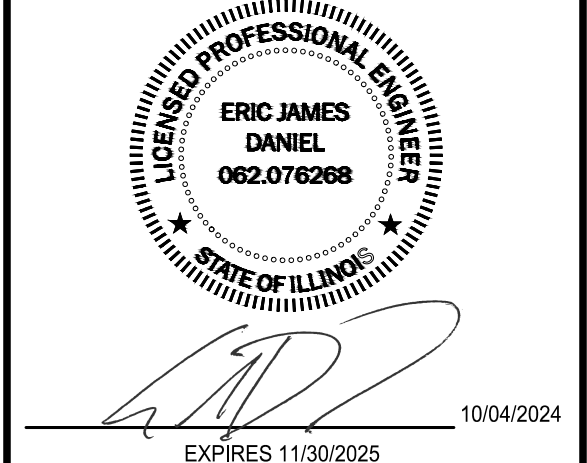
A3 LANDSCAPE EDGING DETAIL
N.T.S.

A4 NOT USED
N.T.S.



C&S Engineers, Inc.
141 Elm Street, Suite 100
Buffalo, New York 14203
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Fax: 716-847-1454
www.cscos.com

C&S ENGINEERS, INC. REGISTRATION NO. F6256-923-9



**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

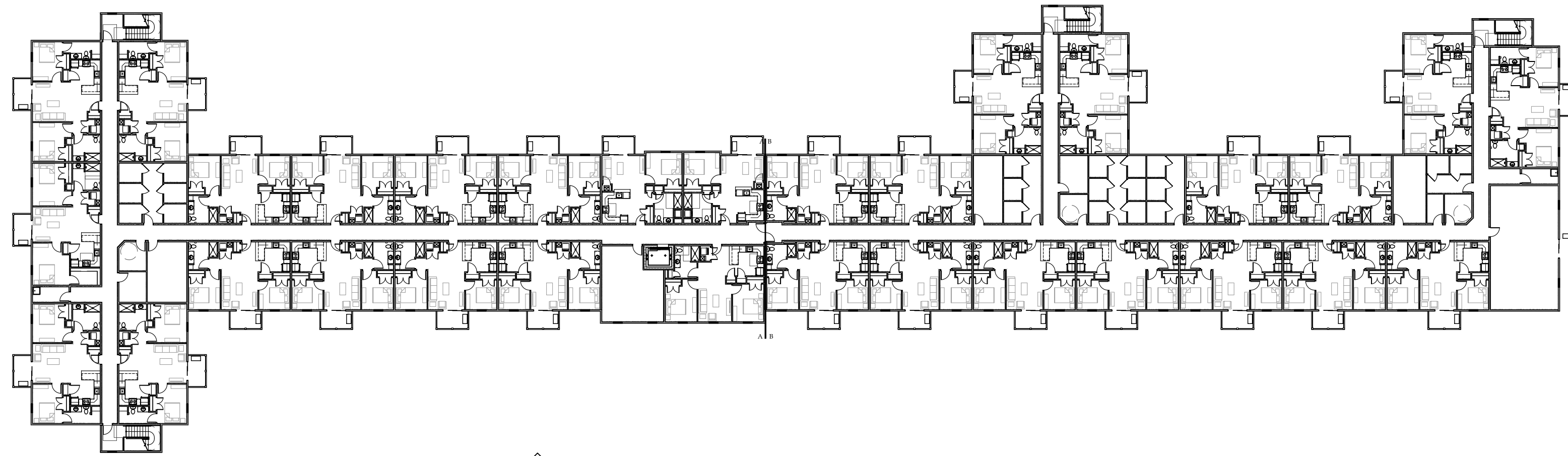
MARK	DATE	DESCRIPTION

REVISIONS	
PROJECT NO:	F53.546.002
DATE:	SEPTEMBER 27, 2024
DRAWN BY:	S. SCHIENER
DESIGNED BY:	E. DANIEL
CHECKED BY:	

