



**PLAN COMMISSION AGENDA
VILLAGE HALL BOARD ROOM
25 E. STATE STREET
TUESDAY, NOVEMBER 5, 2024
7:00 PM**

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated September 3, 2024.

PUBLIC HEARING

1. **Petition #24-07 (East of 1851 Orchard Gateway Blvd):** The petitioner, Clover Communities North Aurora LLC, requests the following actions in the Towne Center Planned Unit Development:
 - a) Special Use – Planned Unit Development Amendment
 - b) Site Plan Approval
 - c) Preliminary Final Plat of Subdivision
2. **Petition #24-13 (230 South Lincolnway):** The petitioner, Len McEnergy / Gas N Wash, requests the following actions in the B-2 General Commercial District:
 - a) Special Use – Planned Unit Development
 - b) Site Plan Approval

NEW BUSINESS

1. **Petition #24-07 (East of 1851 Orchard Gateway Blvd):** The petitioner, Clover Communities North Aurora LLC, requests the following actions in the Towne Center Planned Unit Development:
 - a) Special Use – Planned Unit Development Amendment
 - b) Site Plan Approval
 - c) Preliminary Final Plat of Subdivision
2. **Petition #24-13 (230 South Lincolnway):** The petitioner, Len McEnergy / Gas N Wash, requests the following actions in the B-2 General Commercial District:
 - a) Special Use – Planned Unit Development
 - b) Site Plan Approval

OLD BUSINESS

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

ADJOURNMENT

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
SEPTEMBER 3, 2024**

CALL TO ORDER

Chairman Mike Brackett called the meeting to order at 7:00pm.

ROLL CALL

In attendance: Commissioners, Tom Lenkart, Alex Negro, Scott Branson, Richard Newell, Mark Bozik, and Doug Botkin.

Not in attendance: Commissioners Aaron Anderson and Anna Tuohy.

Staff in attendance: Community Development Director Nathan Darga and Planner David Hansen

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated July 2, 2024.

Motion for approval was made by Commissioner Newell and seconded by Commissioner Botkin. All in favor. **Motion approved.**

PUBLIC HEARING

1. **Petition #24-15 (581 Sullivan Rd):** The petitioner, Michaela Grant, requests a Special Use to allow a Child Daycare Center on the property located at 581 Sullivan Rd in North Aurora, Illinois.

Motion to open the public hearing was made by Commissioner Lenkart and seconded by Commissioner Botkin. **Motion approved.**

Planner David Hansen introduced Petition #24-15 (581 Sullivan Rd). 581 Sullivan Rd is zoned O-R, which is the Office and Research District. The comprehensive plan designation for this area is office/industrial. Hansen shared the petitioner is requesting a special use for a child day care center. The subject property is currently improved with a multi-use commercial office building with a variety of uses including professional offices, medical offices, and other commercial office tenants. Little Ducklings Childcare would utilize the entire southern suite, Suite B, which is approximately 2,260 square feet.

Hansen continued that the indoor space for the proposed address is currently improved with an office space. The proposed revised floor plan shows areas for reception, a kitchen, a storage closet, dedicated infant area, dedicated preschooler toddler area, and three bathrooms. The site plan includes a fenced in playground area on the east side of the building to meet Illinois Department of Children and Family Services (DCFS) outdoor play area requirements. The anticipated hours of operation for the Child Daycare Center would be 6:00 a.m. to 6:00 p.m. Monday through Friday

with the center being closed on weekends. The Child Daycare Center use requires two (2) off-street parking spaces per 1,000 square feet of gross floor area. The Daycare Center would require five (5) parking spaces and Suite A on the northern end of the building would require eight (8) parking spaces. Overall, the Zoning Ordinance would require a total of 13 parking spaces for the entire site. The subject property currently provides a total of 23 parking spaces for the commercial office building.

Hansen shared there are use standards for Daycare Centers. Per the Zoning Ordinance, the following criteria shall be considered by the Plan Commission: The provision of adequate on-site drop-off zones, sidewalks, and exterior lighting, the amount of traffic or noise to be generated and the provision of adequate open space. The Zoning Ordinance also requires Daycare Centers to be screened from the view of adjacent uses by solid fencing to a height of six feet or by landscaping six feet high by three feet deep.

Hansen shared staff recommends approval to Petition #24-15, which meets the Standards for Specials Uses, Use Standards and Parking Standards for a Child Daycare Center as set forth in the Zoning Ordinance subject to three conditions: On-site management shall effectively monitor and regulate all on-site drop-off activities and shall have a drop-off zone clearly marked with striping and signage, all outdoor lighting shall follow the Village's Outdoor Lighting Ordinance (Chapter 8.32) and all dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance. Hansen welcomed up the petitioner to answer any questions and to share their Daycare vision with the Plan Commission.

The petitioner Michaela Grant and Architect Lane Allen introduced themselves. Grant shared she currently owns a daycare on the east side of Aurora and would like to expand her current operation. Grant said she services mostly underprivileged families and is hoping to help make daycare more affordable. Grant said she currently has a group daycare that services 16 children / 7 families, which are all government assistance families (Child Care Assistance Program – CCAP) and no private pay families. Grant said she has had her current daycare since 2019, is a mother of five and has a waitlist of six families. The building owners Summer and Herbert Zhang were in attendance. Summer Zhang shared they have owned the building for five years and the space that the daycare is proposing to go into is currently an Asthma office, but the owners of that business retired and moved out in August. The Asthma business had been in this space for the last eight years. Zhang shared the office had approximately 50-60 patients on a daily basis along with four employees. Zhang said Suite A on the northern side of the building is identical and is a mix of seven office spaces (attorney, massage, medical, etc.). Community Development Director Nathan Darga clarified that the daycare would go into the southern portion of the building.

Lane Allen provided an overview of the space including the sidewalk system and drop off areas. Allen mentioned the vestibuled area will be modified to have someone check in the children and that there is an upstairs to the building used for seasonal storage. Darga asked if there is a drop off area in the parking lot or if every parent has to bring their kid indoors. Allen said the children will be dropped off indoors and no employees will be in the parking lot. Allen added DCFS has asked them to add a little more playground area outside, which will be expanded to the north. Allen said the window on the southeast corner of the infant area will be replaced with a door to improve flow to the outside playground area. Allen added that a fence will be located around the playground area, which includes modifying the grade to be flat.

Chairman Brackett asked what is immediately east of the playground area. Darga said the land is open space and owned by the Union Hall. The Union Hall owns open space on both sides of the 581 Sullivan Rd property. Commissioner Newell asked how close the single family house to the west was to the property. Darga said the house is approximately 500 feet away.

Chairman Brackett closed the public hearing.

NEW BUSINESS

1. **Petition #24-15 (581 Sullivan Rd)**: The petitioner, Michaela Grant, requests a Special Use to allow a Child Daycare Center on the property located at 581 Sullivan Rd in North Aurora, Illinois.

Commissioner Botkin asked if there is any stormwater or detention area running through the proposed outdoor playground area. Darga said the playground area and area to the east is not a retention or detention pond. Herbert Zhang mentioned the water runoff from the building is run underground once it comes down the gutters on the side of the building. Commissioners Botkin asked if the fence standard is for privacy or to keep the children in. Darga said it is for both. Commissioner Botkin asked how tall the fence will be. Allen said it will be 6 feet tall and level once the area is regraded. Allen said there will be a retaining wall of some capacity as well. Commissioner Botkin asked about the infant area door that is being added and if there was another door going outdoors on the floor plan. Allen said there is an existing door in the toddler area that will remain. The sprinkler room would remain accessible from the outside and not blocked by fencing. Commissioner Botkin asked where the baby changing stations are located. Allen said the floor plan will be modified to have the ADA bathroom in the infant area and that there will be counters along the wall and two sinks for changing areas.

Commissioner Lenkart asked about the changing areas in the infant area. Grant said the architect doesn't typically get involved with this detail of organizing rooms since that is more DCFS requirements. Commissioner Lenkart said there are guidelines for number of employees per infants or toddlers. Grant said she is very well aware and ensures there will be the appropriate number of employees to meet DCFS requirements. Commissioner Lenkart asked what type of fence will be utilized. Allen said a double sided wood fence is the plan. Darga said wood or vinyl would meet code. Commissioner Lenkart asked if there is a setback requirement for fences or retaining walls. Darga said the fence can be on the property line. Depending on the front or side yard impacts the height of the fence that is allowed. Commissioner Lenkart asked about if there are any electrical panels or boxes in the playground area. Allen said there maybe some located on the outside wall but will look into the meter location to ensure no danger is present. Commissioner Lenkart asked if the vestibule doors will be locking. Grant said there will be an access code to get inside. Commissioner Lenkart had concerns about parking in the morning/evening and asked how many staff members will be at this facility. Grant said there should be at least five employees. Commissioner Lenkart mentioned 23 spaces may not be enough and that is his concern.

Chairman Brackett asked how the flow of other business throughout the day works in terms of hours of operation and traffic. Summer Zhang shared many of the business open around 9am and close at 5pm and sometimes some are open on weekends. Grant said she's been observing the property to gauge how pickup hours may work and noticed many of the businesses have left for

the day by 5pm, about 2 to 3 cars remain, and based on experience parents leave children until about closing.

Commissioner Branson asked if there are any transportation or buses that will be dropping off children. Grant said the daycare will not be for school age children (only infants and toddlers; 6 weeks to five years) so there will be no bus transportation needed. Commissioner Branson asked about security cameras on the premises. Grant said DCFS strongly recommends cameras, so we anticipate having them inside and outside.

Commissioner Bozik asked if the petitioner will be moving her entire operation to this space and no longer being doing it at her home. Grant said that is correct. Commissioner Bozik asked about the gas meter location, if the HVAC condenser will be screened and how public safety access will work. Allen said they will be updating the landscaping around the site and will be part of the landscape plan. Allen said he will speak with the fire marshal to ensure public safety access expectations are met. Commissioner Bozik asked if there will be an emergency plan for hazardous weather events. Allen and Grant said they will be creating a plan with DCFS, which will likely have everyone shelter in the center of the building.

Commissioner Newell asked where the nearest transit stop for PACE bus is and if any parents would be utilizing it to drop children off. Commissioner Newell also asked about pedestrian accessibility. Grant said currently there are no parents that drop off children in this capacity, but it could be a possibility. Darga said there are sidewalks in the area that run down Sullivan Rd. Commissioner Newell asked about what type of signage will be in the parking lot and what type of funding will be part of this daycare center. Allen said signage will be part of the permit documents. Grant said she plans on continuing the CCAP enrollment along with private pay.

Commissioner Negro asked what part of the property will be regraded. Allen said only over by the outdoor playground fence area along the east side will be. Commissioner Negro asked how many handicap spots are on site and will there be any ADA children. Allen said there are two ADA spaces in the lot, which meets ADA code. Grant said the building is ADA accessible and anticipates taking ADA children, but currently has no children that are.

Motion for approval of Petition #24-15, as presented by staff with condition one modified to say, monitor and regulate all on-site drop off activities and shall have parking spaces clearly marked with signage and striping for traffic control, was made by Commissioner Newell and seconded by Commissioner Lenkart. Vote: Lenkart – Yes, Negro – Yes, Branson– Yes, Newell – Yes, Bozik – Yes. Botkin – Yes. Brackett – Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Darga shared a few projects that the Plan Commission may see in the near future that have gone through Village Board concept plan review. A senior residential independent living project called Clover is looking into going in behind JCPenney off of Orchard Gateway Blvd. Darga said Towne Center originally had a residential component before the warehouses were built there. Staff will be looking to amend the PUD to allow residential for this property and the property to the

west between Riverfront Ram. Darga also shared Gas N Wash is looking to go into the vacant parking lot between Route 31 and Asbury (Airport Rd to Interstate 88). There would be a gas station, car wash, drive thru restaurant, and diesel islands part of that plan. Darga said the last project would be a Scooters Coffee Shop and Blue Penguin Car Wash at the old used car lot on Route 31 between Culvers and Speedway. Darga added a retaining wall would probably be needed and a second access point would need to be approved by IDOT.

Darga provided an update on the Fire Station building and site. Chairman Brackett asked about Sage Event Space. Darga said they are close to a certificate of occupancy. Commissioner Lenkart asked about Slick City and Kids Empire. Darga said both projects are moving forward, and Slick City is closer to opening and would be Slick City's first location in the Chicago area. Darga shared 300 Mitchell Rd site has a new tenant and is reconfiguring the southern access to allow trucks to enter and stage from the south.

ADJOURNMENT

Motion to adjourn made by Commissioner Botkin and seconded by Commissioner Bozik. All in favor. **Motion approved.**

Respectfully Submitted,

David Hansen
Planner

VILLAGE OF NORTH AURORA- STAFF REPORT

TO: Plan Commission
 CC: Steve Bosco, Village Administrator

FROM: Nathan Darga, Community Development Director; David Hansen, Planner

SUBJECT: Special Use Planned Unit Development Amendment for Towne Center Regarding Residential Uses and Site Plan Approval

AGENDA: November 5, 2024 - Plan Commission Meeting

GENERAL INFORMATION

Meeting Date: November 5, 2024

Petition Number: 24-07

Petitioner: Clover Communities North Aurora LLC

Location: Directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney)



Requests:

- 1) Special Use for a Planned Unit Development (PUD) Amendment to Towne Center PUD regarding Residential Uses and Standards
- 2) Site Plan Approval
- 3) Preliminary Final Plat of Subdivision

Parcel Number(s): 15-06-426-003 and 15-06-401-004

Property Size: 11.34 acres for entire residential area with the eastern 5.45 acres for Clover Development

Comprehensive Plan Designation: ‘Regional Commercial’

	<i>ZONING DISTRICT</i>	<i>LAND USE</i>	<i>USER</i>
SITE	B-2, General Commercial District / Towne Center PUD	Vacant	None
NORTH	B-2, General Commercial District / Towne Center PUD	Open Space	Wetlands
SOUTH	B-2, General Commercial District / Towne Center PUD	Commercial	Shopping Center / JCPenney
EAST	B-2, General Commercial District / Towne Center PUD	Open Space	Wetlands
WEST	B-2, General Commercial District / Towne Center PUD	Commercial	Riverfront Ram Truck Dealership

BACKGROUND

The subject property is located in the B-2 General Commercial District and has already been granted a special use for a general mixed-use planned unit development by Ordinance No. 05-05-02-02, referred to as the “Towne Center Planned Unit Development”. The PUD Ordinance approved a mix of uses including a residential component on Lot 20. The PUD Ordinance was amended by Ordinance No. 13-04-01-01, dated April 1, 2013. This 1st Amendment approved warehouse uses on Lot 20 instead of residential uses.

Clover reached out to the Village in late 2023 regarding a residential use for this area. Staff brought the concept plan to the Village Board for review in early 2024. The Village Board supported adding residential back into the Towne Center PUD and had a favorable opinion of the proposed development. Clover has been working on its due diligence for the property over the last few months and has provided a completed PUD application with a full set of plans.

The 2005 PUD Ordinance included residential standards in Exhibit F. These standards included details that are no longer applicable to the property such as townhome dwelling density requirements. The standards for the new residential area are outlined in Exhibit D in the 2nd amendment ordinance. These standards are designed for multi-family buildings and uses. These standards were created in partnership with the Clover Development and their proposed site plan meets these new standards. The standards are included in the packet and any future development in the new residential area would need to follow these standards.

PROPOSAL

The petitioner is proposing a special use PUD Amendment to add a residential use area in the Towne Center PUD. The total acreage for the new proposed residential area is approximately 11.34 acres. The 11.34-acre vacant tract is situated directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney). The property is currently comprised of two separate parcels. A 9.28-acre parcel and 2.06-acre parcel. The petitioner intends to subdivide the eastern 9.28-acre parcel into two parcels and build the independent living facility on the eastern 5.45 acres.

Use of Property

The petitioner is proposing a senior (55 and older) apartment independent living facility on the vacant property. The 5.45-acre property would be improved with a single four story, 124 unit building with detached garages. The floorplan shows six (6) one-bedroom one-bath units, seventy-eight (78) two-bedroom one-bath units, thirty-two (32) two-bedroom one and half bath units, and eight (8) two-bedroom one-bath extended units. Unit amenities include a full kitchen, stainless steel appliances, walk-in showers, indoor mailboxes and emergency pull cords in each unit. The overall building also includes amenities and activities for residents. Amenities include a large community room, coffee bar, fireplace lounge, fitness center, game room/library, and onsite beauty salon/barbershop. Activities include book clubs, knitting clubs, bingo, and various seasonal/social gatherings.

Parking and Site Access

The Independent Living Facility use requires one (1) parking space per dwelling unit plus two (2) parking spaces per 1,000 square feet of gross floor area of office. According to the petitioner there are 124 units and less than 1,000 square feet of gross floor area of office. As such, the Zoning Ordinance would require a total of 126 parking spaces for the entire site. The applicant has proposed 150 parking spaces for the site, which include 40 detached garages. The site currently has two access points. The western access point has a dedicated turn lane. The eastern access point is located at a four way stop but does not have a dedicated turn lane. The applicant is conducting a traffic study. This study will evaluate options including adding an additional left turn lane or converting the eastern access point to right in and right out.

REQUESTED ACTIONS

Special Use - Planned Unit Development (PUD) Amendment to Towne Center PUD regarding Residential Uses and Standards

The PUD Ordinance was approved through the special use process; as such, any amendments to the PUD must be subsequently approved through the special use process. The 2nd amendment will grant residential uses in the new residential area and standards for their development.

Entitlement Process - PUD Amendment

The entitlement process requires an amendment to the Towne Center PUD to amend the existing residential uses and standards permitted within the PUD. The amendment would add three multi-family residential uses: multi-family dwelling, independent living facility, and assisted living facility, to the permitted use list. The amendment would also include a new list of updated standards for yard and bulk regulations for multi-family dwellings as well as development standards for multi-family dwellings. No other permitted uses or standards would be changed as part of the amendment. Please see attached Exhibit D for the updated list of uses and standards. The petition also requires site plan approval and a preliminary final plat of subdivision.

SITE PLAN REVIEW

Site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:

- a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.
4. The design of off-street parking lots or garages to:
- a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.
5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
- a. Create a logical transition to adjoining lots and developments.
 - b. Screen incompatible, negative, or unsightly uses.
 - c. Minimize the visual impact of the development on adjacent sites and roadways.
 - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
 - e. Promote and enhance the appearance and image of the Village.
6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

PRELIMINARY FINAL PLAT OF SUBDIVISION

The subject property is currently comprised of two separate parcels located north of Orchard Gateway Blvd. A 9.28-acre parcel and 2.06-acre parcel. The petitioner intends to subdivide the eastern 9.28-acre parcel into two lots and build an independent living facility on the eastern 5.45 acres. A final plat of subdivision will be provided at final engineering. As part of this request, a preliminary final plat has been provided.

If the final plat is consistent with the preliminary plat, no further action by the Plan Commission and/or Village Board would be required. If the petitioner is required to make any minor changes to the plat to accommodate any engineering comments, such changes shall be deemed to be a “Technical Change” to the plat.

COMPREHENSIVE PLAN

The 2023 Comprehensive Plan recommends ‘Regional Commercial’ use for the subject property. The subject property is located in the Comprehensive Plan’s West Gateway Subarea Plan, which includes the existing North Aurora Towne Center. A recommendation of the West Gateway Subarea Plan states *the shopping center should capitalize on its visibility from I-88 by intensifying development and creating a more attractive and walkable environment.*

FINDINGS & RECOMMENDATION

The Community Development Department finds that the information presented **meets** the Standards for Specials Uses and Planned Unit Developments as submitted by the petitioner. The proposed site plan meets site plan review standards of the North Aurora Zoning Ordinance and the Towne Center PUD. Based on the above considerations, staff recommends that the Plan Commission make the following motion recommending **approval** of Petition #24-07, subject to the following conditions:

1. All outdoor lighting shall follow the Village’s Outdoor Lighting Ordinance (Chapter 8.32).

2. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
3. All mechanical equipment shall follow Village standards outlined in Section 12.3.D of the Zoning Ordinance.

Exhibit D

The following standards are applicable to Multi-Family Residential Uses. Any standards that are not mentioned shall default to the PUD Ordinance and the Village's Zoning Ordinance (Title 17) requirements.

Multi-Family Uses

Permitted Uses: Residential uses permitted for this area will include multi-family dwelling, independent living facility, and assisted living facility.

Yard and Bulk Regulations for Multi-Family Dwellings

- Setbacks and the Floor Area Ratio (FAR) shall meet the Village's B-2 General Commercial District.
- Building Height: No residential buildings shall exceed fifty (50) feet in height.
- Accessory Building and Structures standards shall meet the Village's Zoning Ordinance for Accessory Buildings (Non-Residential Districts) except for the following:
 - Location. May be located in front of the principal building but not in any required yard in the B-2 District setback.
 - Height. Shall not exceed the peak height of the principal structure (when measured to the highest point on the roof or parapet) or twenty (20) feet in height, whichever is less.
 - Area. The combined square footage of all detached accessory buildings shall be included in the applicable floor area ratio (FAR) requirement and shall not exceed the maximum lot coverage allowed in each zoning district.
 - Style. The exterior elevations of accessory buildings shall be architecturally compatible, and comprised of the same material and color, as the principal structure.

Development Standards for Multi-Family Dwellings

- Parking standards including location, design, required number of off-street parking spaces shall adhere to Chapter 13 of the Village's Zoning Ordinance.
- Lighting Standards shall adhere to Chapter 8.32 – Outdoor Lighting Ordinance - of the Village's Municipal Code.
- Signage Standards shall adhere to Chapter 15.48 – Signs - of the Village's Municipal Code except for the following for monument signage:
 - Number. One monument sign shall be permitted per site access entrance.
 - Material. The brick façade shall match the brick elevation of the principal building.
 - Area. Monument sign area shall be 8'-2" by 12'-2" by 2'-6" in dimension.
- Landscaping Standards and Plans shall adhere to Chapter 14 of the Village's Zoning Ordinance with the following exceptions:
 - Plans are exempt from the on-lot landscaping required trees landscape standard outlined in section 17.14.5.B.1.



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

APPLICATION FOR SPECIAL USE PLANNED UNIT DEVELOPMENT (PUD)

Project Name: Towne Centre Senior Apartments

Subject Property/Location: Lot 16, North Aurora Towne Centre - North of Orchard Gateway

PIN(s): 15-06-426-003 [portion of]

Parcel(s) Acreage: 5.45 Acres Number of Lots: _____ Number of Units: 124

Current Zoning District: B-2 / PUD Present Use: Vacant

Proposed Zoning District: B-2 / PUD Intended Use: Age-restricted multifamily

Comprehensive Plan Designation for this Property: Regional Commercial

Contiguous Zoning: B-2 / PUD

Is this an Amendment to an existing PUD? Yes No PUD Name: North Aurora Towne Centre

CONTACT INFORMATION:

Applicant Name: Michael Joseph on behalf of entity to be formed by Lancaster Land, L.P Phone: 314.21.2110

Applicant Address: 348 Harris Hill Rd, Williamsville, NY 14221

Applicant Email: rcaplin@cloverdevelopment.com

Signature of Applicant: _____ Signature Date: 9.27.2024

Property Owner(s): Orchard11 LLC Phone: (630) 244-4141

Owner Address: 333 N Randall Rd #120, St. Charles, IL 60174

Owner Email: andersonclinton@colonialcafe.com

Signature of Owner*: _____ Signature Date: _____

*A signed letter by the owner authorizing the applicant to apply for a special use PUD may be submitted in lieu of signing this form. If Applicant is other than owner, please attach letter of authorization from Owner.

FOR OFFICE USE

Petition Number: 27-07 File Name: Clover 1 TC PUD Amendment

Filing Date: 9/30/24 Fee Received: 405 \$1,000

September 27, 2024

Nathan Darga
Community Development Director
Village of North Aurora
Via email

RE: Towne Center Senior Apartments

Dear Nathan,

Clover Development is pleased to present Towne Centre Senior Apartments. The project will consist of 124 market-rate, age restricted multifamily units in a single, four-story building located on the north side of Orchard Gateway in the Towne Centre PUD.

We are requesting that the existing PUD is modified to allow for the development of the project. Submitted with this letter are the following:

- Application for Special Use Planned Unit Development
- Project Narrative
- Site Location map with existing land use and zoning of all properties within 200'
- Preliminary Development Plan
- Statement of Compliance with Planned Unit Development Standards
- Statement of Compliance with Special Use Standards
- Written certified list identifying all properties within 250' of the property, including mailing addresses and public hearing and notice requirements statement
- Deed for the subject property
- Survey of the property
- Site location map with all structures within 600'
- Site plan including building footprints, heights, dimensions of setbacks, parking, photoelectric
- Building Elevations
- Schematic Floorplans
- Preliminary Drainage Plan
- Evidence of Water & Sewer availability
- Landscape Plan
- Exceptions Schedule

We anticipate continuing to provide additional documentation as it is prepared further illustrating the project in street perspective as well as any additional required or requested items.

Please feel free to contact me to further discuss. We look forward to working with you on this exciting project.

Thanks,

Russell Caplin

Russell Caplin
Development Director
Clover Development



25 East State Street, North Aurora, IL 60542
 P: 630.897.1457 F: 630.897.0269
 Website: www.northaurora.org/forms/
 Email: cdinfo@northaurora.org

PUBLIC HEARING AND NOTICE REQUIREMENTS

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for sending mail notices to properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing. The Village will publish a legal notice in the newspaper, which the applicant shall reimburse the Village for any fees associated with it. Please see Chapter 3.3 and 3.4 of the Village Zoning Ordinance, Title 17, for all public hearing and notice requirements.

The undersigned hereby also agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Chapter 15.56 of the North Aurora Municipal Code. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

 Applicant or Authorized Agent

9.27.2024
 Date

STATE OF NEW YORK)
) SS
 COUNTY OF ERIE)

I, Michael Joseph, being first duly sworn on oath depose and say that I am Manager of on behalf of entity to be formed by Lancaster Land, L.P. and that the following are all of the beneficiaries of the properties within 250 feet of the property line of the subject property, excluding street rights-of-way, and posting a sign(s) on the property advertising the public hearing.

 Manager

SUBSCRIBED AND SWORN TO
 Before me this 27th day of September, 2024.

Erie County, Susan J. Simonick
 A Notary Public in and for such County

SUSAN J. SIMONICK
 Notary Public-State of New York
 No. 01SI6194093
 Qualified in Erie County
 Commission Expires September 29, 2028



25 East State Street, North Aurora, IL 60542
 P: 630.897.1457 F: 630.897.0269
 Website: www.northaurora.org/forms/
 Email: cdinfo@northaurora.org

Below is a template for PINs, names and mailing addresses of all property owners within 250 feet of the property in questions for which the Special Use PUD is being requested. An attached spreadsheet or list matching the template below also is permitted.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-06-476-015	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-016	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-017	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, STE 260, Henderson, NV 89052-2703
15-06-476-018	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-019	Rhino Holdings North Aurora LLC	2200 Paseo Verde Pkwy, Henderson, NV 89052-2701
15-06-476-009	Penney Property Sub Holdings LLC	6501 Legacy Dr., MS #5213, Plano, TX 75024-3698
15-06-451-002	Target Corporation	PO Box 9456, Minneapolis, MN 55440
15-05-301-002	Oper Plasterers & Cement Masons	1102Rail Dr., Woodstock, IL 60098-9430
15-05-301-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-004	BA Leasing BSC LLC	6000 Windward Pkwy, Alpharetta, GA 30005-8882
15-06-401-006	WM Financial Group LLC	200 Hansen Blvd., North Aurora, IL 60542
15-05-426-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200, Rockford, IL 61108
15-05-351-001	Rubloff North Aurora LLC	4949 Harrison Ave., Ste 200 Rockford, IL 61108

I, Michael Joseph, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

[Signature]
 Applicant Signature

9.27.2024
 Date

**NOTICE OF PUBLIC HEARING
BEFORE THE VILLAGE OF NORTH AURORA PLAN COMMISSION
NORTH AURORA, ILLINOIS**

Notice is hereby given that the Village of North Aurora Plan Commission will conduct a Public Hearing on Tuesday, November 5, 2024 at 7:00 p.m. at the North Aurora Village Board Meeting Room, 25 E. State Street, North Aurora, Illinois.

This Public Hearing will be conducted by the Plan Commission to consider an application from Clover Communities North Aurora LLC “Applicant” to allow a Special Use for a Planned Unit Development (PUD) Amendment to Towne Center regarding Residential Uses. The Applicant is proposing a senior (55 and older) apartments independent living facility on the vacant property directly east of 1851 Orchard Gateway Blvd (Riverfront Ram) and directly north of 1600 Orchard Gateway Blvd (JCPenney). The 5.45 acre property would be improved with a single four story, 124 unit building with detached garages. The entitlement process requires an amendment to the Towne Center PUD to allow residential uses on certain properties within the PUD. The total acreage for the proposed residential area is approximately 11.34 acres.

Property Index Numbers (PIN): 15-06-426-003 and 15-06-401-004

The Subject Property is legally described as follows:

LOTS 2 AND 3 OF THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS, ACCORDING TO THE DOCUMENT THEREOF RECORDED MARCH 22, 2006, AS DOCUMENT NO. 2006K031047.

The address of the Applicant is 348 Harris Hill Rd, Williamsville, NY 14221. The Applicant’s phone number is (314) 210 - 2110.

Applications have been filed by the petitioner and are known as Petition #24-07. The application for Special Use is on file at the office of the North Aurora Community Development Department and are available for public inspection. Public comments will be taken at the public hearing. Further information is available by contacting the Community Development Department at 630-897-1457.

DATED: October 16, 2024

/s/ Nathan Darga
Community Development Director

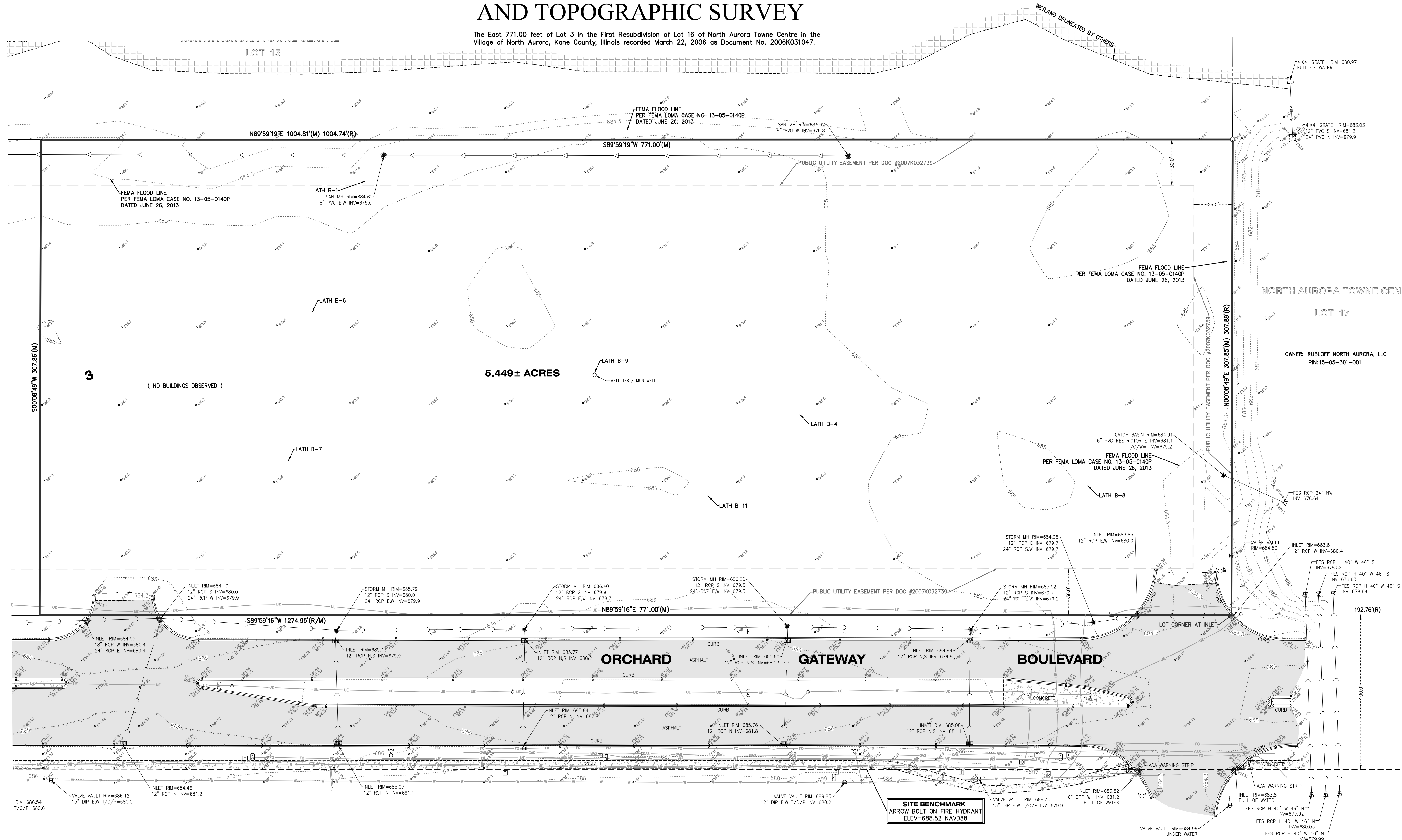
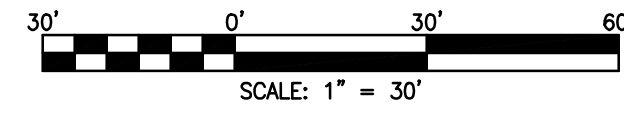
ALTA/NSPS LAND TITLE SURVEY AND TOPOGRAPHIC SURVEY

The East 771.00 feet of Lot 3 in the First Resubdivision of Lot 16 of North Aurora Towne Centre in the Village of North Aurora, Kane County, Illinois recorded March 22, 2006 as Document No. 2006K031047.

UTILITY LINE LEGEND	
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	GAS LINE
	OVERHEAD UTILITIES

LEGEND	
	CATCH BASIN
	CURB INLET
	ELECTRIC HANDHOLE
	ELECTRIC METER
	FIBER OPTIC HAND HOLE
	FIRE HYDRANT
	FLARED END SECTION
	FOUND IRON PIPE
	FOUND MAG NAIL
	HANDHOLE UNKNOWN
	LIGHT
	LATH B-7
	SANITARY MANHOLE
	SET CROSS
	SIGN
	STORM MANHOLE
	TELEPHONE RISER
	TRANSFORMER
	T.O.W. TOP OF WATER
	VALVE VAULT
	WATER VALVE
	MEASURE
	RECORD

PROJECT BENCHMARK
NGS DATA BENCHMARK
DESIGNATION "X 19"
ELEV=683.34 NAVD88



SURVEYOR'S NOTES:

- The legal description and utility easements shown hereon have been provided by First American Title Insurance Company, Commitment policy #3177754 dated April 16, 2024. The title information shown hereon is exclusively that provided to the Surveyor by the Title Insurer or the client. The Surveyor does not warrant the exact location of the Utility Easements shown hereon, but does state that they are located as accurately as possible from the information provided.
- Based on Flood Insurance Rate Map, Panel No. 17089C0340H, dated September 3, 2009, the subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance of Floodplain and within Zone "AE" areas where base flood elevation determined. (Pertains to Table A, Item 3).
- Distances are marked in feet and decimal places thereof, no dimension shall be assumed by scale measurement hereon. Distances and/or bearings shown with a "D" in parenthesis (D) are record or deed values, not field measured.
- Compare this plat, legal description and all survey monuments before building, and immediately report any discrepancies to the surveyor.
- The location of the property lines shown on the face of this plat are based on the legal description contained in the title commitment and shown hereon. This information has been furnished by the client and compared to record deeds to check for gaps and/or overlaps. However, this survey may not reflect historical matters of title and ownership that have not been disclosed by the title commitment.
- Only the improvements which were visible from above ground at time of survey and through a normal search and walk through of the site are shown on the face of this plat. Lawn sprinkler systems, if any, are not shown on this survey.

- Manholes, inlets and other utility rims or grates shown hereon are from field location of such, and only represent such utility improvements which are visible from above ground survey at the time of survey, through a normal search and walk through of the site. The labeling of these manholes (sanitary, water, etc) are based solely on the "stamped" markings on the rim. No underground observations have been made to verify the actual use or existence of underground utilities.
- Surface indications of utilities on the surveyed parcel have been shown. Underground and offsite observations have not been made to determine the extent of utilities serving or existing on the property, public and/or private records have not been searched to provide additional information. Overhead wires and poles (if any) have been shown, however their function and dimensions have not been shown.
- This survey may not reflect all utilities or improvements, if such items are hidden by landscaping, or are covered by such items as dumpsters or trailers or when the site was covered with snow. At the time of survey, the site was not covered by snow.
- This survey makes no statement regarding the actual presence or absence of any service or utility line. Controlled underground exploratory effort together with "JULIE" markings is recommended to determine the full extent of underground service and utility lines. Contact J.U.L.I.E. at 1-800-892-0123. Underground utilities shown hereon were delineated by Lucky Locators. (Pertains to Table A, Items 11a & 11b).
- Restrictions that may be found in local buildings and/or zoning codes have not been shown. Height and bulk restrictions (if any) have not been shown. Only those setback restrictions shown on the recorded subdivision plat or in the title commitment have been shown.
- Site address: Vacant Lot Orchard Gateway Boulevard, North Aurora, Illinois 60542 (Pertains to Table A, Item 2).

- The surveyed property is Zoned "B-2" based on the General Business District. Plottable restrictions from said Zoning District have not been supplied to the Surveyor or at the time of the Survey & hereon shown. (Pertains to Table A, Item 6, 6a).
 - There is a total of 0 striped parking spaces for cars, including 0 of which are marked handicapped and 0 of which are for motorcycles. (Pertains to Table A, Item 9).
 - The property is approximately 2500 ft West of Randall Road (Pertains to table A Item 14)
 - There was no observable evidence of earth moving work, building construction or building additions at time of fieldwork. (Pertains to Table A, Item 16)
- SCHEDULE B, PART II EXCEPTIONS:**
- Exceptions 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 37, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54 & 55 are not survey related.
 - Exceptions 2 & 3 are blanket in nature.
 - Exception 35: Shown hereon.
 - Exception 36: The lands described in Declaration of Use, Maintenance and Easement Agreement recorded June 01, 2005 as document 2005K061900 do not lie on the above described lands. Exhibit "X" in said document further clarifies this tract is not included. See document for particulars.
 - Exception 38: Signage Easement and Maintenance Agreement recorded September 29, 2008 as document 2008K075119 & Partial Release of Signage Easement as document 2013K066839 see document for particulars

22. Exception 39: Covenants, conditions and restrictions contained in the Declaration of Restrictive Covenants recorded as document no. 2006K061458 see document for particulars.

9/19/24 APC - REVISED BOUNDARY, ADDITIONAL SPOT ELEVATIONS & EXCEPTION NOTES
STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

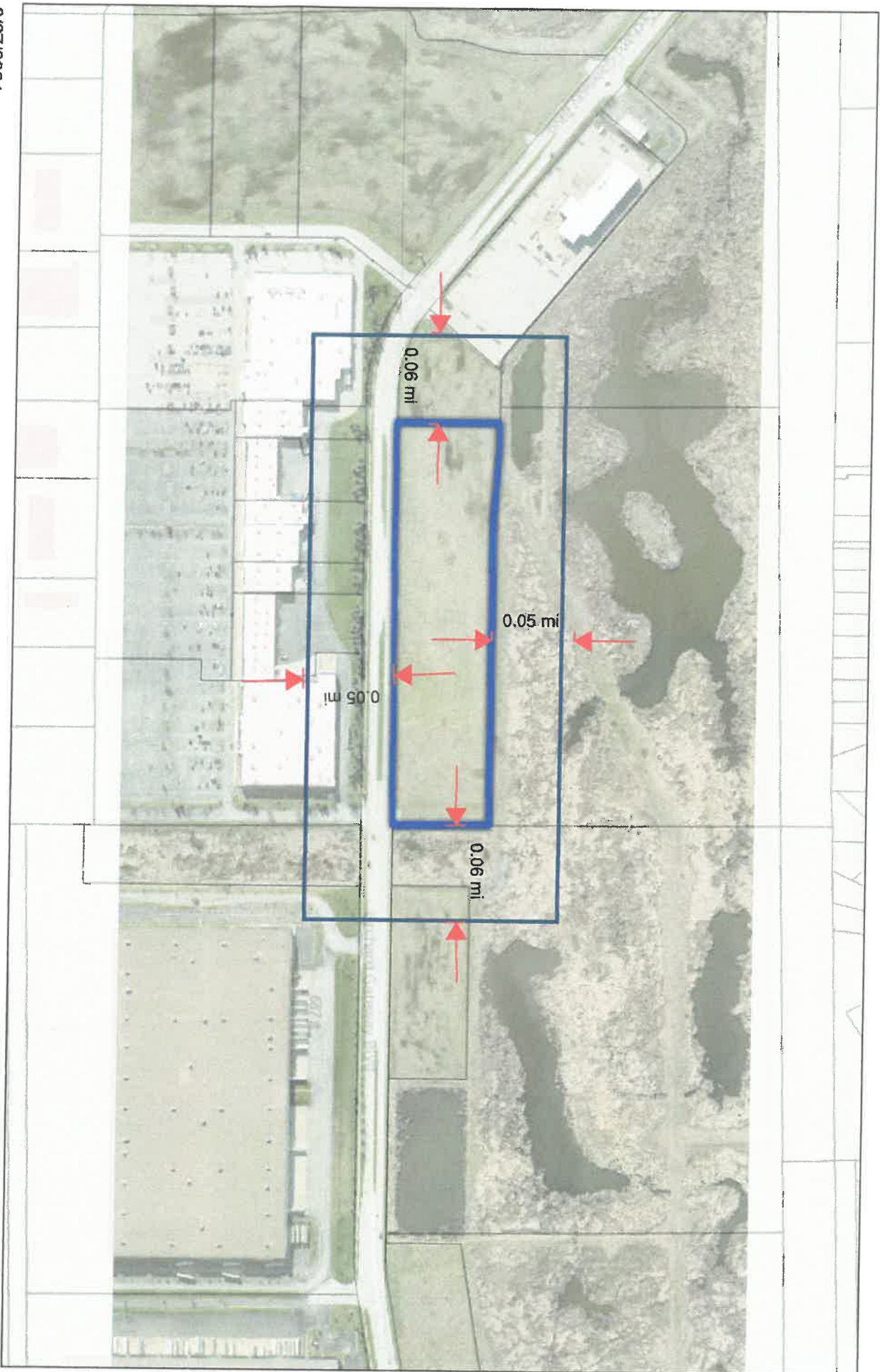
Certified to: 1) IRC North Aurora Venture, L.L.C. formerly known as Inland North Aurora Venture, L.L.C.
2) First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 7a, 7c, 8, 9, 11a, 11b, 13, 14, 16, 18 & 19 of Table A thereof. The field work was completed on August 19th, 2024.

Dated this 21th day of August, A.D., 2024.

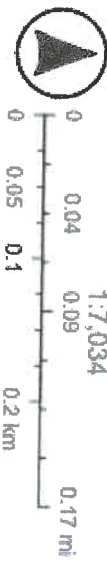
PRELIMINARY
DATE: 9/25/2024 (seal)
PROFESSIONAL LAND SURVEYOR

Kane County Illinois - KaneGIS4



9/27/2024

Pin_Layer



Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, City of Aurora, IL, County of Kane, © OpenStreetMap contributors, Esri, TomTom. These layers do not represent a survey. No Accuracy is assumed for the data records, including plans, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

CLOVER OVERVIEW AND PROJECT NARRATIVE

Who is Clover?

Clover Management started in 1987 by our current owner and President, Mr. Michael Joseph. Clover Management owns and manages (47) market rate, Senior Independent Living communities, totaling over 6,000 units in New York, Ohio, and Pennsylvania, Indiana, Kentucky. We also have another (7) Senior Independent Living properties under construction currently. Additionally, Clover manages many condo associations, and commercial space. Our portfolio consists of more than 150 properties.



Over the past 15 years the company's strategy has been to focus on Market Rate, Senior Independent Living communities.

- Clover develops, owns, and operates the communities for the long term.
- Clover has never converted a Senior community to Low Income.
- Clover has never converted a Senior community to an All-Age community.
- Clover has no HUD funded properties in its portfolio.

What is Clover Independent Living?

- Clover provides a market rate alternative for senior (55+) Independent Living for those residents who no longer desire to own but do not want to move into an expensive full-service retirement community.
- Our senior residents typically come from a three to five - mile radius around the Community. They prefer to stay in the area to be close to family and friends.
- Our developments allow for these senior citizens to remain in the community that they grew up and raised their families in, to continue attending their place of worship, to enjoy their local restaurants and entertainment facilities, and to continue seeing their own doctors which in turn contributes to the economic welfare of the community.

North Aurora Project Narrative:

Clover Communities North Aurora LLC is proposing a four-story/ 124-unit Market Rate – Senior Independent Living Community on Orchard Gateway Blvd. The units will be Age-Restricted 55+ consistent with Fair Housing Guidelines.

Clover Communities generally draw from 3-5 miles of the property and allow for residents to age in place, staying close to family and friends and familiar places of business. This in turn frees up housing stock for young families moving into the area.

The proposed use is consistent with the Goals set forth in the 2024-2025 Strategic Plan, including the goal of Economic Development. This meets two of stated objectives:

- Review zoning use classifications for all non-residential districts
- Enhance the Towne Centre Development.

Additional Notes:

- Architecture: Traditional style architecture with Versetta LedgeStone accents at the building entrance on the front elevation and with the balance of the building clad in multi-color durable vinyl siding.
- Proposed parking is 150 spaces (including 40 garages) or 1.2 spaces/unit - consistent with other Clover Senior Living properties.
- Driveway locations: The proposed driveways will be existing curb cuts at the eastern edge of the property [across from shopping center entrance] and a drive on the western edge of the property allowing access to the remaining parcel north of Orchard Gateway.
- Traffic: Our senior communities don't impact peak traffic. Our residents control their schedules and can choose when they want to be on the road. Typically, our peak hour is between 2 pm and 3 pm with a traffic count of 33 cars per hour during that timeframe.
- Amenities and Activities: Our Senior independent living apartments provide a friendly place to live where you can spend less time worrying about daily chores and maintenance, and gain more time pursuing the things you enjoy, like hobbies, travel, reading, or visiting friends.

- 1st Floor: On the first floor of every building is a large Community Room- a hotspot for social gatherings. The Community Room holds many activities such as weekly Bingo, Pinochle, Yahtzee, and game and trivia nights. It is also a meeting point for many clubs among residents- such as Book Clubs, Knitting Clubs, Card Clubs, Puzzle Fanatics, and even Singing Club. The Community Room also holds seasonal gatherings and catered dinners, as well as exercise classes, chair yoga, ceramics classes, and much more. The large TV provides endless entertainment with Wii Bowling tournaments and Friday Night Movies.



- The Fireplace Lounge has comfy chairs, couches, and a coffee table for residents to sit back and relax by the fire. A TV above the mantel allows residents to catch up on news and events.
- 2nd Floor: The Community Room isn't the only place where residents can meet, talk, and enjoy some conversation- the Coffee Bar is a great place for residents to have their morning coffee, read the paper, watch tv in front of the fireplace, or simply relax- just steps out their front door.



- Residents can focus on their physical health at our on-site Fitness Center. Fully equipped with cardio equipment as well as dumbbells for strength training, residents are encouraged to maintain their strength and wellness. Many residents undergoing physical therapy will also use the space to work with their therapists, a great way to ensure residents can stay in their homes while receiving therapy.



- Residents are thrilled to know that an onsite beauty salon/barbershop is located within the building to serve all their beauty needs- A stylist works several days a week and will perform salon services from a wash and set, to a full haircut and/or shave. This amenity is exclusive to residents only and does not compete with the outside public.