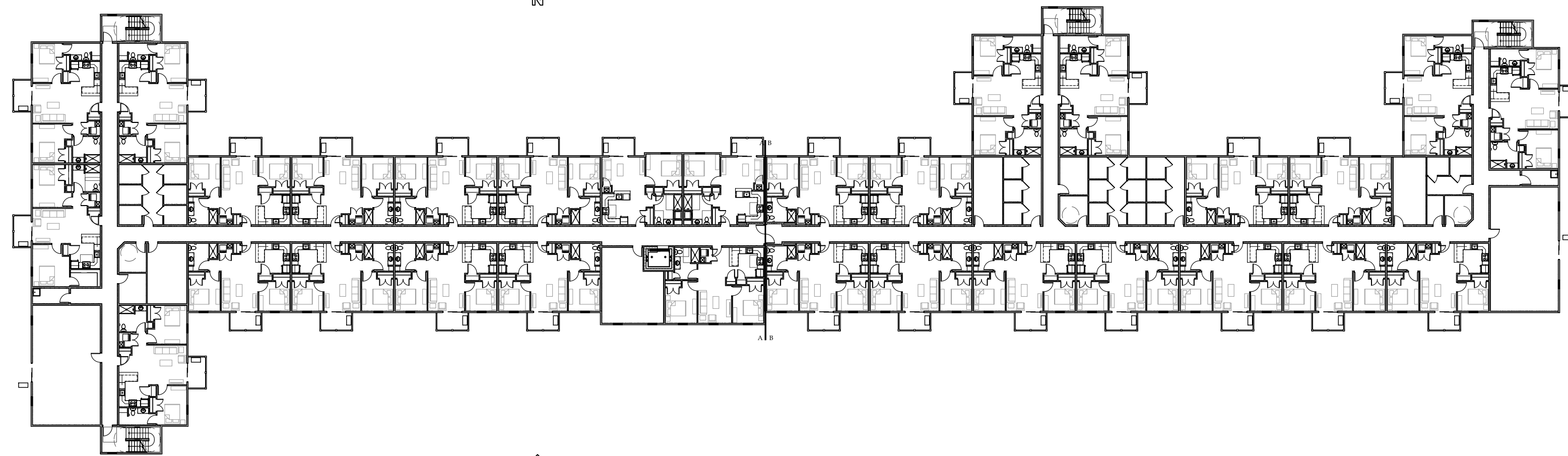
PRELIMINARY

**SITE AND
LANDSCAPING
DETAILS**

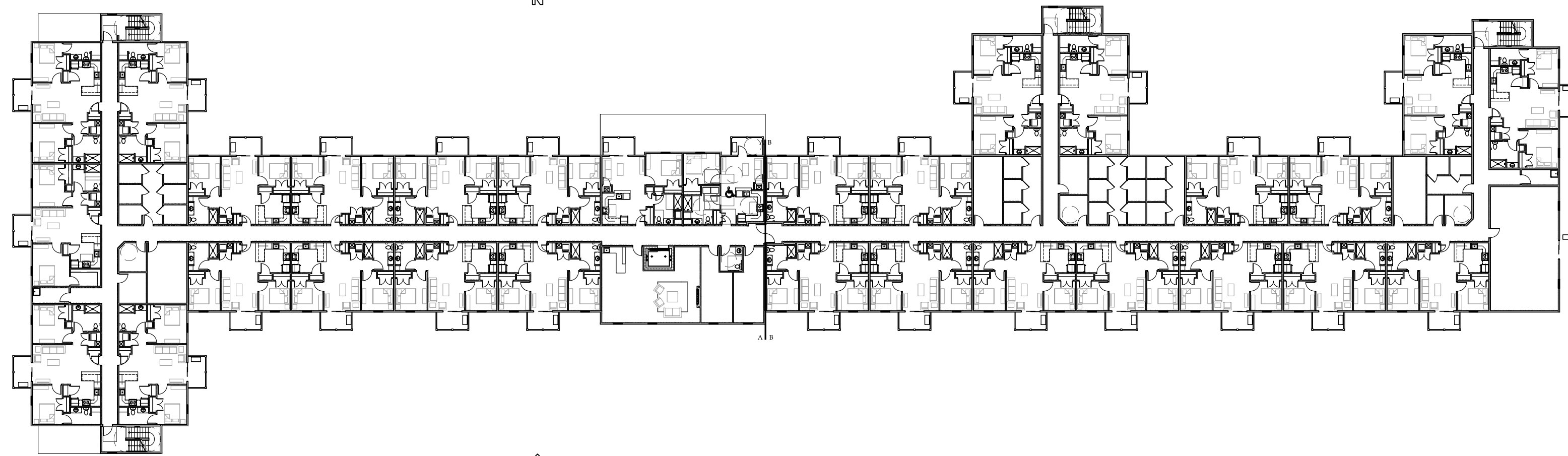
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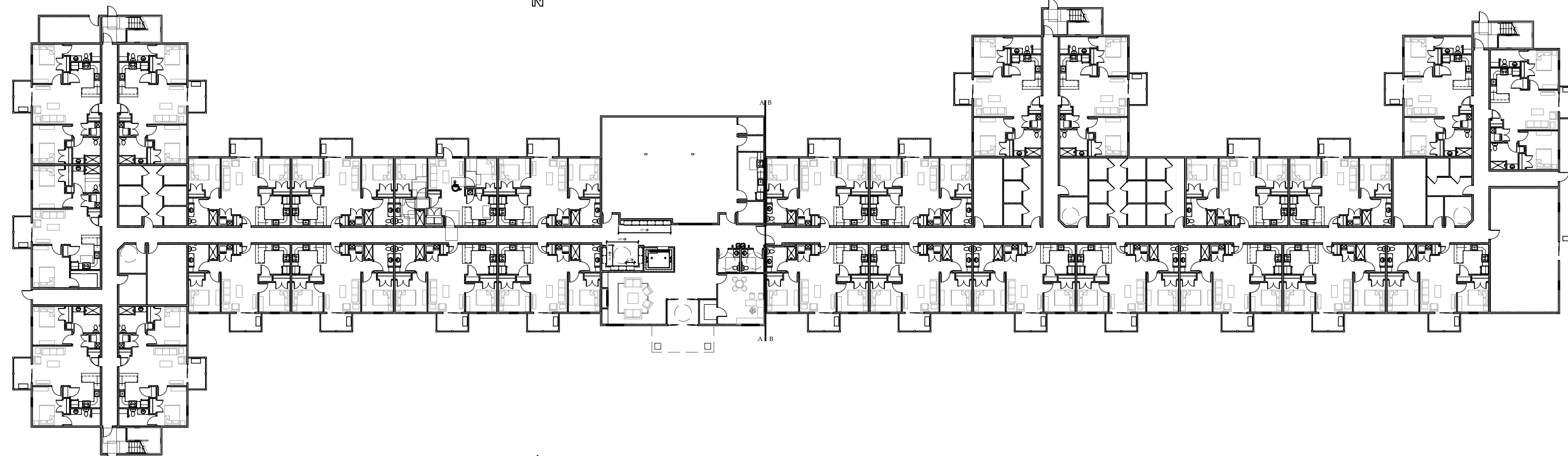
D1 OVERALL FOURTH FLOOR PLAN
1/32"=1'-0"