- 3rd Floor: A Family room: Residents can enjoy a space to socialize with each other or guests. A great place for activities, or to read a book, do crafts or host small meetings.

- Fourth Floor: Game Rooms/Library are home to shuffleboards, checkers/chess tables, and a full-size poker table for the residents to enjoy. The Game Room/Library is also a place for residents to sit and enjoy a good book, attend a Bible Study, watch TV, or simply socialize.

- Outside Areas: When the weather permits, our communities offer great exterior amenities as well. The community patio hosts many warm weather gatherings where residents can socialize and soak up the summer sun. There, residents can enjoy outdoor grilling, seasonal speakers and seminars, and hosted cookouts on holidays like Memorial Day and the 4th of July. Residents take part in lawn games, such as cornhole or horseshoes; some communities also have a walking club that walks the sidewalk loop of the building.



Unit Amenities:

- Full/Modern kitchen with breakfast bar and pantry
- Stainless Steel Appliances including refrigerator, microwave, range, dishwasher and in-unit washer/dryer.
- Walk-in showers
- Master bedroom
- Slider patio doors
- Private patio or balcony
- Indoor Mailboxes
- Individually controlled heat and A/C
- Emergency Pull Cords in each Unit.
- Pet Friendly



Community Amenities:

In addition to the Amenities and Activities previously mentioned, Clover Communities also offer the following:

- Controlled access building entry system
- Central Elevator Service
- Convenient Indoor Trash Facilities on every floor
- Central Indoor Mail System
- On-site parking – including leasable garages.
- Indoor Storage Units
- Camera Monitored Vestibule
- Smoke Free Community
- Activities Director
- Day Trips (shows, etc.)
- Safety Seminars

Project Schedule:

- Approvals/Permits: completed 4Q24.
- Start Construction: 3Q25.
- Anticipated Opening: 1Q27



Mr. Nathan Darga
Village of North Aurora
Community Development Director
25 East State Street
North Aurora, IL 60542

September 24, 2024

RE: Proposed Clover Senior Independent Living
Development

A portion of Tax PIN 15-06-426-003 (±5.45 acres) -see
attached site drawing

Orchard Gateway Blvd
North Aurora, IL 60542

Dear Mr. Darga,

Orchard11 LLC is the owner of Tax PIN 15-06-426-003 (±9.28 acres) with an address of Orchard Gateway Blvd, Village of North Aurora, Kane County, IL. We authorize Clover Communities North Aurora LLC to submit plans, applications, and related info for the purpose of obtaining City approvals - including amending the existing planned unit development for development of the additional permitted use of a Senior Living Community on the referenced parcel.

As the property owner we feel this is a great compliment to the existing center and the Village of North Aurora.

Sincerely,

A handwritten signature in black ink, appearing to read "Clinton T Anderson". The signature is fluid and cursive, written over a light blue horizontal line.

Clinton T Anderson
Manager
Orchard 11 LLC

Cc: file

Planned Unit Development Standards Statment

- 1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?**

Clover: The site is adaptable to the unified development. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 2. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?**

Clover: The proposed development will not impede neither the existing uses nor the future potential uses. The project does not limit the viability of the center or the ability of the center to market existing vacant storefronts or pads to potential users.

- 3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted**

Clover: The proposed development will not impede the current property uses and users already in the development. It will strengthen these users by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- 4. Will the proposed planned unit development not diminish or impair property values within the neighborhood**

Clover: Property values will not be impaired by the new development. Higer density residential is a complementary use to the neighborhood. and will free up housing stock for younger families in the area, many of whom will choose to renovate and upgrade. This will raise the value of the existing stock.

- 5. Will the proposed planned development not impede the normal and orderly development and improvement of surrounding property for uses permitting in the zoning district?**

Clower: The proposed development will not impede the development and improvement of surrounding uses. Our residents will further strengthen the surrounding retail and create demand for additional goods and services in the area.

6. Is there provision for adequate utilities, drainage off-street parking and loading, pedestrian access and all other necessary facilities?

Clower: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clower engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic upon public streets?

Clower: The property has adequate ingress and egress. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for 'Senior Adult Housing Attached' the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?

Clower: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

9. Are the areas of the proposed planned unit development which are not used for structured, parking, and loading areas, or access ways, suitably landscaped?

Clower: The landscaping is typical for an active adult community. Any areas not covered by improvements will be greenspace, enhanced with plantings as appropriate.

10. Is the proposed planned unit development, in the specific location proposed, consistent with the spirit and intent of this Ordinance and the adopted comprehensive plan?

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

Clover: The project is designed to meet the needs of an underserved population of seniors, desiring to age in place while utilizing the community shopping, dining, healthcare, and places of worship to which they have become accustomed. They are seeking market rate housing, designed with hard and soft programming to suit their changing housing needs.

Special Use Standards

- 1. That the establishment, maintenance, and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.**

Clover: The property will not endanger the health, safety, comfort or welfare of anyone in the community. Furthermore, seniors choosing to live at the property will be able to remain in the community, aging in place in a facility with hard and soft programming designed to further their comfort and well-being.

- 2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.**

Clover: The proposed project is compatible with the adjacent properties. The existing PUD includes the Towne Center development, an anchored retail center providing hard goods and services to North Aurora residents and surrounding communities. The proposed project, with not adversely impact traffic or site lines of the retail and will add additional consumers to the service area.

- 3. That the special use in the specific location proposed is consistent with the spirit and intent of the zoning ordinance and the adopted Comprehensive Plan**

Clover: The proposed development is consistent with ordinance and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

- 4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard individually.**

- The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.**

Clover: A Planned Unit Development is an authorized special use in B-2 Zoning.

- The proposed special use does not create excessive additional impacts at public expense for the public facilities and services and will be beneficial to the economic welfare of the community.**

Clover: The proposed development will not create excessive impacts at public expense or public facilities. It will strengthen the economic welfare of the

community by providing additional consumers to the trade area. Currently vacant and underdeveloped properties will benefit from the addition of the consumers.

- **The proposed use is in conformance with the goals and policies of the comprehensive Plan and all Village codes and regulations**

Clover: The proposed development is consistent with ordinances and comprehensive plan. From the 2023 plan update: “At the same time, while the median age of the community is expected to remain relatively stable, the percentage of older residents will increase. As a result, smaller single family housing, townhomes, and senior-oriented multifamily developments will likely be needed to address the demand created by this portion of the population”

- **The proposed special use will not significantly diminish the safety, use, enjoyment, and value of the other property in the neighborhood in which it is located**

Clover: Our site is designed consistent with the village standards. The project does not impede the views, create excessive light or noise disturbance, or other nuisances to the current or future neighborhood land uses.

- **The proposed special uses minimizes potentially dangerous traffic movements and provides adequate and safe access to the site**

Clover: The property minimizes dangerous traffic and has safe and adequate access. Two existing curb cuts, near the eastern and western boundaries of the property, will allow for traffic ingress and egress in all directions. Per ITE data for ‘Senior Adult Housing Attached’ the projected AM peak hour trips are 25 and peak PM peak hour trips are 33.

- **The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of the Ordinance.**

Clover: Per Chapter 14 of the Municipal Code, Independent Living Facilities require one space per dwelling unit + two spaces for every 1,000 sqft of gross office area. Based on this, the minimum off-street parking requirement would be 126 spaces. We are currently projecting to provide 148 spaces, including 110 surface parking spaces and 40 detached garages.

- **The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.**

Clover: Village staff has confirmed that water and sewer in sufficient capacity is available to the property. Clover engineers, in coordination with village staff, have determined that the stormwater detention facility immediately east of the property is sufficient to manage the property drainage. The site and building provide the necessary off-street parking with capacity for resident, staff and guests. Sidewalks allow for pedestrians to travel to and from the local amenities

- **The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.**

Clover: To the best of our knowledge, The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Applicant: Clover Communities North Aurora LLC
Contact: Russell Caplin
Address: 348 Harris Hill Road
Williamsville, IL 14221

Project: North Aurora Senior Apartments
Address: Orchard Gateway Boulevard, North Aurora

IDNR Project Number: 2504108
Date: 09/23/2024

Description: Construction of a 4-story, 124-unit senior apartment building with 5 garages and associated parking and utilities.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.



County: Kane

Township, Range, Section:

38N, 8E, 5
38N, 8E, 6

**IL Department of Natural Resources
Contact**

Adam Rawe
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Village of North Aurora
Nathan Darga
Village Hall
25 East State Street
North Aurora, Illinois 60542

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt	Project Code 2504108
-----------------------	-----------------------------

APPLICANT	DATE
------------------	-------------

Clover Communities North Aurora LLC Russell Caplin 348 Harris Hill Road Williamsville, IL 14221	9/23/2024
--	-----------

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
--------------------	------------	------------------------	-------------------

EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81
---------------------	-----------	---------	-----------

TOTAL PAID	\$ 127.81
------------	-----------

Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov



Natural Resources Inventory (NRI) Application

Petitioner: _____
 Contact Person: _____
 Address: _____
 City, State, Zip: _____
 Phone Number: _____
 Email: _____

Owner: _____
 Address: _____
 City, State, Zip: _____
 Phone Number: _____
 Email: _____

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location

Address: _____
 City, State, Zip: _____
 Township(s) _____ N Range(s) _____ E Section(s) _____
 Parcel Index Number(s): _____

Type of Request

- Change in Zoning from _____ to _____
- Subdivision or Planned Unit Development (PUD)
- Variance (Please describe fully on a separate sheet)
- Special Use Permit (Please describe on separate sheet)

Site Information

Municipality/Permitting Unit of Government: _____ Acres of Disturbance: _____
 Project or Subdivision Name: _____ Total Acres: _____
 Current Use of Site: _____ Proposed Use: _____
 Surrounding Land Use: _____ Hearing Date: _____

Proposed Improvements (Check all that apply)

- Dwellings with Basements
- Dwellings without Basements
- Parking Lots
- Roads and Streets
- Commercial Buildings
- Utility Structures
- Common Open Space
- Other _____

Stormwater Treatment

- Drainage Ditches or Swales
- Storm Sewers
- Dry Detention Basins
- Wet Detention Basins
- No Detention Facilities Proposed
- Other _____

Water Supply

- Individual Wells
- Community Water

Wastewater Treatment

- Septic System
- Sewers
- Other _____

Required: Include One Copy of Each of the Following (Processing will not begin until all items are received)

- Application** (completed and signed)
- Fee** (according to fee schedule on back)
- Make Checks payable to Kane-DuPage Soil and Water Conservation District
- Plat of Survey** showing legal description, legal measurements
- Site Plan/Drawings** showing lots, storm water detention areas, open areas, streets etc.
- Project Narrative** with additional details on the proposed use, including total area of ground disturbance
- Location Map** (if not on maps above) include distances from major roadways or tax parcel numbers

If Available- Not Required:

Any applicable surveys including wetland deliniation, detailed soil survey, topographic survey etc.

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent _____ **Date** _____

FOR OFFICE USE ONLY

NRI # _____ Natural Resource Review Letter _____ Date Initially rec'd _____ Date all rec'd _____

Date Due _____ Fee Due \$ _____ Refund Due _____ Check # _____

The report will be issued on a nondiscriminatory basis without regard to race, color, religion, sex, age, marital status, handicap, or national origin.

Natural Resources Inventory (NRI) Fees

FEE AMOUNTS FOR TOTAL ACRES OF PARCEL*: Effective January 01, 2024

¼ acre or less= \$100

¼ acre-5 acres or fraction thereof= \$475.00

6 acres or fraction thereof = \$500.00

ADD \$20 for each additional acre or fraction thereof OVER 6

Please contact KDSWCD for non-contiguous parcels

MAKE CHECKS PAYABLE TO: Kane DuPage Soil and Water Conservation District

Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee
1	475	21	800	41	1200	61	1600	81	2000	101	2400	121	2800	141	3200	161	3600	181	4000
2	475	22	820	42	1220	62	1620	82	2020	102	2420	122	2820	142	3220	162	3620	182	4020
3	475	23	840	43	1240	63	1640	83	2040	103	2440	123	2840	143	3240	163	3640	183	4040
4	475	24	860	44	1260	64	1660	84	2060	104	2460	124	2860	144	3260	164	3660	184	4060
5	475	25	880	45	1280	65	1680	85	2080	105	2480	125	2880	145	3280	165	3680	185	4080
6	500	26	900	46	1300	66	1700	86	2100	106	2500	126	2900	146	3300	166	3700	186	4100
7	520	27	920	47	1320	67	1720	87	2120	107	2520	127	2920	147	3320	167	3720	187	4120
8	540	28	940	48	1340	68	1740	88	2140	108	2540	128	2940	148	3340	168	3740	188	4140
9	560	29	960	49	1360	69	1760	89	2160	109	2560	129	2960	149	3360	169	3760	189	4160
10	580	30	980	50	1380	70	1780	90	2180	110	2580	130	2980	150	3380	170	3780	190	4180
11	600	31	1000	51	1400	71	1800	91	2200	111	2600	131	3000	151	3400	171	3800	191	4200
12	620	32	1020	52	1420	72	1820	92	2220	112	2620	132	3020	152	3420	172	3820	192	4220
13	640	33	1040	53	1440	73	1840	93	2240	113	2640	133	3040	153	3440	173	3840	193	4240
14	660	34	1060	54	1460	74	1860	94	2260	114	2660	134	3060	154	3460	174	3860	194	4260
15	680	35	1080	55	1480	75	1880	95	2280	115	2680	135	3080	155	3480	175	3880	195	4280
16	700	36	1100	56	1500	76	1900	96	2300	116	2700	136	3100	156	3500	176	3900	196	4300
17	720	37	1120	57	1520	77	1920	97	2320	117	2720	137	3120	157	3520	177	3920	197	4320
18	740	38	1140	58	1540	78	1940	98	2340	118	2740	138	3140	158	3540	178	3940	198	4340
19	760	39	1160	59	1560	79	1960	99	2360	119	2760	139	3160	159	3560	179	3960	199	4360
20	780	40	1180	60	1580	80	1980	100	2380	120	2780	140	3180	160	3580	180	3980	200	4380

For the convenience of those who must comply with the provisions of the Illinois Soil and Water Conservation District Act, Section 22.02a (Illinois Compiled Statutes, Chapter 70, Paragraph 405, Section 22.02a), enacted December 3, 1971, effective July 1, 1972, we quote this section:

“The Soil and Water Conservation District shall make all-natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality’s or county’s zoning ordinance or who proposes to subdivide vacant or agricultural lands therein shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall be given not more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action.”

***Fees may be adjusted based on size of disturbance and adjacent natural resources which may be impacted.**

2023K026682

Sandy Wegman
RECORDER - KANE COUNTY, IL
RECORDED: 8/4/2023 03:39 PM
REC FEE: 59.00 RIHSPS FEE: 18.00
STATE TAX: 650.50
COUNTY TAX: 325.25
PAGES: 6

Prepared by:
Michael R. Brancheau
Higgins & Brancheau LLC
200 West Adams Street, Suite 2220
Chicago, Illinois 60606

After Recording Return to:
John J. Hoscheit
Hoscheit, McGuirk, McCracken & Cuscaden, P.C.
1001 East Main Street, Suite G
St. Charles, Illinois 60174

Mail Tax Bills To:
ORCHARD11, LLC
333 N. Randall Road
Suite 120
St. Charles, Illinois 60174

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the 3rd day of August, 2023, by **IRC NORTH AURORA VENTURE, L.L.C.**, a Delaware limited liability company (the "Grantor"), whose address is c/o Pine Tree, 814 Commerce Drive, Suite 300, Oak Brook, Illinois 60523, to and in favor of **ORCHARD11, LLC**, an Illinois limited liability company (the "Grantee"), whose address is 333 N. Randall Road, Suite 120, St. Charles, Illinois 60174.

WITNESSETH:

THAT THE GRANTOR, for the sum of Ten Dollars and other valuable consideration paid by the Grantee, the receipt of which is acknowledged, has REMISED, ALIENATED and CONVEYED to the Grantee, its successors and assigns forever, that real property located in Kane County, Illinois, which is described in the attached **Exhibit A**, together with all appurtenances, tenements and hereditaments, easements, rights-of-way and appurtenances belonging or in anywise appertaining to the same, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, thereunto appertaining, and subject to (i) those matters described in the attached **Exhibit B**, provided this mention shall not serve to reimpose same, and (ii) any accrued taxes or assessments not yet due and payable.

AND THE GRANTOR does hereby, for itself, hereby covenants with Grantee that it has not done or suffered to be done, anything whereby the said real property hereby granted is, or may be, in any manner encumbered or charged, except as herein recited, and that Grantor is lawfully seized of said real property in fee simple subject, however, to the matters set forth in **Exhibit B** attached hereto and made a part hereof; and that Grantor has good right and lawful authority to

PAGE 1

Handwritten signature/initials

Handwritten number 6

Handwritten number 77

sell and convey said real property; and hereby warrants the title to said real property and will WARRANT AND DEFEND the same against the lawful claims of all persons claiming by, through or under Grantor, but no others, subject to the matters set forth in Exhibit B.

[signatures on the following page]

PAGE 2

IN WITNESS WHEREOF, the Grantor has executed this Special Warranty Deed as of the day and year first above written.

IRC NORTH AURORA VENTURE, L.L.C.,
a Delaware limited liability company

By: Midwest Retail Mezz, LLC
a Delaware limited liability company
its sole member

By: Midwest Retail Mezz II, LLC
a Delaware limited liability company
its sole member

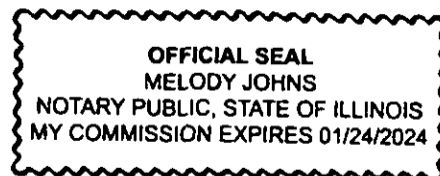
By: IRC Retail Centers, LLC
a Delaware limited liability company
its sole member

By: Peter Foran
Name: Peter Foran
Title: Vice President

STATE OF ILLINOIS
COUNTY OF DUPAGE

The foregoing instrument was acknowledged before me this 27th day of July, 2023, by Peter Foran, as Vice President of IRC Retail Centers, LLC, a Delaware limited liability company, which is the sole member of Midwest Retail Mezz II, LLC, a Delaware limited liability company, which is the sole member of Midwest Retail Mezz, LLC, a Delaware limited liability company, which is the sole member of IRC NORTH AURORA VENTURE, L.L.C., a Delaware limited liability company, on behalf of the limited liability companies, who was physically present and who is personally known to me or who produced _____ as identification.

Melody Johns
Notary Public Melody Johns
Commission number _____
My commission expires: 1/24/2024



PAGE 3

EXHIBIT A

LEGAL DESCRIPTION

LOTS 2 AND 3 IN THE FIRST RESUBDIVISION OF LOT 16 OF NORTH AURORA TOWNE CENTRE IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS RECORDED MARCH 22, 2006 AS DOCUMENT NO. 2006K031047.

PERMANENT INDEX NUMBER: 15-06-401-004
 15-06-426-003

COMMONLY KNOWN AS: Vacant Land Near Intersection of S. Randall Road
 and Orchard Gateway Boulevard
 North Aurora, Illinois 60542

EXHIBIT B

PERMITTED EXCEPTIONS

1. Taxes for the years 2022 and 2023

Permanent Tax Nos.: 15-06-401-004
 15-06-426-003

2. The Land lies within the boundaries of Special Services Areas 32 and 36, as disclosed by Ordinances recorded as document nos. 2006K004036 and 2006K123248, and is subject to additional taxes under the terms of said Ordinance and subsequent related Ordinances.
3. The Land lies within the boundaries of the Fox Metro Water Reclamation District as disclosed by Ordinance recorded as document no. 2008K062417, and is subject to additional taxes under the terms of said Ordinance and subsequent related Ordinances.
4. Easement in favor of Aurora Sanitary District for sanitary sewer created by Grant from Elmer J. Konen and Clara E. Konen recorded September 24, 1969 as document no. 1149690, and the provisions relating thereto.
5. Easement in favor of Fox Metro Water Reclamation District for sanitary sewer as shown on Plat of North Aurora Towne Centre Subdivision recorded as document no. 2006K029817.
6. Easement for public utilities in favor of the Village of North Aurora, and all public utility companies of any kind operating under franchise granting them easement rights from the Village, including, but not limited to Comcast, AT&T, Commonwealth Edison Company and Northern Illinois Gas Company, together with their respective successors and assigns, as reserved and granted by the Grant of Easement recorded as document no. 2007K032739, and the provisions relating thereto.
7. Declaration of Use and Maintenance Agreement recorded June 1, 2005 as document no. 2005K061900, executed by and between Rubloff North Aurora, L.L.C., an Illinois limited liability company, MB Financial Bank, N.A., as Trustee under Trust Agreement dated December 19, 2003 and known as Trust Number 3351, concerning, among other matters, common area, maintenance, repair, and costs.

Assignment and Assumption of Rights and Interest under Declaration of Use, Maintenance and Easement Agreement dated August 3, 2023 and recorded 8-4, 2023 as document number 2023 F.O. 26684

8. Declaration of Restrictive Covenants recorded June 8, 2006 as document no. 2006K061458 made by Rubloff North Aurora, L.L.C., an Illinois limited liability company.

PAGE 5

9. Declaration of Restrictive Covenants made by Rubloff North Aurora, L.L.C., an Illinois limited liability company, recorded September 12, 2006 as document no. 2006K099514.
10. Village of North Aurora Ordinance Number 05-03-23-02 annexing the Land, recorded April 25, 2005 as document no. 2005K046080, and Ordinance Number 05-03-23-01 concerning annexation agreement recorded April 25, 2005 as document no. 2005K046081, and Amendment to Annexation Agreement recorded July 5, 2007 as document no. 2007K061238, and amended by Letter recorded June 17, 2008 as document no. 2008K050722.

Amendments to the Annexation Agreement and Planned Unit Development recorded July 9, 2013 as document nos. 2013K050344 and 2013K050345.

11. Village of North Aurora Ordinance concerning Rubloff Economic Incentive Agreement recorded May 12, 2005 as document no. 2005K053993.
12. Sales Tax Reporting agreements between Rubloff North America L.L.C. and NARE/Inland North Aurora Venture II, L.L.C., dated August 30, 2006 and recorded September 12, 2006 as document nos. 2006K099515 and 2006K099516.
13. Signage Easement and Maintenance Agreement by and between Preferred Real Estate LLC, Nare/Inland North Aurora Venture LLC, Nare/Inland North Aurora Venture II LLC and Nare/Inland North Aurora Venture III L.L.C., recorded September 29, 2008 as document no. 2008K075119.

Partial Release of Signage Easement and Maintenance Agreement recorded September 13, 2013 as document no. 2013K066839.

14. Building line over the Southerly 25 feet as shown on the Plat of Subdivision of the First Resubdivision of Lot 16 of North Aurora Towne Centre, recorded as document no. 2006K31047.



VILLAGE OF NORTH AURORA
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 897-8228

Stat ID: WVH0612 Date: 10/23/2024
Oper ID:mflatt Time: 03:04 PM
Receipt No. 00410747

DETAILS:

01-310-3140
Special Use PUD 1,000.00

PAYOR:

Customer #: 024163
Clover Construction Management West Corp
348 Harris Hill Road

Williamsville NY 14221

TENDOR:

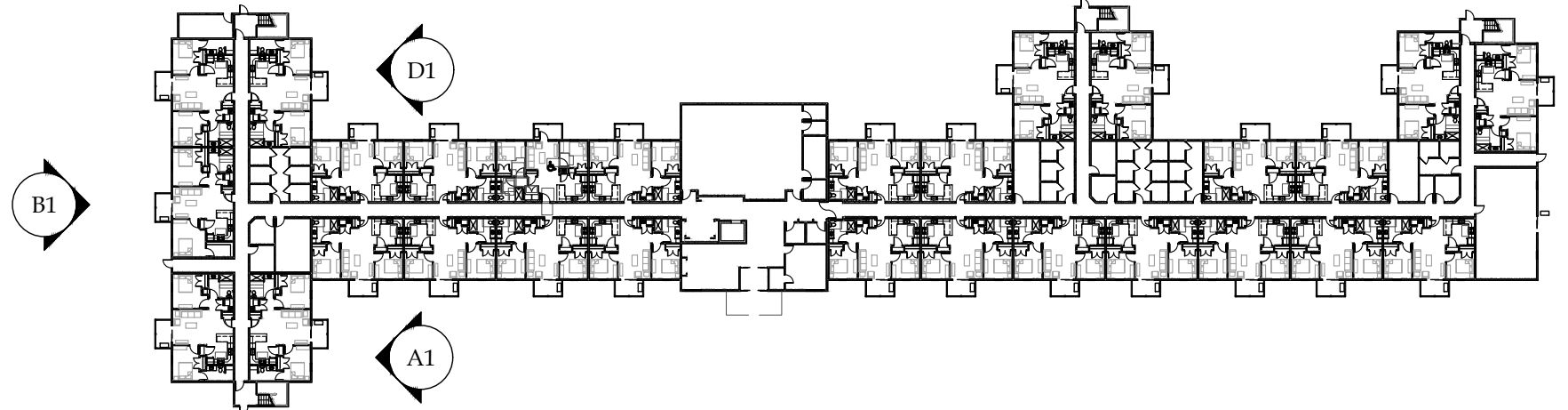
Cash: 0.00
Check: 1,000.00 Check No: 39730
Other: 0.00
Change: 0.00

Receipt Total: 1,000.00

--THANK YOU--







E5 KEY PLAN
SCALE: NTS

D1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



B1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS



SILVESTRI ARCHITECTS - PC

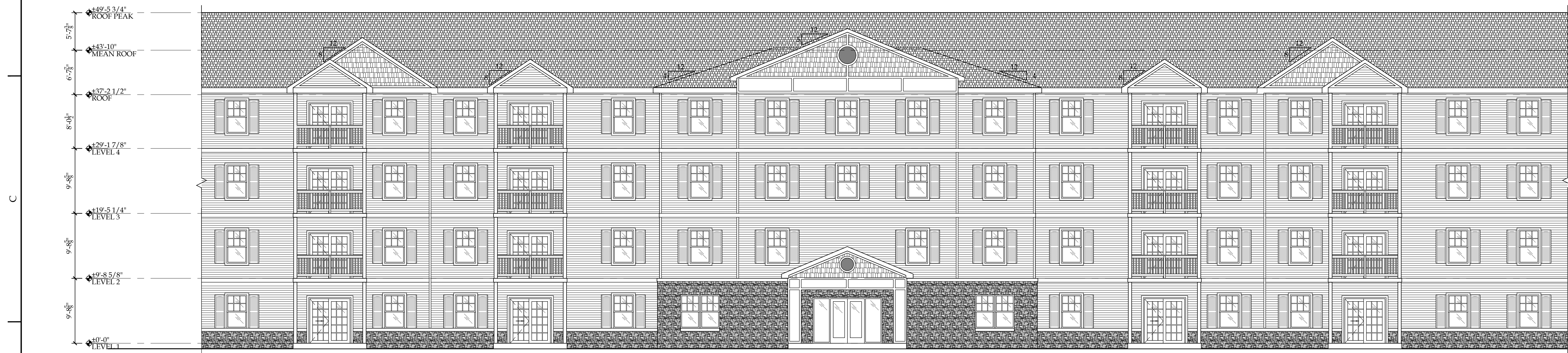
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-201**



D1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



B1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
EXTERIOR ELEVATIONS - OPTION "A"



SILVESTRI ARCHITECTS - PC

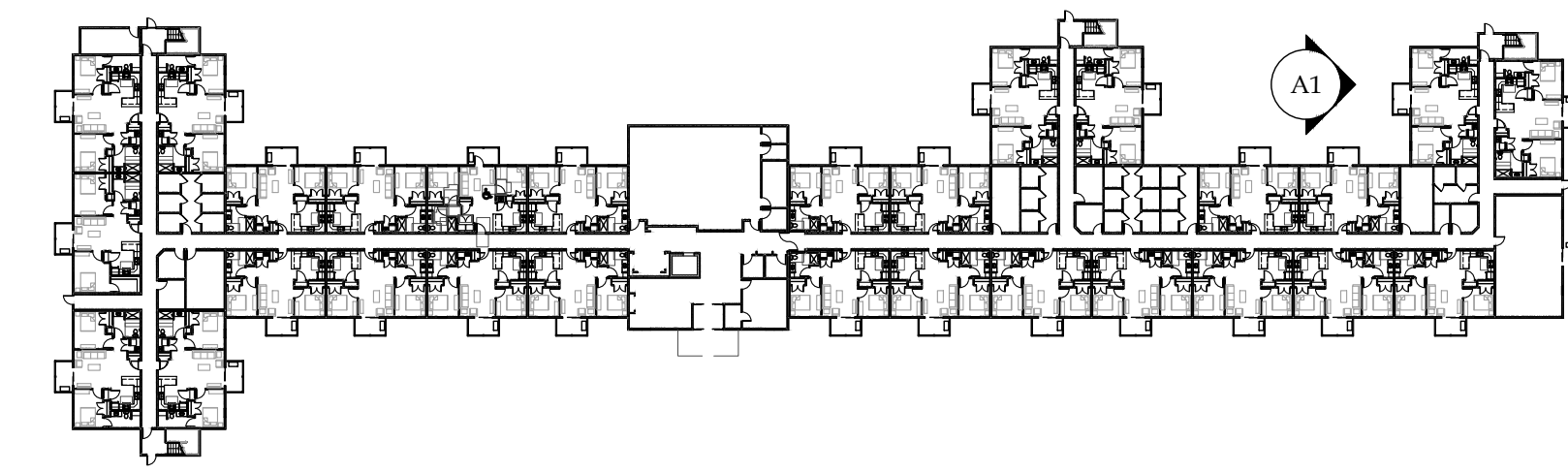
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

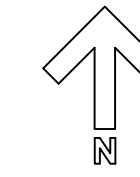
DRAWING #: **A-202**

1 2 3 4 5 6

E
D
C
B
A



E5 KEY PLAN
SCALE: NTS



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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS



SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24074.01** DATE: **10-01-24**

DRAWING #: **A-203**



B1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

1 2 3 4 5 6

1 2 3 4 5 6

E

D

C

B

A



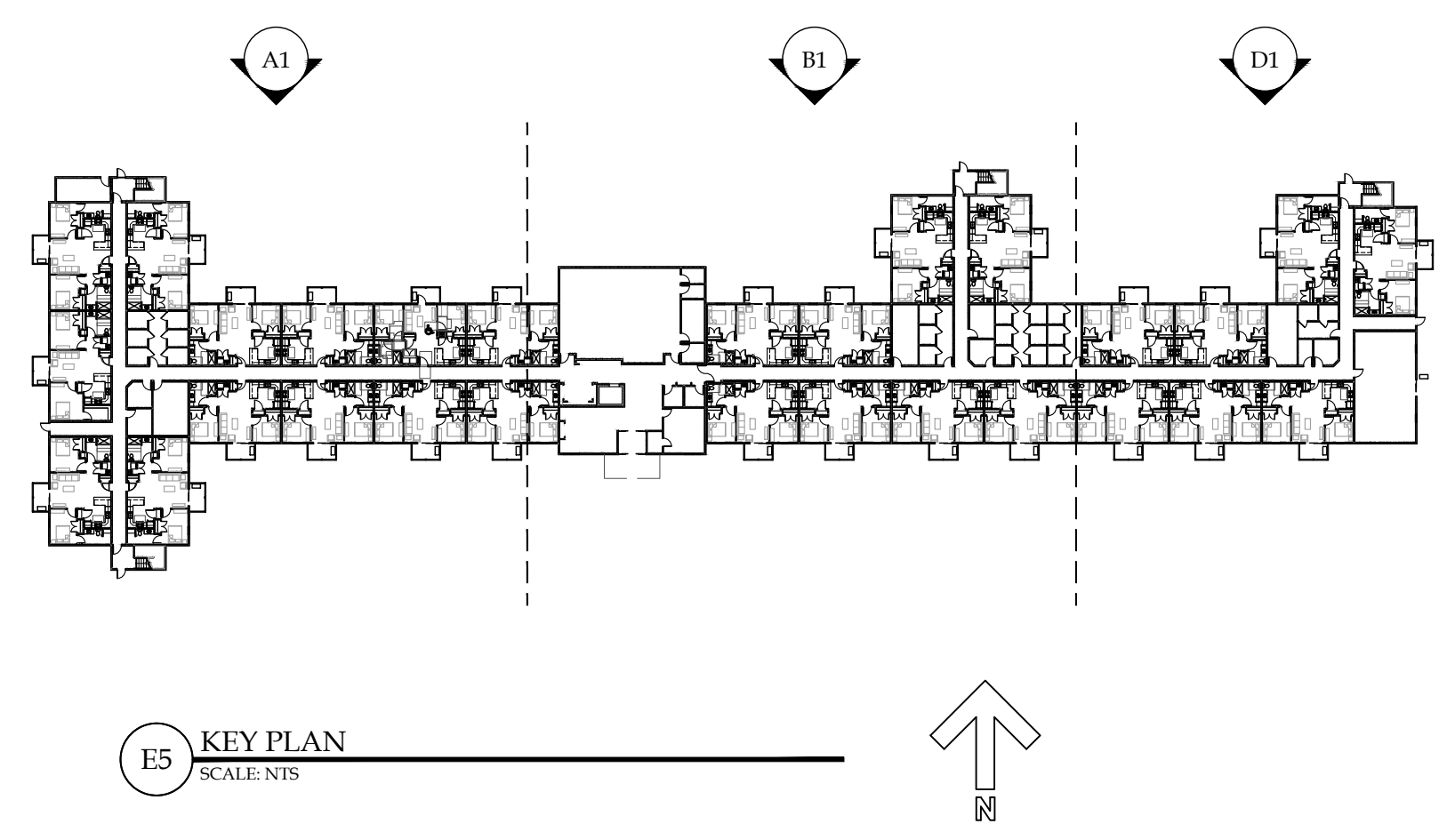
D1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



B1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



E5 KEY PLAN
SCALE: NTS

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

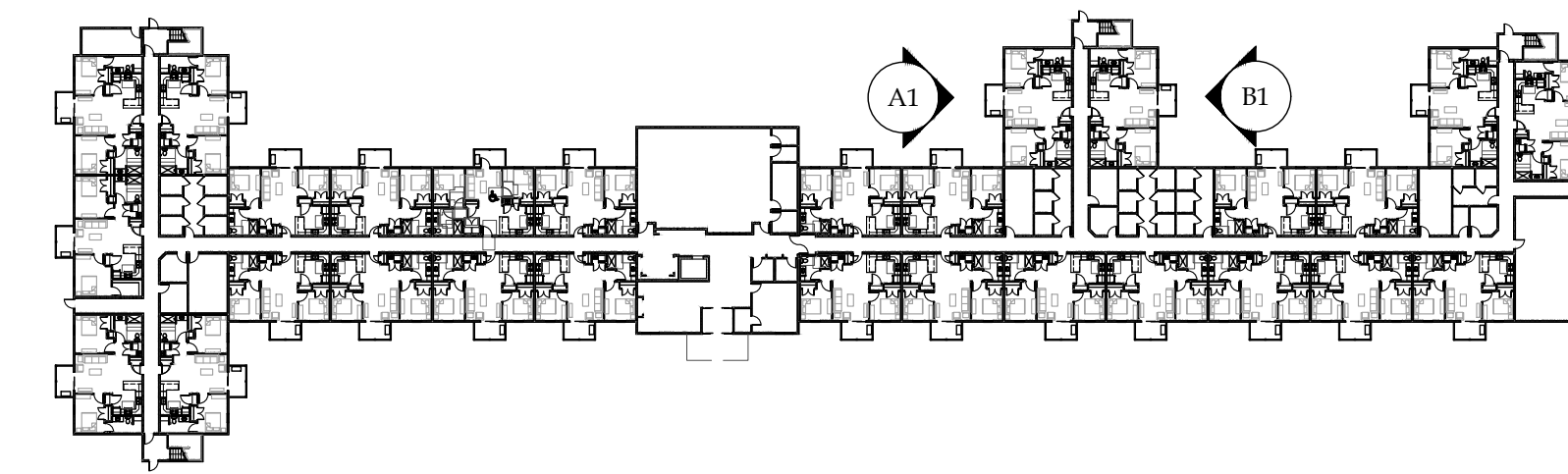
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EXTERIOR ELEVATIONS



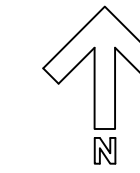
SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-204**

1 2 3 4 5 6



E5 KEY PLAN
SCALE: NTS



B1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER B.Pacos
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
EXTERIOR ELEVATIONS

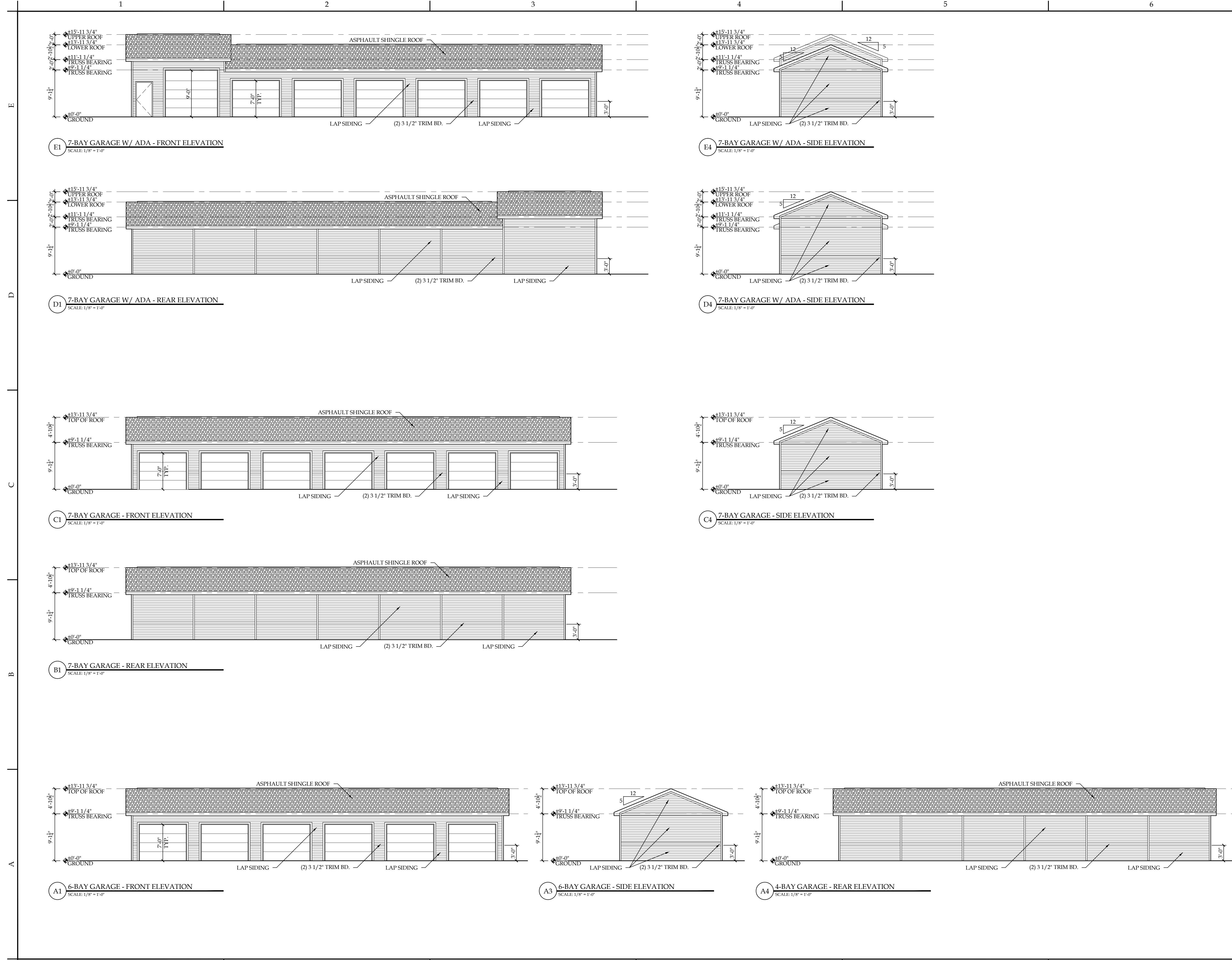


SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-205**



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North Aurora Senior Apartments

Orchard Gateway Blvd,
 North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. S.Hunt DRAFTER _____
 JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:
GARAGE ELEVATIONS



SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-206**



**CONTRACT DRAWINGS
FOR THE CONSTRUCTION OF**

**NORTH AURORA SENIOR APARTMENTS
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

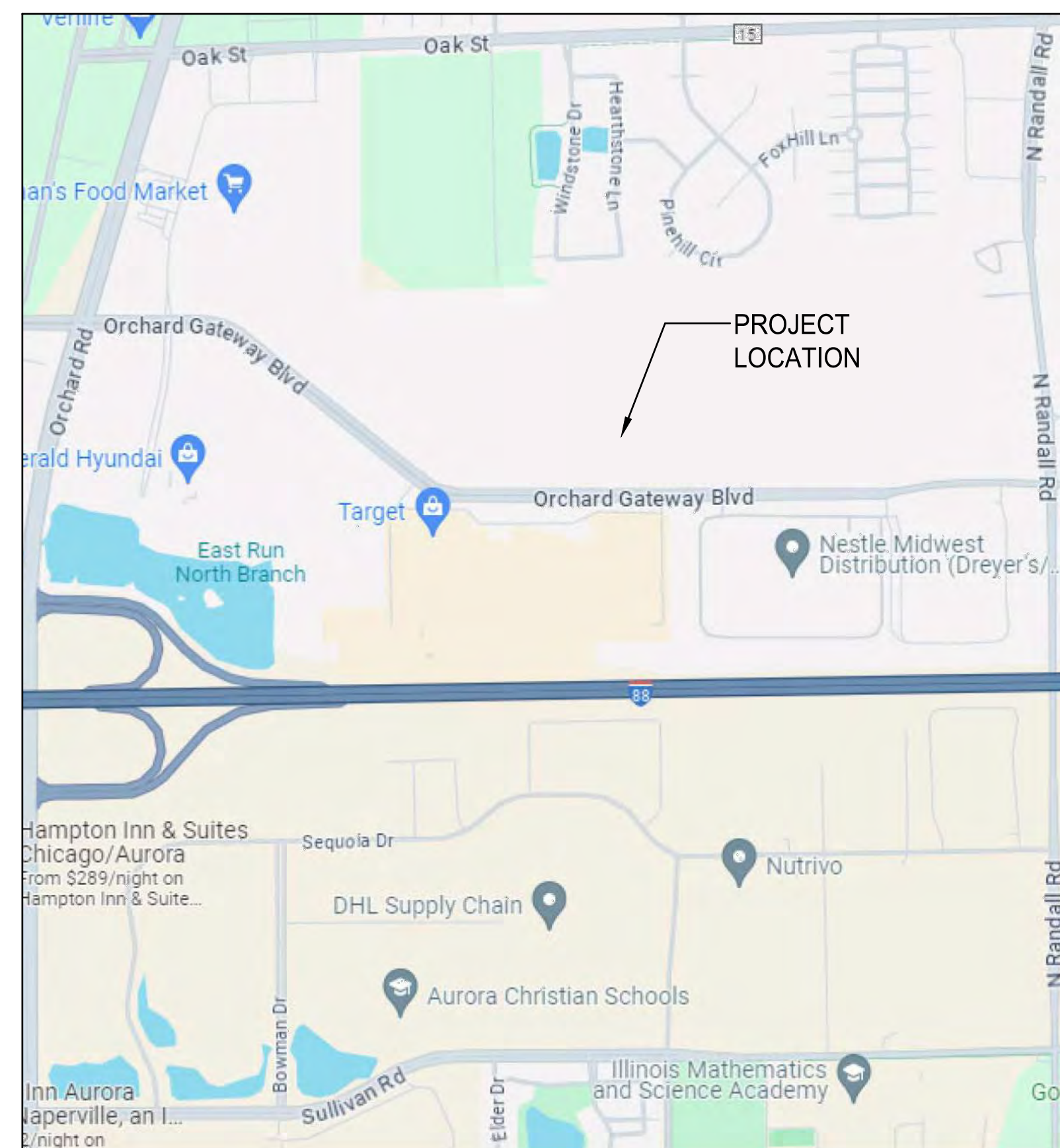


APPLICANT/DEVELOPER:
CLOVER COMMUNITIES NORTH AURORA LLC
348 HARRIS HILL ROAD
WILLIAMSVILLE, NY 14221
CONTACT: RUSSELL CAPLIN, DEVELOPMENT DIRECTOR
PHONE: 314-210-2110

ENGINEER:
ERIC DANIEL, P.E.
C&S ENGINEERS, INC.
141 ELM STREET, SUITE 100
BUFFALO, NEW YORK 14203
PHONE: 716-847-1630

SURVEYOR:
VANDERSTAPPEN LAND SURVEYING, INC.
1316 N. MADISON ST.
WOODSTOCK, IL 60098
PHONE: 815-337-8310

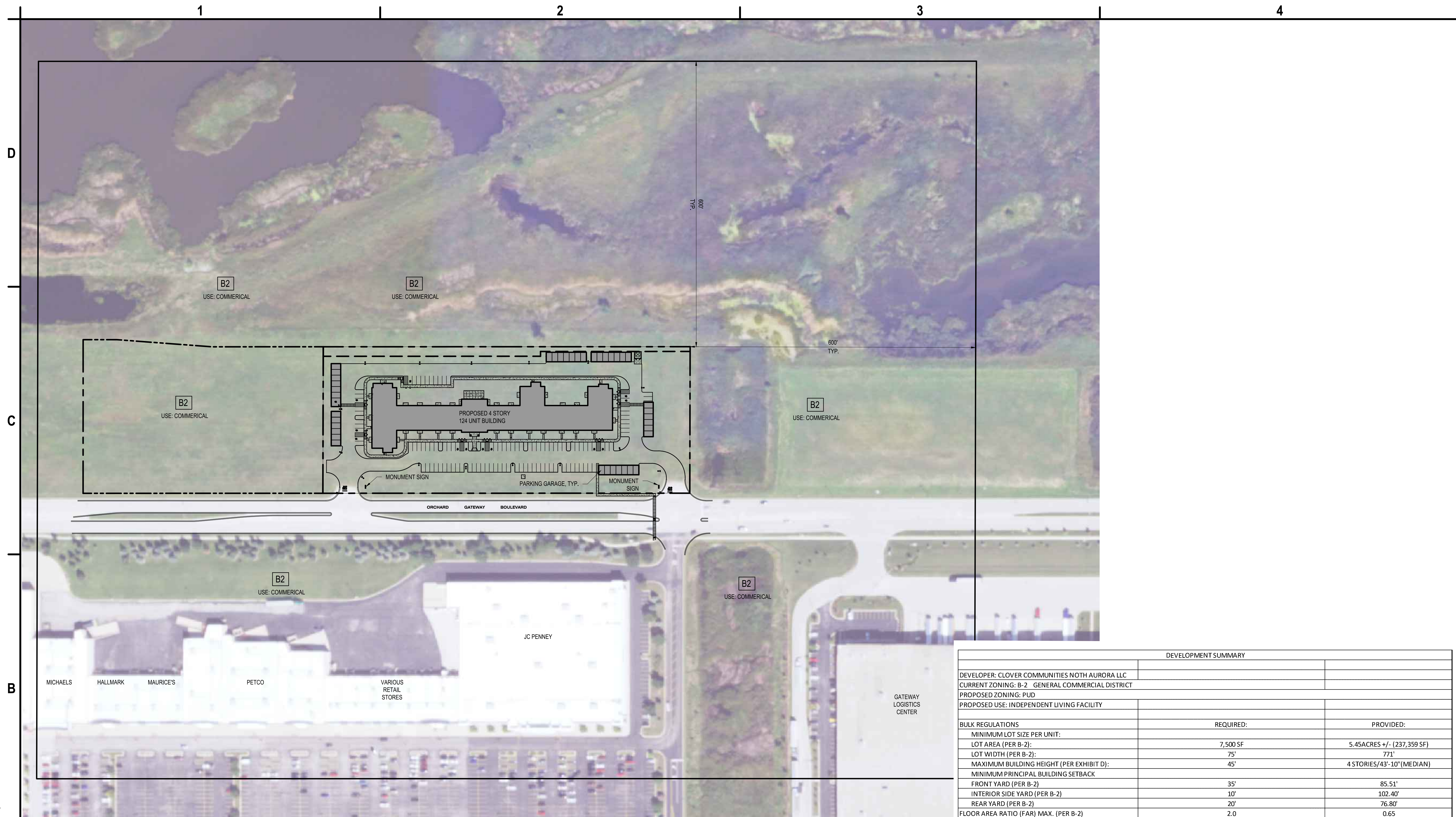
C&S PROJECT: F53.546.002



DRAWING INDEX	
SURVEY	
OVERALL SITE PLAN	C-100
SITE PLAN	C-101
GRADING PLAN	C-102
UTILITY PLAN	C-103
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SANITARY SEWER DETAILS	C-504
STORM DETAILS	C-505
EROSION & SEDIMENT CONTROL DETAILS	C-506
EROSION & SEDIMENT CONTROL DETAILS	C-507