C1 OVERALL THIRD FLOOR PLAN
1/32"=1'-0"



B1 OVERALL SECOND FLOOR PLAN
1/32"=1'-0"



A1 OVERALL FIRST FLOOR PLAN
1/32"=1'-0"

SUMMARY OF UNITS

ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

UNIT SQUARE FOOTAGES

UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	OFALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
PROJ. ARCH. S. Hunt DRAFTER _____
JOB CAPT. J. Somers INTERIORS A. Nagle

SEAL:

TITLE:

OVERALL
FLOOR PLANS



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-101**

1 2 3 4 5 6

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

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Orchard Gateway Blvd,
 North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. S.Hunt DRAFTER _____
 JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
PARTIAL FIRST FLOOR PLAN - AREA 'A'

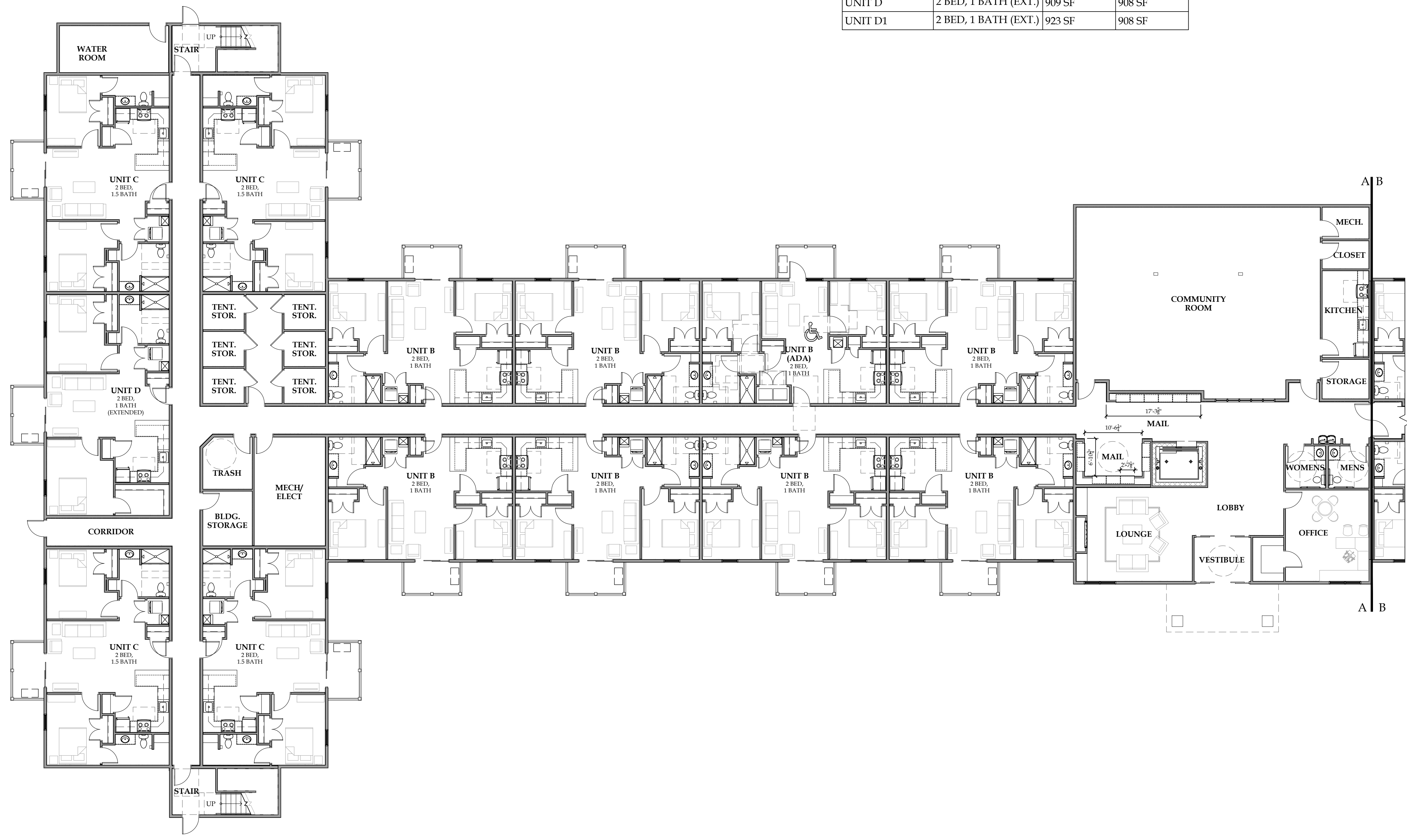


SILVESTRI ARCHITECTS - PC

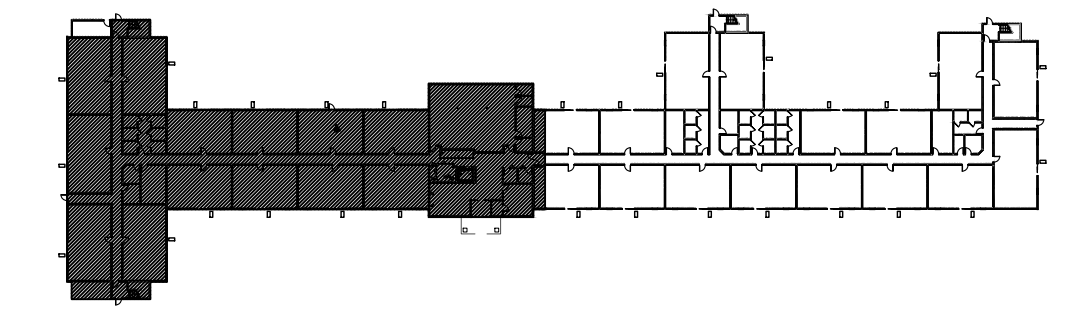
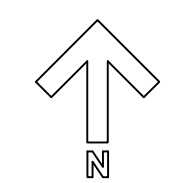
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 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

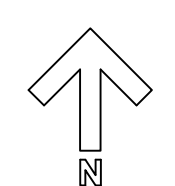
DRAWING #: **A-102**



A1 PARTIAL FIRST FLOOR PLAN | AREA 'A'
 1/16"=1'-0"



A5 KEY PLAN
 SCALE: NTS



1 2 3 4 5 6

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

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SEAL:

TITLE:
PARTIAL FIRST FLOOR PLAN - AREA 'B'