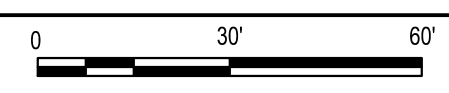
SEPTEMBER 2024

G-001



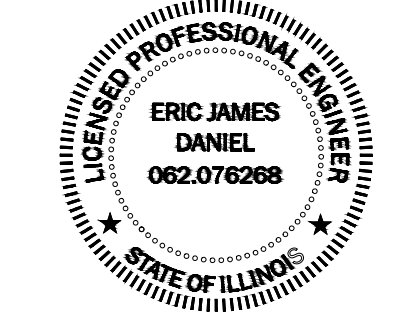
- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY VANDERSTAPPEN LAND SURVEYING, INC. DATED 08- C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
 3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
 5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

DEVELOPMENT SUMMARY		
DEVELOPER: CLOVER COMMUNITIES NORTH AURORA LLC		
CURRENT ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
PROPOSED ZONING: PUD		
PROPOSED USE: INDEPENDENT LIVING FACILITY		
BULK REGULATIONS		
	REQUIRED:	PROVIDED:
MINIMUM LOT SIZE PER UNIT:		
LOT AREA (PER B-2):	7,500 SF	5.45ACRES +/- (237,359 SF)
LOT WIDTH (PER B-2):	75'	771'
MAXIMUM BUILDING HEIGHT (PER EXHIBIT D):	45'	4 STORIES/43'-10" (MEDIAN)
MINIMUM PRINCIPAL BUILDING SETBACK		
FRONT YARD (PER B-2)	35'	85.51'
INTERIOR SIDE YARD (PER B-2)	10'	102.40'
REAR YARD (PER B-2)	20'	76.80'
FLOOR AREA RATIO (FAR) MAX. (PER B-2)	2.0	0.65
LOT COVERAGE		19.29%
ACCESSORY STRUCTURE SETBACK		
FRONT YARD (PER EXHIBIT D)	35'	38.73'
SIDE YARD	10'	16.78'
REAR YARD	10'	11.62'
DENSITY		22.75 UNITS PER ACRE
BUILDING SQUARE FOOTAGE		36,154 FIRST FLOOR (144,616 TOTAL)
NUMBER OF DWELLINGS		124
MAXIMUM GARAGE HEIGHT:	20' MAX.	13'-11 3/4" (PEAK) STANDARD GARAGE 15'-11 3/4" (PEAK) ACCESSIBLE GARAGE
GARAGE SQUARE FOOTAGE	NOT TO EXCEED MAX LOT COVERAGE	4.1% (9,746 SF)
INTERIOR GREENSPACE	1 TREE PER ISLAND + 1 TREE PER 300SF LANDSCAPED AREA	49
ON LOT REQUIRED TREES	N/A PER EXHIBIT D	N/A
AUTO PARKING:		
INDEPENDENT LIVING FACILITY	ONE PER DWELLING UNIT = 124	146
	2 PER 1000 GROSS SF OFFICE AREA = 2	2
TOTAL PARKING	126	148



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EXPIRES 11/30/2025



**NORTH AURORA COMMUNITIES
ORCHARD GATEWAY BLVD.
VILLAGE OF NORTH AURORA, IL**

MARK	DATE	DESCRIPTION
REVISIONS		

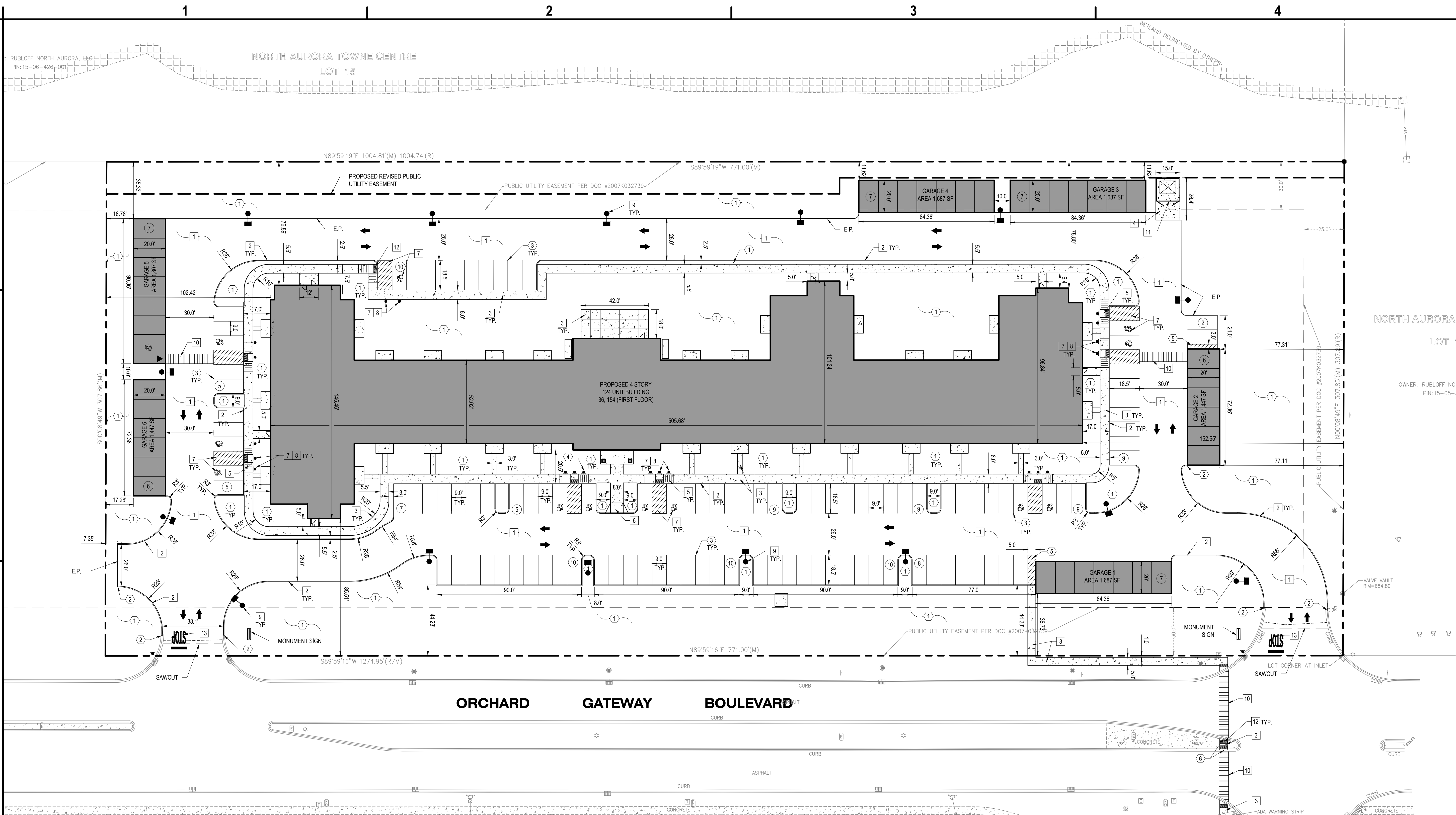
PROJECT NO: F53.546.002
DATE: OCTOBER 25, 2024
DRAWN BY: S. SCHIENER
DESIGNED BY: E. DANIEL
CHECKED BY:

PRELIMINARY

OVERALL SITE PLAN

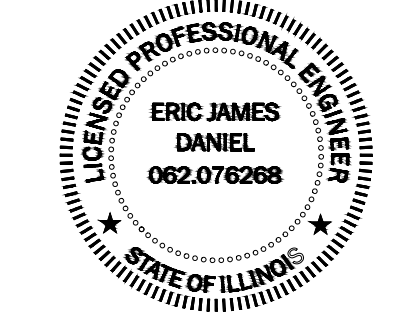
C-100

Oct 30, 2024 - 2:32pm
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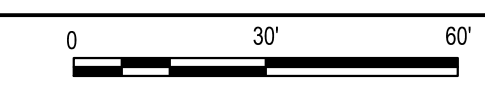
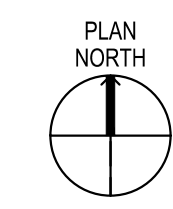
SITE PLAN

C-101

- SITE PLAN DETAIL LEGEND**
- 1 STANDARD DUTY ASPHALT - SEE DETAIL D1/C-501
 - 2 CONCRETE CURB - SEE DETAIL C1/C-501
 - 3 CONCRETE SIDEWALK - SEE DETAIL B1/C-501
 - 4 EXTERIOR CONCRETE SLAB-ON-GRADE - SEE DETAIL A1/C-501
 - 5 ACCESSIBLE CURB RAMP 'A' - SEE DETAIL D2/C-501
 - 6 ACCESSIBLE CURB RAMP 'B' - SEE DETAIL C5/C-501
 - 7 ACCESSIBLE SIGNS & MARKINGS - SEE DETAIL D3/C-501
 - 8 SIGN POST 'A' - SEE DETAIL C3/C-501
 - 9 LIGHT POLE FOUNDATION - SEE DETAIL A3/C-501
 - 10 PAINTED PEDESTRIAN CROSSWALK - SEE DETAIL D4/C-501
 - 11 DUMPSTER ENCLOSURE - SEE DETAIL C1/C-502
 - 12 DETECTABLE WARNING SURFACE - SEE DETAIL A2/C-501
 - 13 STOP BAR/STOP SIGN - SEE DETAIL C4/C-501

- SITE PLAN SHEET KEYNOTES**
- 1 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN
 - 2 MATCH EXISTING CURB OR RUN OUT IN 2'-0"
 - 3 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
 - 4 INSTALL "RESERVED FOR LEASING OFFICE USE" SIGN
 - 5 4" WIDE PAINTED YELLOW PAVEMENT STRIPES AT 45° AND 2'-0" O.C.
 - 6 SAW CUT CURB AND SIDEWALK TO FACILITATE INSTALLATION OF FLUSH WALKWAY REFUGE AREA

- SITE PLAN LEGEND**
- PROPERTY LINE
 - PROPOSED SIGN
 - PROPOSED CONCRETE PAVEMENT/SIDEWALK
 - PROPOSED CURB
 - NUMBER OF PARKING SPACES
 - DOOR LOCATION
 - EDGE OF PAVEMENT
 - LIGHTING FIXTURES
 - SAW CUT LINE
 - ▨ DETECTABLE WARNING SURFACE



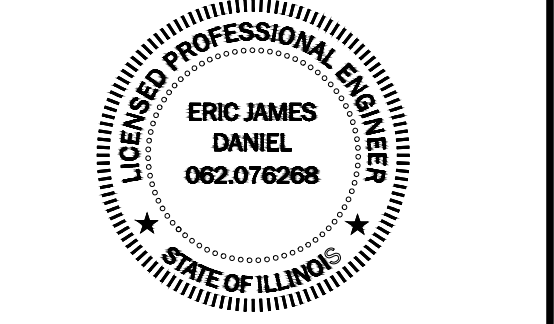
A1 SITE PLAN
 SCALE: 1"=30'

Oct 30, 2024 - 2:32pm
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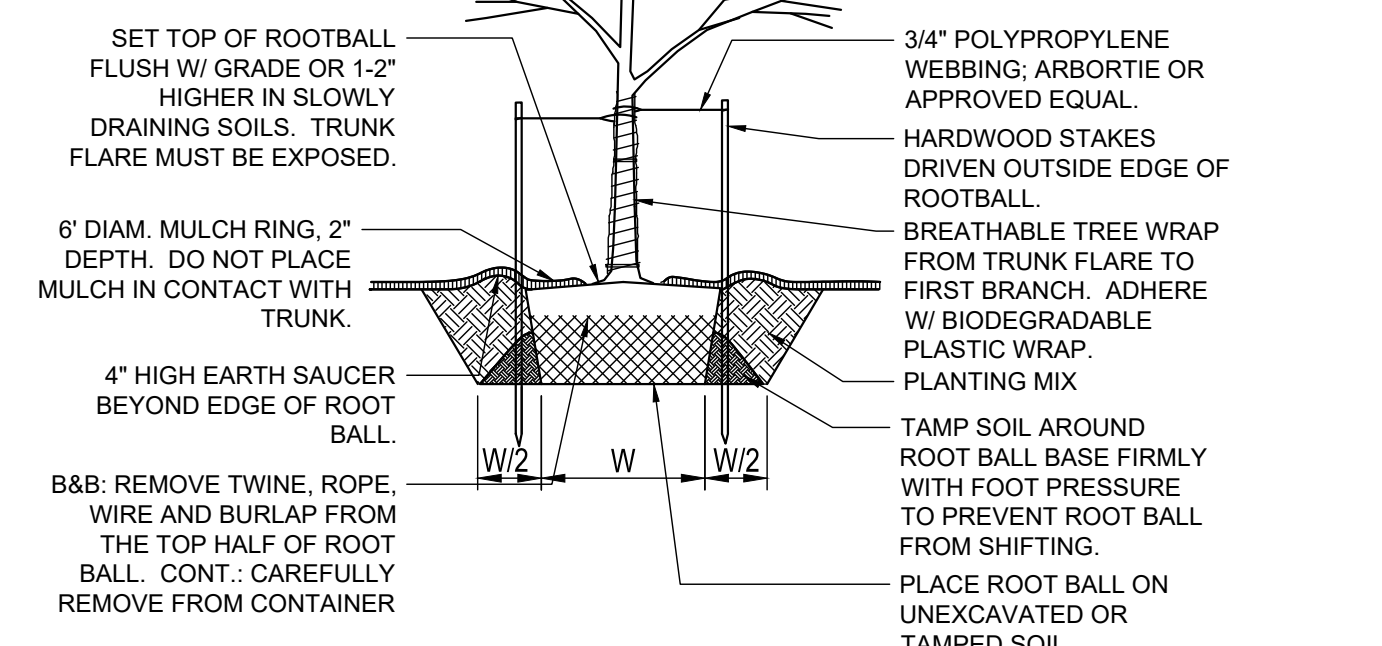
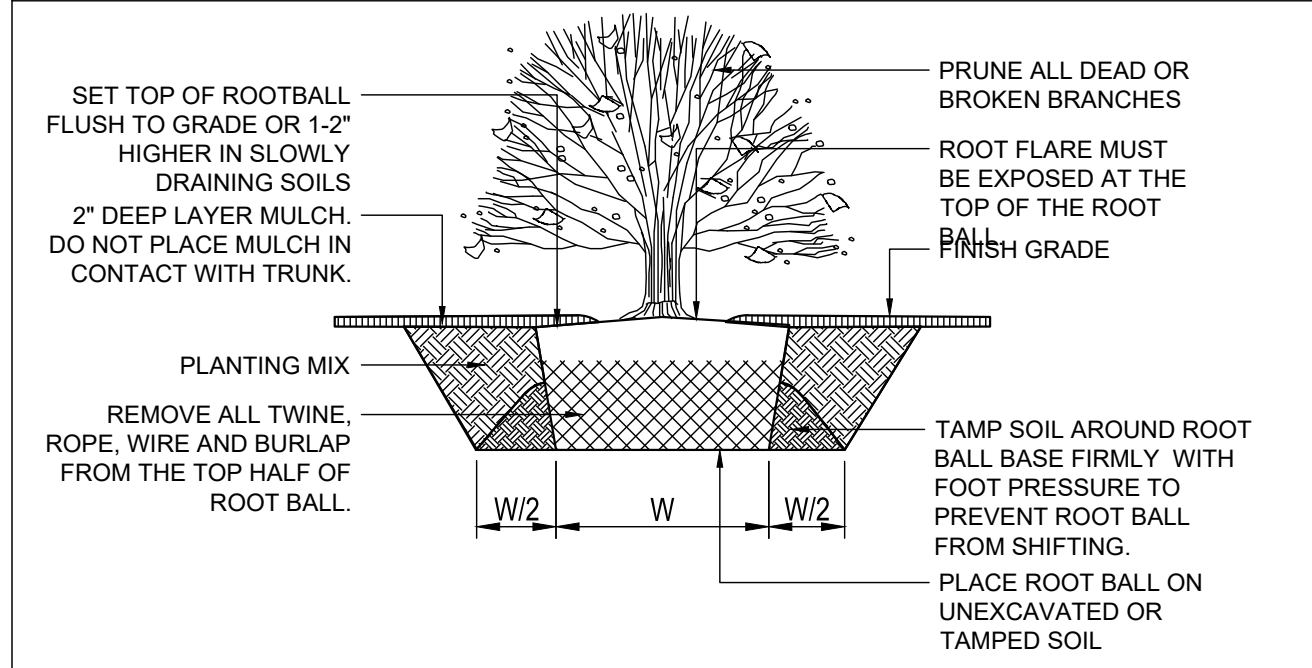
PRELIMINARY

LANDSCAPE PLAN

C-104

PLANT SCHEDULE

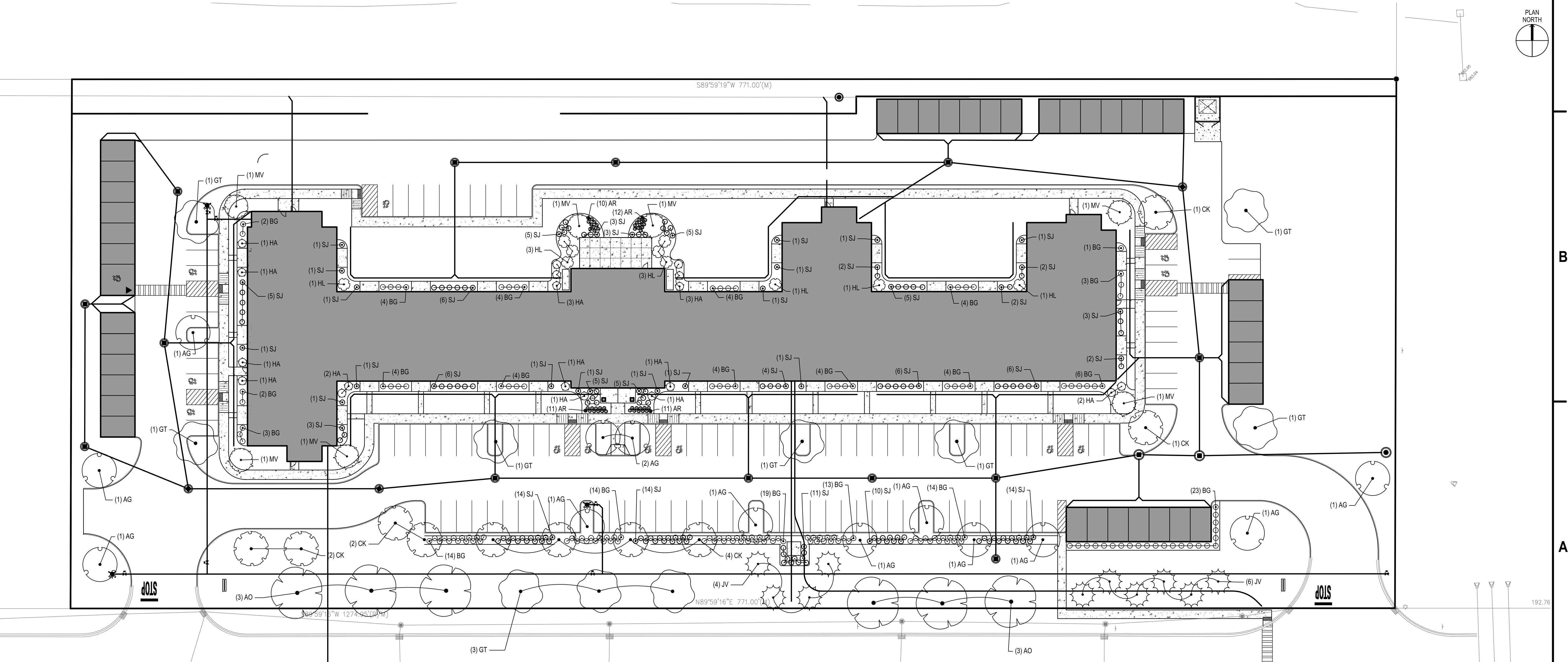
CODE	BOTANICAL / COMMON NAME	SIZE	ROOT	QTY
TREES				
AO	Acer rubrum 'October Glory' / October Glory Red Maple	2.5" Cal.	B&B	6
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	2.5" Cal.	B&B	13
CK	Cornus kousa / Kousa Dogwood	2" Cal.	B&B	10
GT	Gleditsia triacanthos 'nervis' 'Skycole' / Skyline® Honey Locust	2.5" Cal.	B&B	10
JV	Juniperus virginiana / Eastern Redcedar	5' Ht.	B&B	10
SHRUBS				
AR	Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe	#1	Cont	44
BG	Buxus x 'Green Velvet' / Green Velvet Boxwood	18"	Cont	151
HA	Hydrangea arborescens 'Annabelle' / Annabelle Hydrangea	#5	Cont	18
HL	Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea	#5	Cont	10
MV	Magnolia virginiana / Sweetbay Magnolia	7 gal.	Pot	7
SJ	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Japanese Spirea	18"	Cont	157



- NOTES:**
- STAKE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. STAKING WILL BE REQ'D WHEN ROOT BALLS ARE VERY SANDY OR WET CLAY, WHEN SOIL IS VERY SOFT, OR WHEN PLANTING LOCATIONS ARE WINDY.
 - TIGHTEN ARBORTIE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT.
 - PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
 - TREE WRAP SHOULD BE INSTALLED AT TIME OF PLANTING AND REMOVED 12 MONTHS AFTER PLANTING.

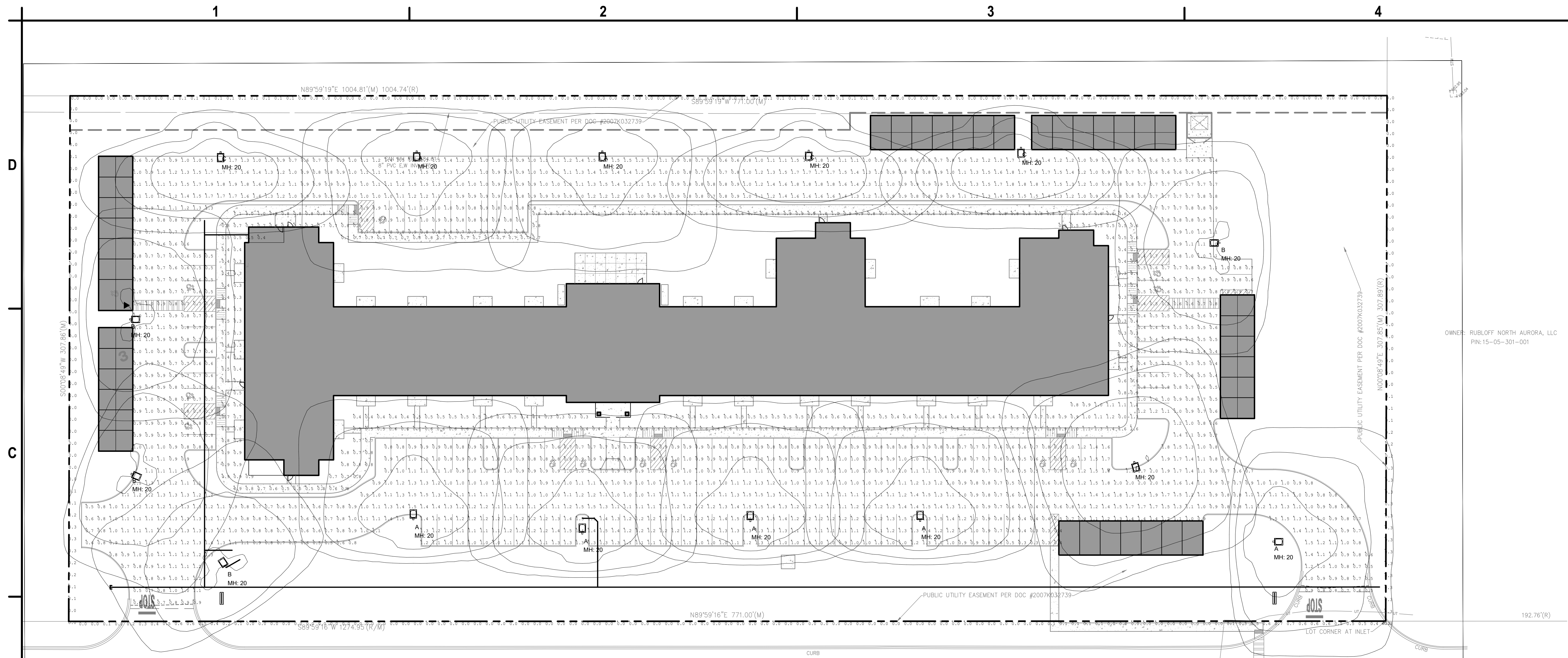
C1 TREE PLANTING DETAIL
 NTS

C2 SHRUB PLANTING DETAIL
 NTS



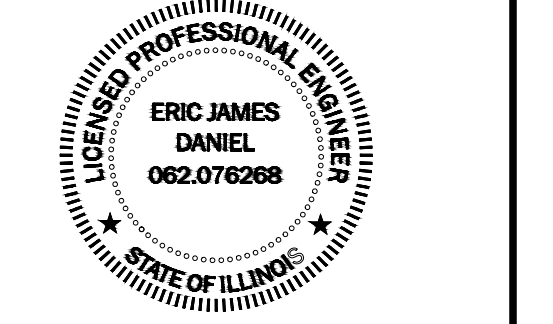
A1 LANDSCAPE PLAN
 SCALE: 1"=30'

SCALE: 1"=30'



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NORTH AURORA COMMUNITIES
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CHECKED BY:

PRELIMINARY

PHOTOMETRIC PLAN

C-105



D-Series Size 1 LED Area Luminaire

Specifications

- EPA: 0.69 fP (0.040)
- Length: 32.71" (83.1 cm)
- Width: 14.26" (36.2 cm)
- Height H1: 7.88" (20.0 cm)
- Height H2: 2.73" (6.9 cm)
- Weight: 24 lbs (10.9 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NILTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Color Rendering Index	Beam Spacing	Beam Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(This section 70CRI only)	70CRI	AER	Automotive front row	TSM Type I medium	MVOLT (120V-277V) ¹
P1	P6	30K 3000K	70CRI	T15	Type I short	T5L6 Type I low glare	SPR (147V-480V) ¹
P2	P7	40K 4000K	70CRI	T2M	Type II medium	T5W Type II wide	XXVOLT (277V-480V) ¹
P3	P8	50K 5000K	70CRI	T3M	Type III medium	BCKC Type III beam angle	SPR (147V-480V) ¹
P4	P9	(This section BSCR only, extended lead times)	70CRI	T3G6	Type III low glare ¹	BCKC Type III beam angle	SPR (147V-480V) ¹
P5				T4M	Type IV medium	BCKC Type IV beam angle	SPR (147V-480V) ¹
	Related optics			T4L6	Type IV low glare ¹	LEOD Left corner cast ¹	SPR (147V-480V) ¹
P10 ¹	P11 ¹	27K 2700K	80CRI	T3M	Forward throw medium	RCCO Right corner cast ¹	SPR (147V-480V) ¹
		30K 3000K	80CRI				
		35K 3500K	80CRI				
		40K 4000K	80CRI				
		50K 5000K	80CRI				

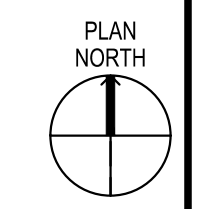
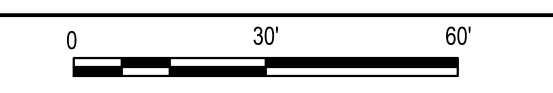
Shipped installed	Other options	Shipped separately	Shipped with luminaire
Niltar2 PIRHN rL opt RIR opt 2 enabled with 10' level motion / ambient sensor, 3.40' mounting height, ambient sensor enabled at 20' Lx, Lx, Lx PIR High flow, motorized sensor, 8-40' mounting height, ambient sensor enabled at 20' Lx, Lx, Lx PER NSMA 1000-1000 receptacle only (controls ordered separately) ¹ PER5 1000-1000 receptacle only (controls ordered separately) ¹	PER7 1000-1000 receptacle only (controls ordered separately) ¹ FAD Field adjustable output ¹ BL30 Bi-level switched dimming, 50% ¹ BL50 Bi-level switched dimming, 50% ¹ DMG 0-10V dimming when paired outside fixture (for use with an external control, ordered separately) ¹ DS Dual switching ¹	SPRODXY 200' surge protection HS Hurricane shield (black finish standard) ¹ LSO Left corner cast ¹ RRO Right corner cast ¹ CCE Coastal Construction ¹ WA 50°C ambient operation ¹ EGSR External Glass Shield (available, field install required, matches housing finish) BSDB Backlight (field install required)	DBBZ Dark Bronze DLKD Black DNWD Natural Aluminum DNWD White DNWD Powdered dark bronze DNWD Powdered black DNWD Powdered natural aluminum DNWD Powdered white

Calculation Summary

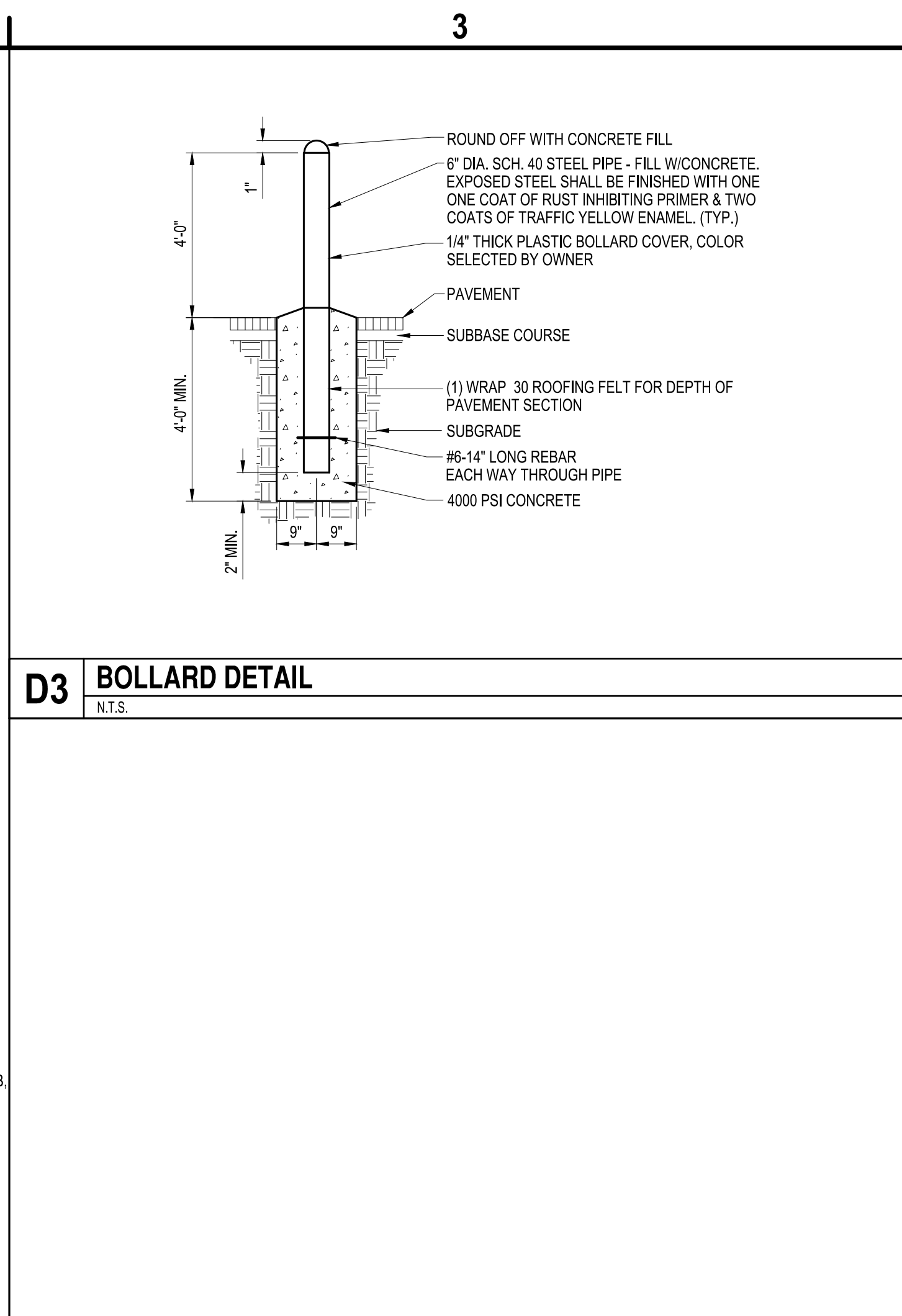
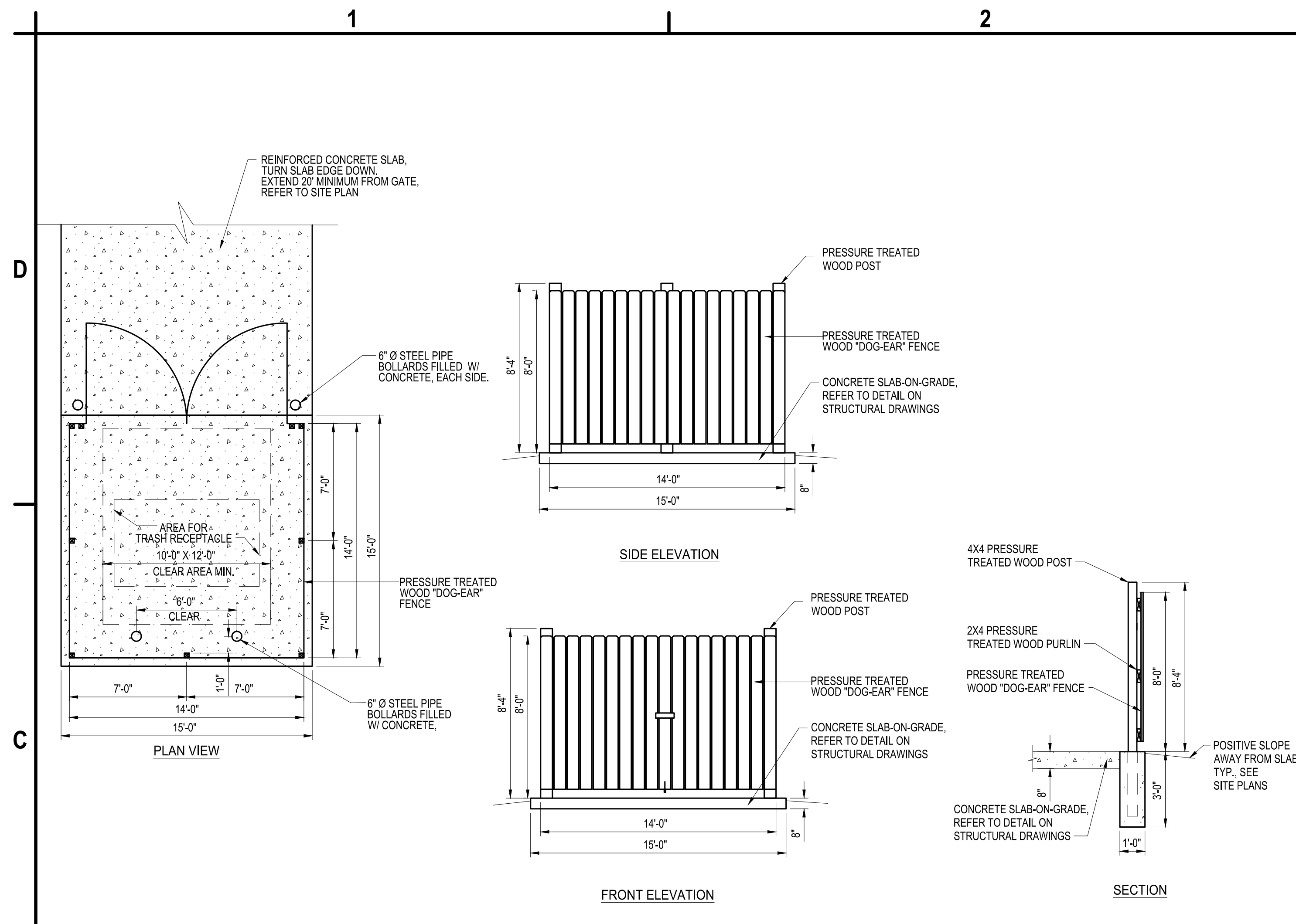
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	1.00	2.0	0.3	3.33	6.67
Property Line	Illuminance	Fc	0.07	0.7	0.0	N.A.	N.A.
Sidewalk-	Illuminance	Fc	0.63	1.6	0.0	N.A.	N.A.
Green Space							

Luminaire Schedule

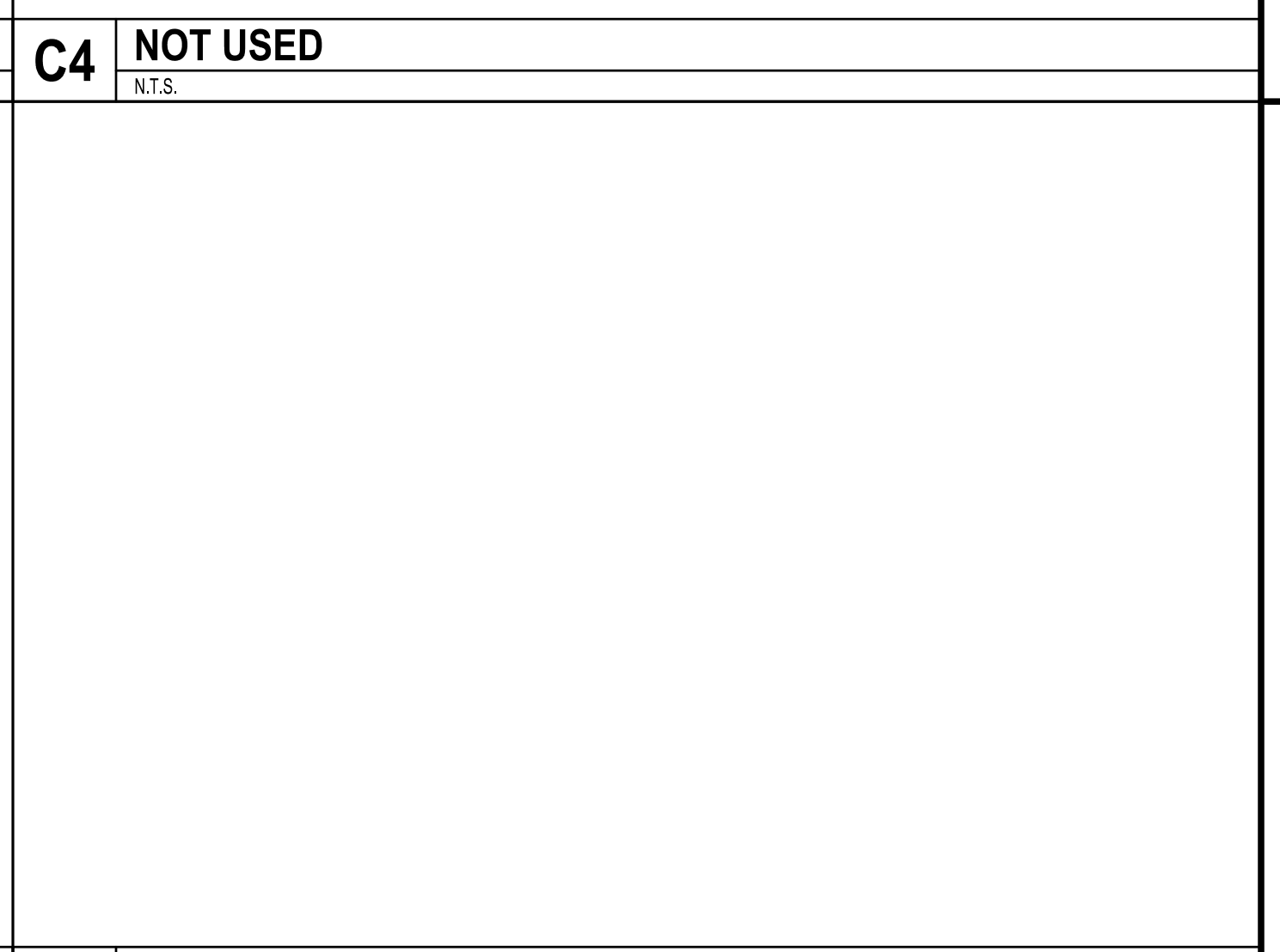
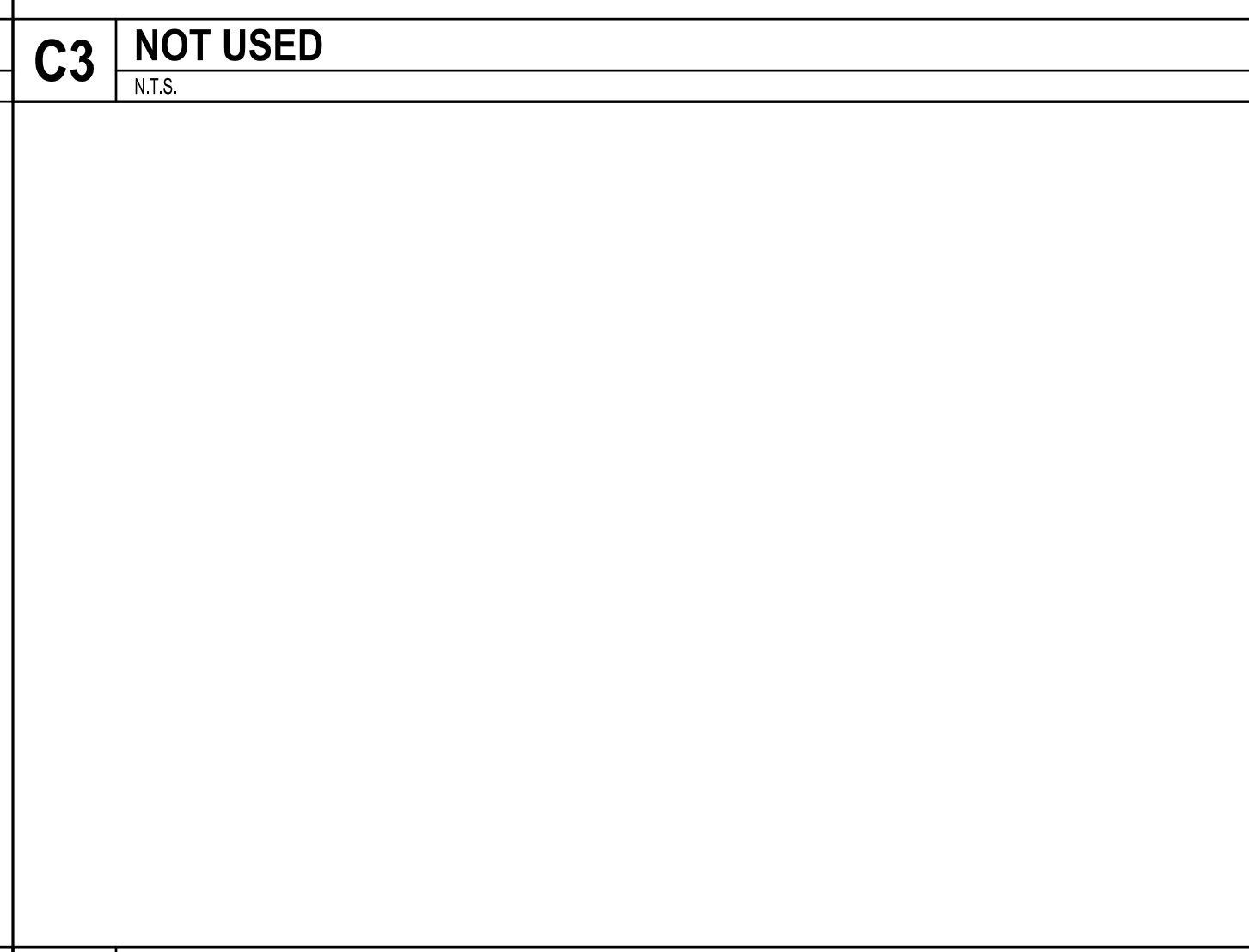
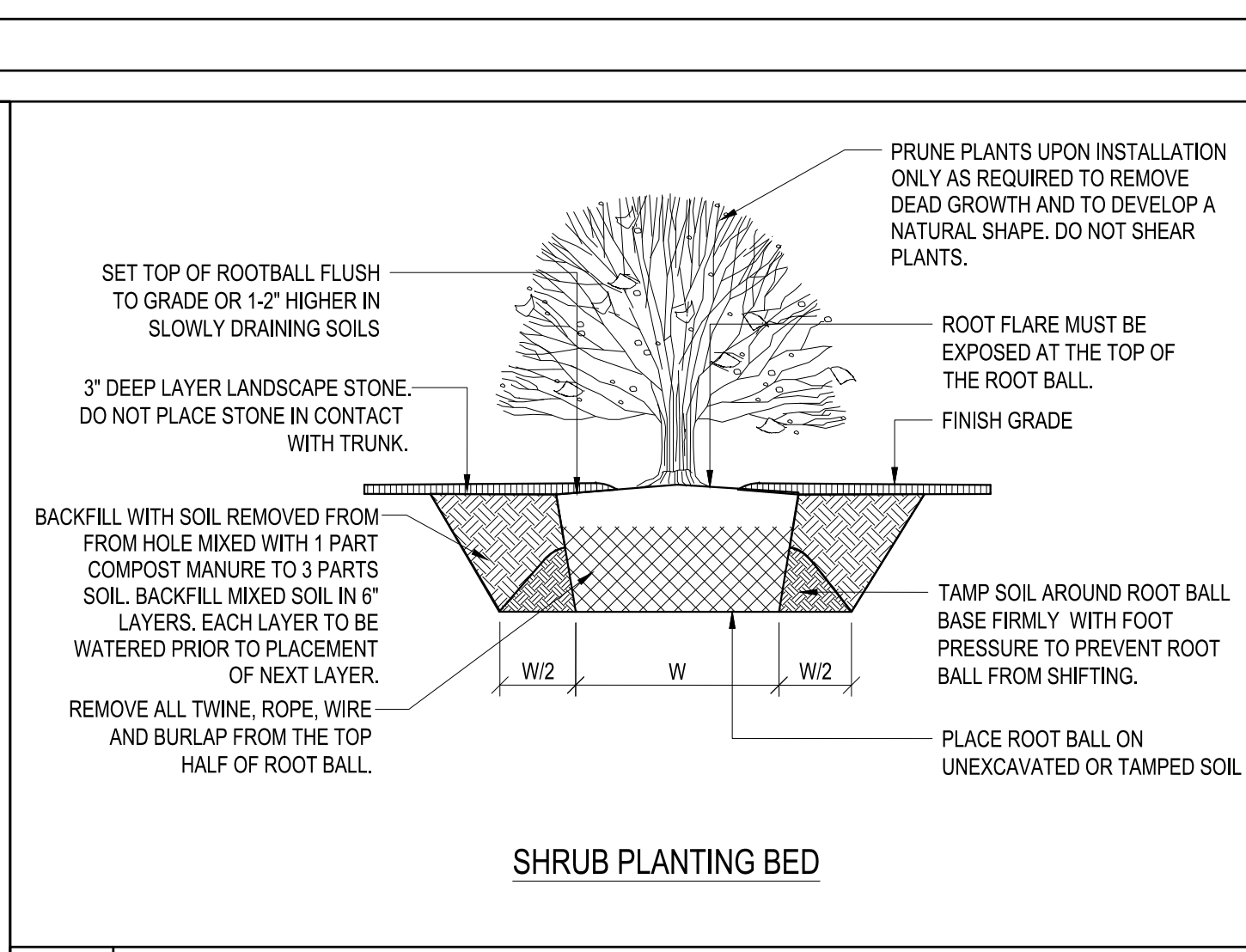
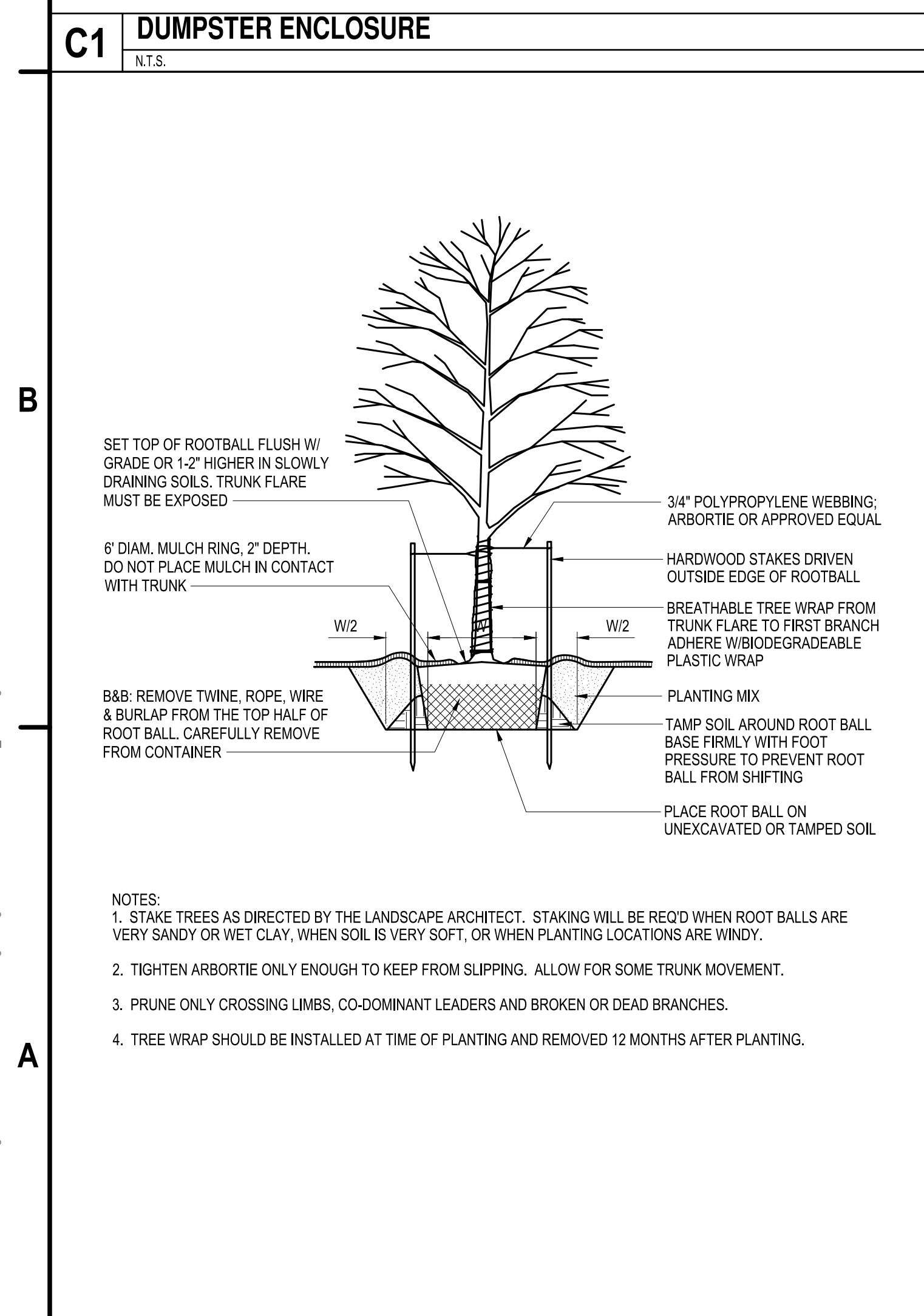
Symbol	Tag	Qty	[MANUFAC]	[LUMCAT]	Luminaire	Lumens
	A	7	Lithonia Lighting	DSX1 LED P3 40K 80CRI T5W HS	9101	
	B	4	Lithonia Lighting	DSX1 LED P2 40K 80CRI T5W HS	6456	
	C	3	Lithonia Lighting	DSX1 LED P1 40K 70CRI T2M	7506	
	D	1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T5M	14369	



Oct 30, 2024 - 2:32pm
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D3	BOLLARD DETAIL	D4	NOT USED
N.T.S.		N.T.S.	
C1	DUMPSTER ENCLOSURE	C3	NOT USED
N.T.S.		N.T.S.	
C4	NOT USED	C4	NOT USED
N.T.S.		N.T.S.	



B2	SHRUB PLANTING DETAIL (LANDSCAPE STONE)	B3	NOT USED
N.T.S.		N.T.S.	
B4	NOT USED	B4	NOT USED
N.T.S.		N.T.S.	
A1	DECIDUOUS TREE PLANTING DETAIL	A3	LANDSCAPE EDGING DETAIL
N.T.S.		N.T.S.	
A2	STONE MULCH DETAIL	A4	NOT USED
N.T.S.		N.T.S.	



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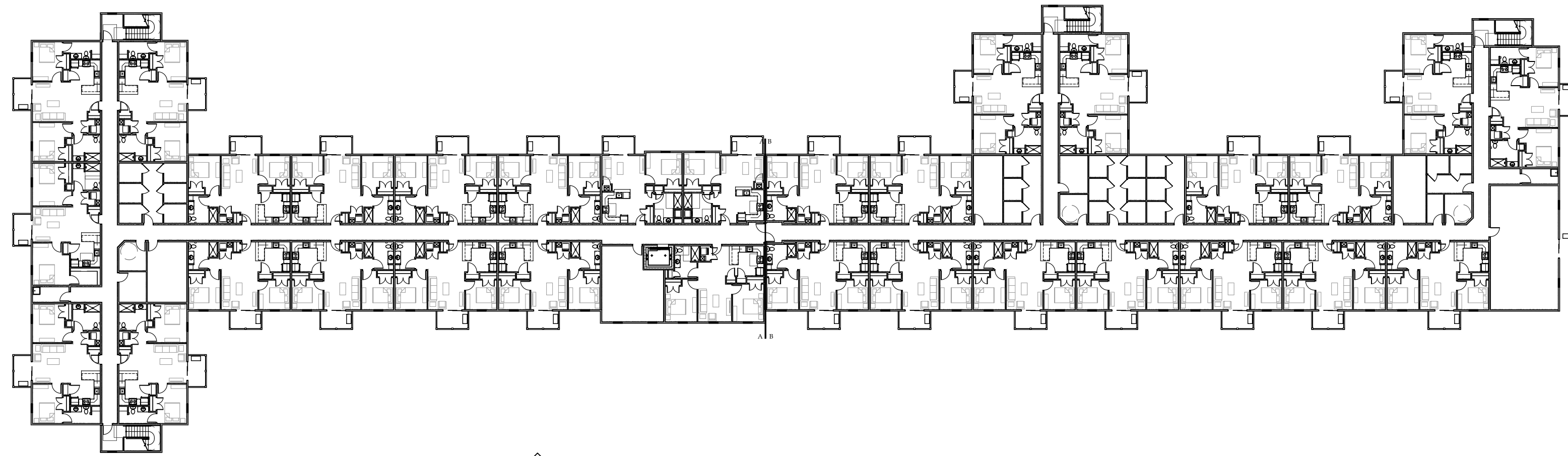
**NORTH AURORA COMMUNITIES
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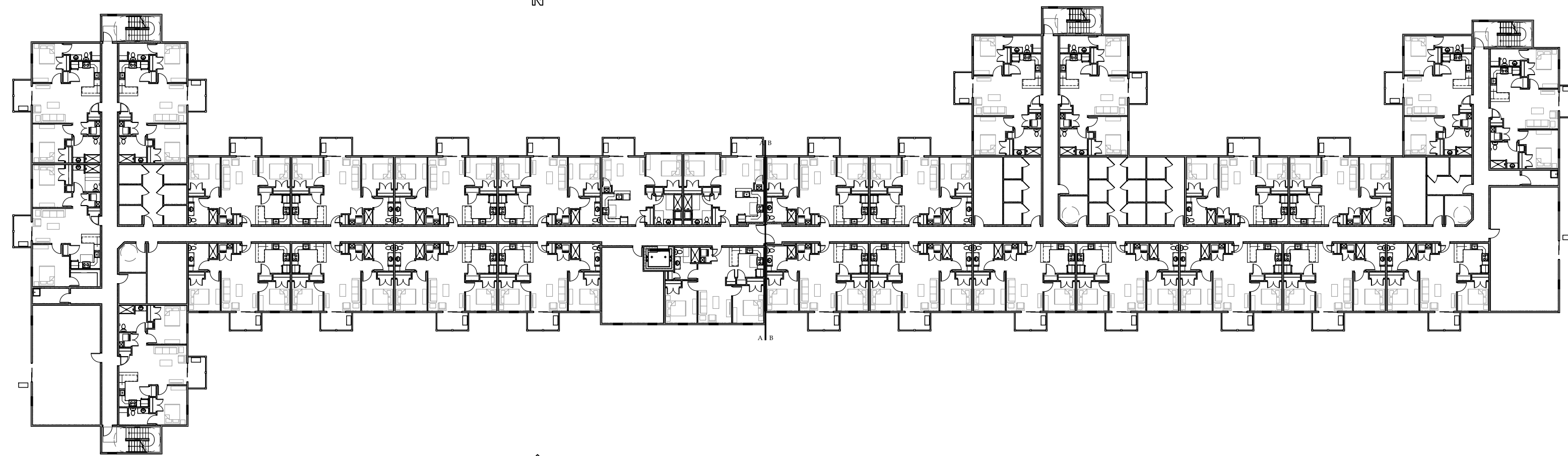
PRELIMINARY

SITE AND LANDSCAPING DETAILS

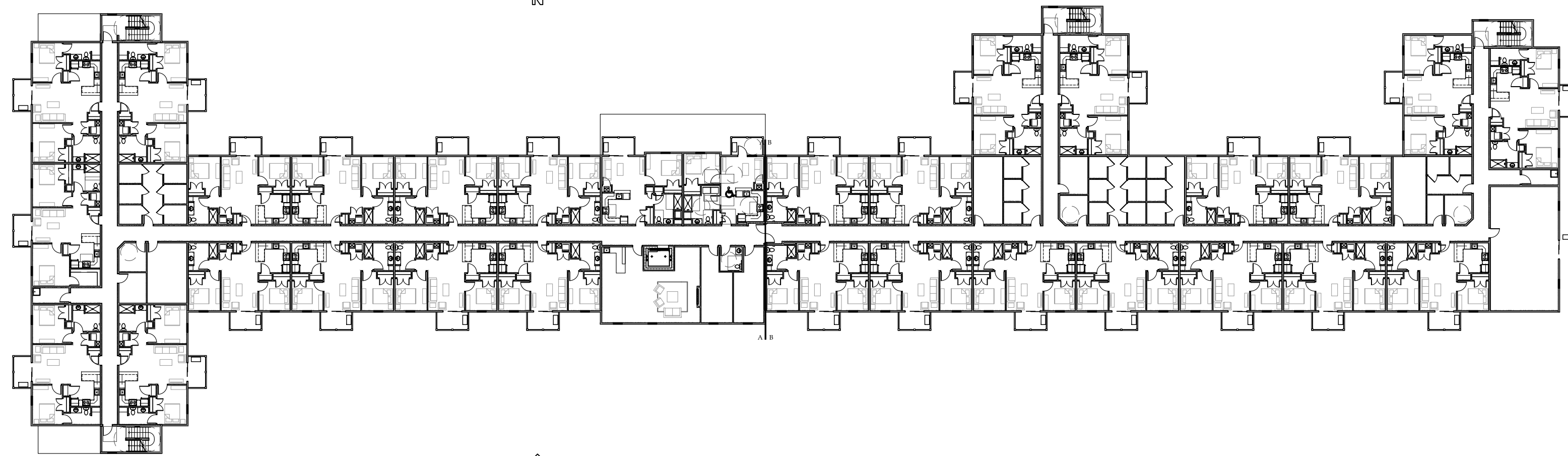
C-502



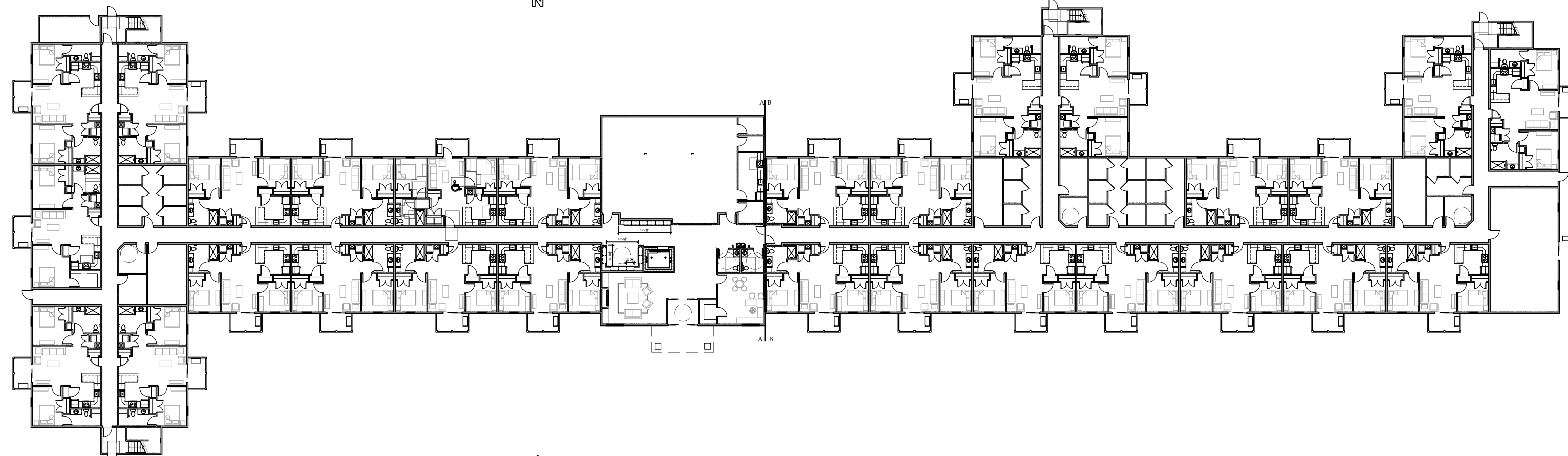
D1 OVERALL FOURTH FLOOR PLAN
1/32"=1'-0"



C1 OVERALL THIRD FLOOR PLAN
1/32"=1'-0"



B1 OVERALL SECOND FLOOR PLAN
1/32"=1'-0"



A1 OVERALL FIRST FLOOR PLAN
1/32"=1'-0"

SUMMARY OF UNITS

ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

UNIT SQUARE FOOTAGES

UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	OFALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

NOTICE
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North Aurora Senior Apartments

Orchard Gateway Blvd,
North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. S.Hunt DRAFTER _____
JOB CAPT. J.Somers INTERIORS A.Nagle

SEAL:

TITLE:

OVERALL
FLOOR PLANS



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: A-101

1 2 3 4 5 6

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

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North Aurora Senior Apartments

Orchard Gateway Blvd,
 North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
 PROJ. ARCH. S. Hunt DRAFTER _____
 JOB CAPT. J. Somers INTERIORS A. Nagle

SEAL:

TITLE:
PARTIAL FIRST FLOOR PLAN - AREA 'A'

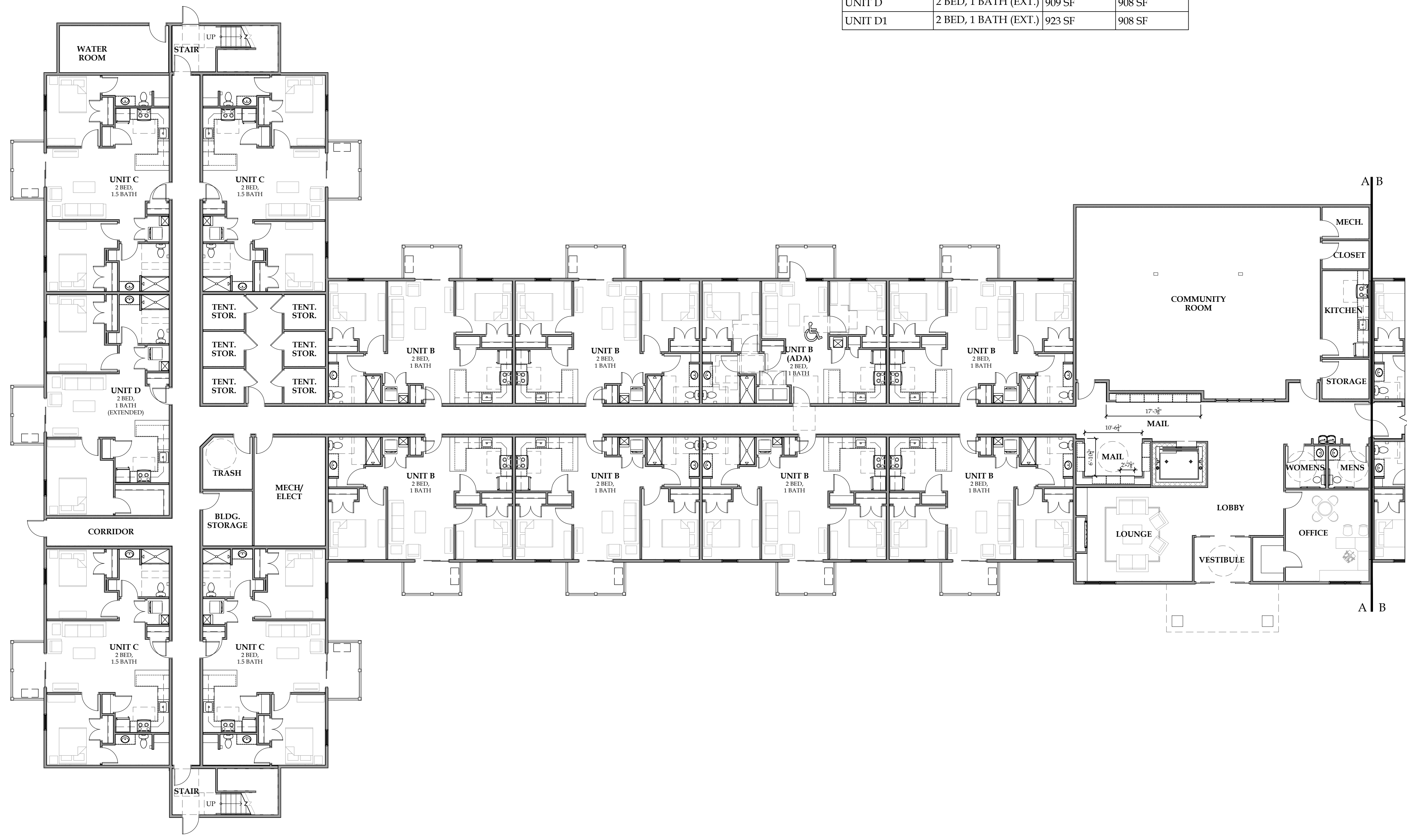


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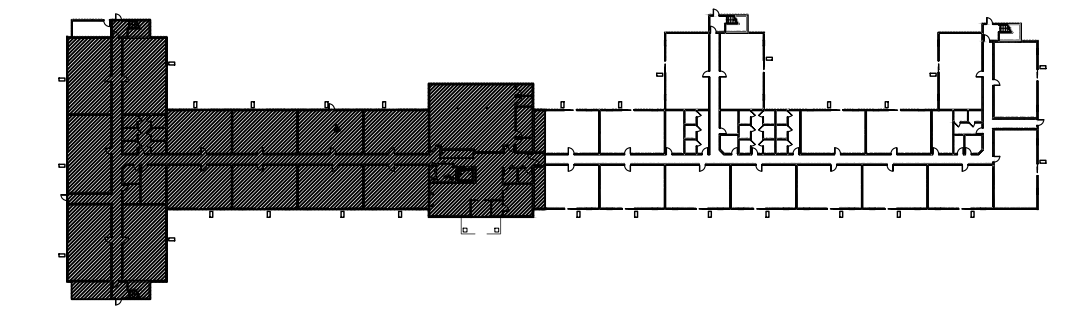
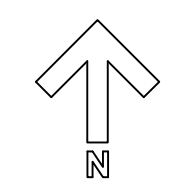
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SA JOB #: 24074.01 DATE: 10-01-24

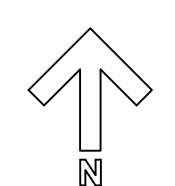
DRAWING #: **A-102**



A1 PARTIAL FIRST FLOOR PLAN | AREA 'A'
 1/16"=1'-0"



A5 KEY PLAN
 SCALE: NTS



1 2 3 4 5 6

UNIT SQUARE FOOTAGES			
UNIT TYPE	# BED, BATH	SQUARE FOOTAGE	O'FALLON SF'S
UNIT A	1 BED, 1 BATH	604 SF	606 SF
UNIT A (ADA)	1 BED, 1 BATH	604 SF	606 SF
UNIT A1	1 BED, 1 BATH	609 SF	606 SF
UNIT B	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B (ADA)	2 BED, 1 BATH	758 SF	737 SF - 794 SF
UNIT B1	2 BED, 1 BATH	753 SF	737 SF - 794 SF
UNIT B2	2 BED, 1 BATH	796 SF	737 SF - 794 SF
UNIT C	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT C (ADA)	2 BED, 1.5 BATH	890 SF	887 SF - 889 SF
UNIT D	2 BED, 1 BATH (EXT.)	909 SF	908 SF
UNIT D1	2 BED, 1 BATH (EXT.)	923 SF	908 SF

SUMMARY OF UNITS					
ROOM TYPE	LEVEL				TOTAL
	1st	2nd	3rd	4th	
1 BED, 1 BATH	0	2	2	2	6
2 BED, 1 BATH	19	19	20	20	78
2 BED, 1.5 BATH	8	8	8	8	32
2 BED, 1 BATH EXTENDED	2	2	2	2	8
TOTAL	29	31	32	32	124

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North Aurora Senior Apartments

Orchard Gateway Blvd,
 North Aurora, IL

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
 PROJ. ARCH. S. Hunt DRAFTER
 JOB CAPT. J. Somers INTERIORS A. Nagle

SEAL:

TITLE:
PARTIAL FIRST FLOOR PLAN - AREA 'B'

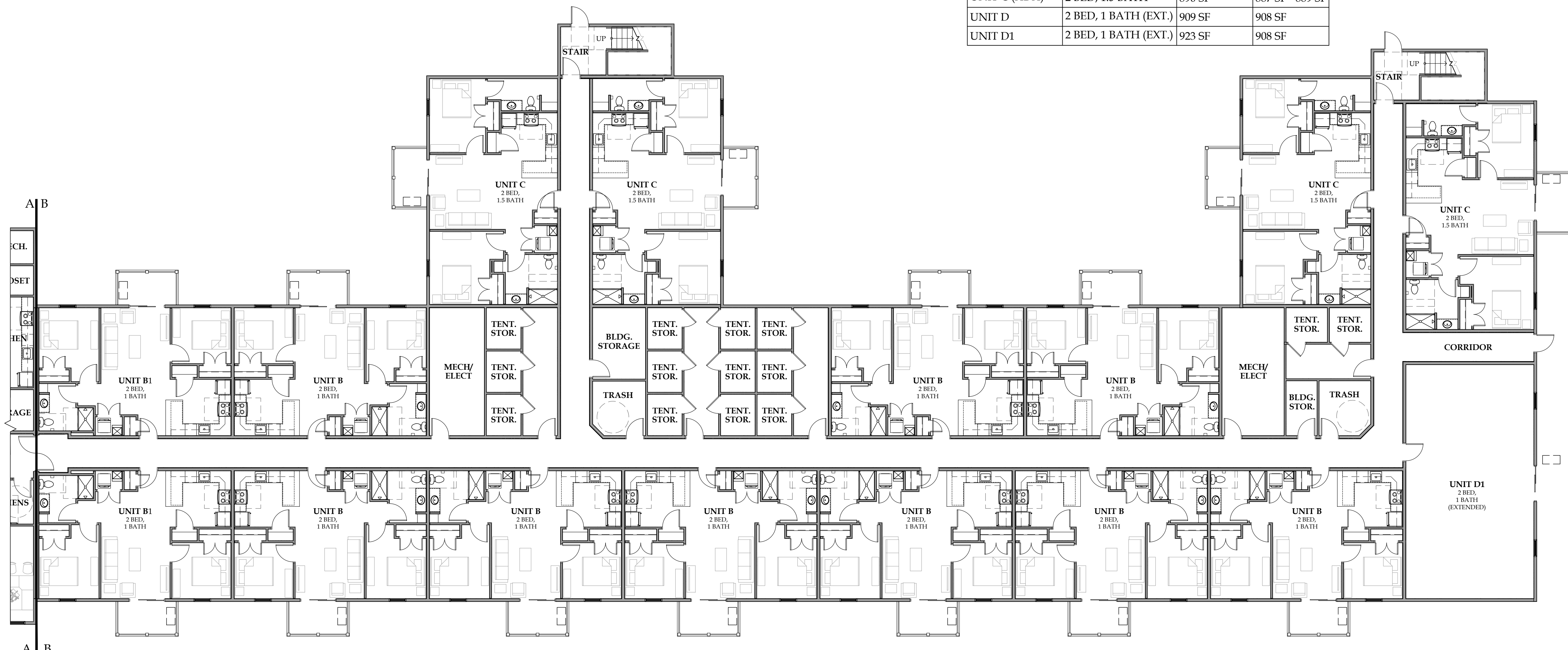


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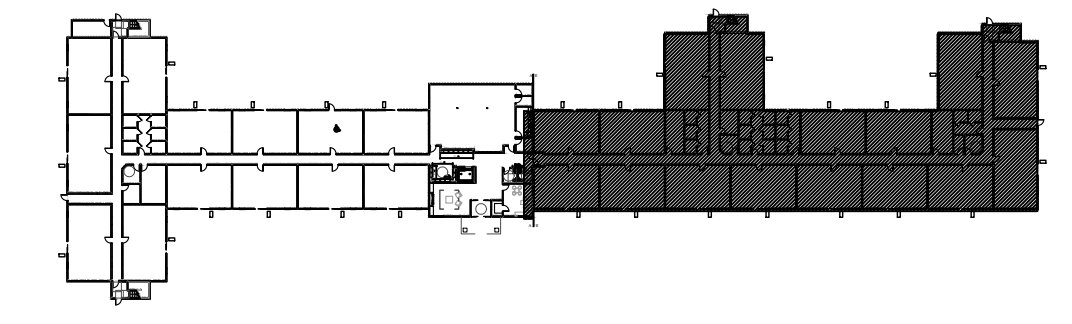
1321 MILLERSPORT HWY PH. 716.691.0900
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24074.01 DATE: 10-01-24

DRAWING #: **A-103**



B1 PARTIAL FIRST FLOOR PLAN | AREA 'B'
 1/16"=1'-0"



A5 KEY PLAN
 SCALE: NTS

VILLAGE OF NORTH AURORA- STAFF REPORT

TO: Plan Commission;
 CC: Steve Bosco, Village Administrator

FROM: Nathan Darga, Community Development Director; David Hansen, Planner

SUBJECT: Special Use for a Planned Unit Development to allow a Gas Station with Convenience Store and Car Wash at 230 South Lincolnway

AGENDA: November 5, 2024 - Plan Commission Meeting

GENERAL INFORMATION

Meeting Date: November 5, 2024

Petition Number: 24-13

Petitioner: Len McEnery / Gas N Wash

Location: 230 South Lincolnway

Requests:

- 1) Special Use for a Planned Unit Development (PUD) to allow a Gas Station with Convenience Store and Car Wash
- 2) Site Plan Approval

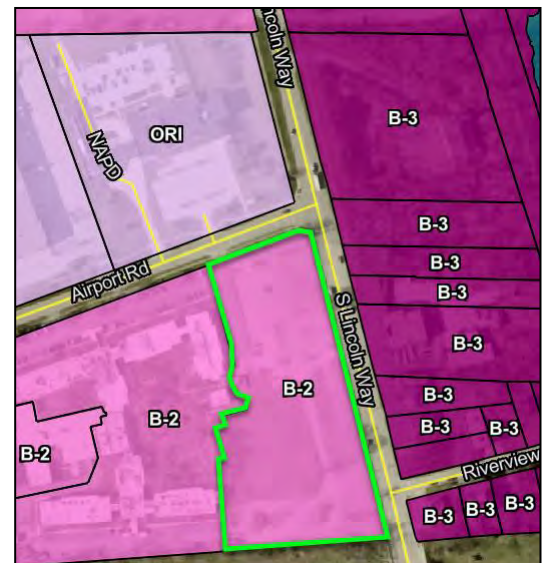
Parcel Number(s): 15-04-451-009

Property Size: 4.76 acres

Comprehensive Plan Designation: ‘Local Commercial’



	<i>ZONING DISTRICT</i>	<i>LAND USE</i>	<i>USER</i>
SITE	B-2, General Commercial District	Parking Lot / Vacant	None
NORTH	ORI, Office, Research and Light Industrial District	Civic / Municipal	Police Station
SOUTH	Illinois Right of Way (Interstate 88)	State Highway	Illinois State Toll Highway Authority
EAST	B-3, Central Business District	General Retail	Various Stores and Offices
WEST	B-2, General Commercial District	Assisted Living Facility	Asbury Gardens



BACKGROUND

The subject property is located in the B-2 General Commercial District at the intersection of Airport and Illinois Route 31 (S Lincolnway). The property has been vacant for several decades since the OTB was demolished. The property is currently owned by Asbury Gardens, which operates the assisted living facility to the west. Asbury Gardens has provided a letter of support for the proposed development, which is included in this packet.

PROPOSAL

The petitioner is proposing a special use PUD at 230 S Lincolnway. The subject property is a 4.76-acre parcel with a large, deteriorated parking lot and vacant land. The property is located directly north of Interstate 88 and directly south of the North Aurora Police Station (200 S Lincolnway).

The petitioner is proposing to redevelop the entire 4.76-acre property with a gas station, a convenience store with two quick service restaurants, and a car wash. The site would include a seven-island automobile fueling canopy attached to the convenience store, a separate long-tunnel car wash building with vacuums, and a separate commercial diesel fueling canopy. One of the quick service restaurants would have a drive through component. Since the site is greater than two acres in size it is required to be a Planned Unit Development. Gas stations and car washes are both listed as special uses in the B-2 General Commercial District. Approval of the planned unit development would include the special use approval for both uses.

Parking

The Gas Station use requires two (2) parking spaces per 1,000 square feet of gross floor area of any accessory retail and/or food service. The Car Wash use requires one (1) parking space per bay. Since a car wash is a drive-through facility it shall provide a minimum of three stacking spaces per facility and spaces shall begin behind the last vehicle being washed. According to the petitioner the convenience store and quick service restaurant areas total 8,066 square feet. The car wash has one bay and a drive thru of fourteen (14) stacked spaces. As such, the Zoning Ordinance would require eighteen (18) parking spaces for the gas station use and one (1) parking space for the car wash use, for a total of 19 parking space for the entire site. The applicant has proposed fifty-five (55) parking spaces for the gas station and sixteen (16) parking spaces for the car wash for a total of seventy-one (71) parking spaces for the entire site.

Site Access

The existing site has two access points. One access point is off Airport Road. This access point is shared with Asbury Gardens. The other access point is located midway through the site off of Route 31. Both access points encroach into the 50-foot landscape buffers along each roadway frontage.

The applicant has conducted a traffic study and has submitted a proposed site plan. The proposed site plan shows a reconfiguration of the two existing access points and adding one new access point at the southernmost point of the site along Route 31. Truck traffic would access the site off of Airport Rd or at the center of the site along Route 31. Truck traffic would flow around the buildings through the site to the diesel fueling canopy area on the western side of the property and only be able to exit at the southernmost access point.

REQUESTED ACTIONS

Special Use –Planned Unit Development with code exceptions

The petitioner has submitted the required plans regarding building elevations, photometrics, screening, landscaping, and signage. Staff reviewed the yard and bulk regulations of the B-2 General Commercial

District. The applicant has requested ten (10) code exceptions between the site plan, landscape plan and signage plan, which are called out in the section below. Please note, many of these exceptions are caused by right of way dedications and ultimately better the current sites nonconformities and existing conditions. The landscape buffer has rarely been met by other properties along Route 31 due to buildings and sites predating the Zoning Ordinance. For reference, the current parking lot has less than a five (5) foot setback to Route 31.

Landscaping – Exceptions

Upon review of Section 17.14.5.B (On-Lot Landscaping), the number of trees required by this standard would not be feasible for this development because there is not enough room to plant the amount trees required. The Landscape Plan presented meets all other standards and provides an improvement to the vacant property. Thus, the exception the applicant is requesting would be the following:

The Landscaping Plan shall adhere to Chapter 14 of the Village’s Zoning Ordinance with the following exceptions:

- o Plans are exempt from the on-lot landscaping, required trees landscape standard outlined in section 17.14.5.B

Site Plan – Exceptions

The applicant is requesting the following site exceptions to the Zoning Ordinance:

- A reduction of the front yard parking landscape setback to 9'-0" from the required 50'-0" landscape buffer required along IL Route 31.
- A reduction of the corner side yard parking landscape setback to 35'-11" from the required 50'-0" landscape buffer required along Airport Road.
- A reduction of the rear yard parking landscape setback to 6" from the required 5'-0".
- A reduction of the front yard building setback to 16'-0" from the required 35'-0" building setback along IL Route 31.

ZONING INFORMATION			
SITE ZONING (TITLE 17, CH. 6.1)	MUNICIPALITY / JURISDICTION: EXISTING ZONING: B-2 GENERAL COMMERCIAL DISTRICT PROPOSED ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
SITE AREA (TITLE 17, CH. 8 TABLE 8.2)	LOT AREA: FAR RATIO:	ALLOWED 7,500 SF (MIN.) 2.0 (MAX.)	PROPOSED 208,338 SF 0.07
BUILDING HEIGHT (TITLE 17, CH. 8 TABLE 8.2) (TITLE 17, CH. 12.3)	C-STORE: CAR WASH: DUMPSTER ENCLOSURE: STORAGE BUILDING:	ALLOWED 35'-0" 35'-0" 33'-6" 33'-6"	PROPOSED 21'-8" 33'-8" 6'-9" 11'-6"
YARD/BUILDING SETBACKS (TITLE 17, CH. 8 TABLE 8.2)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 35'-0" 35'-0" 10'-0" 20'-0"	PROPOSED 16'-0" 88'-10" 101'-9" 43'-5"
PARKING LANDSCAPE SETBACKS (TITLE 17, CH. 14)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 50'-0" 50'-0" 5'-0" 5'-0"	PROPOSED 9'-0" 35'-11" 1'-9" 0'-6"

Signage – Exceptions

The applicant is requesting approval of the attached signage plan, which is included in the packet. The signage plan includes two ground monument signs, various wall signs, directional signs, and menu board signs. Please note the following exceptions to the Village’s Sign Ordinance, which can be found in Chapter 15.48 of the Municipal Code.

- To allow an increase in the total allowed fuel pricing signage area to 46 square feet (15.3 square feet per price x 3 prices) from the maximum of 18 square feet (3 x 6 square feet fuel signs).
- To allow for signage for the rear (tenant-1) c-store tenant to be allowed along the front (east) and side (north) elevations of the c-store.
- To allow for the total allowed signage on the south of the car wash to increase to 68.3 square feet (building and pay canopy signage) from the maximum of 49 square feet (32.6' x 1.5).
- To allow for the total allowed signage on the north of the c-store to increase to 113.5 square feet (building, auto and diesel signage) from the maximum of 97 square feet (64.6 x 1.5).
- To allow the number of wall mounted signs on the c-store to be 5 signs from the maximum of 3.

Overall, the building elevations for both buildings (convenience store and car wash) are brick and match, façade elements which provides a well-balanced, unified style throughout the site. The photometric plan also meets the Village's Outdoor Lighting Ordinance outlined in Chapter 8.32 of the North Aurora Municipal Code.

SITE PLAN APPROVAL

Site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
 - a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.
4. The design of off-street parking lots or garages to:
 - a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.

5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
 - a. Create a logical transition to adjoining lots and developments.
 - b. Screen incompatible, negative, or unsightly uses.
 - c. Minimize the visual impact of the development on adjacent sites and roadways.
 - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
 - e. Promote and enhance the appearance and image of the Village.
6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

COMPREHENSIVE PLAN

The 2023 Comprehensive Plan recommends ‘Local Commercial’ use for the subject property. The subject property is located in the Comprehensive Plan’s IL Route 31 I-88 Gateway Subarea Plan, which states *I-88 Gateway, as Route 31 travels away from the Village Center, and its walkable, grid street blocks, the corridor becomes a large-scale, state highway district that caters to the automobile and truck traffic. Potential uses include a larger one use, or commercial retail and service uses catering to nearby residents and motorists traveling along IL Route 31.*

FINDINGS & RECOMMENDATION

The Community Development Department finds that the information presented **meets** the Standards for Specials Uses and Planned Unit Developments as submitted by the petitioner. The proposed site plan meets site plan review standards of the North Aurora Zoning Ordinance. Based on the above considerations, staff recommends that the Plan Commission make the following motion recommending **approval** of Petition #24-13, subject to the following conditions:

1. All outdoor lighting shall follow the Village’s Outdoor Lighting Ordinance (Chapter 8.32).
2. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
3. All mechanical equipment shall follow Village standards outlined in Section 12.3.D of the Zoning Ordinance.
4. Applicant shall coordinate with Asbury about cross access and traffic control off Airport Rd.
5. On-site management shall effectively monitor and regulate all on-site trucking activities to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance. Specifically, the drive aisle on the western side of the car wash shall be kept free and clear and shall have no truck parking, standing, idling, or stacking.



**APPLICATION FOR SPECIAL USE
PLANNED UNIT DEVELOPMENT (PUD)**

Project Name: Gas N Wash North Aurora

Subject Property/Location: 230 S Lincolnway North Aurora, IL

PIN(s): 15-04-451-009

Parcel(s) Acreage: 4.76 Number of Lots: 1 Number of Units: 0

Current Zoning District: B-2 General Commercial District Present Use: Vacant

Proposed Zoning District: B-2 General Commercial District Intended Use: Retail Petroleum Facility

Comprehensive Plan Designation for this Property: Local Commercial

Contiguous Zoning: No. North zoned ORI, East zoned B-3 & South B-2 Contiguous ^{west} B-2

Is this an Amendment to an existing PUD? Yes No PUD Name: _____

CONTACT INFORMATION:

Applicant Name: Len McEnergy Phone: 708-444-0117 ext 101

Applicant Address: 8200 185th Street Unit K Tinley Park, IL 60487

Applicant Email: KFARBAK@GASNWASH.NET

Signature of Applicant: *Len McEnergy* Signature Date: 8/26/2024

Property Owner(s): 230 Airport Rd LLC Phone: 773-230-2909

Owner Address: 8170 McCormick Blvd. Skokie, IL 60076

Owner Email: mkahn@asburymgt.com

Signature of Owner*: See consent Letter Signature Date: _____

*A signed letter by the owner authorizing the applicant to apply for a special use PUD may be submitted in lieu of signing this form. If Applicant is other than owner, please attach letter of authorization from Owner.

FOR OFFICE USE

Petition Number: 24-13 File Name: 230 S Lincolnway - GasNwash

Filing Date: 10/16/24 Fee Received: 7.5 - \$1,000 Clerk



Instructions:

- Please see the submittal checklist below regarding required submittals for special use PUD's.
- Provide all submitted documents electronically in PDF format.
- Provide a narrative describing the proposed use, site plan and all planned improvements for the PUD.
- Provide the following plans for the site: site plan, building elevations, landscape plan, photometrics plan, signage plan, preliminary engineering, parking plan, utility plan, etc.
- Application shall include the submittal fee as required by Chapter 15.56 of the North Aurora Municipal Code. See submittal checklist for additional details.
- Please see Sections 4.3.F, 4.3.G, and 4.2.H of the Village's Zoning Ordinance for additional information on special use regarding no presumption of approval, conditions on special uses and limitations special uses.
- Please see Sections 5.4, 5.5, and 5.6 for additional information on PUD's regarding general standards, exceptions from district regulations, and plan procedure.
- Applicant is required to follow public hearing and notice requirements outlined in Title 17, Chapter 3.4 of the Municipal Code. Please see public hearing and notice requirements on page 7 of this application.
- Staff may request the applicant provide additional materials in order to process and complete application review.

REQUIRED SUBMITTAL CHECKLIST FOR PUD'S

- Introduction Letter. Please include information relevant to the development, which describes the proposed use, site plan and all planned improvements for the PUD. *Please note, all planned unit developments are subject to special use and the requirements of that procedure. Please note, all special uses are subject to site plan review and the requirements of that procedure.*
- Proof of ownership of the zoning lot in question. If applicant is not the owner, a statement signed by the owner must be submitted certifying that the owner is jointly filing the application for a planned unit development.
- A site location map drawn to an appropriate scale indicating existing land use and zoning of all property within two hundred (200) feet of the subject property.
- A preliminary development plan prepared in accordance with Section 5.6.C (Preliminary Plan Procedure) of the Zoning Ordinance.
- A statement indicating the manner in which the requested planned unit development supports each of the following conclusions of Section 5.6.C.2.b. of the Zoning Ordinance. See Planned Unit Development Standards section on page 5.



- A statement indicating the manner in which the requested special use supports each of the following conclusions. See Special Use Standards section on page 6.
- A written certified list containing the names of registered owners, their mailing addresses and tax parcel numbers, of all properties within 250 feet of the property for which the amendment is requested. See full public hearing and notice requirements on page 7.
- Visit the Illinois Department of Natural Resources' website <https://dnr.illinois.gov> and initiate a consultation using DNR's EcoCat online application.
- Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application.
- Disclosure of beneficiaries of land trust, if applicable.
- A copy of owner's title insurance policy commitment or deed for the subject property.
- Filing fee in the amount of \$1,000 (less than 10 acres) or \$2,500 (more than 10 acres); if paid by check make payable to the 'Village of North Aurora'. Please note, an escrow deposit is required per Chapter 15.56. Any unused portion of the escrow will be returned to the payer upon completion of the project. Please see the Village's Escrow Application for more info.

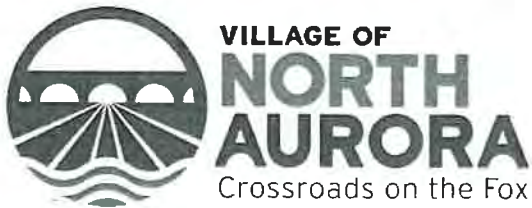
PLAN SPECIFICATIONS FOR PLANNED UNIT DEVELOPMENTS

Minimum Requirements. Every preliminary plan shall contain the following:

1. A plat of survey of the parcel or parcels of land comprising the proposed zoning lot(s). The plat shall be drawn to scale showing the actual dimensions of the proposed zoning lot, including all parcels or lots within the zoning lot. The plat shall be drawn in accordance with the recorded plat of such land. Plat must include a legal description and show any existing structures on the lot.
2. Proof of ownership.
3. A site location map drawn to an appropriate scale showing the proposed planned unit development in relation to surrounding streets and property located within six hundred (600) feet in all directions of the development site. The map shall indicate the location, height and land use of all existing buildings and structures immediately adjacent to the development site.
4. A preliminary site plan drawn to a scale of at least one inch to one hundred (100) feet on at least eleven (11) by seventeen (17) inch paper showing:
 - a. The location, ground area, height, bulk and approximate dimensions of all existing and proposed buildings and structures within the planned unit development.



- b. The use or uses to be made of such existing and proposed buildings and structures.
 - c. The dimensions of all perimeter setbacks and the distance between all buildings and structures.
 - d. The location and dimensions of all pedestrian walkways, driveways, streets, parking and loading facilities, including the number of parking spaces serving each building or land use type and all parking related screening and landscaping.
 - e. The location, height, design and illumination characteristics of all external lighting fixtures within the development.
 - f. The location and dimensions of any areas proposed to be conveyed, dedicated or reserved for parks, parkways, playgrounds, places of worship, school sites, public buildings or for any other public or quasi-public use.
5. Typical building elevations and schematic design presentations indicating the general architectural character of all proposed buildings and structures. The drawings need not be the result of final architectural decisions and need not be in detail.
6. A traffic circulation plan (Traffic Study) indicating the proposed movement of vehicles, goods and pedestrians within the planned unit development, and to and from adjacent streets, and the impact of the proposed planned unit development upon existing traffic patterns. Such plan shall also include an examination of the adequacy of on-site parking facilities, vehicular circulation patterns and pedestrian access and safety.
7. A drainage plan prepared by a registered engineer in the State of Illinois indicating the manner in which surface drainage will be controlled and managed, consistent with all Village and other governmental jurisdictions, regulations and requirements.
8. A utilities study prepared by a registered engineer in the State of Illinois indicating the adequacy of the utility systems serving the proposed planned unit development, including water distribution lines, sanitary sewers and stormwater drainage facilities. *Please note any large water user (over 5,000 gallons per day) must provide information for a water impact study and pay an impact fee per section 13.24.060 of the North Aurora Municipal Code.*
9. A preliminary landscape plan prepared by a qualified professional indicating the general character of all proposed landscaping, screening and fencing, including all open space areas around buildings and structures. Said landscape plan need not be the result of final architectural decisions and need not be in detail.
10. A separate schedule setting forth any proposed exceptions to any Village regulations. The schedule shall include, but not necessarily be limited to, the regulations governing use, density, area, bulk, off-street parking and loading and signs as they apply to the zoning district or districts within which the planned unit development is to be located. This schedule shall cite by Section number each and every regulation from which an exception is sought.



25 East State Street, North Aurora, IL 60542
P: 630.897.1457 F: 630.897.0269
Website: www.northaurora.org/forms/
Email: cdinfo@northaurora.org

PLANNED UNIT DEVELOPMENT STANDARDS

Attach a statement indicating the manner in which the requested planned unit development supports each of the following standards:

1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
2. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
4. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
5. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
6. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
9. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?
10. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?
11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

SPECIAL USE STANDARDS

Attach a statement indicating the manner in which the requested special use supports each of the following standards:



1. That the establishment, maintenance and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.
2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.
3. That the special use in the specific location proposed is consistent with the spirit and intent of the Zoning Ordinance and the adopted Comprehensive Plan.
4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard below individually.
 - The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
 - The proposed special use is deemed necessary for the public convenience at that location.
 - The proposed special use does not create excessive additional impacts at public expense for public facilities and services and will be beneficial to the economic welfare of the community.
 - The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.
 - The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
 - The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
 - The proposed special use is compatible with development on adjacent or neighboring property.
 - The proposed special use minimizes potentially dangerous traffic movements and provides adequate and safe access to the site.
 - The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
 - The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
 - The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.