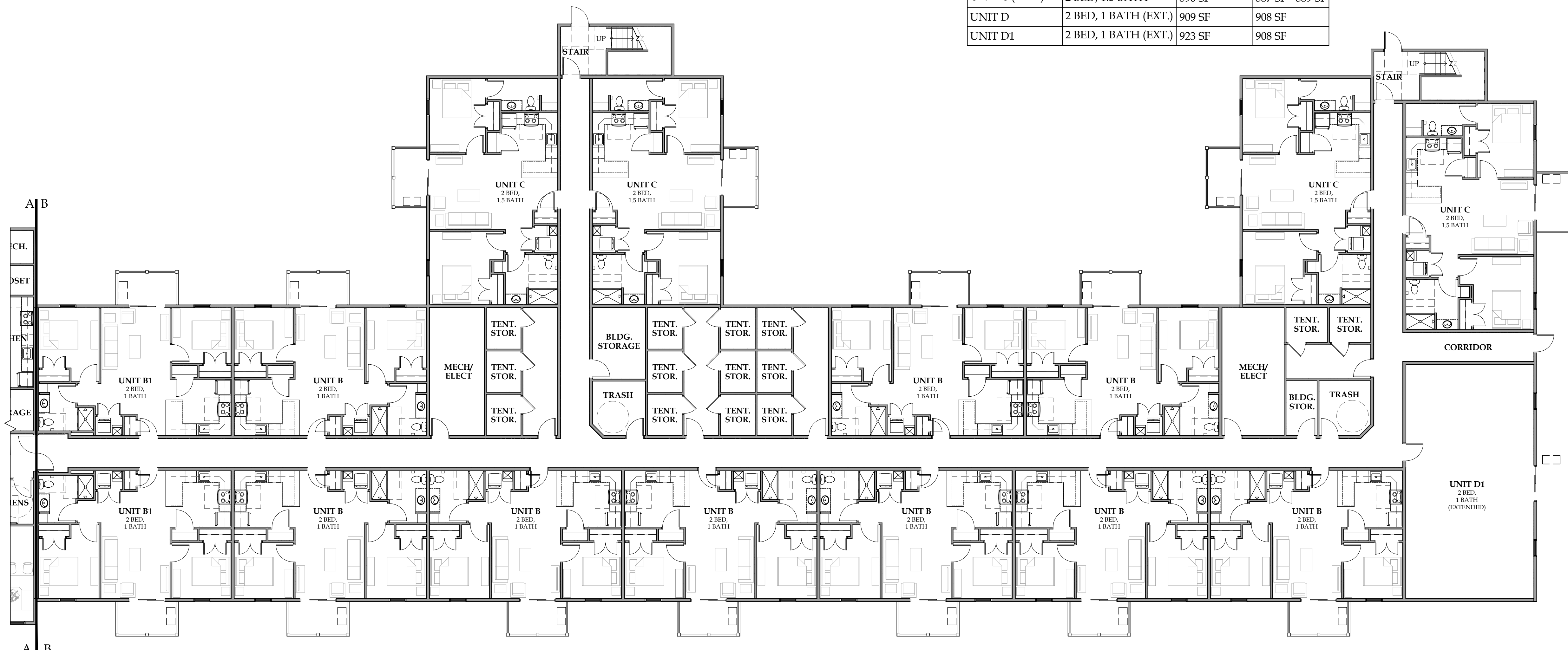


SILVESTRI ARCHITECTS - PC

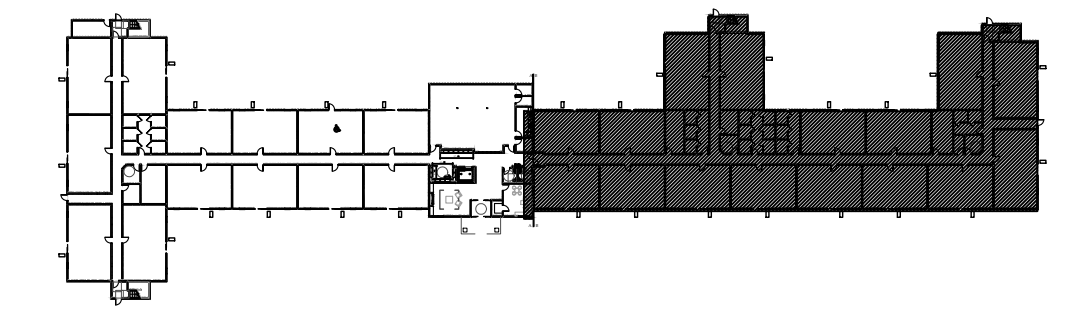
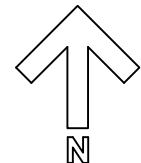
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SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-103**



B1 PARTIAL FIRST FLOOR PLAN | AREA 'B'
 1/16"=1'-0"



A5 KEY PLAN
 SCALE: NTS