25 East State Street, North Aurora, IL 60542
 P: 630.897.1457 F: 630.897.0269
 Website: www.northaurora.org/forms/
 Email: cdinfo@northaurora.org

Below is a template for PINs, names and mailing addresses of all property owners within 250 feet of the property in questions for which the Special Use PUD is being requested. An attached spreadsheet or list matching the template below also is permitted.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-04-476-002	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-003	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-004	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-005	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-006	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-007	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-476-008	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-477-001	POPGRIIP LLC SERIES 1 MARIANNE KENEFICK	812 MAGNUSON CT BARRINGTON HILLS, IL, 60010-9211
15-04-477-002	GUO, ZHIXIANG & ZHENG, JIN RU	214 RED OAK CT WEST CHICAGO, IL, 60185-5979
15-04-401-019	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-401-025	FIRST INDUSTRIAL INVESTMENT II LLC	1661 FEEHANVILLE DR STE 400 MOUNT PROSPECT, IL, 60056-6017
15-04-451-011	EJR ENTERPRISES I MC ASBURY HEALTHCARE LLC	7040 N RIDGEWAY AVE LINCOLNWOOD, IL, 60712-2620
15-04-476-009	IRISH VENTURES TWO LLC	PO BOX 358 SUGAR GROVE, IL, 60554-0358
15-04-477-003	RIO, DOUGLAS	33W460 SHAGBARK WAYNE, IL, 60184

I, Leonard McEnery, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Leonard McEnery
 Applicant Signature

8/29/2024
 Date



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Applicant Signature

Date



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Applicant Signature

Date

**NOTICE OF PUBLIC HEARING
BEFORE THE VILLAGE OF NORTH AURORA PLAN COMMISSION
NORTH AURORA, ILLINOIS**

Notice is hereby given that the Village of North Aurora Plan Commission will conduct a Public Hearing on Tuesday, November 5, 2024 at 7:00 p.m. at the North Aurora Village Board Meeting Room, 25 E. State Street, North Aurora, Illinois.

This Public Hearing will be conducted by the Plan Commission to consider an application from Len McEnergy aka Gas N Wash ("Applicant") to allow a Special Use for a Planned Unit Development to allow a Gas Station with Convenience Store, Drive-Thru and Car Wash at 230 South Lincolnway. The Applicant is proposing to redevelop the entire 4.76 acre property with a convenience store with two quick service restaurants with one restaurant having a drive through. The site will also include a separate long-tunnel car wash building with vacuums, a seven island auto canopy attached to the convenience store and a separate commercial diesel fueling canopy.

Property Index Number (PIN): 15-04-451-009

The Subject Property is legally described as follows:

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE NORTH 85 DEGREES 53 MINUTES, 0 SECONDS EAST, ALONG SAID LINE, 876.70 FEET TO A POINT IN THE WESTERLY LINE OF STATE HIGHWAY NO. 31 (SAID LINE BEGIN 33 FEET WEST OF THE CENTER LINE); THENCE NORTH 13 DEGREES 53 MINUTES, 20 SECONDS WEST, ALONG SAID LINE, 744.25 FEET TO A POINT WHICH IS 470.89 FEET SOUTHEASTERLY OF THE INTERSECTION OF SAID WESTERLY LINE AND THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH OF SAID SECTION; THENCE SOUTH 70 DEGREES, 26 MINUTES, 13 SECONDS WEST, 1194.94 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN FOR ROADWAY IN CONDEMNATION GENERAL NO. 57-853 RECORDED JULY 21, 1999 AS DOCUMENT NUMBER 1999K071729 , AND EXCEPT PART DESCRIBED FOR ROAD DEDICATION AS DOCUMENT NUMBER 2003K040193) IN KANE COUNTY, ILLINOIS.

LESS AND EXCEPTING THE FOLLOWING DESCRIBED PARCEL:

THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

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The address of the Applicant is 8200 185th Street Unit K Tinley Park, IL 60487. The Applicant's phone number is (708) 444 – 0117 ext. 101.

Applications have been filed by the petitioner and are known as Petition #24-13. The application for Special Use is on file at the office of the North Aurora Community Development Department and are available for public inspection. Public comments will be taken at the public hearing. Further information is available by contacting the Community Development Department at 630-897-1457.

DATED: October 16, 2024

/s/ Nathan Darga
Community Development Director

LEGAL DESCRIPTION

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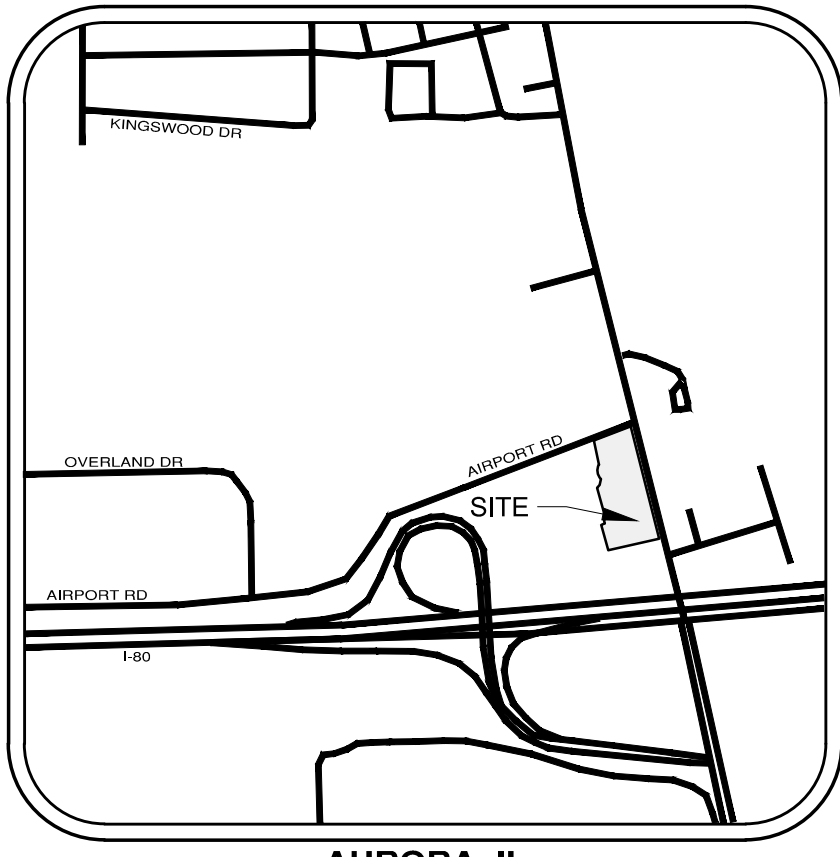
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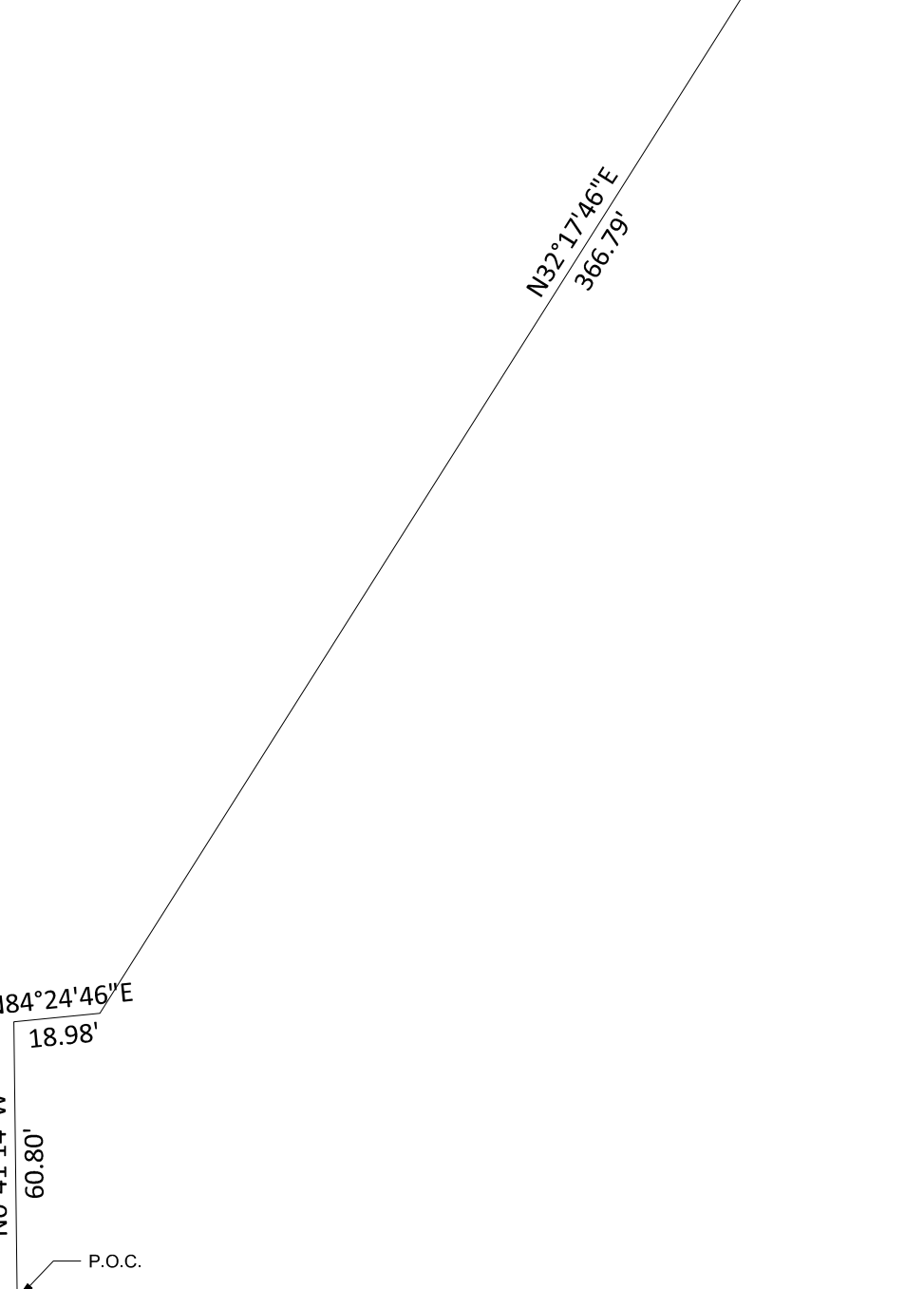
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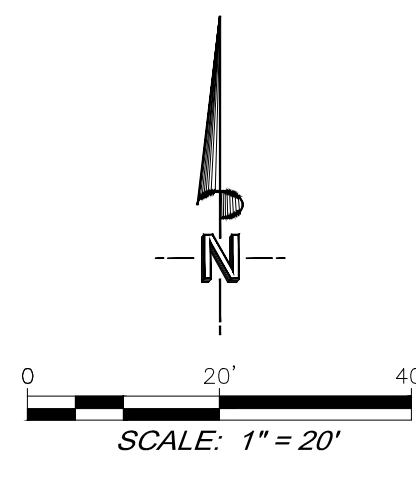
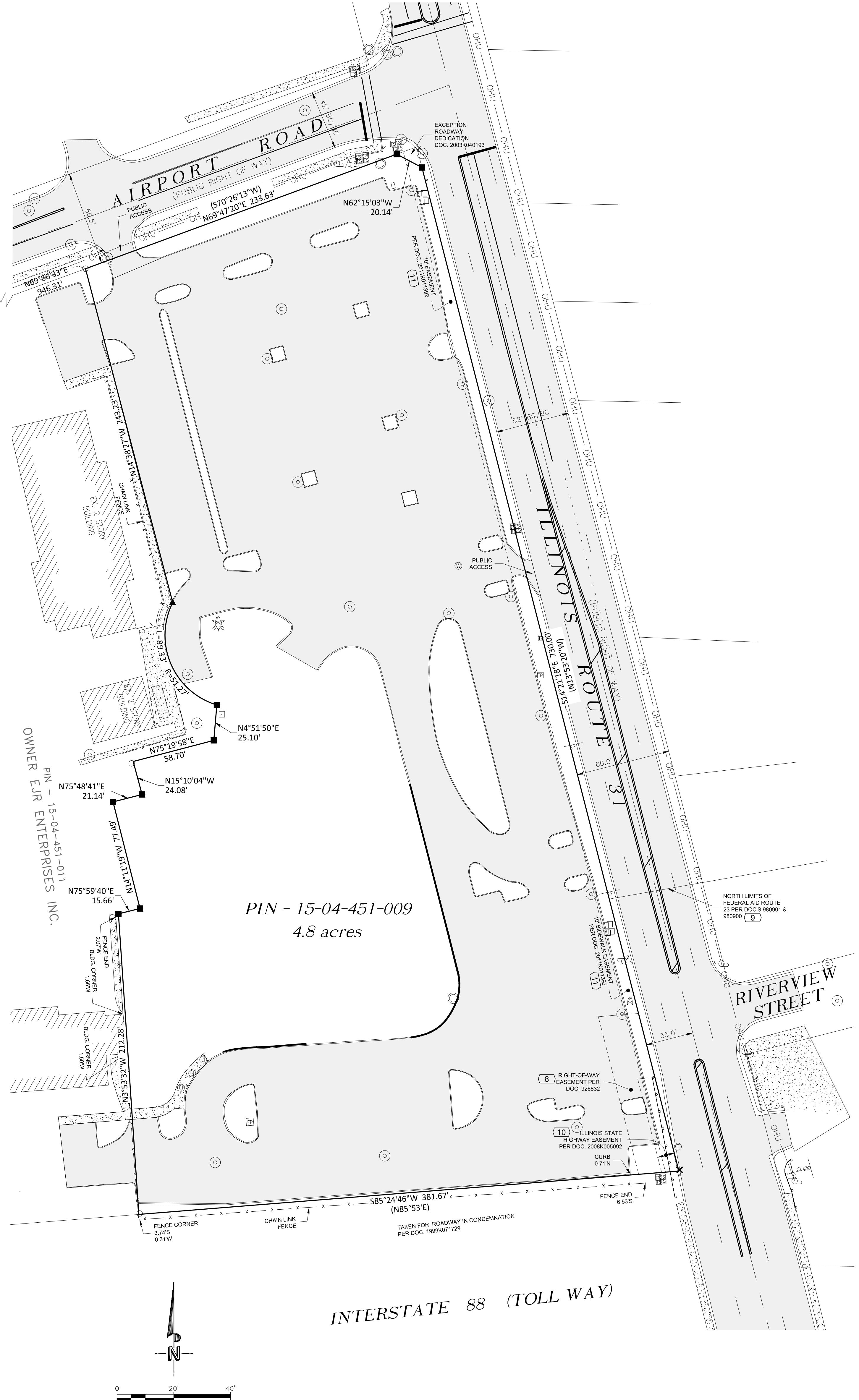


LEGEND OF SYMBOLS & ABBREVIATIONS

<ul style="list-style-type: none"> FOUND IRON PIPE FOUND IRON ROD SET IRON ROD FOUND CUT CROSS SET CUT CROSS FOUND MAG NAIL SET MAG NAIL MEASURED DATA RECORDED DATA P.U.E. PUBLIC UTILITY EASEMENT D.E. DRAINAGE EASEMENT B.S.L. BUILDING SETBACK LINE STORM SEWER MANHOLE CURB INLET SANITARY SEWER MANHOLE FIRE HYDRANT WATER VALVE WATER VALVE VAULT LIGHT POLE POWER POLE GUY WIRE SIGN 	<ul style="list-style-type: none"> ELECTRIC PEDESTAL TRANSFORMER TELEPHONE PEDESTAL CABLE PEDESTAL BUFFALO BOX TRAFFIC SIGNAL VAULT FENCE LINE OVERHEAD UTILITY LINE ASPHALT SURFACE CONCRETE SURFACE
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THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE NORTH 85 DEGREES 53 MINUTES, 0 SECONDS EAST, ALONG SAID LINE, 878.70 FEET TO A POINT IN THE WESTERLY LINE OF STATE HIGHWAY NO. 31 (SAID LINE BEGINS 33 FEET WEST OF THE CENTER LINE); THENCE NORTH 13 DEGREES 53 MINUTES, 20 SECONDS WEST, ALONG SAID LINE, 744.25 FEET TO A POINT WHICH IS 470.89 FEET SOUTHEASTERLY OF THE INTERSECTION OF SAID WESTERLY LINE AND THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTH OF SAID SECTION; THENCE SOUTH 70 DEGREES, 26 MINUTES, 13 SECONDS WEST, 1194.94 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN FOR ROADWAY IN CONDEMNATION GENERAL NO. 57-853 RECORDED JULY 21, 1999 AS DOCUMENT NUMBER 1999K071729, AND EXCEPT PART DESCRIBED FOR ROAD DEDICATION AS DOCUMENT NUMBER 2003K040193) IN KANE COUNTY, ILLINOIS. LESS AND EXCEPTING THE FOLLOWING DESCRIBED PARCEL: THAT PART OF THE SOUTH HALF OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT IN THE EAST LINE OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD, SAID POINT BEARS NORTH 00 DEGREES 13 MINUTES 00 SECONDS WEST, A DISTANT 60.80 FEET FROM SOUTH LINE OF SAID SECTION; THENCE NORTH 84 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.98 FEET; THENCE NORTH 32 DEGREES 46 MINUTES 00 SECONDS EAST, A DISTANCE OF 366.79 FEET THE BEGINNING OF A 247.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC, HAVING A CENTRAL ANGLE OF 43 DEGREES 53 MINUTES 59 SECONDS, A DISTANCE OF 189.26 FEET (HAVING A CHORD BEARING NORTH 54 DEGREES 19 MINUTES 24 SECONDS EAST A DISTANCE OF 184.65 FEET) TO THE POINT OF BEGINNING; THENCE NORTH 76 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 108.56 FEET; THENCE SOUTH 76 DEGREES 48 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.34 FEET; THENCE SOUTH 63 DEGREES 24 MINUTES 00 SECONDS EAST, A DISTANCE OF 110.44 FEET; THENCE SOUTH 52 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 148.36 FEET; THENCE SOUTH 07 DEGREES 20 MINUTES 00 SECONDS EAST, A DISTANCE OF 255.31 FEET TO A POINT ON THE NORTHERLY LINE OF THE NORTHERN ILLINOIS TOLL HIGHWAY; THENCE ALONG SAID NORTHERLY LINE, NORTH 85 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 495.03 FEET; THENCE NORTH 03 DEGREES 48 MINUTES 09 SECONDS WEST, A DISTANCE OF 211.77 FEET; THENCE NORTH 76 DEGREES 14 MINUTES 53 SECONDS EAST, A DISTANCE OF 15.66 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 77.49 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 21.14 FEET; THENCE NORTH 13 DEGREES 56 MINUTES 06 SECONDS WEST, A DISTANCE OF 24.57 FEET; THENCE NORTH 76 DEGREES 03 MINUTES 54 SECONDS EAST, A DISTANCE OF 58.29 FEET; THENCE NORTH 05 DEGREES 07 MINUTES 03 SECONDS EAST, A DISTANCE OF 25.10 FEET TO THE BEGINNING OF A 51.27 FOOT RADIUS NON-TANGENT CURVE TO LEFT; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, HAVING A CENTRAL ANGLE OF 99 DEGREES 49 MINUTES 48 SECONDS, A DISTANCE OF 89.33 FEET (HAVING A CHORD BEARING NORTH 23 DEGREES 02 MINUTES 48 SECONDS WEST, A DISTANCE OF 78.45 FEET); THENCE NORTH 14 DEGREES 21 MINUTES 47 SECONDS WEST, A DISTANCE OF 243.77 FEET TO THE SOUTHERLY RIGHT OF WAY OF AIRPORT ROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 70 DEGREES 26 MINUTES 13 SECONDS WEST, A DISTANCE OF 946.46 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.



GENERAL NOTES

- Basis of bearing is referenced from Illinois East State Plane Coordinates on N.A.D.83 (2011 Adjustment). All measurements shown hereon are expressed in feet and decimal parts thereof.
- Monuments found representing the property corners were held at the surveyed corner unless otherwise noted.
- This professional service conforms to the current Illinois Minimum Standards for Boundary Survey.
- No striping or clearly identifiable parking spaces were observed during field work. (Table A Item 9).
- There was no evidence of recent earth moving work observed in the process of conducting field work. No evidence of recent building construction or building additions was observed. (Table A Item 16)
- No proposed changes in street right of way lines was made available to the surveyor by the controlling jurisdiction. No evidence of recent street or sidewalk construction or repairs observed in the process of conducting field work. (Table A Item 17)
- No plottable offsite easements disclosed in documents provided or obtained by the surveyor. (Table A Item 18)

NOTES CORRESPONDING TO SCHEULE "B", PART II

NO DOCUMENT SEARCH WAS PERFORMED BY THE SURVEYOR. ANY INFORMATION SUCH AS DEEDS, EASEMENTS, DEDICATIONS, UNDERLYING RESTRICTIONS AND OTHER MATTERS OF RECORD SHOWN ON THIS SURVEY IS REFERENCED FROM TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NO. FCH2400292LD WITH AN EFFECTIVE DATE OF APRIL 15, 2024.

- INTEREST OF THE DEPARTMENT OF PUBLIC WORKS AND BUILDINGS OF THE STATE OF ILLINOIS UNDER OUIT CLAIM DEED FROM THE ILLINOIS STATE TOLL HIGHWAY COMMISSION RECORDED AUGUST 15, 1960 AS DOCUMENT 928832 CONVEYING PARCEL NO. E-1A-221. 1 PERMANENT RIGHT OF WAY EASEMENT - AREA 0.065 ACRES DESCRIBED AS FOLLOWS: THAT PART OF THE SOUTH EAST 1/4 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRDPERMANENT EASEMENT IN FAVOR OF THE ILLINOIS STATE HIGHWAY AUTHORITY RECORDED JANUARY 18, 2008 AS DOCUMENT NO. 2008K005092, PLOTTED AND SHOWN HEREON
- ROUTE LOCATION DECISION AND ORDER ESTABLISHING A FREEWAY EACH MADE BY STATE OF ILLINOIS, DEPARTMENT OF PUBLIC WORKS AND BUILDINGS, DIVISION OF HIGHWAYS EACH DATED JUNE 18, 1982 AND RECORDED JUNE 22, 1982 RESPECTIVELY AS DOCUMENTS 98901 AND 98900 ESTABLISHING A FREEWAY OVER THAT PART OF FEDERAL AID ROUTE 23 ADJOINING THE LAND ON THE EAST, LYING SOUTHERLY OF A POINT APPROXIMATE 220 FEET NORTHERLY OF THE NORTH ABUTMENT OF THE GRADE SEPARATION OVER THE EAST-WEST TOLLWAY, LIMITING THE ACCESS TO SAID FEDERAL AID ROUTE 23 FROM SAID PREMISES. PLOTTED AND SHOWN HEREON
- PERMANENT EASEMENT IN FAVOR OF THE ILLINOIS STATE HIGHWAY AUTHORITY RECORDED JANUARY 18, 2008 AS DOCUMENT NO. 2008K005092, PLOTTED AND SHOWN HEREON
- PLAT OF EASEMENT TO THE VILLAGE OF NORTH AURORA FOR A PUBLIC SIDEWALK RECORDED FEBRUARY 15, 2011 AS DOCUMENT NO. 2011K011392, THE TERMS, PROVISIONS AND CONDITIONS AS CONTAINED THEREIN, PLOTTED AND SHOWN HEREON
- CABLE TELEVISION INSTALLATION AGREEMENT DATED JULY 27, 1992 AND RECORDED AUGUST 31, 1992 AS DOCUMENT 92861169
- VILLAGE OF NORTH AURORA, ORDINANCE NO. 21-07-19-07 RECORDED JULY 30, 2021 AS DOCUMENT NO. 2021K098395.

SURVEYOR'S CERTIFICATE

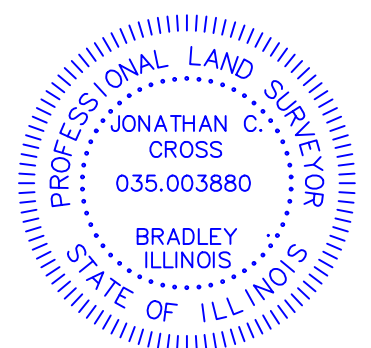
TO: LEONARD MCENERY, OR HIS DESIGNATED ASSIGNEE: 230 AIRPORT RD LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; FIDELITY NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on January 9, 2024.

DATED: PRO FORMA, 2024.

NOT A CERTIFIED DOCUMENT

Jonathan C. Cross
 Illinois Professional Land Surveyor #035.003880
 License Expires November 30, 2024



GAS N WASH
 230 AIRPORT ROAD
 AURORA, ILLINOIS 60542
 PH: 708-805-2525
 EMAIL: LENMCENERY@AOL.COM

ALTA/NSPS LAND TITLE SURVEY

PLAT REVISIONS		
DATE	BY	DESCRIPTION

MGA² CIVIL ENGINEERING LAND SURVEYING

M GINGERICH GEREUX & ASSOCIATES
 Professional Design Firm License # 184.001808
 P. 815-939-4921 www.mg2a.com F. 815-939-9810
 240 N. INDUSTRIAL DRIVE | BRADLEY, IL. 60915
 © 2024 M.GINGERICH, GEREUX & ASSOCIATES

24-147

SB: ## PG: ##
 FIELD BY: RPT
 DRAFTED BY: NIB

SHEET NO.
1 OF **1**

Narrative

Lenny's Gas N Wash

This narrative is in regards to the Gas N Wash proposed project at 230 S Lincolnway, North Aurora, IL. This development is approximately 4.16 acres of currently vacant land. The proposed development will offer the following:

- 8,065 sf convenience store that has (2) quick serve restaurants (QSR). One of the QSR's has a drive thru.
- 4,900 sf express, long-tunnel carwash. This type of express carwash is high quality, low cost, efficient and convenient, which has led to a change in consumer preference, from competing full-service and self-service carwashes.
- Auto Canopy: 7 island inline style.
- CFL (Commercial Fueling Lane) Canopy: 2 lanes

The convenience store will be open 24 hours, as well the gaming area. Six video gaming terminals will be installed at the proposed development. Liquor Sales would operate as allowed per Village ordinance. The car wash will operate from 6:00 am to 10:00 pm. Employees per Business shift are as follows;

- 1ST Shift 6am – 2pm / 24 Employees
 - C-Store, (1) QSR – 21 Employees
 - Carwash – 3 Employees
- 2nd Shift – 2 pm -10pm / 22 Employees
 - C-Store, (2) QSR – 19 Employees
 - Carwash – 3 Employees
- 3RD Shift – 10 pm – 6am / 2 Employees
 - C-Store, – 2 Employees

The two diesel-fueling lanes that are proposed on the property will have 15,000 gallons in diesel sales a month, which is the equivalent to (7) trucks per day. No overnight Truck parking is available at this site. Hours of operation for diesel sales will be from 4 am to 10 pm.

The Gas N Wash family of stores currently includes (21) Gas N Wash locations and (3) Food N Fuel locations. The difference in these two entities is that Food N Fuel locations are primarily truck stops, which do not provide the express, long-tunnel carwash. The Gas N Wash locations however do include this added feature. Lenny's Gas N Wash North Aurora, LLC will include this feature and will be 100% run and managed by Leonard McEnergy.

August 21, 2024

Nathan Darga
Community Development Director
Village of North Aurora

RE: Application of Leonard McEnery
dba Gas N Wash
SWC Route 31 and Airport Road

Nathan,

Please be advised that Leonard McEnery / Gas N Wash is under contract to purchase the above referenced property from 230 Airport Rd, LLC for the development of a motor fueling facility, convenience store and car wash.

As owner of said property, the undersigned seller/owner hereby consents to Leonard McEnery / Gas N Wash filing all necessary applications for rezoning and/or special use permits, site plan approval and all other necessary applications required for the development of this property for such intended use.

Sincerely,


230 Airport Rd., LLC

MANAGING PARTNER

PLANNED UNIT DEVELOPMENT STANDARDS

Attach a statement indicating the manner in which the requested planned unit development supports each of the following standards:

1. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
 - *The zoning is adaptable to the unified development proposed. The existing site contains no buildings at this time, and is an open lot. The proposed grading will make this site viable for the proposed use.*
2. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
 - *This proposed project is a complementary use to the development and is an integral part of the business plan. Gas N Wash has an outstanding Maintenance record and operation at all of their existing facilities, the request of special use of plan unit development for a gas station with drive thru and carwash at this property will provide a clean, safe , respectful relationship with the public.*
3. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
 - *The use will not alter the character of the area in that this development architecture will provide quality materials for both the convenience store and car wash buildings. The high quality of the proposed development reflects a use that is compatible with a main traffic route and will complement the commercial uses in the area. The use of this development will offer high quality materials, service and products to the area that would encourage further enhancement of existing properties.*
4. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
 - *The use of high quality material i.e. masonry bearing buildings, high quality architecture and landscaping that will enhance the area and the aesthetic of the property. Market value studies done at other Gas N Wash locations have shown an improved impact in surrounding neighborhood areas. In fact, Gash N wash has received letters of support from village mayors stating that "Gas N Wash" has been a great business for the community.*

5. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
 - *The proposed establishment will not impede the normal and orderly development and improvements of the surrounding properties. In fact, the development will encourage the further investment of the surrounding properties. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above will add convenience to the lives of the surrounding property users.*

6. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
 - *The existing utilities available to the site are adequate for the proposed use. Our proposed establishment will provide adequate access to patrons via the existing roads. The design provides adequate access to the site that will allow for proper circulation. In addition, civil engineering has adequately provided proper drainage, parking and utilities for the proposed establishment.*

7. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
 - *The circulation as designed allows for cars and trucks to safely maneuver within the facility, we have also used directional signage to aid our patrons and the public to safely enter and exit the facility. We believe that we have provided adequate measures to provide a functional and safe ingress and egress to minimize traffic and congestion in the public streets.*

8. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
 - *The maximum allowed FAR is 2.0. This is a measurement of how dense a project can be. The proposed development has an FAR of only .07 or 1/28th the allowable density. This FAR allows for the proposed development to be in harmony with the surrounding neighborhood and land uses.*

9. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?

- *The proposed landscaping is calling for 69 shade trees, 9 evergreen trees, 15 ornamental trees, 166 evergreen shrubs, 284 deciduous shrubs and in addition 1,986 perennials and grasses. This proposed landscaping will enhance the development.*

10. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?

- *The proposed use is allowed in the B-2 district, as a special use therefore is consistent with the intent of the ordinance and comprehensive plan.*

11. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

- *The proposed full masonry bearing buildings exceed the required building construction type. The proposed landscaping meets most of the requirements of the ordinance. Except where hinder due to existing geometry of property.*

SPECIAL USE STANDARDS

1. That the establishment, maintenance and operation of the special use in the specific location proposed will not endanger the public health, safety, comfort or general welfare of the community as a whole or any portion thereof.
 - *This proposed project is a complementary use to the development and is an integral part of the business plan. Gas N Wash has an outstanding Maintenance record and operation at all of their existing facilities, the request of special use of plan unit development for a gas station with drive thru and carwash at this property will provide a clean, safe, respectful relationship with the public.*

2. That the proposed special use is compatible with adjacent properties and other property within the immediate vicinity.
 - *The proposed establishment will not hinder the normal and orderly development and improvements of the surrounding properties. In fact, the development will encourage the further investment of the surrounding properties. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above will add convenience to the lives of the surrounding property users.*

3. That the special use in the specific location proposed is consistent with the spirit and intent of the Zoning Ordinance and the adopted Comprehensive Plan.
 - *The proposed use is allowed in the B-2 district, as a special use therefore is consistent with the intent of the ordinance and comprehensive plan.*

4. The standards contained in Section 4.3.E (Standards for Special Uses) of the Zoning Ordinance. Please answer each standard below individually.
 - The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
 - *The proposed use is allowed in the B-2 district, as a special use therefore is authorized in the zoning district.*

 - The proposed special use is deemed necessary for the public convenience at that location.
 - *The proposed development reflects a use that is compatible with a main traffic route and will complement the commercial uses in the area. The surrounding properties and public will benefit with the additional services provided such as; fueling, food products and car wash. All of the above are necessary for public convenience.*

- The proposed special use does not create excessive additional impacts at public expense for public facilities and services and will be beneficial to the economic welfare of the community.
 - *Proposed development will be using existing utilities at the site and will not require any enhancement of those utilities.*
 - *The proposed development will provide significant tax revenue to the community in the form of real estates, sales and fuel taxes.*
- The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.
 - *The proposed use is a family owned business doing business in the Chicago metropolitan area and is therefore in conformance with the comprehensive plan.*
- The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
 - *The proposed use is only a single story buildings made of high quality masonry materials augmented with harmonious landscaping. That are all intended to be compatible and enhance the surrounding area.*
- The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
 - *The use of high quality material i.e. masonry bearing buildings, high quality architecture and landscaping that will enhance the area and the aesthetic of the property. Market value studies done at other Gas N Wash locations have shown an improved impact in surrounding neighborhood areas. In fact Gash N wash has received letters of support from village mayors stating that "Gas N Wash" has been a great business for the community.*
- The proposed special use is compatible with development on adjacent or neighboring property.
 - *The surrounding zoning districts are classified as business and industrial. The proposed development will provide services that will be compatible with the adjacent land uses.*
- The proposed special use minimizes potentially dangerous traffic movements and provides adequate and safe access to the site.
 - *The circulation as designed allows for cars and trucks to safely maneuver within the facility, we have also used directional signage to aid our patrons and the public to safely enter and exit the facility. We believe that we have provided adequate measures to provide a functional and safe ingress and egress to minimize traffic and congestion in the public streets.*

- The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
 - *The proposed parking exceeds the minimal required parking spaces and is in accordance with the ordinance requirements.*
- The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
 - *The existing utilities available to the site are adequate for the proposed use. Our proposed establishment will provide adequate access to patrons via the existing roads. The design provides adequate access to the site that will allow for proper circulation. In addition civil engineering has adequately provided proper drainage, parking and utilities for the proposed establishment.*
- The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.
 - *The proposed PUD is in accordance with ordinance. However due to the geometry of site and the nature of business there will be a request for exceptions.*



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

JB Pritzker, Governor

Natalie Phelps Finnie, Director

October 08, 2024

Randy Raab
MG2A
25620 S Gougar Rd
Manhattan, IL 60442

RE: Gas N Wash-IL Route 31 & Interstate 88-North Aurora
Project Number(s): 2504626
County: Kane

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Adam Rawe

Adam Rawe
Division of Ecosystems and Environment
217-785-5500



October 15, 2024

Village of North Aurora

Nathan Darga
25 E. State St.
North Aurora, IL 60542

Re: Natural Resources Inventory

Application #24-096

Petitioner: Leonard McEnery
Kim Farbak
8200 W. 185th St. Unit K
Tinley Park, IL 60487

Location Address: parcel #15-041-451-009, located at 230 S. Lincolnway North Aurora, IL 60542
Location: Aurora Township 38N, Range 8E, Section 4, in Kane County

The application for a Natural Resources Inventory was sent to the Kane-DuPage Soil & Water Conservation District (KDSWCD) in compliance with Section 22.02a of the Illinois Soil and Water Conservation District Act.

According to the information received, a Natural Resources Inventory is required at this time for the proposed use of an automobile laundry, C-store, and drive-thru food service in conjunction with automobile fueling station. This report will be completed on or before November 15, 2024.

If you have any questions concerning this letter, please contact the KDSWCD office at the address or phone below.

Sincerely,

A handwritten signature in cursive script that reads "Isabella Borzeka".

Isabella Borzeka

Resource Analyst



Natural Resources Inventory (NRI) Application

Petitioner: Leonard McEnery
Contact Person: Kim Farbak
Address: 8200 W. 185th St. Unit K
City, State, Zip: Tinley Park, IL 60487
Phone Number: 708-444-0117 X101
Email: kfarbak.lennys@aol.com

Owner: 230 Airport Rd., LLC
Address: 8170 McCormick Blvd.
City, State, Zip: Skokie, IL 60076
Phone Number: 773-230-2909
Email: mkahn@asburvmt.com

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location

Address: 230 S Lincolnway
City, State, Zip: North Aurora, Illinois 60542
Township(s) 38 **N Range(s)** 8 **E Section(s)** 4
Parcel Index Number(s): 15-041-451-009

Type of Request

- Change in Zoning from _____ to _____
- Subdivision or Planned Unit Development (PUD)
- Variance (Please describe fully on a separate sheet)
- Special Use Permit (Please describe on separate sheet)

Site Information

Municipality/Permitting Unit of Government: Village of North Aurora **Acres of Disturbance:** 4.8
Project or Subdivision Name: "Gas N Wash" fuel center **Total Acres:** 4.8
Current Use of Site: vacant property **Proposed Use:** automobile laundry, C-store, drive-thru food service in conjunction with automobile fueling station
Surrounding Land Use: North zoned ORI, East zoned B-3 & South B-2 Contiguous **Hearing Date:** 11/5/2024

Proposed Improvements (Check all that apply)

- Dwellings with Basements
- Parking Lots
- Commercial Buildings
- Common Open Space
- Dwellings without Basements
- Roads and Streets
- Utility Structures
- Other _____

Stormwater Treatment

- Drainage Ditches or Swales
- Dry Detention Basins
- No Detention Facilities Proposed
- Storm Sewers
- Wet Detention Basins
- Other _____

Water Supply

- Individual Wells
- Community Water

Wastewater Treatment

- Septic System
- Sewers
- Other _____

Required: Include One Copy of Each of the Following (Processing will not begin until all items are received)

- Application** (completed and signed)
- Fee** (according to fee schedule on back)
- Make Checks payable to Kane-DuPage Soil and Water Conservation District
- Plat of Survey** showing legal description, legal measurements
- Site Plan/Drawings** showing lots, storm water detention areas, open areas, streets etc.
- Project Narrative** with additional details on the proposed use, including total area of ground disturbance
- Location Map** (if not on maps above) include distances from major roadways or tax parcel numbers



BY: _____

If Available- Not Required:

Any applicable surveys including wetland deliniation, detailed soil survey, topographic survey etc.

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent [Signature] **Date** 10/9/2024

FOR OFFICE USE ONLY

NRI # 24-096 **Natural Resource Review Letter** _____ **Date Initially rec'd** 10/11/2024 **Date all rec'd** 10/11/2024
Date Due 11/11/2024 **Fee Due \$** 475.00 **Refund Due** _____ **Check #** 006478



LETTER OF TRANSMITTAL

Date: October 10, 2024

From: Brian P. Hertz, P.E.

To:

Kane-DuPage Soil & Water
Conservation District
2315 Dean St., Suite 100
St. Charles, IL 60175

Cc:

Ms. Kim Farbak, Gas N Wash
Ms. Angie Garcia, WT Group
File

Re:

Gas N Wash, SWC of IL Route 31 & Airport Rd, North Aurora
NRI Application
MG²A Project #24-147

Via Regular Mail

Enclosed are the following items for this application:

1. Application – completed and signed
2. Fee - \$475.00 based on the fee schedule for up to 5 acres (site is 4.8 ac)
3. Fee Check enclosed is payable to Kane DuPage Soil and Water Conservation District
4. Plat of Survey (ALTA) – including legal descriptions and measurements
5. Preliminary Engineering Site Plan, Sheets 1 thru 3 of 3, last dated 9/11/24
6. Project Narrative
7. Location Map

If you have any questions or need anything else, please feel free to contact me at (815)478-9680 or you can reach me by email at bhertz@mg2a.com.

Thanks



LENNY'S GAS N WASH NORTH AURORA, LLC

8200 185th Street, Ste. J
Tinley Park, IL 60487-9234



104

10/15/2024

PAY TO THE ORDER OF

Village of North Aurora

\$ **1,000.00

One thousand and 00/100*****

DOLLARS

Village of North Aurora
25 East State St
North Aurora IL 60542
United States



Leonard McEnergy

AUTHORIZED SIGNATURE

MEMO

⑈000 104⑈ ⑆08 190466 2⑆4 10000 1368⑈

LENNY'S GAS N WASH NORTH AURORA, LLC

Village of North Aurora

10/15/2024

Date	Description	Orig. Amt.	Amt. Due	Discount	Amount
10/15/2024	Bill #PUD Application filing fee	1,000.00	1,000.00		1,000.00

N. Aurora F CNB Transfer - 1368

1,000.00

August 14, 2024

VIA ELECTRONIC MAIL AND DELIVERY

Lyman C. Tieman
Attorney at Law
12417 Tahoe Lane
Mokena, IL 60448
lctieman@yahoo.com

Re: 230 Airport Road, LLC sale to McEnergy

Dear Mr. Tieman:

This letter seeks to provide support for the upcoming project of the proposed Gas N Wash on the NWC of IL RTE 31 and I-88 ("**Proposed Property**"). Asbury Gardens, the property directly next to the Proposed Property on Airport Road, is currently owned by both the property company, EJR Enterprises, Inc, an Illinois corporation, as well as the tenants and operating company, Asbury Gardens SLF, LLC, an Illinois limited liability company, (collectively "**Seller**"). Seller has become aware of the map of the site plan, attached here as **Exhibit A**. Seller is aware that the Proposed Property is to be built next to its facility.

Seller is confirming its support for the continuation of the project. This letter serves as a formal endorsement of the project's objectives and plans, reflecting confidence with the upcoming organizational goals. Please keep Seller updated on all future plans and next steps that may affect the Asbury Gardens facility.

Respectfully,

EJR ENTERPRISES INC.,
an Illinois corporation



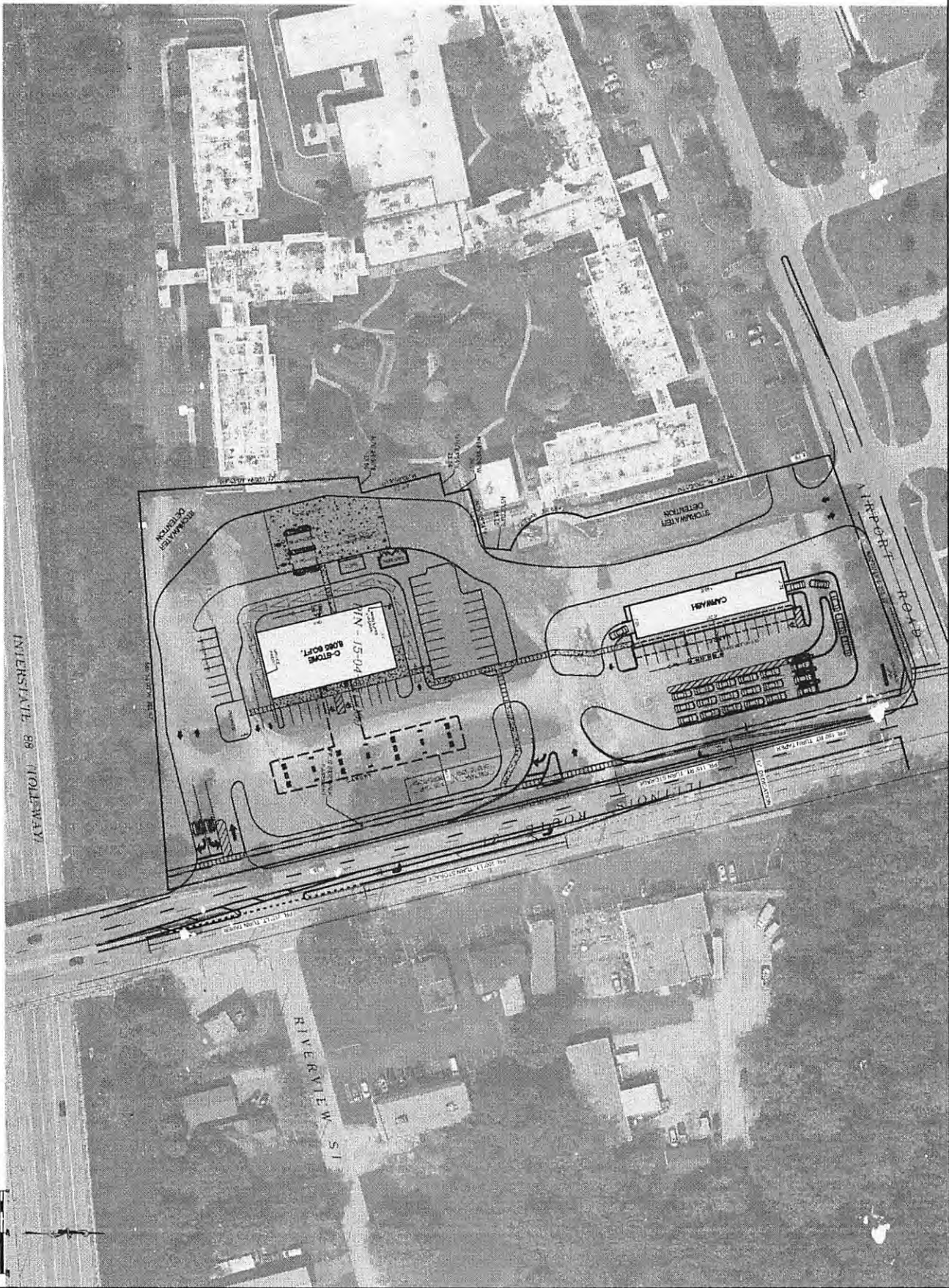
Name: Moshe Kahn
Its: President

ASBURY GARDENS SLF, LLC
an Illinois limited liability company



Name: Moshe Kahn
Its: Manager

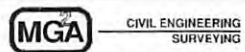
EXHIBIT A



GAS N WASH
NWC OF IL RTE 31 & I-88
 NORTH AURORA, ILLINOIS

PRELIMINARY CONCEPT PLAN

DESIGN: **///**
 DRAWING: **///**
 CHECKED: **///**
 APPROVED: **///**



CIVIL ENGINEERING
 SURVEYING

M GINGERICH GERAUX & ASSOCIATES
MG2A WEST
 Professional Design Firm License # 184.005003
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 25820 S. COUGAR RD., MANHATTAN, IL. 60442
 www.mg2a.com

PLAN EDITION MILESTONES			
DATE	REV.	BY	DESCRIPTION

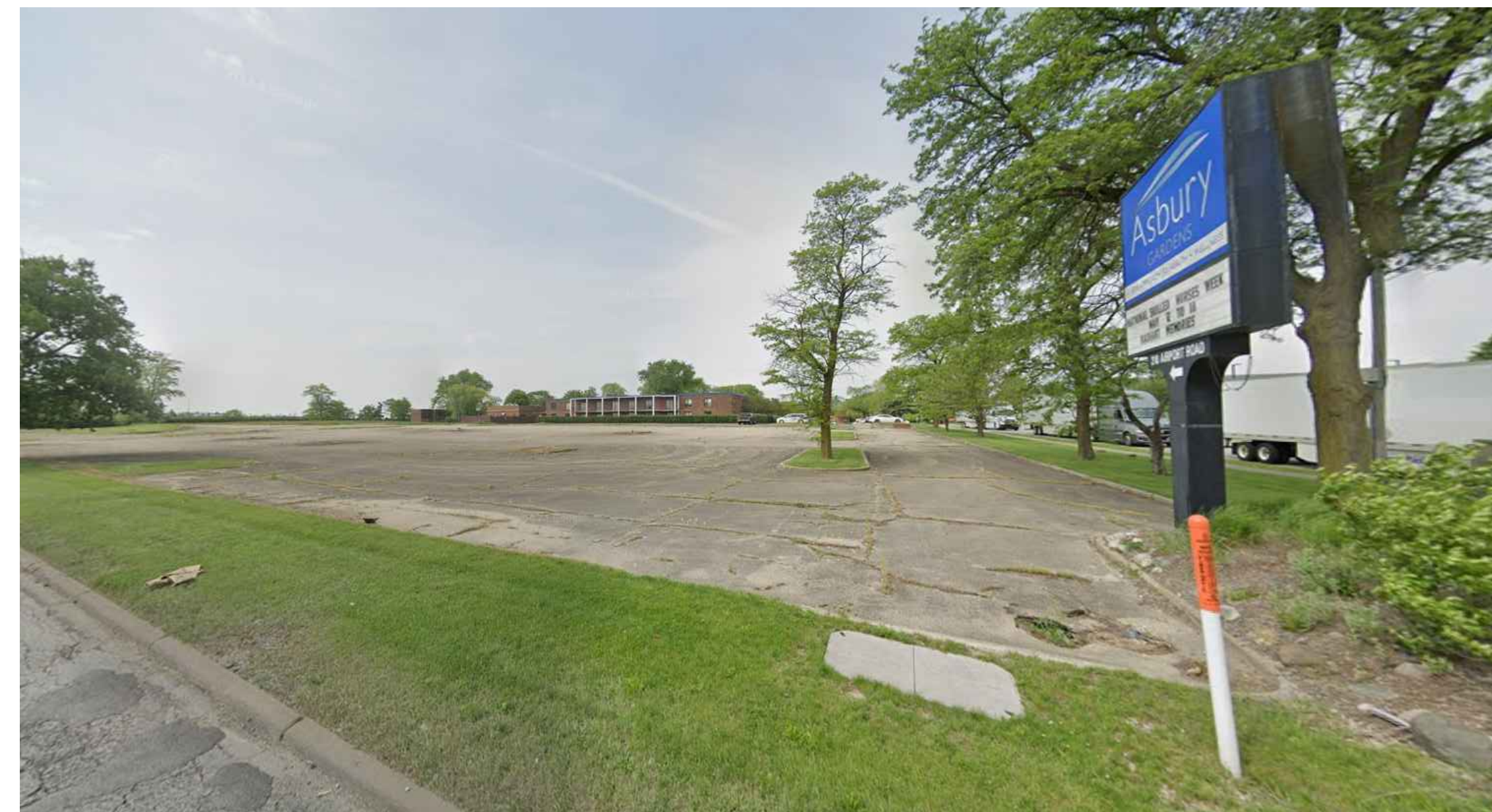
JOB NO. 24-147
 SHEET NO. 1 OF 1



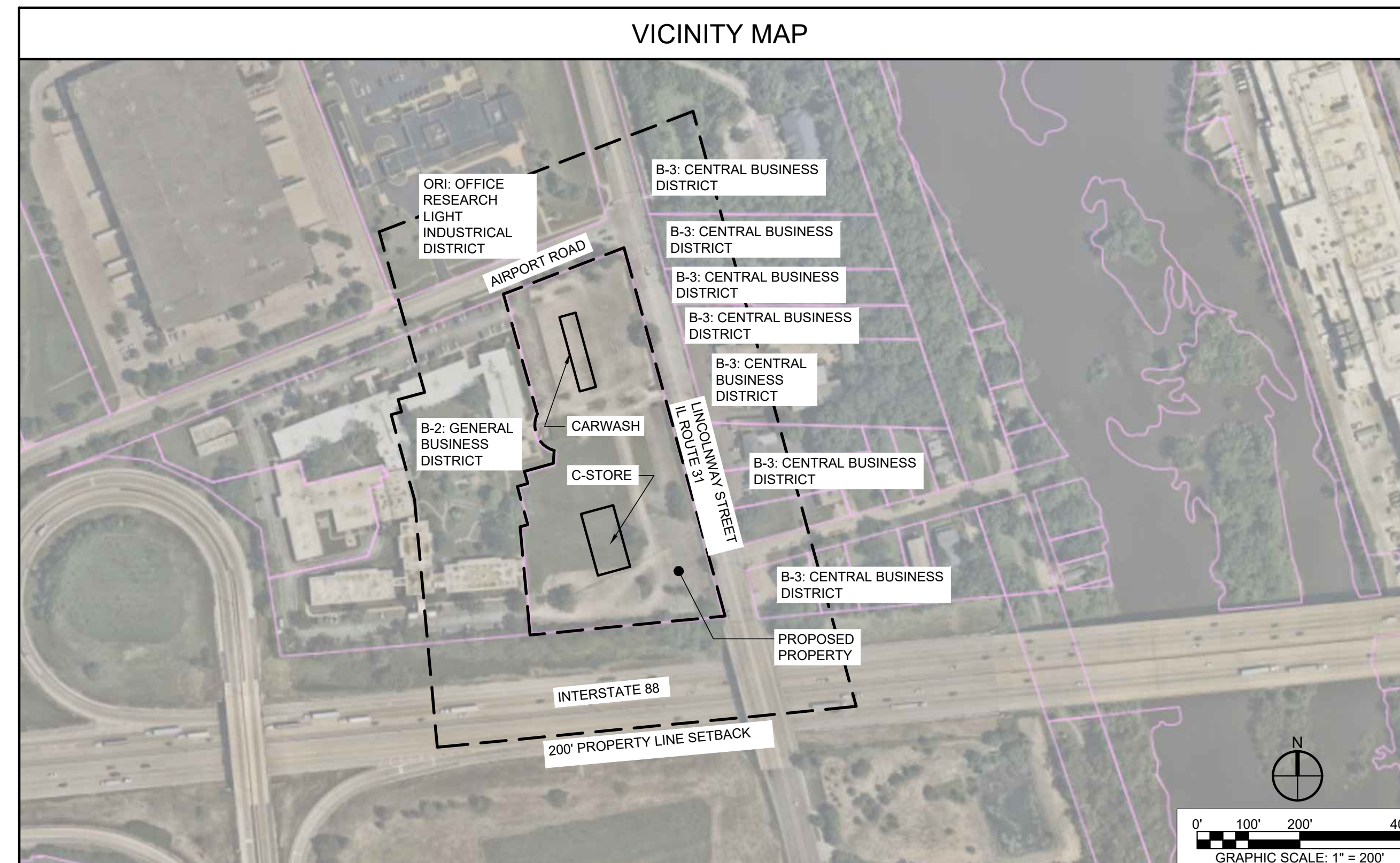
RETAIL PETROLEUM FACILITY

SWC IL 31 & AIRPORT ROAD
NORTH AURORA, IL 60542

10/16/2024 ZONING SUBMISSION



DRAWING INDEX	
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2 OF 3	PRELIMINARY GEMOTRY PLAN
3 OF 3	PRELIMINARY UTILITIES & GRADING PLAN
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A002	TRASH ENCLOSURE DETAILS
A003	SIGN DETAILS
A004	SITE DETAILS
A005	STORAGE BUILDING PLAN AND ELEVATIONS
A006	CANOPY ELEVATIONS
A007	SITE SIGNAGE PLAN
L1.0	LANDSCAPE PLAN - NORTH
L1.2	LANDSCAPE PLAN - SOUTH
L1.3	DETAILS
LO-160935	LIGHTING PROPOSAL
24-114.2C	ID PRICE MONUMENT
24-114.2AC	ID PRICE MONU FOUNDATION
24-114.3C	CAR WASH MONUMENT
24-114.3AC	CAR WASH MONU FOUNDATION
24-114.4C	AUTO CANOPY SIGNAGE
24-114.4C LED	INDIRECT CANOPY COVE LIGHTING
24-114.5C	TRUCK CANOPY
24-114.6C	C-STORE SIGNAGE
24-114.7C	CAR WASH BUILDING WEST
24-114.8C	CAR WASH BUILDING NORTH
24-114.8C2	CAR WASH BUILDING SOUTH
24-114.9C	CAR WASH BUILDING EAST
24-114.10C	CAR WASH PAY CANOPY
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A101	C-STORE FLOOR PLAN
A201	C-STORE COLORED ELEVATIONS
A102	CARWASH FLOOR PLAN
A202	CAR WASH COLORED ELEVATIONS



SCOPE OF WORK

THIS IS A 8,066 SQUARE FOOT GAS AND WASH CONVENIENCE STORE WITH DRIVE THRU WINDOW, 7 DISPENSER AUTO CANOPY, TWO-BAY TRUCK CANOPY AND SINGLE 4,900 SQUARE FOOT TUNNEL CAR WASH.

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GAS N WASH

GAS N WASH

ISSUE

TO	DATE
CLIENT	5/21/24
ZONING	9/19/24
ZONING	10/16/24

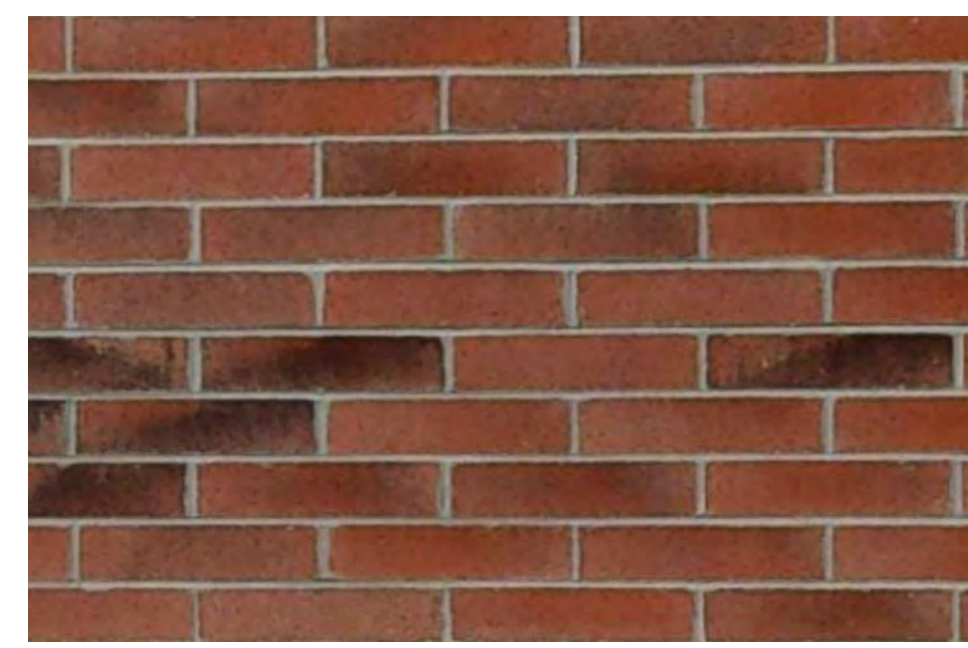
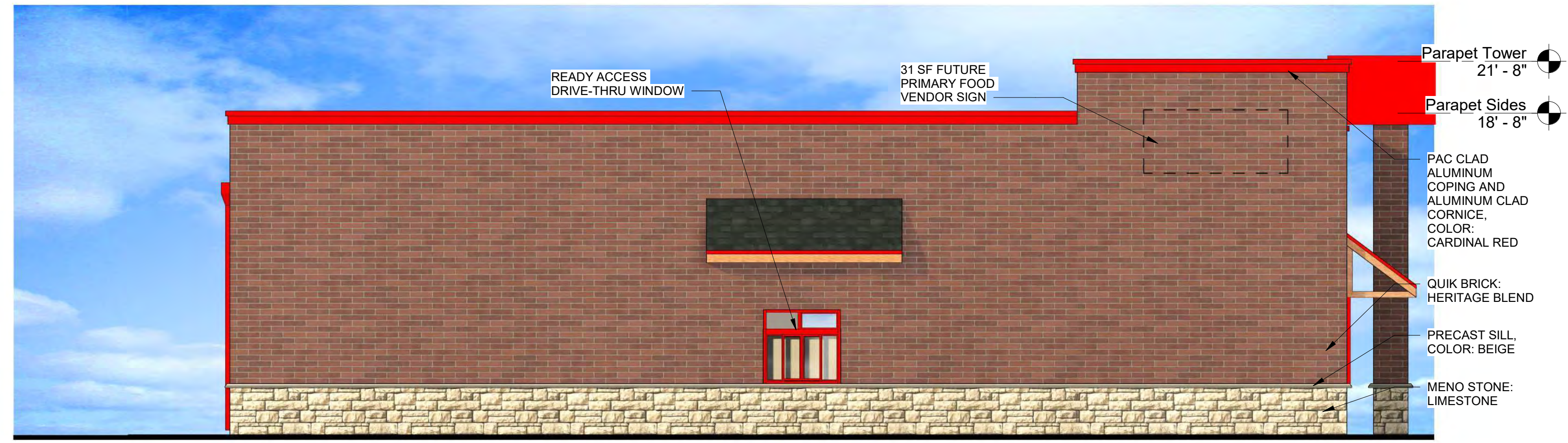
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 DRAWN:KV
 JOB:D2400163

G001
 COVER SHEET



NUMERALS FOR ADDRESS ON THE STREET SIDE IN ARABIC NUMERALS NO LESS THAN 5" IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND.

1 EAST ELEVATION
3/16" = 1'-0"

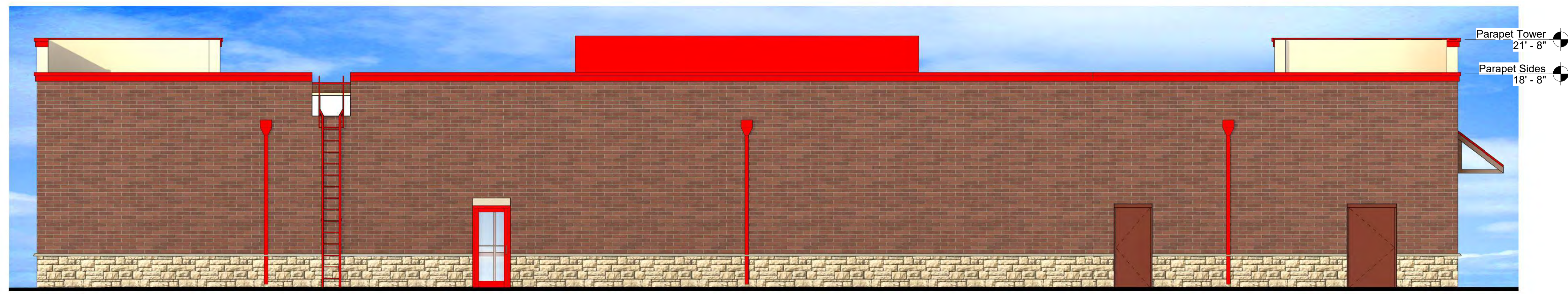


5 BRICK SAMPLE
N.T.S.



6 STONE SAMPLE
N.T.S.

3 NORTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



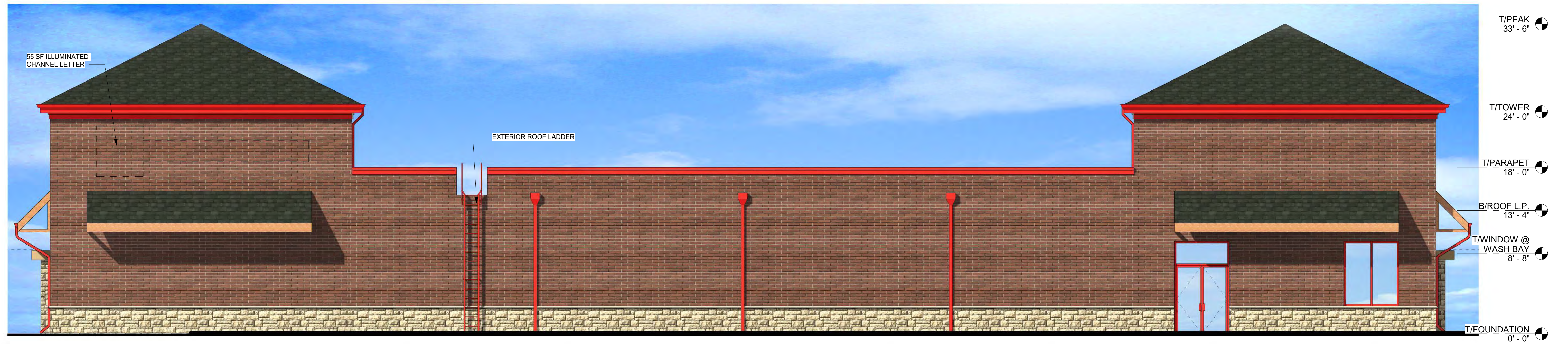
3 NORTH ELEVATION
3/16" = 1'-0"



5 BRICK SAMPLE
N.T.S.



6 STONE SAMPLE
N.T.S.



4 WEST ELEVATION
3/16" = 1'-0"

ISSUE

TO	DATE
CLIENT	05/21/24
ZONING	09/19/24
ZONING	10/16/24

CHECK/CP
DRAWN:MB
JOB:D2300163



1 SITE PLAN
SCALE: 1" = 40'-0"

ZONING INFORMATION			
SITE ZONING (TITLE 17, CH. 6.1)	MUNICIPALITY / JURISDICTION: EXISTING ZONING: B-2 GENERAL COMMERCIAL DISTRICT PROPOSED ZONING: B-2 GENERAL COMMERCIAL DISTRICT		
SITE AREA (TITLE 17, CH. 8 TABLE 8.2)	LOT AREA: FAR RATIO:	ALLOWED 7,500 SF (MIN.) 2.0 (MAX.)	PROPOSED 208,338 SF 0.07
BUILDING HEIGHT (TITLE 17, CH. 8 TABLE 8.2)	C-STORE: CAR WASH: DUMPSTER ENCLOSURE: STORAGE BUILDING:	ALLOWED 35'-0" 35'-0" 33'-6" 33'-6"	PROPOSED 21'-8" 33'-6" 6'-9" 11'-6"
YARD/BUILDING SETBACKS (TITLE 17, CH. 8 TABLE 8.2)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 35'-0" 35'-0" 10'-0" 20'-0"	PROPOSED 16'-0" 88'-10" 101'-9" 43'-5"
PARKING LANDSCAPE SETBACKS (TITLE 17, CH. 14)	FRONT YARD: CORNER SIDE YARD: SIDE YARD: REAR YARD:	REQUIRED 50'-0" 50'-0" 5'-0" 5'-0"	PROPOSED 9'-0" 35'-11" 1'-9" 0'-6"
PARKING / STACKING (TITLE 17, CH. 13)	LOADING SPACE: PARKING SPACE SIZE: DRIVE THRU STACKING: C-STORE: 8,066 S.F. 2 SPACES PER 1,000 SF: CAR WASH: TOTAL PARKING:	REQUIRED 1 REQUIRED 12'-0" X 50'-0" 3 MIN. 18 1	PROPOSED - 9'-0" x 19'-0" 10'-0" x 19'-0" 14 55 16 71 SPACES PROVIDED

- SITE EXCEPTION/VARIANCE REQUESTS**
- REQUESTING A VARIANCE FOR A REDUCTION OF THE FRONT YARD PARKING LANDSCAPE SETBACK TO 9'-0" FROM THE REQUIRED 50'-0" LANDSCAPE BUFFER REQUIRED ALONG IL ROUTE 31.
 - REQUESTING A VARIANCE FOR A REDUCTION OF THE CORNER SIDE YARD PARKING LANDSCAPE SETBACK TO 35'-11" FROM THE REQUIRED 50'-0" LANDSCAPE BUFFER REQUIRED ALONG AIRPORT ROAD.
 - REQUESTING A VARIANCE FOR A REDUCTION OF THE REAR YARD PARKING LANDSCAPE SETBACK TO 6" FROM THE REQUIRED 5'-0"
 - REQUESTING A VARIANCE FOR A REDUCTION OF THE FRONT YARD BUILDING SETBACK TO 16'-0" FROM THE REQUIRED 35'-0" BUILDING SETBACK ALONG IL ROUTE 31.
- NOTE: CAR WASH VACUUM PARKING AREA WILL NOT NEED TO COMPLY WITH PARKING LOT ISLAND REQUIREMENTS.

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 SWC IL 31 & AIRPORT ROAD
 NORTH AURORA, IL 60542
GAS N WASH

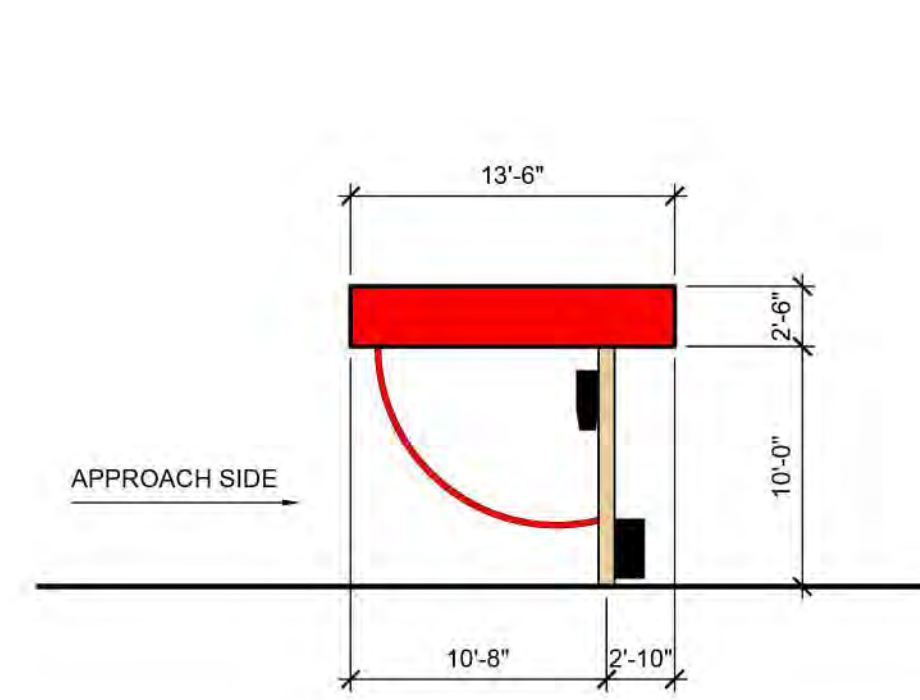
GAS N WASH

CHECK:CP
 DRAWN:KV
 JOB:D2400163

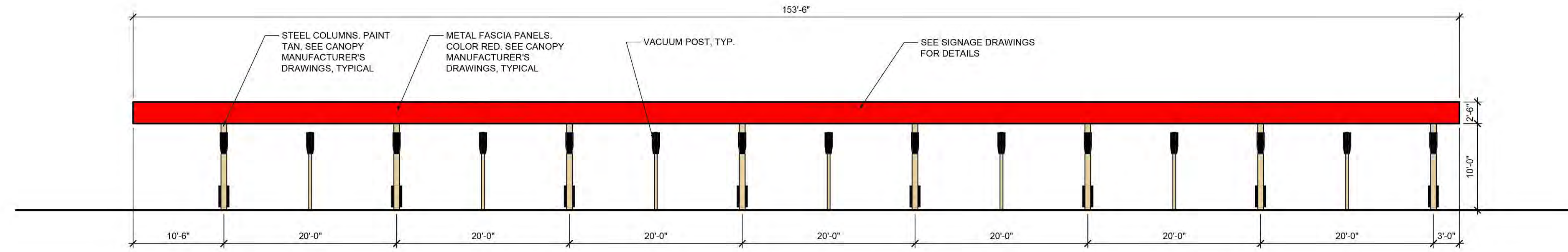
A001
 SITE PLAN

CANOPY GENERAL NOTES

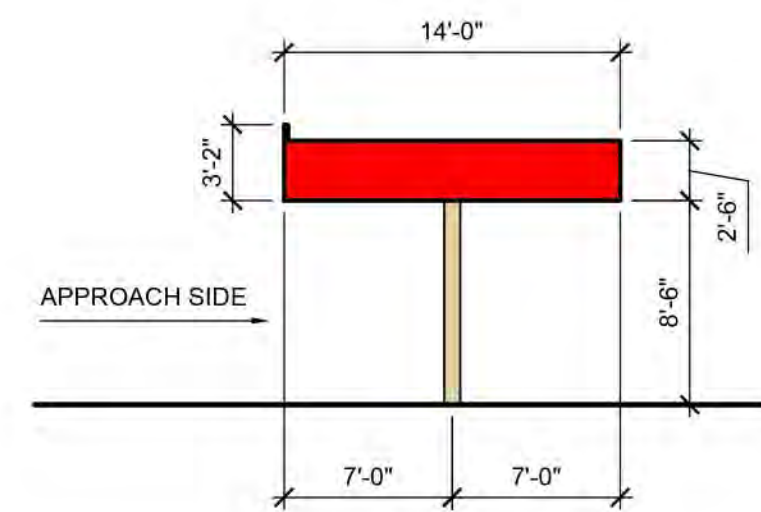
THESE DRAWINGS ARE DESIGN INTENT ONLY, SEE CANOPY MANUFACTURER DRAWINGS FOR DETAILS



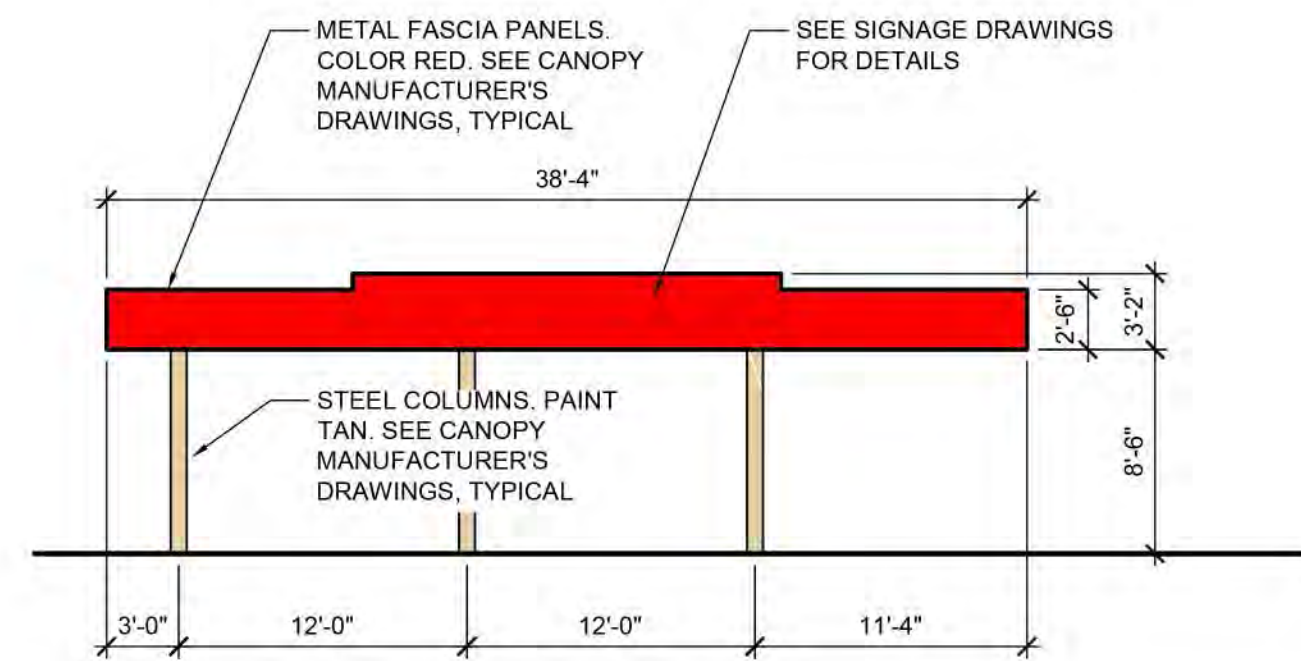
1 VACUUM CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



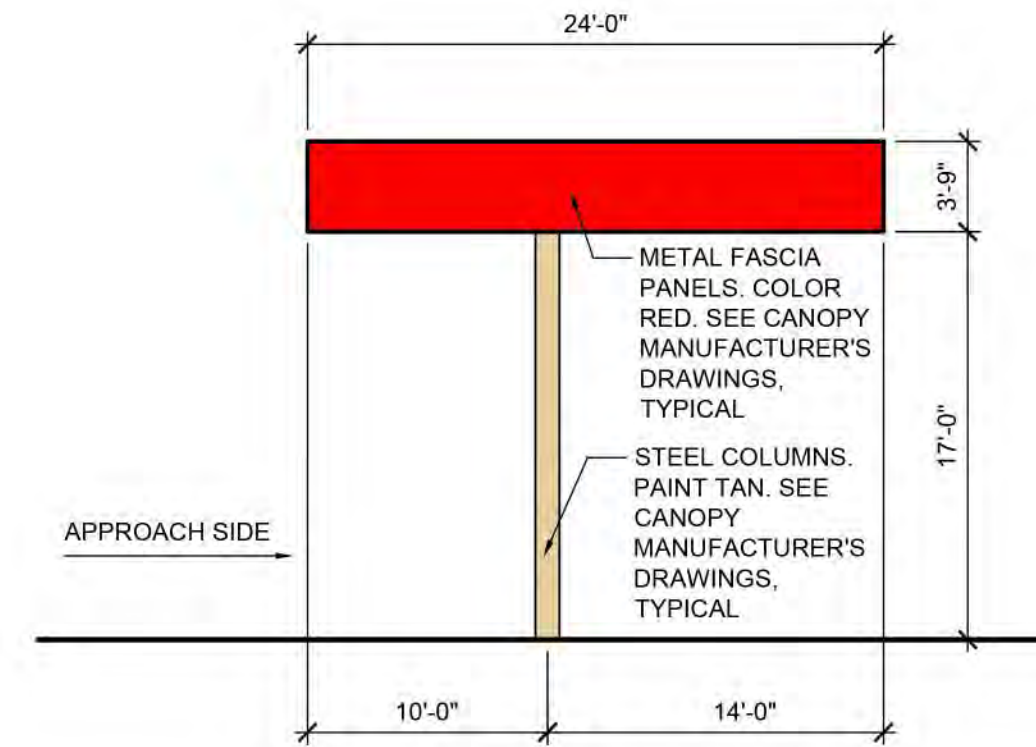
2 VACUUM CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



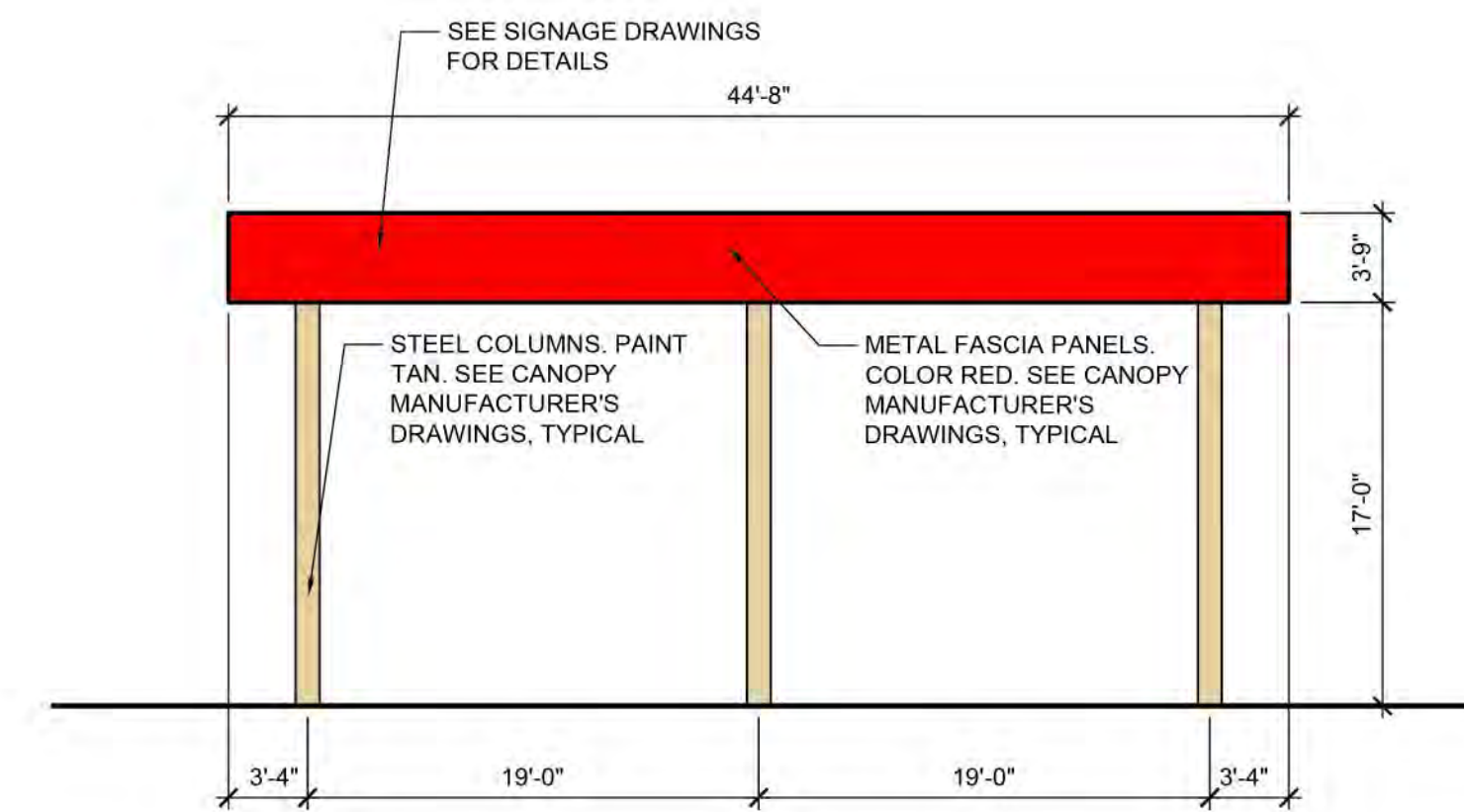
3 PAY STATION SIDE ELEVATION
SCALE: 1/8" = 1'-0"



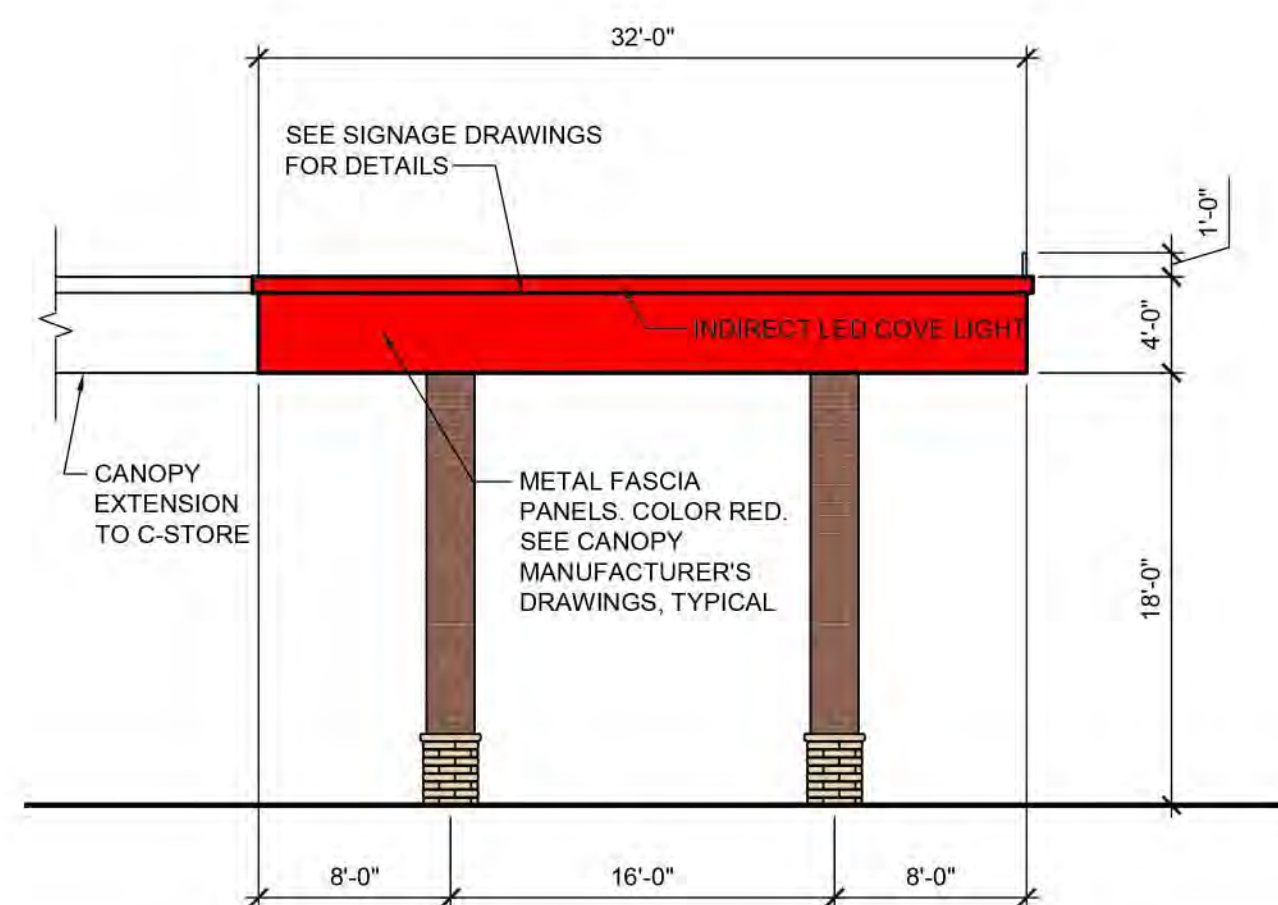
4 PAY CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



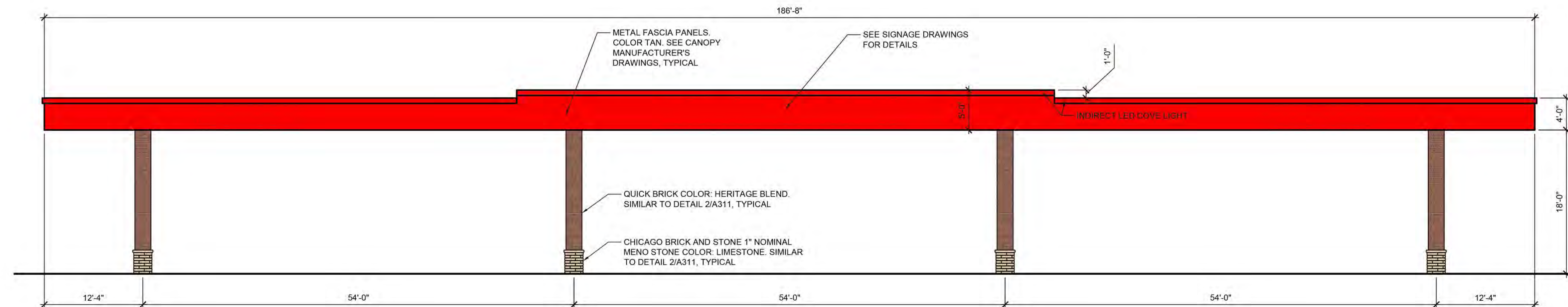
5 DIESEL CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



6 DIESEL CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



7 AUTO CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"



8 AUTO CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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GAS N WASH

RETAIL PETROLEUM FACILITY
NWC IL 31 & INTERSTATE 88
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GAS N WASH

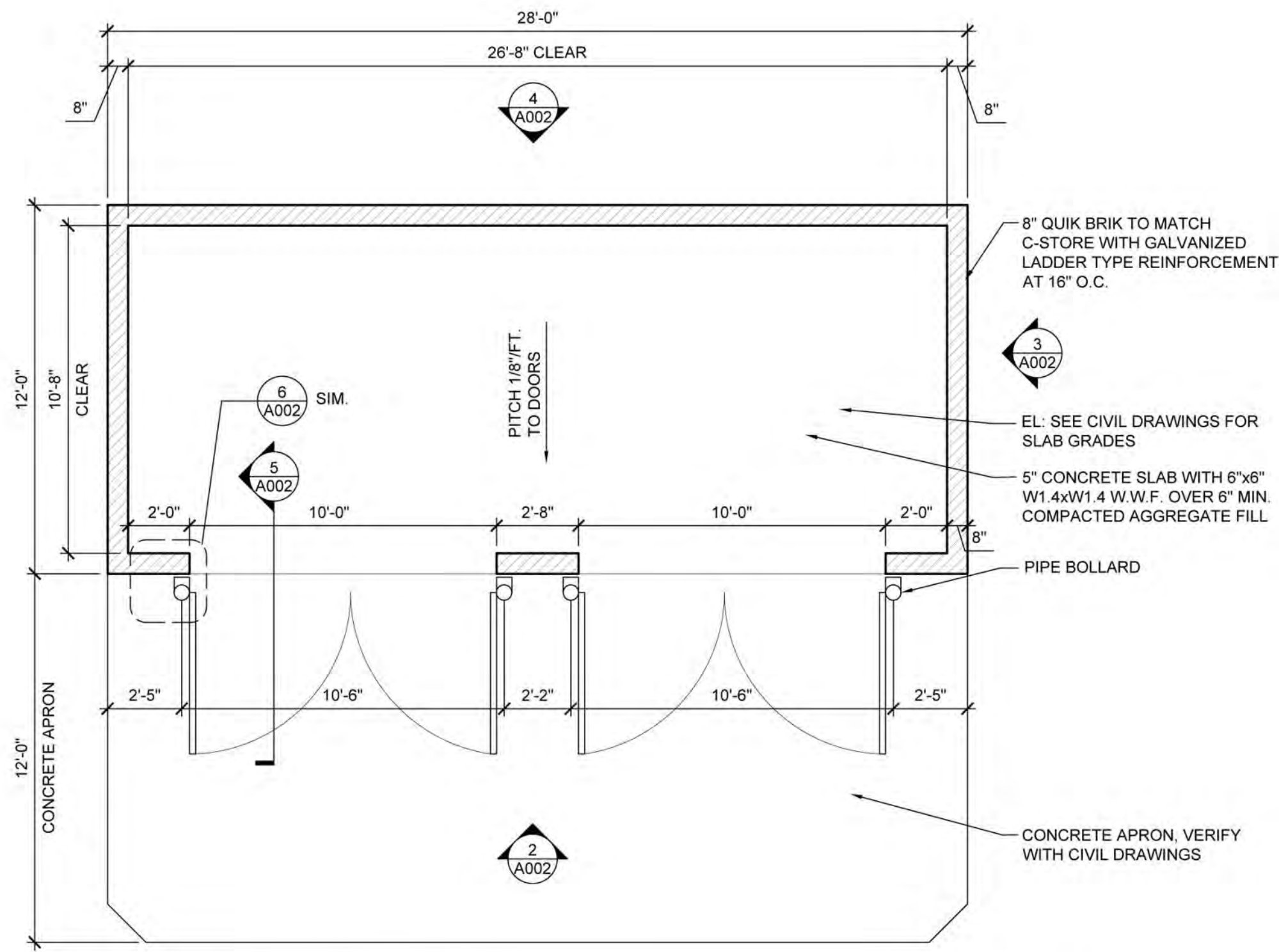
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ISSUE

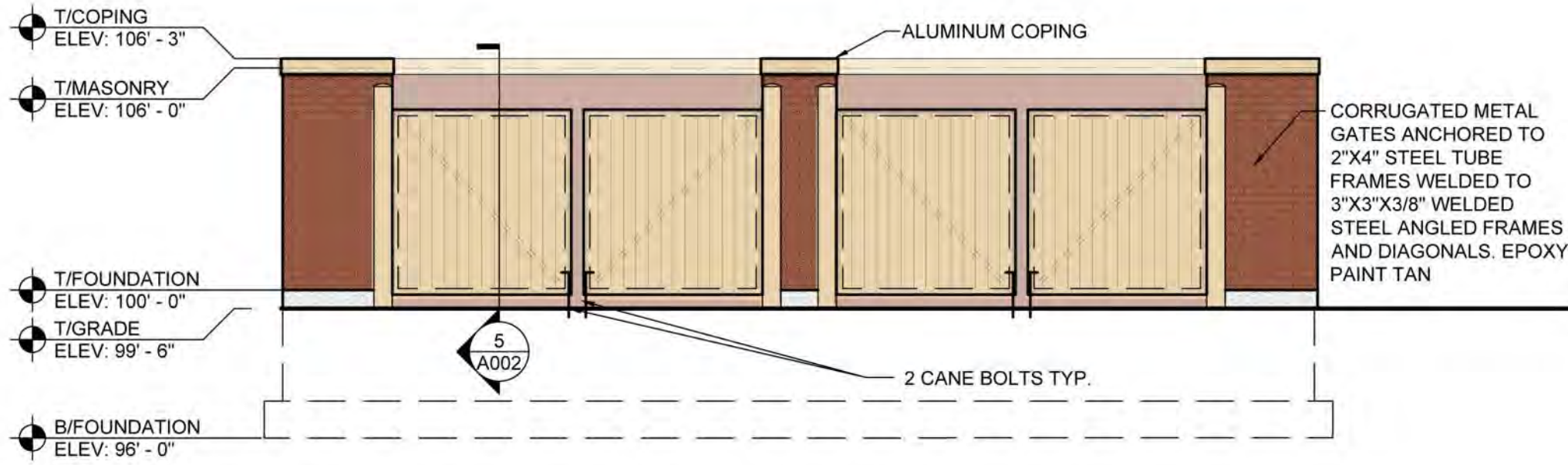
TO	DATE
CLIENT	5/21/24
ZONING	9/19/2024
ZONING	10/16/24

CHECK: CP
DRAWN: KV
JOB: D2400163

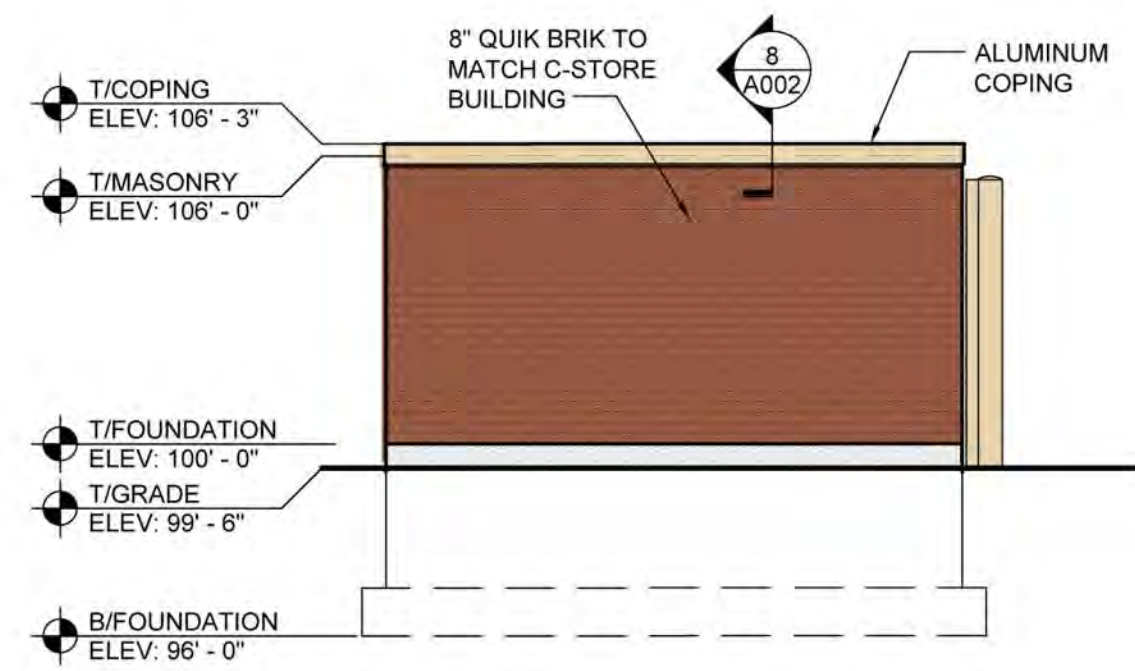
A006
CANOPY ELEVATIONS



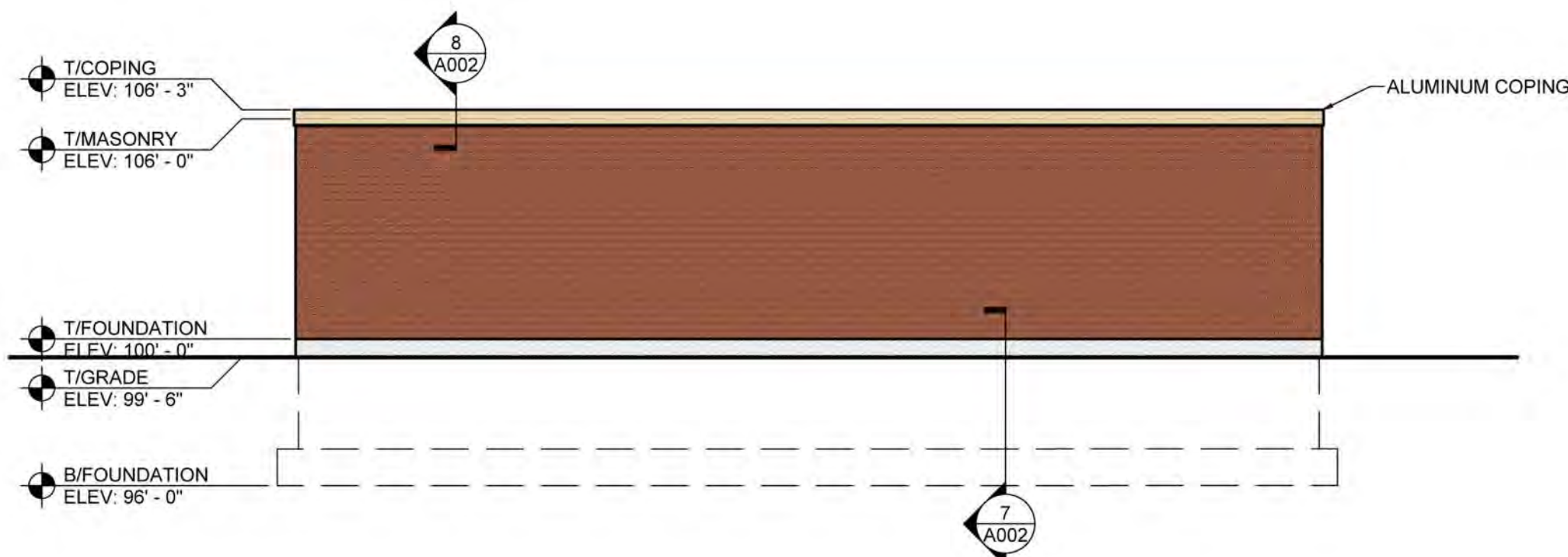
1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



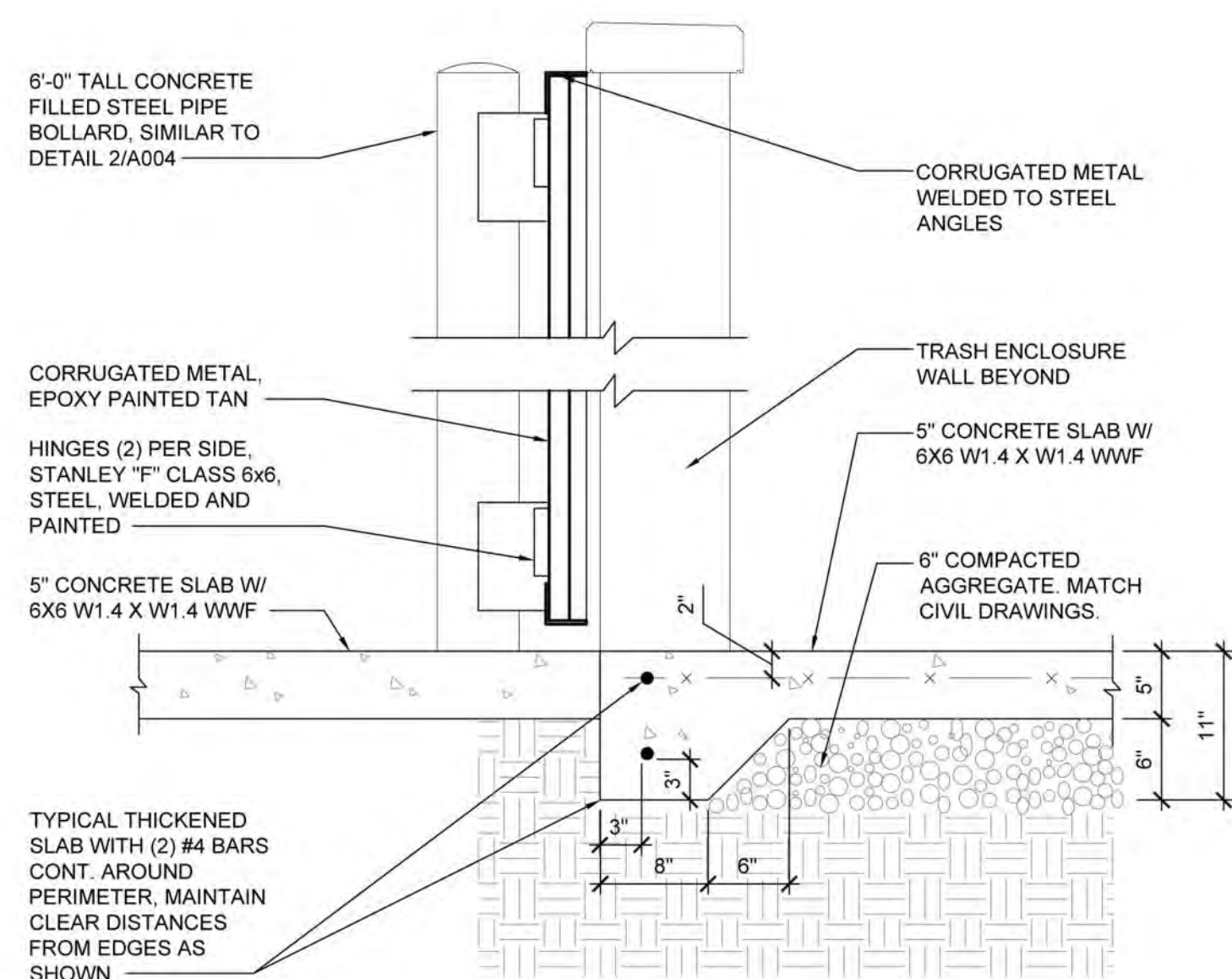
2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



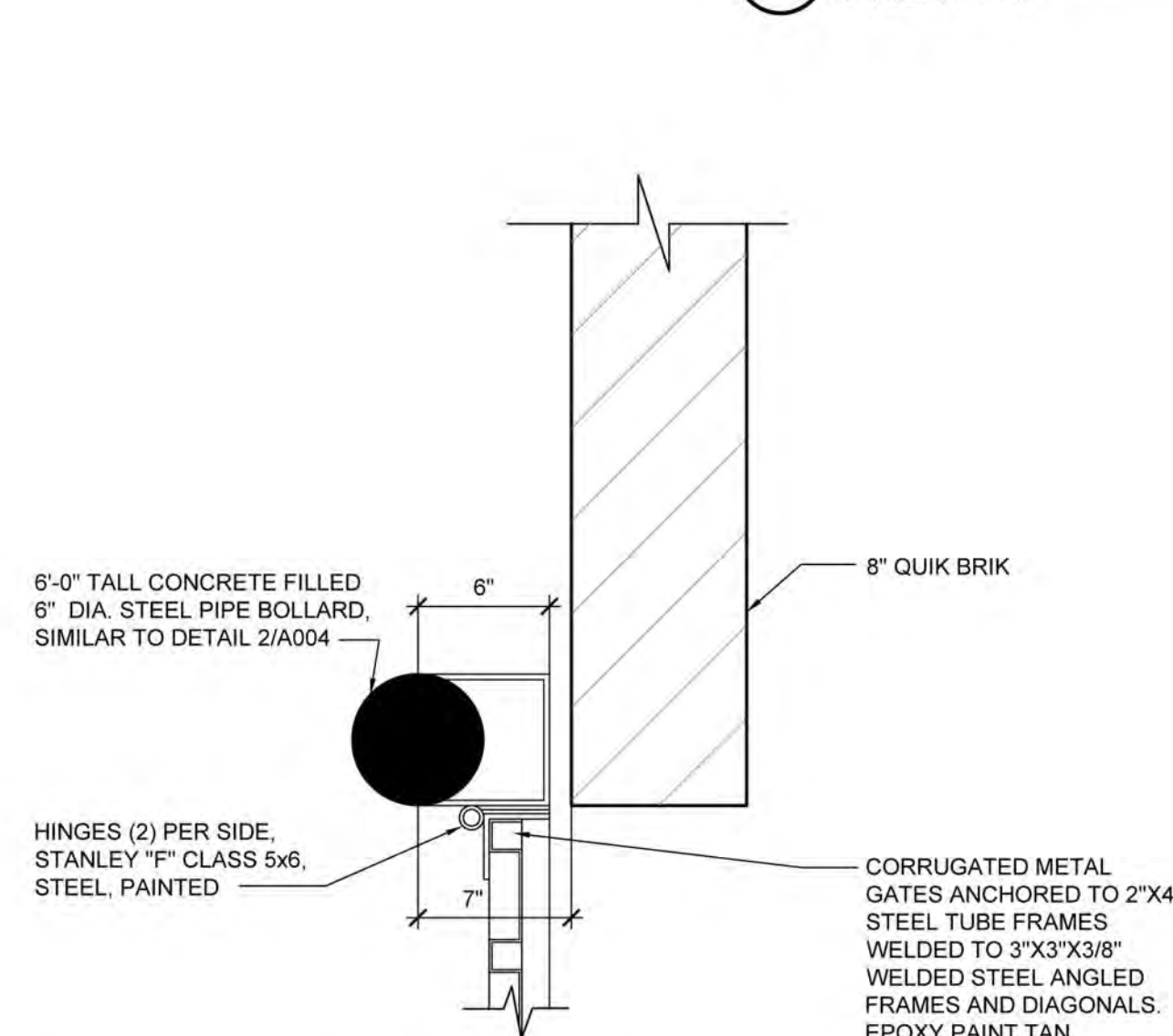
3 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



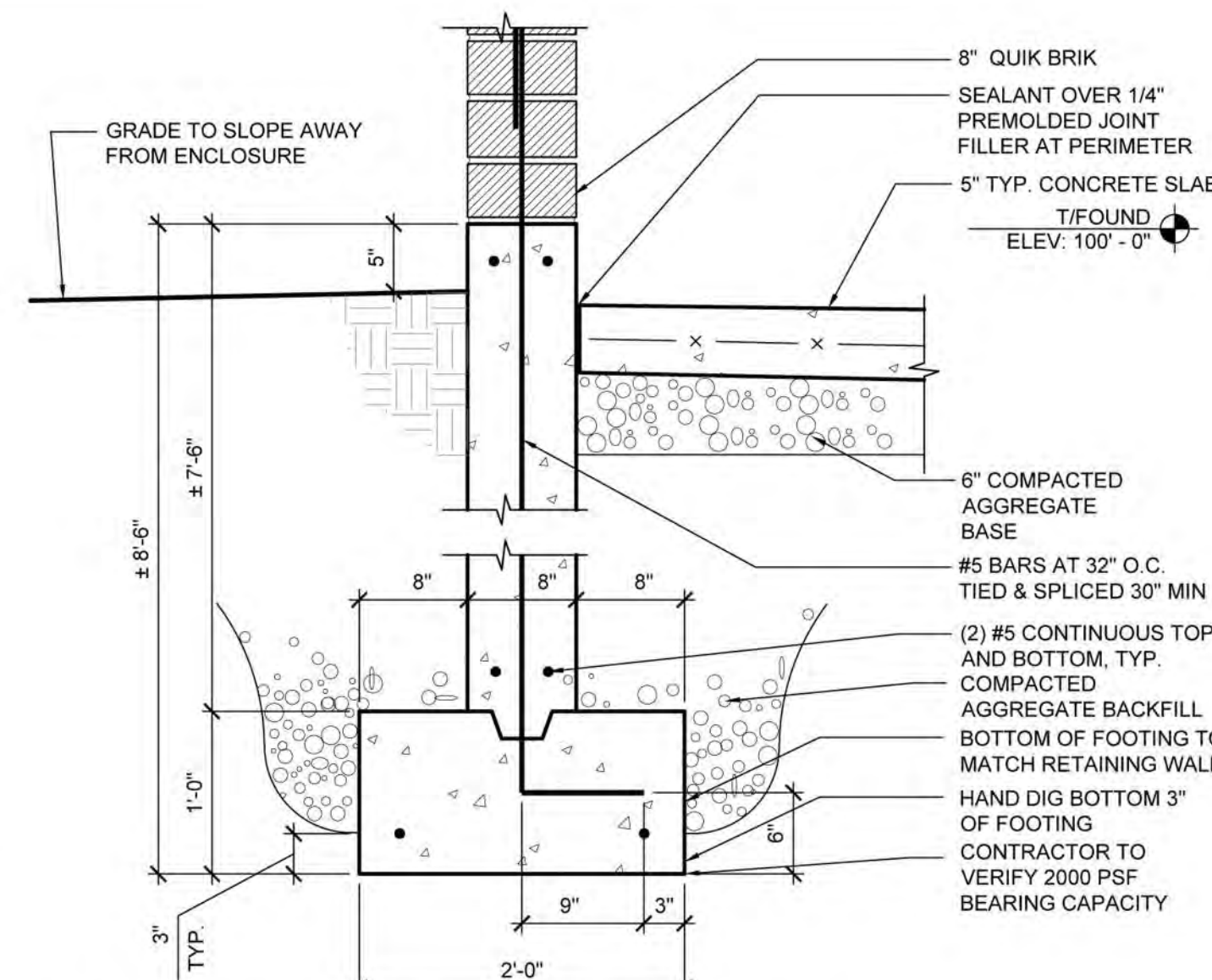
4 TRASH ENCLOSURE REAR ELEVATION
SCALE: 1/4" = 1'-0"



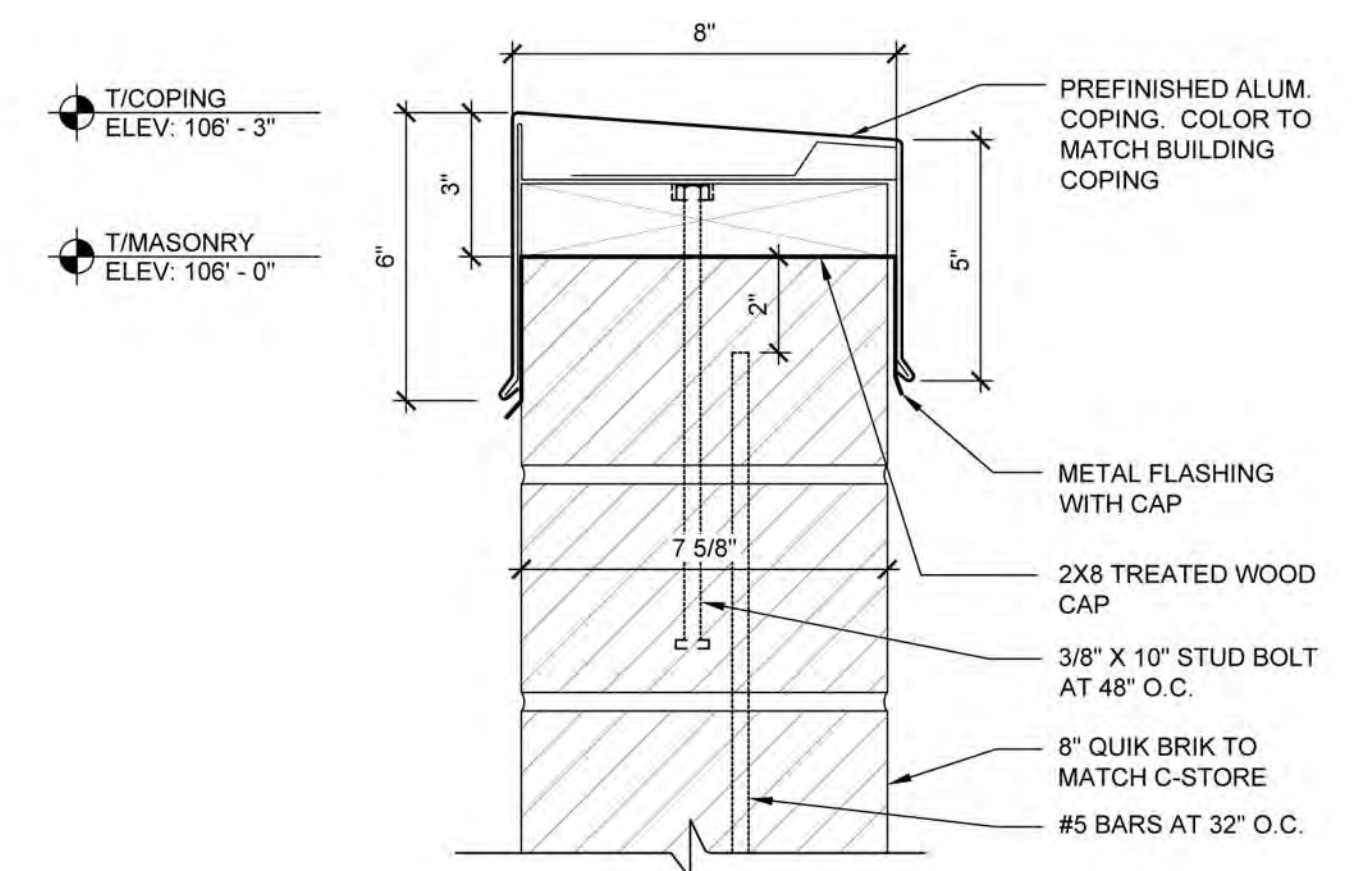
5 ENCLOSURE SLAB DETAIL
SCALE: 1" = 1'-0"



6 ENCLOSURE CORNER DETAIL
SCALE: 1 1/2" = 1'-0"



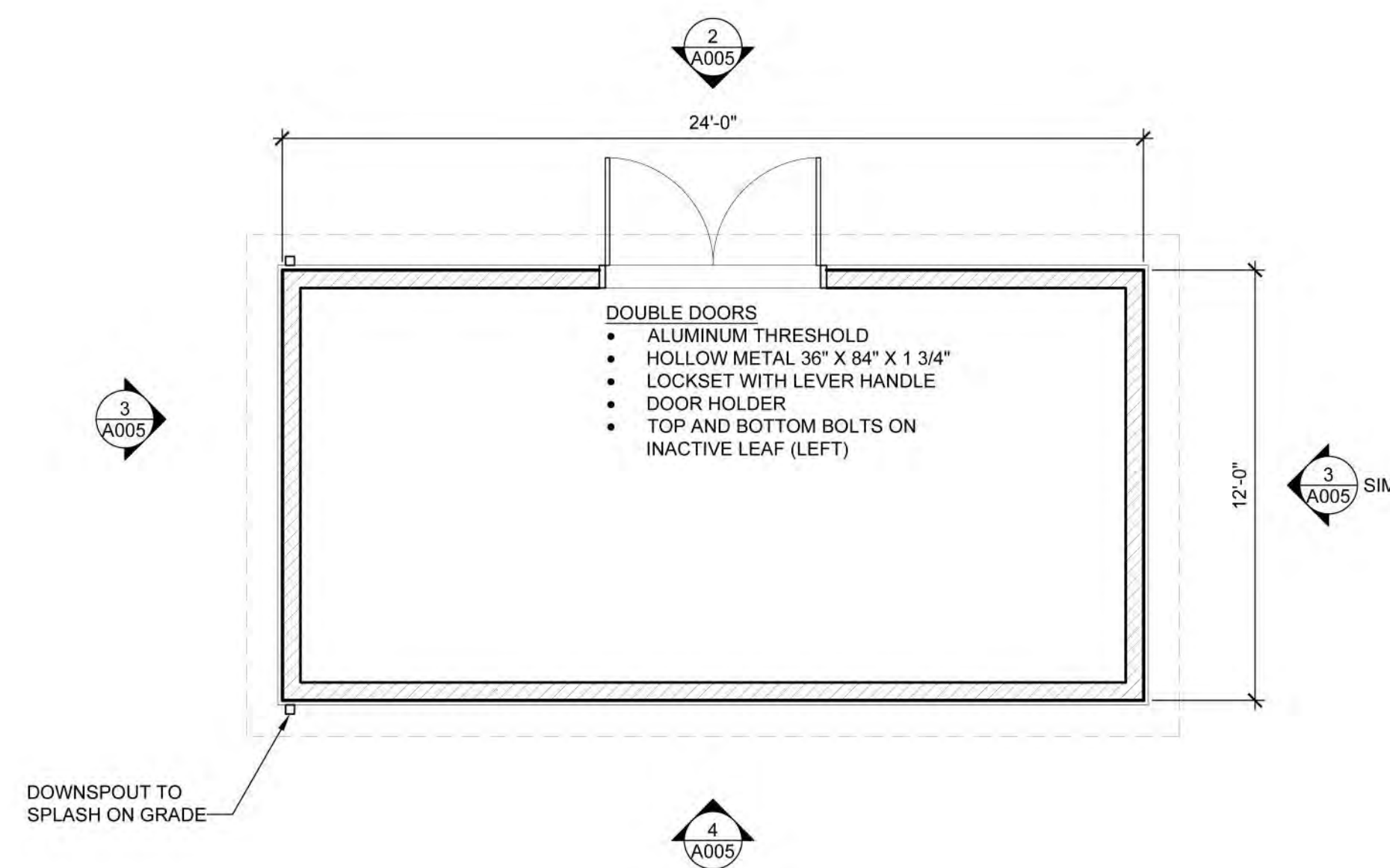
7 ENCLOSURE FOUNDATION DETAIL
SCALE: 1" = 1'-0"



8 ENCLOSURE COPING DETAIL
SCALE: 3" = 1'-0"

ISSUE

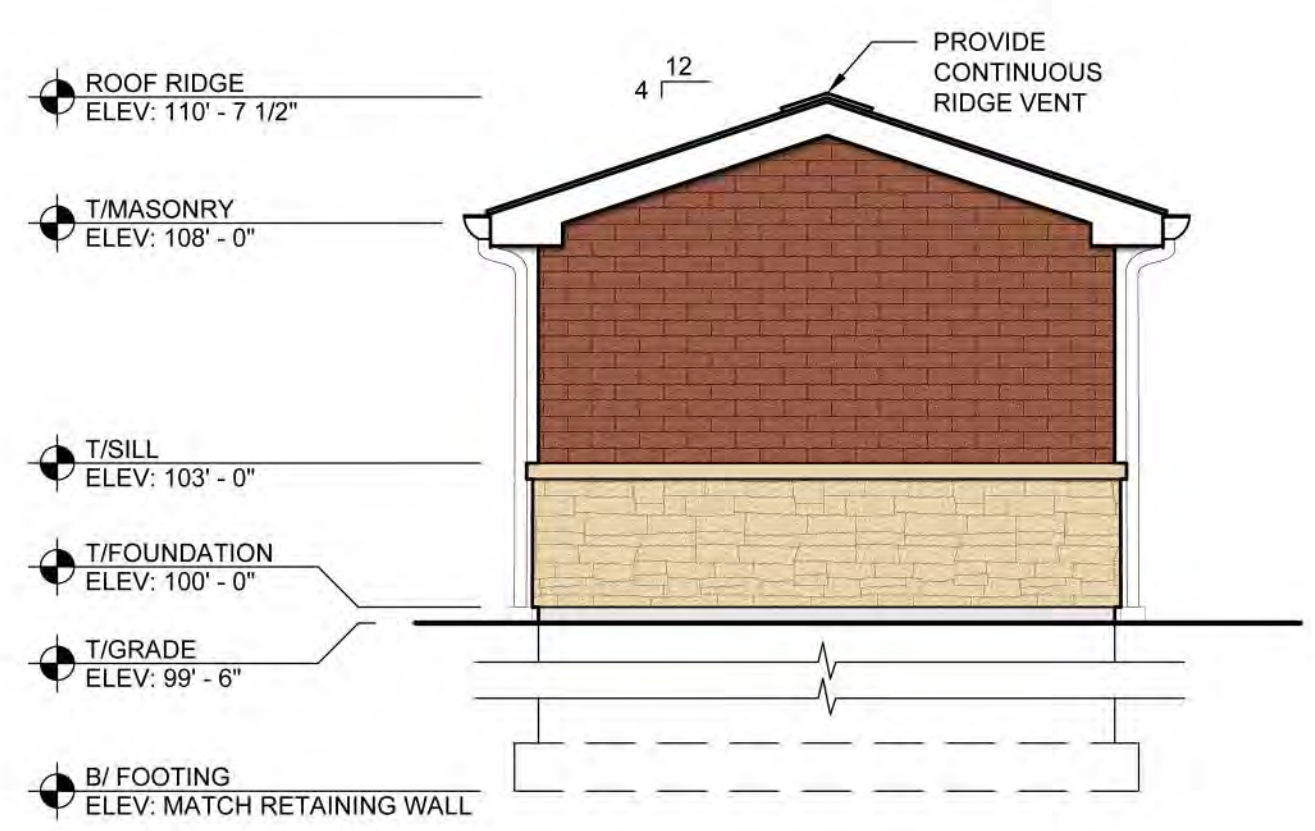
TO	DATE
CLIENT	5/21/24
ZONING	9/19/24
ZONING	10/16/24



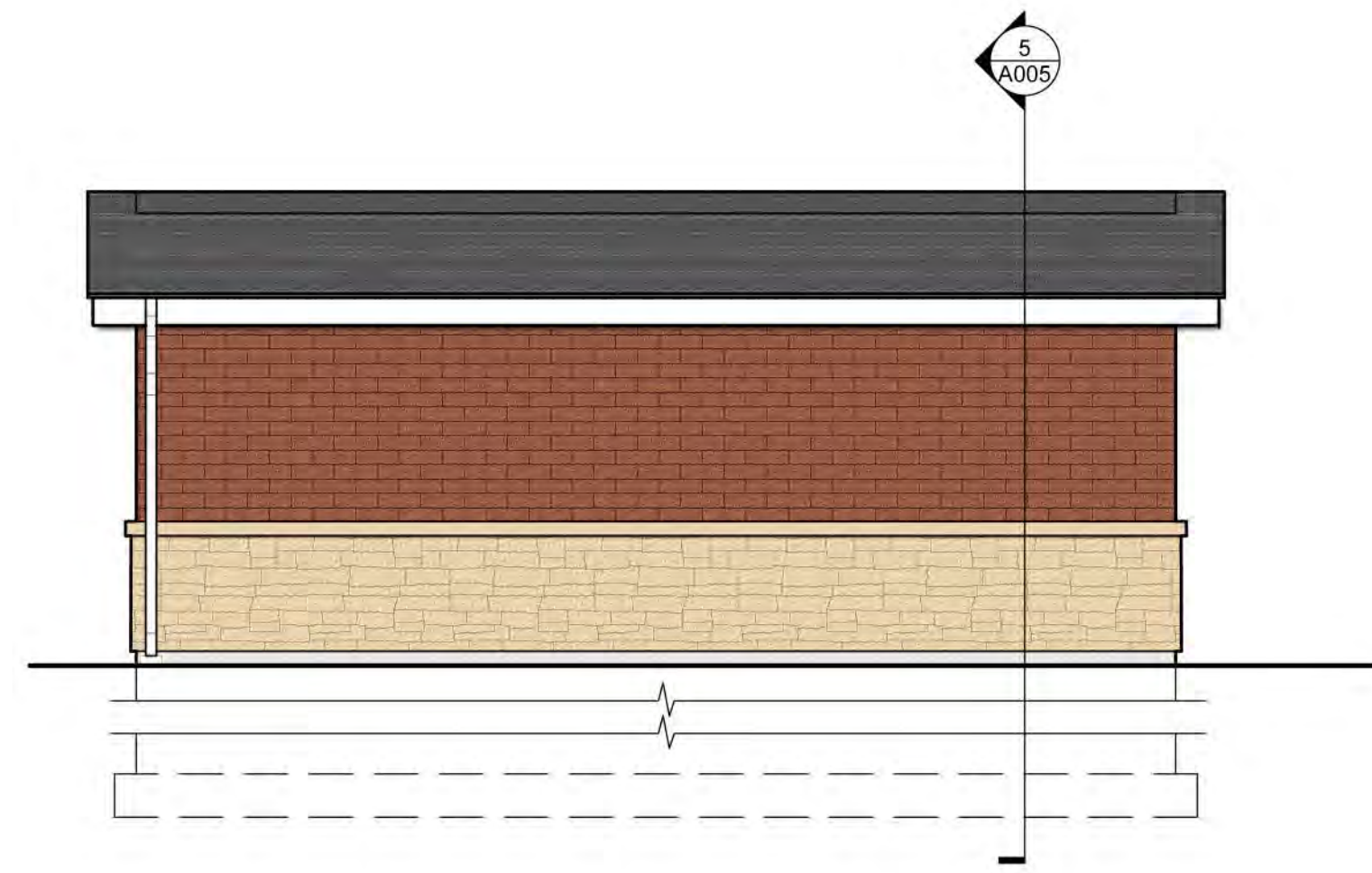
1 COMPRESSOR ROOM PLAN
SCALE: 1/4" = 1'-0"



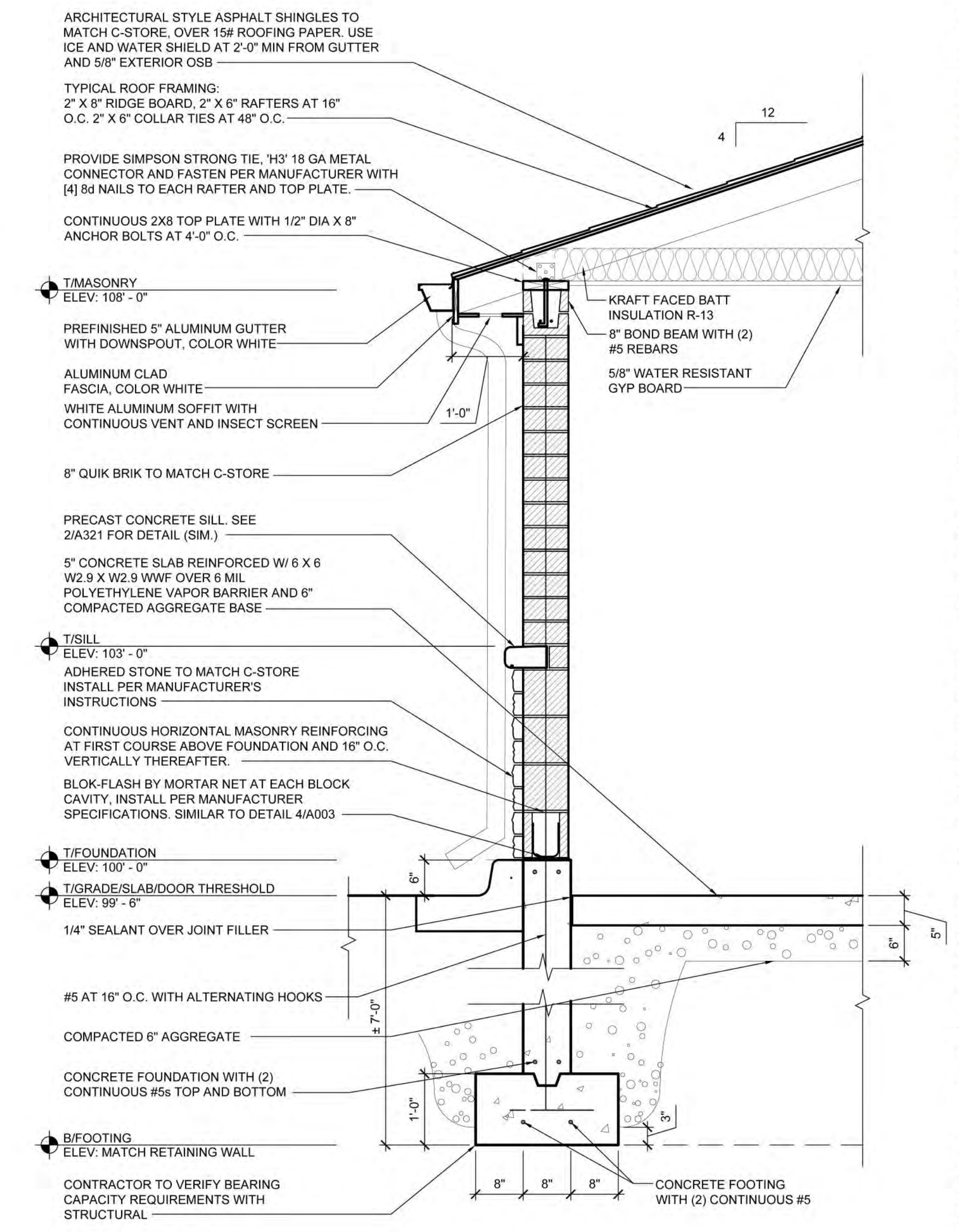
2 COMPRESSOR ROOM NORTH ELEVATION
SCALE: 2"



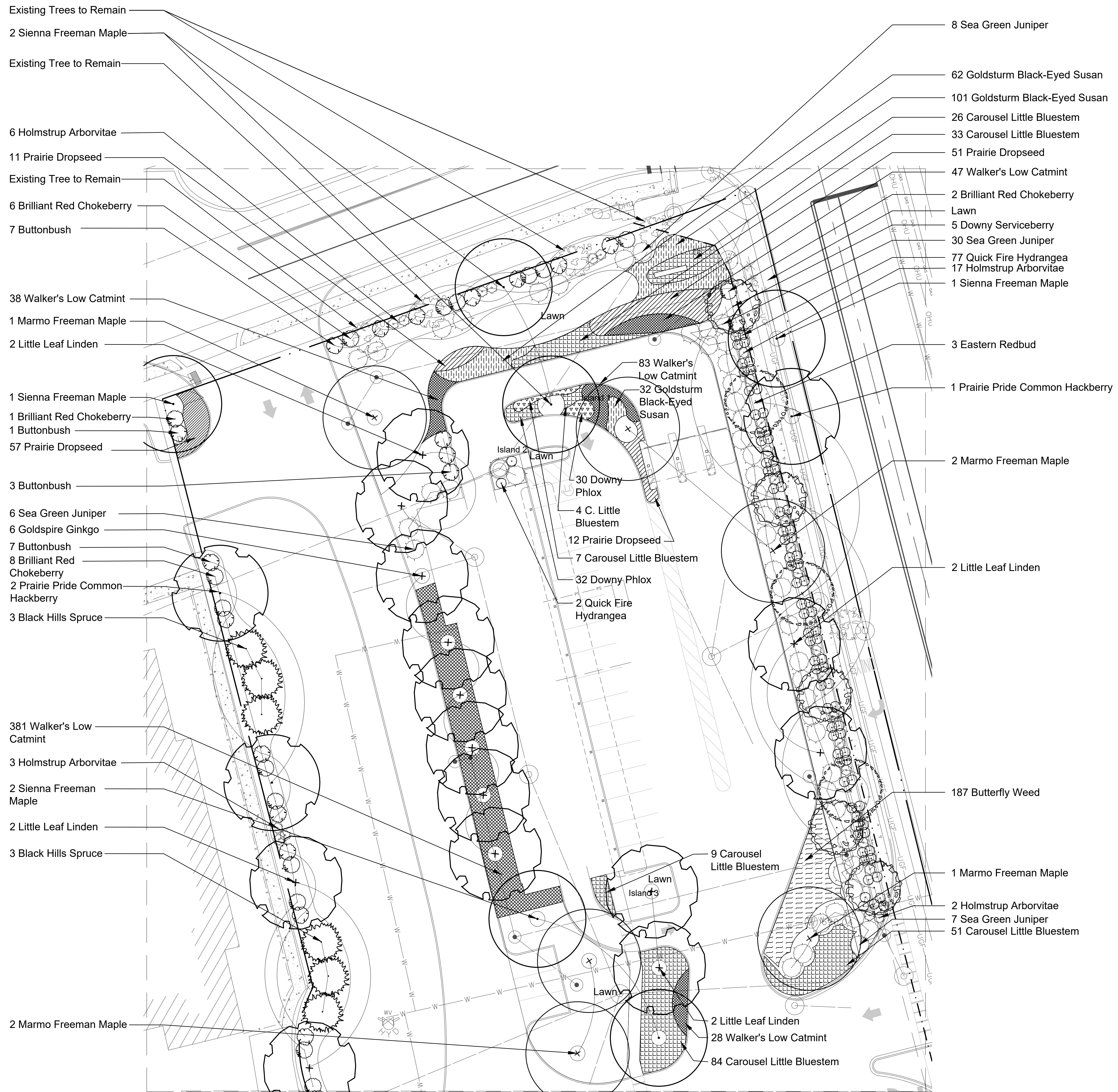
3 COMPRESSOR ROOM WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 COMPRESSOR ROOM SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 COMPRESSOR ROOM WALL SECTION
SCALE: 3/4" = 1'-0"



GENERAL NOTES: LANDSCAPE

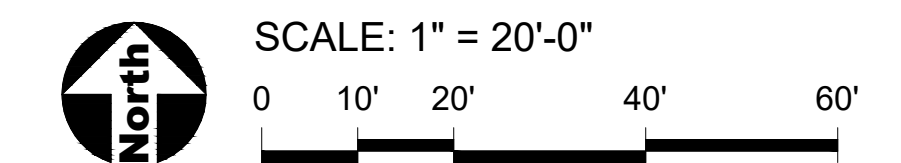
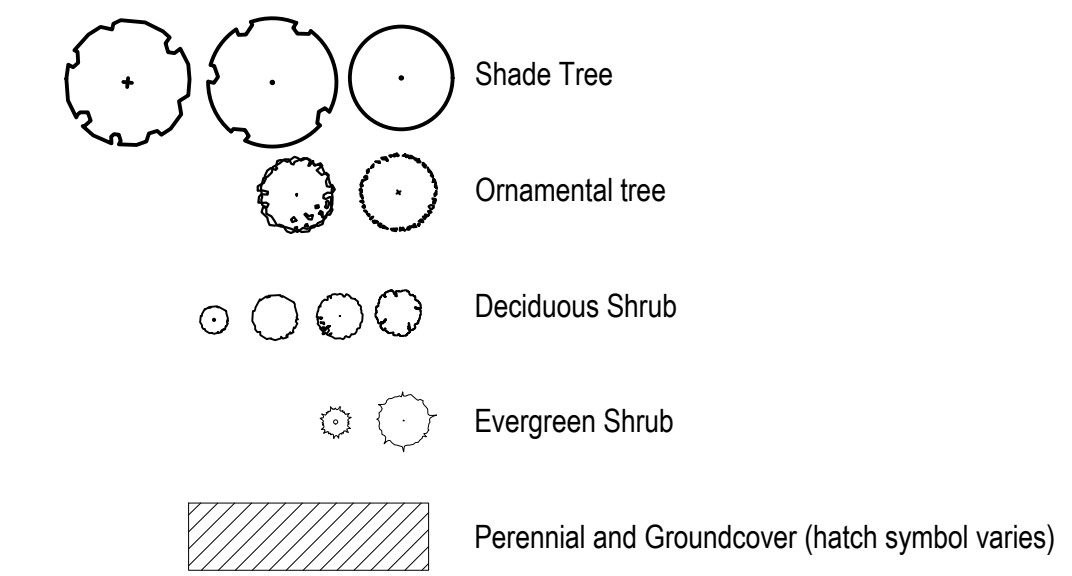
- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (6" diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds. Do not add compost nor roto-fill within drip line of existing trees.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification. All irrigation shall be installed and functioning prior to seeding.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Contractor shall restore all areas disturbed as a result of construction.
- Landscape contractor to coordinate all work with irrigation work.
- Pre-emergent shall be provided in all landscape beds shall be provided.

Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542

PROJECT
Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542



LEGEND

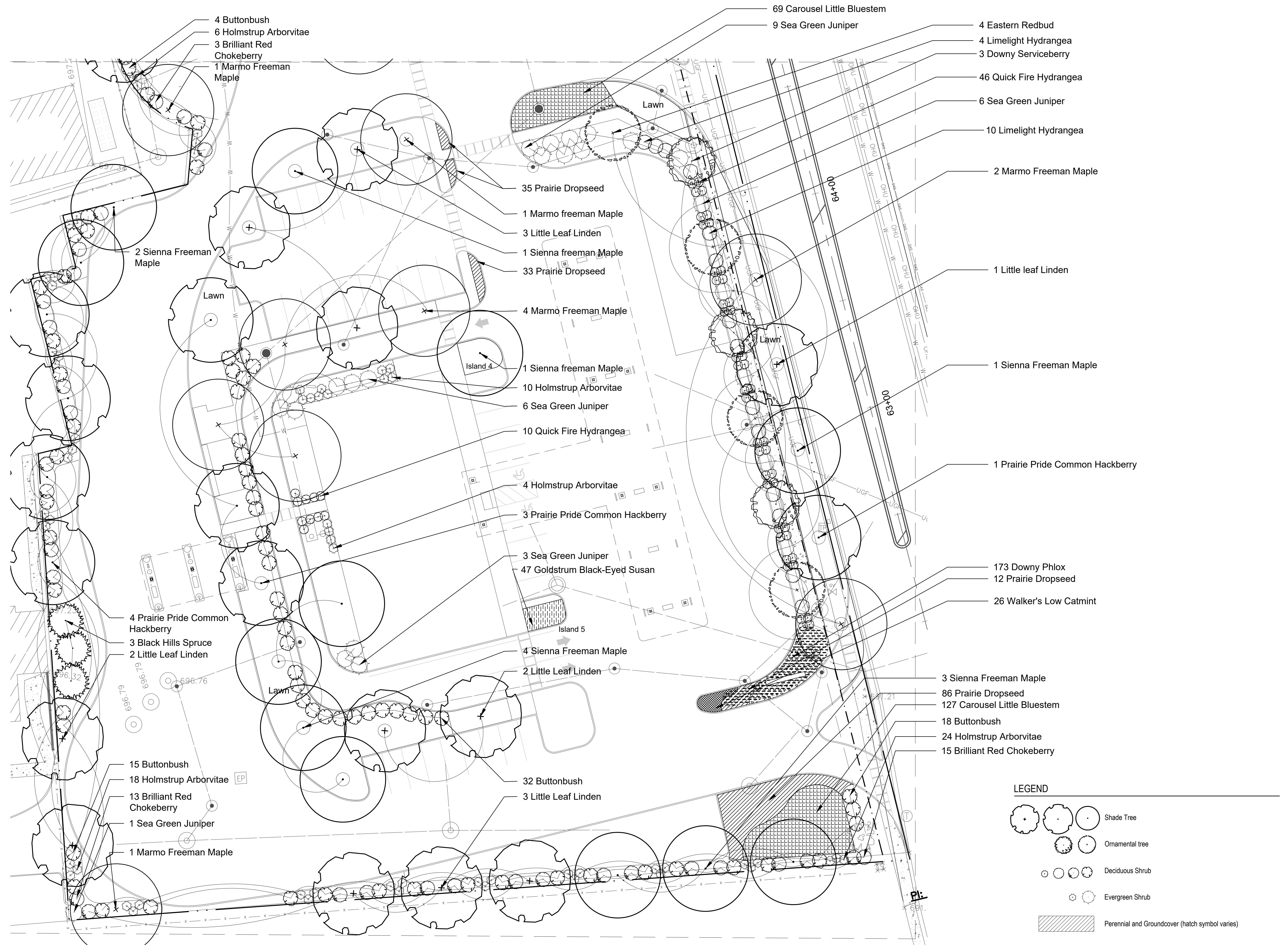


SHEET TITLE
Landscape Plan - North

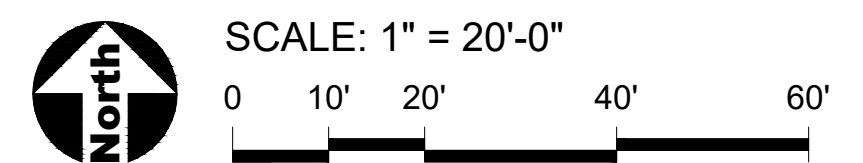
SHEET NUMBER L1.0

DRAW / REVISION

AJ/JSC	Permit Submittal	03SEPT2022
AJ/MO	Permit Submittal	16OCT2024



- LEGEND**
- Shade Tree
 - Ornamental tree
 - Deciduous Shrub
 - Evergreen Shrub
 - Perennial and Groundcover (hatch symbol varies)



Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542

PROJECT
Gas N Wash
 NWC of IL Route 31 & I-88
 North Aurora, Illinois 60542

uplandDesign Ltd
 Park Planning and Landscape Architecture
 24042 Lockport St, Plainfield, Illinois 60544
 815-254-0091 www.uplanddesign.com

SHEET TITLE
Landscape Plan - South

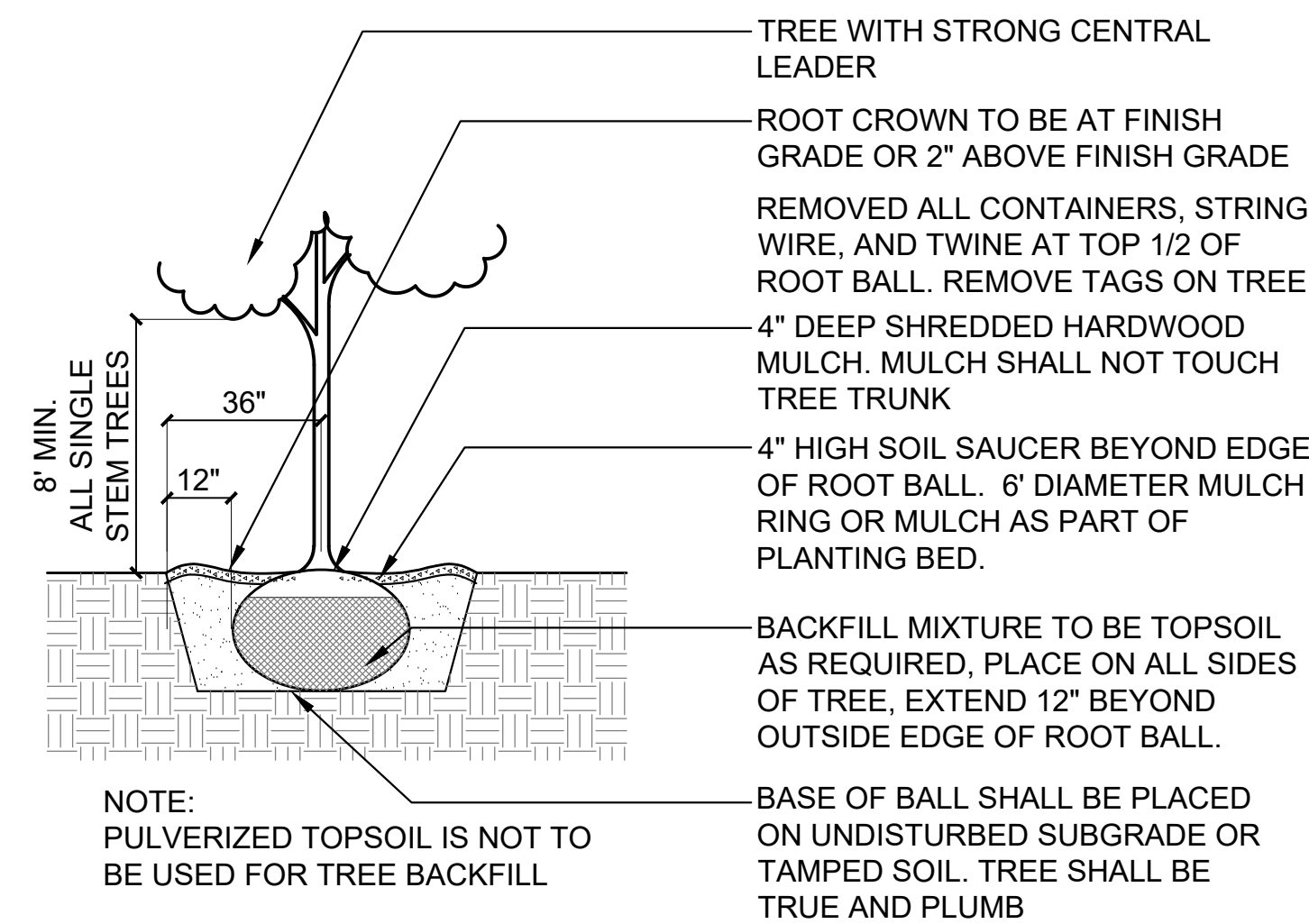
SHEET NUMBER L1.2

DRAW / REVISION

AJ/SC	Permit Submittal	03SEPT2024
AJ/MO	Permit Submittal	16OCT2024

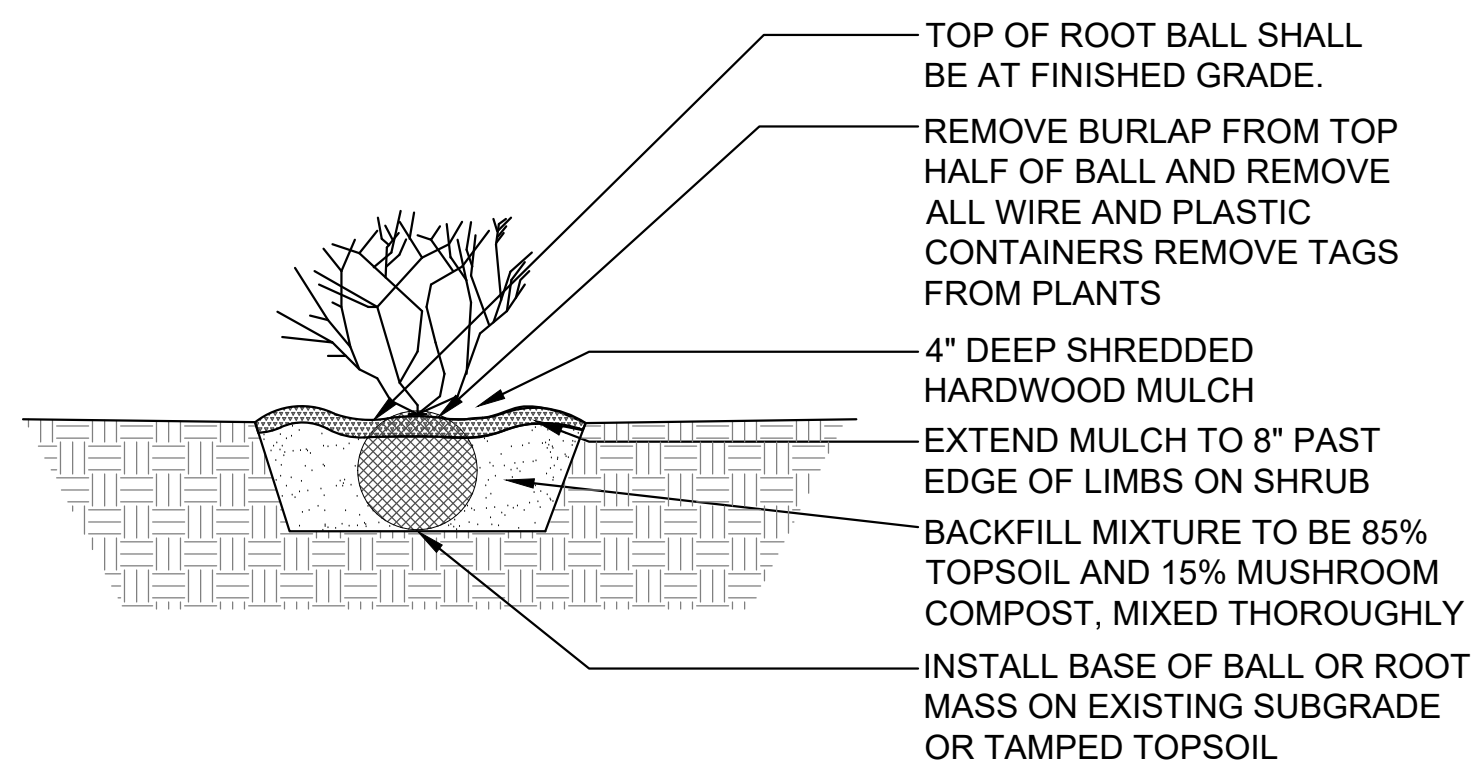
Project Number 1320
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 W:\1320-Gas N Wash North Aurora-Len\30-CD-files
 PLOT: UPLAND-2024

DETAILS



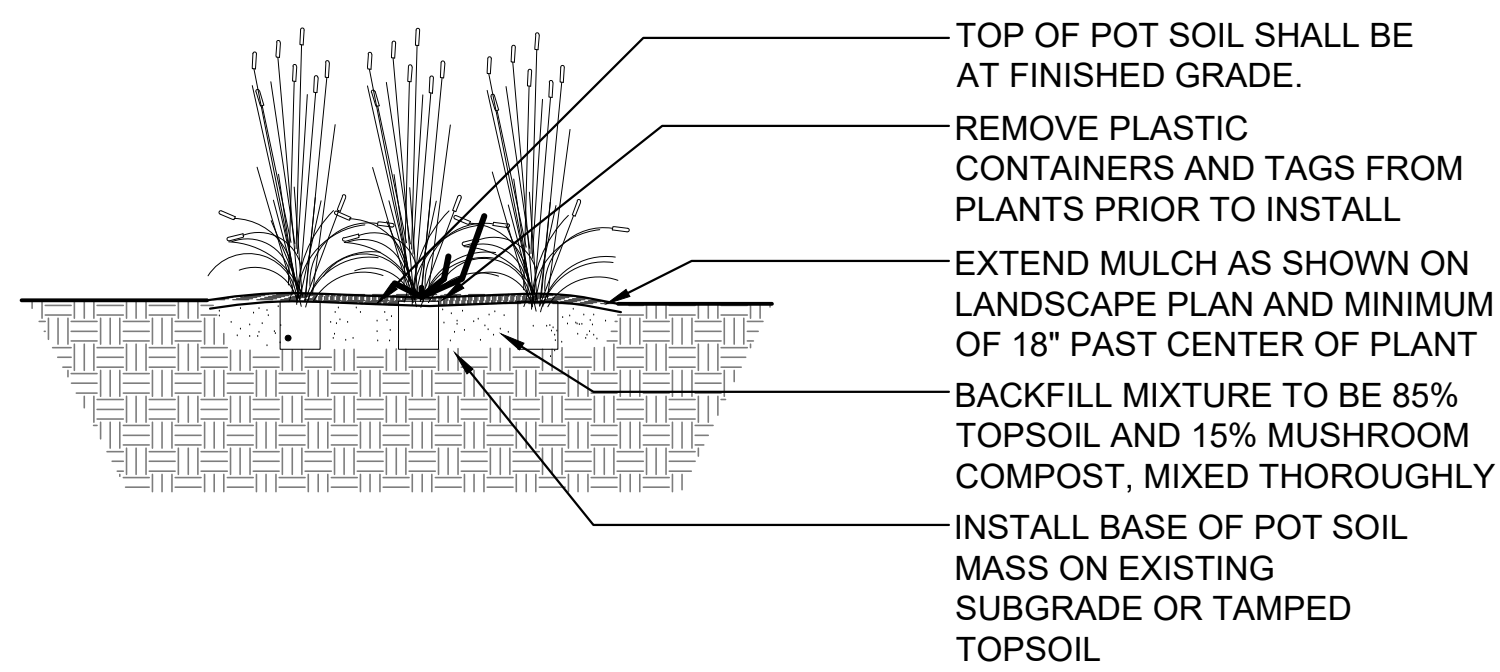
1 Tree Installation

SCALE: N.T.S. d-plant-tree_12



2 Shrub Installation

SCALE: N.T.S. d-plant-shrub_12



3 Perennial & Ornamental Grass Installation

SCALE: 1" = 1'-0" d-perennials

REQUIREMENTS CHART

North Aurora, Illinois				
14.4 Design standards				
Location	Requirement	Calculation	Proposed Trees	Proposed Shrubs
Buildings	Softening of Walls and Fences. Plant material shall be placed against long expanses of building walls, fences and other barriers to create a softening effect and to help break up long expanses of blank walls with little architectural detail. Energy Conservation. Plant material placement should be designed to reduce the consumption of energy by the development. Deciduous trees should be placed on the south and west sides of buildings to provide shade from the summer sun. Evergreens and other plant materials should be concentrated on the north and west sides of buildings to dissipate the effect of winter winds.	North Building: 180LF of Wall South Building: 164.03 LF of wall	North Building: 7 Trees South Building: 2 Trees	North Building: 4 Shrubs South Building: 33
14.5 - On-lot landscaping				
Location	Requirement	Calculation	Proposed Trees	Existing Shade Trees
Entire Site 5F	Shade trees shall be provided for office and commercial developments at a minimum of one tree per five hundred square feet of total lot area minus the area of the building.	186294 5F / 500 5F = 372.59 Trees	69 shade trees proposed due to limited space	5
14.6 - Parkway landscaping				
Location	Requirement	Calculation	Proposed Shade Trees	Existing Shade Trees
Parkway	Parkway trees shall be planted at the equivalent of one tree at an average interval of every forty linear feet.	331/40= 8.27 Parkway planting limited by sidewalk and pavement	7	1
14.8 Parking lot perimeter landscape yard				
Location	Requirement	Calculation	Proposed Trees	Proposed Shrubs
Entire Perimeter	New Parking Areas Adjacent to Nonresidential Districts. One shade tree and five shrubs shall be required per forty (40) feet of perimeter length. Twenty (20) percent of the total length of perimeter plant material shall be evergreen.	(2143.7/40)*1 Trees= 53.6 (2143.7/40)*5 Shrubs= 267.9 2143.7*.20= 428.74 LF of Evergreens	Shade Trees: 26 Evergreen Trees: 9	Deciduous Shrubs: 237 Evergreen Shrubs: 137
Perimeter Landscaping Yard	Perimeter landscaping is required for all portions of parking lots that abut the street. A perimeter landscape yard shall be a minimum of five feet in width and shall require six-inch curbing. A landscape treatment shall run the full length of the perimeter landscape yard. One tree shall be planted every forty (40) linear feet of yard length. Trees may be clustered based on specific site requirements, as approved by the Community Development Director. Shrubs and/or Pedestrian Walls and Berms. For every three feet of perimeter yard length, one shrub, measuring a minimum of two feet at planting and reaching a minimum of four feet in height at maturity, Groundcover. Landscaped areas outside of shrub and tree masses shall be planted in turf or other live groundcover.	Southeast PLY: (332.3/40)*1= 8.3 Trees (332.3/3)*1= 110.7 Shrubs South and West PLY: (1075.7/40)*1= 26.9 Trees (1075.7/3)*1= 358.5 Shrubs Northeast PLY: (449/40)*1= 11.2 Trees (449/3)*1= 149.6 Shrubs	Southeast PLY: 12 Trees South and West PLY: 30 Trees Northeast PLY: 16 Trees	Southeast PLY: 111 Shrubs required, 75 proposed based on space South and West PLY: 359 Shrubs required, 137 proposed due to space Northeast PLY: 150 Shrubs required, 160 proposed
14.9 - Interior parking lot landscaping design guidelines				
Location	Requirement	Calculation	Proposed Shade Trees	Proposed Landscaped Area
Interior Parking Lot	A minimum of one shade tree should be provided for every parking lot island. If the island extends the width of a double row, then two shade trees should be provided. A minimum of seventy-five (75) percent of every parking lot island or landscaped area should be planted with shrubs, turf or other live groundcover.	Island 1 = 2 Trees 821*.75 = 615.75 sq ft Island 2 = 1 Tree 252.6*.75= 189.5 sq ft Island 3 = 1 Tree 369.4*.75 = 277.05 sq ft Island 4 = 1 Trees 246.9*.75= 185.175 sq ft Island 5 = 1 Trees 243.3*.75= 182.53 sq ft	4 Trees 4 Trees not proposed due to limited space or utilities in Parking Islands 2 & 5	Island 1 = 616 sq ft Actual: 625 sq ft Island 2 = 190 sq ft Actual: 253 sq ft Island 3 = 277 sq ft Actual: 324 sq ft Island 4 = 185 sq ft Actual: 219 sq ft Island 5 = 182.53 sq ft Actual: 190 sq ft
Interior Parking Lot	Additional landscaped areas within the parking lot should provide a minimum of one shade tree for every three hundred (300) square feet of landscaped area. A minimum of seventy-five (75) percent of every parking lot island or landscaped area should be planted with shrubs, turf or other live groundcover.	North Landscaped Area: (4159/300)*1= 13.8 Trees 4159*.75= 3119.2 sq ft South Landscaped Area: (7981/300)*1= 26.6 Trees 7981*.75= 5985.7 sq ft	North: 14 Trees required, 7 proposed due to space South: 27 Trees required, 16 proposed due to space	North: 3119 sq ft required, 4159 sq ft proposed South: 5986 sq ft required, 7552 proposed
14.10 - Buffer yard design guidelines				
Location	Requirement	Calculation	Proposed Landscaped Area	Existing Shade Trees
Buffer Yard	Landscape Buffers Along Major Arterial and Collector Streets. For the purpose of improving the safety, appearance and environment of the Village, a fifty-foot landscaped buffer shall be provided and maintained on all properties adjoining the following streets: Airport Road, Deerpath Road, Illinois Route 25, Illinois Route 31, Illinois Route 56, Mooseheart Road, Oak Street, Orchard Road, Randall Road.	A maximum of 25.5' of space is provided between street and interior pavement along Illinois Route 31 including sidewalk, parkway, and perimeter landscape yard. A maximum of 43.3' of space is provided between street and interior pavement along Airport Road including parkway and perimeter landscape yard.	See below	0
Buffer Yard	Where a greater buffer is required by the zoning district regulations, or for a planned unit development, the greater buffer requirement shall apply. The landscape buffer shall comply with the following: The ground cover of the landscaped area shall contain at least seventy-five (75) percent live landscaping of which at least twenty-five (25) percent consists of shrubs, trees, flowering plants, or other plant material over twelve (12) inches in height.	A maximum of 25.5' of space is provided between street and interior pavement along Illinois Route 31 including sidewalk, parkway, and perimeter landscape yard. 8227.8*.75= 6170.9 sq ft 6170.9*.25=1542.7 sq ft 6170.9-1542.7=4628.2 sq ft A maximum of 43.3' of space is provided between street and interior pavement along Airport Road including sidewalk, parkway, and perimeter landscape yard 5770.8 sq ft *.75= 4328.1 sq ft 4328.1*.25= 1082.02 sq ft 4328-1082= 3246 sq ft	IL Rte 31: 6171 sq ft of landscaping with at least 1543 sq ft of plant material greater than 12" tall 6879 sq ft of landscaping above 12" proposed. Airport Rd: 4328 sq ft of landscaping with at least 1082 sq ft of plant material greater than 12" tall 5770 sq ft proposed with 3409 sq ft of landscaping above 12"	0

PLANT LIST

Shade Trees - Balled and Burlap			
Qty.	Size	Botanical Name	Common Name
15	2.5" cal.	<i>Acer x freemanii</i> 'Marmo'	Marmo Freeman Maple
18	2.5" cal.	<i>Acer x freemanii</i> 'Sienna'	Sienna Freeman Maple
11	2.5" cal.	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Common Hackberry
6	2.5" cal.	<i>Ginkgo biloba</i> 'Blagon'	Goldspire Ginkgo
19	2.5" cal.	<i>Tilia cordata</i>	Little Leaf Linden
69	Total		

Evergreen Trees - Balled and Burlap			
Qty.	Size	Botanical Name	Common Name
9	6' ht.	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce
9	Total		

Ornamental Trees - Balled and Burlap			
Qty.	Size	Botanical Name	Common Name
8	2.5" cal.	<i>Amelanchier arborea</i>	Downy Serviceberry
7	2.5" cal.	<i>Cercis Canadensis</i>	Eastern Redbud
15	Total		

Evergreen Shrubs - Balled and Burlap or Pot			
Qty.	Size	Botanical Name	Common Name
76	36" Ht. x 24" Spr.	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper
90	36" Ht. x 24" Spr.	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae
166	Total		

Deciduous Shrubs - Balled and Burlap or Pot			
Qty.	Size	Botanical Name	Common Name
135	36" Ht. x 24" Spr.	<i>Hydrangea paniculata</i> 'Bulk'	Quick Fire Hydrangea
14	36" Ht. x 24" Spr.	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea
87	36" Ht. x 24" Spr.	<i>Cephalanthus occidentalis</i>	Buttonbush
48	36" Ht. x 24" Spr.	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry
284	Total		

Perennials & Ornamental Grasses - Pots			
Qty.	Size	Botanical Name	Common Name
309	#1 Cont.	<i>Sporobolus heterolepis</i>	Prairie Dropseed
410	#1 Cont.	<i>Schizachyrium scoparium</i> 'Carousel'	Carousel Little Bluestem
603	#1 cont.	<i>Nepeta racemosa</i> 'Walker's Low'	Walker's Low Catmint
187	#1 Cont.	<i>Asclepias tuberosa</i>	Butterfly Weed
235	#1 Cont.	<i>Phlox pilosa</i>	Downy Phlox
242	#1 Cont.	<i>Rudbeckia fulgida</i> var. <i>sullivantii</i> 'Goldsturm'	Goldsturm Black-Eyed Susan
1986	Total		

Gas N Wash
NWC of IL Route 31 & I-88
North Aurora, Illinois 60542

PROJECT
Gas N Wash
NWC of IL Route 31 & I-88
North Aurora, Illinois 60542



SHEET TITLE

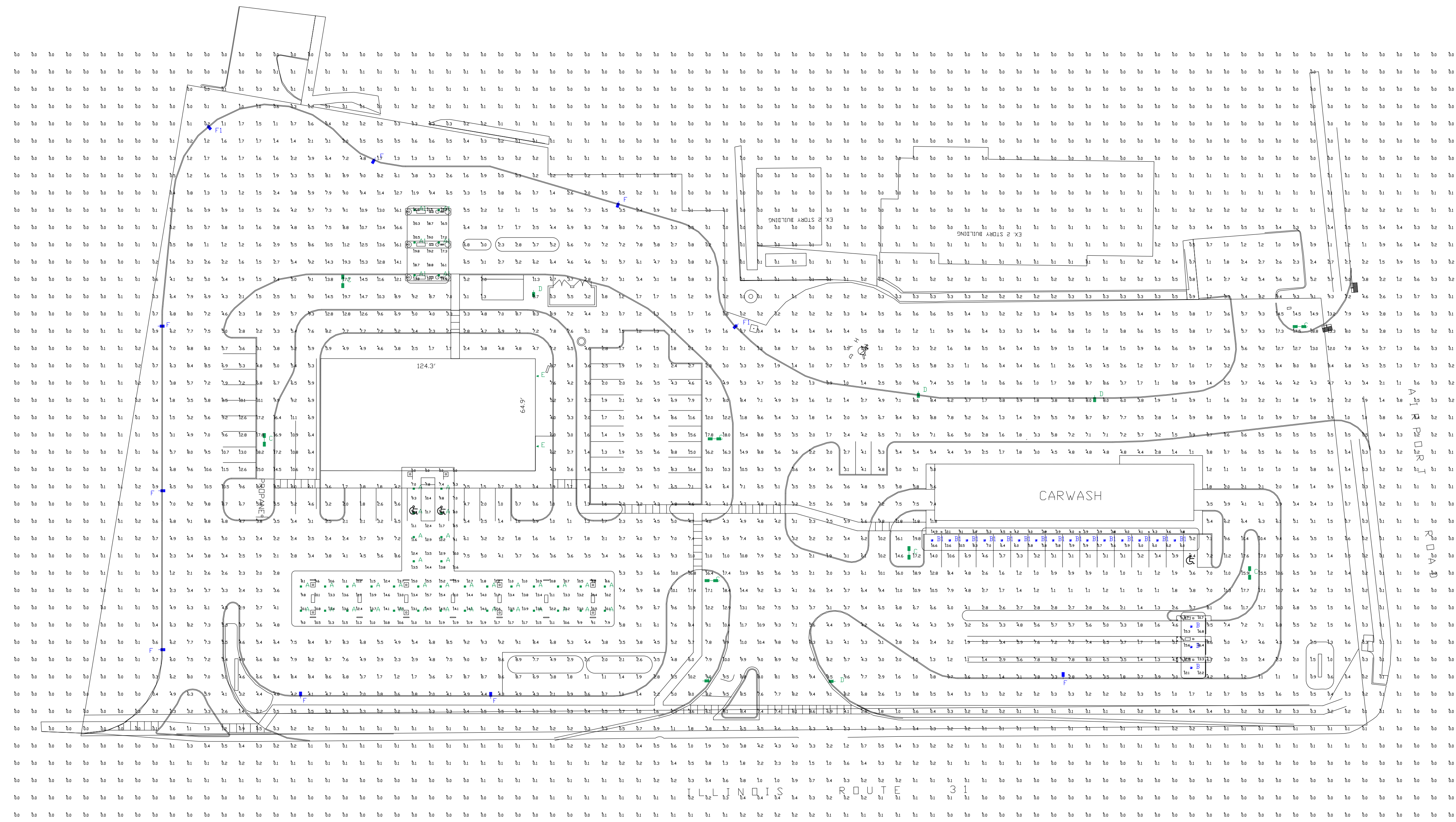
Details

SHEET NUMBER **L1.3**

DRAW / REVISION

AJ/SC	Permit Submittal	03SEPT2024
AJ/MO	Permit Submittal	16OCT2024

Project Number 1320
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W11320-Gas N Wash North Aurora-Len130-CD-files
PLOT: UPLAND 2021



XWM



SLM



CRUS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	2.29	19.8	0.0	N.A.	N.A.
DIESEL CANOPY	Illuminance	Fc	16.94	20.5	11.1	1.53	1.85
GAS CANOPY	Illuminance	Fc	11.34	15.7	0.0	N.A.	N.A.
PAY CANOPY	Illuminance	Fc	13.39	16.8	8.7	1.54	1.93
VACUUM CANOPY	Illuminance	Fc	6.45	16.6	3.8	1.70	4.37
INSIDE CURB	Illuminance	Fc	5.21	19.3	0.2	26.05	96.50

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol]	36	A	Single	CRUS-SC-HD-50-WHT DIMMED 80%	18' GAS	0.200	0.200	19071	125
[Symbol]	6	A1	Single	CRUS-SC-HD-50-BLK DIMMED 60%	17' DIESEL	0.400	0.400	19071	125
[Symbol]	3	B	Single	CRUS-SC-LW-50-WHT DIMMED 70%	8'-6" PAY	0.300	0.300	11148	73
[Symbol]	15	B1	Single	CRUS-SC-LW-50-WHT DIMMED 90%	10' VACUUM	0.100	0.100	11148	73
[Symbol]	7	C	D180°	SLM-LED-30L-SIL-FT-50-70CRI-BRZ-D180	20' POLE+2' BASE	1.000	1.000	63424	426
[Symbol]	5	D	Single	SLM-LED-30L-SIL-FT-50-70CRI-BRZ-SINGLE	20' POLE+2' BASE	1.000	1.000	31712	213
[Symbol]	2	E	Single	XWM-FT-LED-06L-50-BRZ	12'	1.000	1.000	6557	47
[Symbol]	8	F	Single	SLM-LED-30L-SIL-FT-50-IL-70CRI-SINGLE	20' POLE+2' BASE	1.000	1.000	20433	213
[Symbol]	2	F1	Single	SLM-LED-30L-SIL-FT-50-IL-70CRI-SINGLE	20' POLE+2' BASE	0.200	0.200	20433	213

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

For quotes, please contact
WALSH, LONG & CO
quotes@walshlong.com

Total Project Watts
Total Watts = 12835



1000 ALLIANCE RD. CINCINNATI, OH 45242 USA
(513) 793-3000 • FAX (513) 793-6003

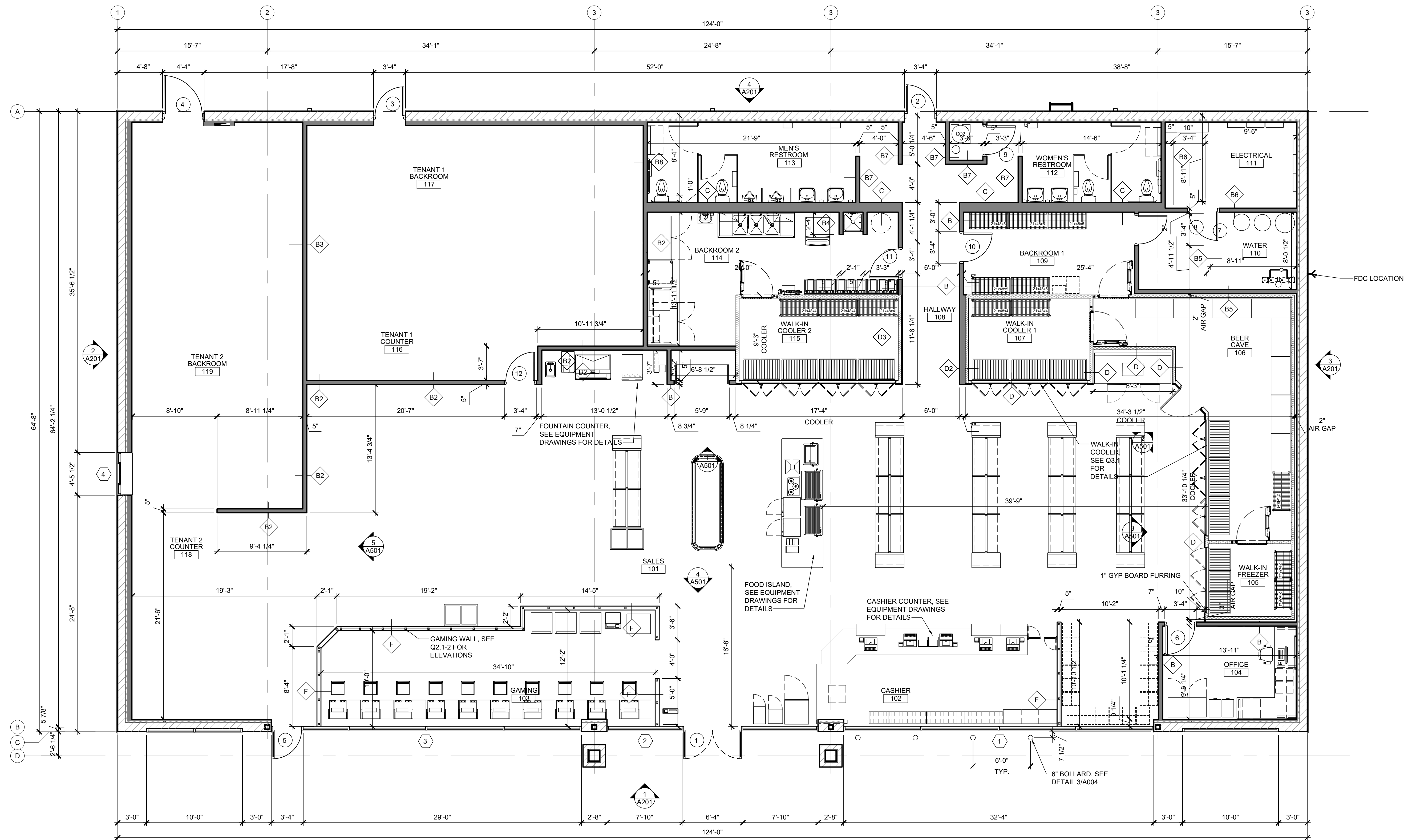
LIGHTING PROPOSAL LD-160935-2

GAS N WASH
IL 31 & INTERSTATE 88
NORTH AURORA, IL

BY:WVE DATE:08-29-24 REV:10-24-24 SHEET 1 OF 1

SCALE:1"=40'





1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES	
A. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL GOVERNING STATE AND LOCAL CODES, ORDINANCES, AND AMENDMENTS.	H. ALL DIMENSIONS ARE NOMINAL & ARE FROM FACE OF GYPSUM BOARD, SHEATHING, OR SUBSTRATE.
B. WATER RESISTANT GYPSUM BOARD OR CEMENT BOARD SHALL BE USED AT ALL WALLS IN TOILET ROOM, BEHIND ALL PLUMBING FIXTURES, AND ANY WET LOCATIONS - SEE PARTITION SCHEDULE FOR MORE INFORMATION.	I. REFER TO THE EQUIPMENT PLAN AND EQUIPMENT SCHEDULE FOR MORE INFORMATION ON THE EQUIPMENT. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
C. PROVIDE ALL REQUIRED IN WALL BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, MILLWORK, SHELVING, AND ACCESSORIES.	J. PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT INTERIOR SIDE OF ALL WALL TRANSITIONS. SEAL ALL NEW AND EXISTING OPENINGS IN FLOORS, STRUCTURAL DECK AND EXTERIOR WALLS IN ORDER TO PROVIDE A WEATHER TIGHT SEAL.
D. MOUNT ALL FIXTURES & ACCESSORIES AT HEIGHTS CONFORMING WITH ALL GOVERNING CODES & ACCESSIBILITY REQUIREMENTS.	K. ALL WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
E. ALL WOOD BLOCKING AND PLYWOOD TO BE FIRE TREATED.	L. PROPERLY PREPARE & CLEAN SUBSTRATES & SURFACES AS REQUIRED TO ACCEPT FINISHES, MATERIALS, TREATMENTS, ETC.
F. FIRE EXTINGUISHERS ARE SUPPLIED AND INSTALLED BY THE G.C. QUANTITIES AND LOCATIONS TO BE COORDINATED W/ THE LOCAL FIRE DEPARTMENT.	M. G.C. SHALL PROVIDE FINAL CLEANING OF STORE AT END OF CONSTRUCTION.
G. COORDINATE SIZE AND LOCATION OF ALL DUCT SHAFT OPENINGS IN WALLS AND FLOORS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.	

FLOOR PLAN LEGEND	
	PARTIAL HEIGHT WALL CONSTRUCTION
	STUD WALL CONSTRUCTION
	MASONRY WALL CONSTRUCTION
	WALK-IN COOLER / FREEZER BOX PANEL
	CLEAR FLOOR AREA PER ACCESSIBILITY CODES
	PARTITION TAG, SEE PARTITION TYPES BELOW AND DETAILS ON SHEET A601
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET A702
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A703

PARTITION TYPES			
	6" STUD WALL, STAINLESS STEEL SHEET METAL OVER 5/8" CEMENT BOARD TO BOTTOM OF DECK ON HOOD SIDE, 5/8" PLYWOOD WITH FRP ON TENANT SIDE, SEE SHEET A601.		3 5/8" STUD WALL, 5/8" PLYWOOD PAINTED ON ELECTRICAL SIDE TO BOTTOM OF DECK WITH SOUND ATTENUATION BATT INSULATION, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON OPPOSITE SIDE TO BOTTOM OF DECK, SEE SHEET A601.
	3 5/8" STUD WALL WITH 5/8" GYPSUM BOARD EACH SIDE, TO 6" ABOVE CEILING ON SIDES THAT HAVE CEILINGS AND TO DECK ON OPEN TO STRUCTURE SIDES, SEE SHEET A601.		3 5/8" STUD WALL WITH 5/8" MOISTURE RESISTANT GYPSUM BOARD EACH SIDE, TO 6" ABOVE CEILING, SEE SHEET A601.
	3 5/8" STUD WALL, FRP OVER 5/8" PLYWOOD ON TENANT SIDE TO 6" ABOVE CEILING, 5/8" GYPSUM BOARD ON SALES SIDE TO BOTTOM OF DECK, SEE SHEET A601.		3 5/8" STUD WALL WITH 5/8" MOISTURE RESISTANT GYPSUM BOARD ON RESTROOM SIDE TO UNDERSIDE OF DECK WITH SOUND ATTENUATION BATT INSULATION, FRP OVER 5/8" PLYWOOD BOTH SIDES TO 6" ABOVE CEILING, SEE SHEET A601.
	3 5/8" STUD WALL, FRP OVER 5/8" PLYWOOD BOTH SIDES TO 6" ABOVE CEILING, SEE SHEET A601.		(2) 3 5/8" STUD WALL WITH 3 1/2" CHASE IN CENTER WITH SOUND ATTENUATION BATT INSULATION, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON RESTROOM SIDE AND 5/8" GYPSUM BOARD ON OPPOSITE SIDE, TO UNDERSIDE OF JOIST, SEE SHEET A601.
	3 5/8" STUD WALL, 5/8" CEMENT BOARD ON MOP SINK SIDE TO 6" ABOVE CEILING, FRP OVER 5/8" PLYWOOD ON OPPOSITE SIDE TO 6" ABOVE CEILING, SEE SHEET A601.		1/2" DUROROCK APPLIED TO FACE OF COOLER. 3 5/8" STUD WALL ABOVE TO HAVE 5/8" DUROROCK ON ONE SIDE TO UNDERSIDE OF JOIST, SEE SHEET A601.
	3 5/8" STUD WALL, 5/8" MOISTURE RESISTANT GYPSUM BOARD ON WATER SIDE TO BOTTOM OF DECK, 5/8" GYPSUM BOARD ON OPPOSITE SIDE TO 6" ABOVE CEILING, SEE SHEET A601.		

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 SWC IL 31 & AIRPORT ROAD
 NORTH AURORA, IL 60542
GAS N WASH

ISSUE
 TO DATE
 CLIENT 5/21/24
 ZONING 9/19/2024
 ZONING 10/16/24

CHECK:CP
 DRAWN:KV
 JOB:D2400163

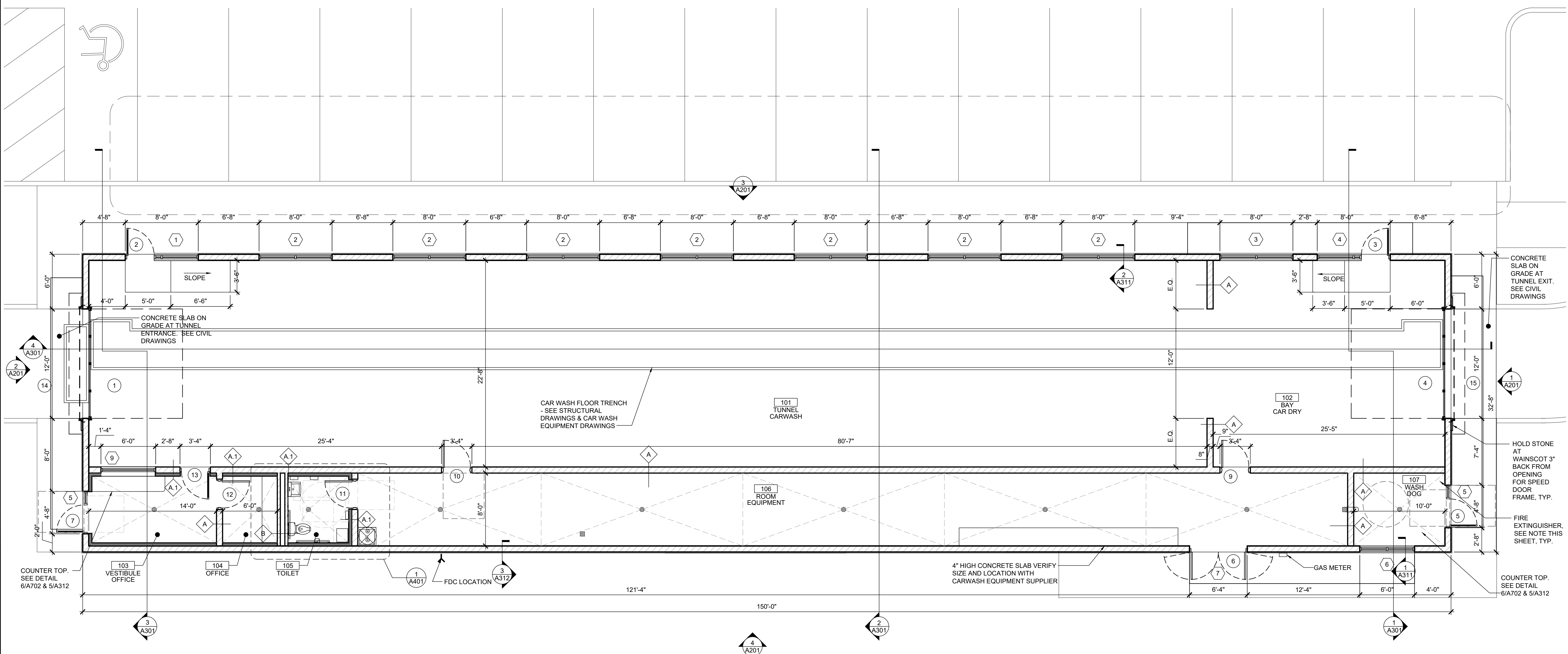
A101
 C-STORE
 FLOOR PLAN

FLOOR PLAN LEGEND	
	PARTIAL HEIGHT WALL CONSTRUCTION
	STUD WALL CONSTRUCTION
	MASONRY WALL CONSTRUCTION
	CLEAR FLOOR AREA PER ACCESSIBILITY CODES
	PARTITION TAG, SEE PARTITION TYPES, THIS PAGE
	DOOR TAG, SEE DOOR SCHEDULE
	WINDOW TAG, SEE WINDOW SCHEDULE

- ### FIRE EXTINGUISHER NOTES
- FIRE EXTINGUISHERS TO BE MIN. CLASS 3A (3A40BC) SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS (IFC-906.2 & NFPA 101-9.7.4.1) AND PER LOCAL FIRE CODE.
 - ALL FIRE EXTINGUISHERS SHALL BE PROPERLY TAGGED AND MOUNTED. (IFC-906.9 & NFPA 10-D.2.3.1)
 - ALL FIRE EXTINGUISHERS SHALL REMAIN IN CLEAR VIEW AND SHALL NOT BE OBSTRUCTED AT ANY TIME (IFC-906.6 & NFPA 10-1.5.10)
 - ALL FIRE EXTINGUISHERS SHALL BE INSTALLED NO HIGHER THAN 5'-0" (AT HANDLE) AND NO LESS THAN 4" ABOVE THE FINISHED FLOOR (IFC-906.9 & NFPA 10-1.5.10)

- ### PARTITION TYPES
- NON LOAD-BEARING 8" CONCRETE BLOCK WALL - SEE STRUCTURAL DRAWINGS.
 - 8" CONCRETE BLOCK WALL WITH 2" CONTINUOUS INSULATION, 1-5/8" METAL STUD FURRING (TO BE ANCHORED TO CMU THROUGH INSULATION), 5/8" GYPSUM BOARD TO BOTTOM OF DECK, RESTROOM TO RECEIVE WATER RESISTANT GYPSUM BOARD - SEE STRUCTURAL DRAWINGS.
 - PLUMBING WALL: 6" SPACE WITH 4" CONCRETE BLOCK WALL ON BOTH SIDES TO EXTEND TO UNDERSIDE OF PRECAST PLANKS - SEE STRUCTURAL DRAWINGS.

- ### FLOOR PLAN GENERAL NOTES
- CONTRACTOR TO VERIFY WITH CAR WASH EQUIPMENT SUPPLIER LOCATION OF PIPES, CONVEYOR TRENCH, ETC.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH ALL GOVERNING STATE AND LOCAL CODES, ORDINANCES, AND AMENDMENTS.
 - WATER RESISTANT GYPSUM BOARD OR CEMENT BOARD SHALL BE USED AT ALL WALLS IN TOILET ROOM, BEHIND ALL PLUMBING FIXTURES, AND ANY WET LOCATIONS - SEE PARTITION SCHEDULE FOR MORE INFORMATION.
 - PROVIDE ALL REQUIRED IN WALL BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, MILLWORK, SHELVING, AND ACCESSORIES. MOUNT ALL FIXTURES & ACCESSORIES AT HEIGHTS CONFORMING WITH ALL GOVERNING CODES & ACCESSIBILITY REQUIREMENTS.
 - ALL WOOD BLOCKING AND PLYWOOD TO BE FIRE TREATED.
 - FIRE EXTINGUISHERS ARE SUPPLIED AND INSTALLED BY THE G.C. QUANTITIES AND LOCATIONS TO BE COORDINATED W/ THE LOCAL FIRE DEPARTMENT.
 - COORDINATE SIZE AND LOCATION OF ALL DUCT SHAFT OPENINGS IN WALLS AND FLOORS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.
 - ALL DIMENSIONS ARE NOMINAL & ARE FROM FACE OF GYPSUM BOARD, SHEATHING, OR SUBSTRATE.
 - REFER TO THE EQUIPMENT PLAN AND EQUIPMENT SCHEDULE FOR MORE INFORMATION ON THE EQUIPMENT. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
 - PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT INTERIOR SIDE OF ALL WALL TRANSITIONS. SEAL ALL NEW AND EXISTING OPENINGS IN FLOORS, STRUCTURAL DECK AND EXTERIOR WALLS IN ORDER TO PROVIDE A WEATHER TIGHT SEAL.
 - ALL WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
 - PROPERLY PREPARE & CLEAN SUBSTRATES & SURFACES AS REQUIRED TO ACCEPT FINISHES, MATERIALS, TREATMENTS, ETC.
 - G.C. SHALL PROVIDE FINAL CLEANING OF STORE AT END OF CONSTRUCTION.
 - WALL AND PARTITION DIMENSIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS.
 - POST BUILDING ADDRESS ON BUILDING / SITE AT ALL TIMES DURING CONSTRUCTION, NUMBERS TO BE VISIBLE FROM STREET.
 - ALL PARTITION WALLS SHALL RESIST A MINIMUM 5PSF HORIZONTAL LOAD, SUBJECT TO VILLAGE INSPECTION.



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

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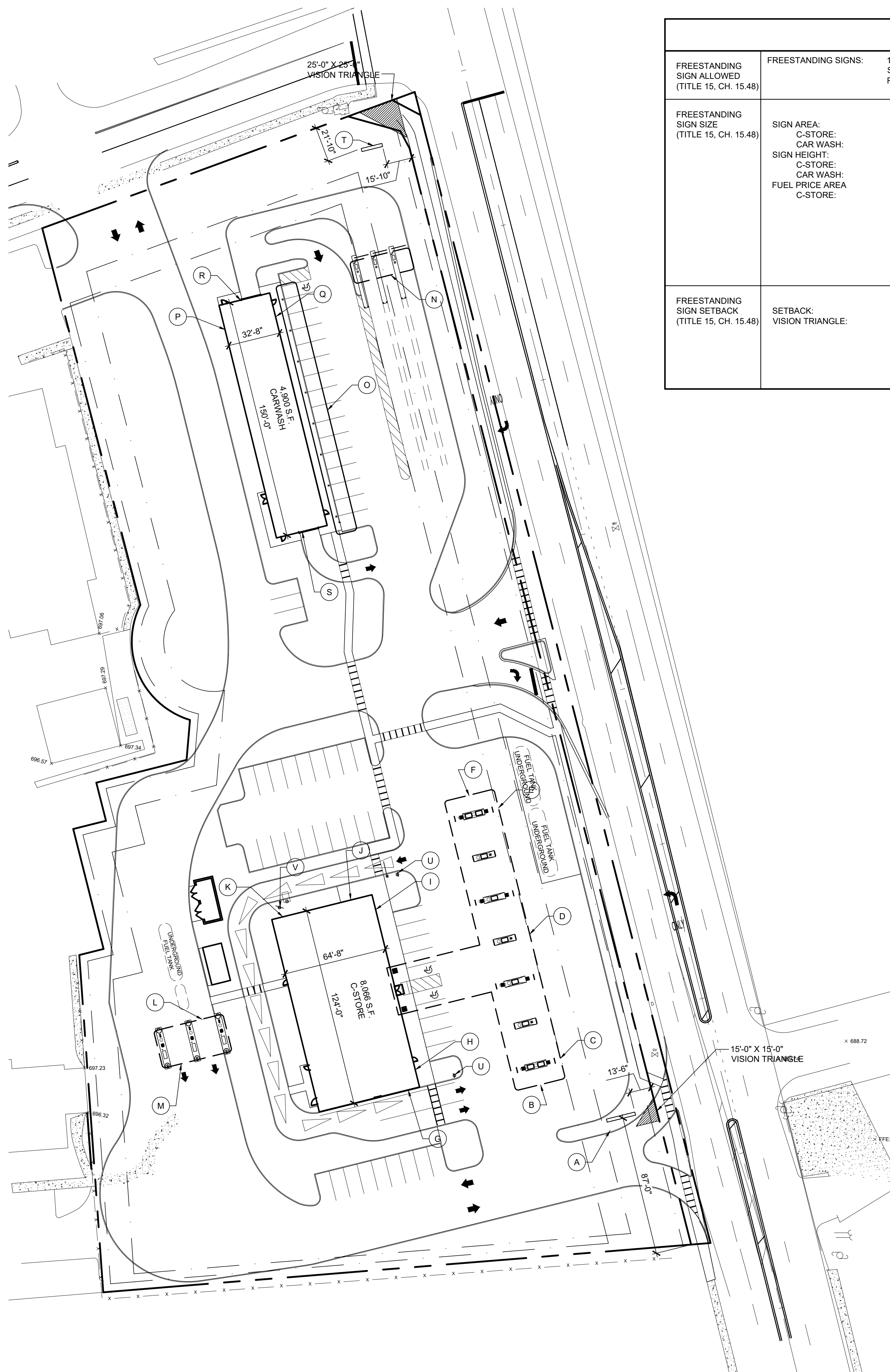
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ISSUE

TO	DATE
CLIENT	5/21/24
ZONING	9/19/2024
ZONING	10/16/24

CHECK:CP
DRAWN:KV
JOB:D2400163

A102
FLOOR PLAN



1 SITE PLAN
SCALE: 1" = 20'-0"

SIGNAGE INFORMATION

FREESTANDING SIGN ALLOWED (TITLE 15, CH. 15.48)	FREESTANDING SIGNS:	1 FOR EACH EACH STREET FRONTAGE FOR CORNER LOTS.		2 PROPOSED	WALL SIGNS (TITLE 15, CH. 15.48)	NUMBER ALLOWED: 1 PER TENANT PER FACADE FACING PUBLIC RIGHT-OF WAY		ALLOWED		PROPOSED	
		ALLOWED	PROPOSED			ALLOWED	PROPOSED	ALLOWED	PROPOSED		
	SIGN AREA:	100 SF MAX	100 SF								
	C-STORE:	100 SF MAX	70 SF								
	CAR WASH:	20'-0" MAX	10'-8"								
	C-STORE:	20'-0" MAX	10'-8"								
	CAR WASH:	20'-0" MAX	10'-8"								
	FUEL PRICE AREA	6 SF PER FUEL									
	C-STORE:	18 SF	46 SF								
	SETBACK:	REQUIRED	PROPOSED								
	VISION TRIANGLE:	5'-0"	19'-1" MIN.								
		25'-0" X 25'-0" AT CORNER	COMPLIES								
		15'-0" X 15'-0" AT DRIVEWAY	COMPLIES								

- VARIANCE REQUESTS
- REQUESTING A VARIANCE TO INCREASE THE TOTAL ALLOWED FUEL PRICING SIGN AGE AREA TO 46 SF (15.3 SF PER PRICE X3 PRICES) FROM THE MAXIMUM OF 18 SF (3 X 6SF FUEL SIGNS).
 - REQUESTING A VARIANCE TO ALLOW FOR SIGNAGE FOR THE REAR (TENANT-1) C-STORE TENANT TO BE ALLOWED ALONG THE FRONT (EAST) AND SIDE (NORTH) ELEVATIONS OF THE C-STORE.
 - REQUESTING A VARIANCE TO ALLOW FOR THE TOTAL ALLOWED SIGNAGE ON THE SOUTH OF THE CAR WASH TO INCREASE TO 68.3 SF (BUILDING AND PAY CANOPY SIGNAGE) FROM THE MAXIMUM OF 49 SF (32.6' X 1.5).
 - REQUESTING A VARIANCE TO ALLOW FOR THE TOTAL ALLOWED SIGNAGE ON THE NORTH OF THE C-STORE TO INCREASE TO 113.5 SF (BUILDING, AUTO AND DIESEL SIGNAGE) FROM THE MAXIMUM OF 97 SF (64.6 X 1.5).
 - REQUESTING A VARIANCE TO ALLOW THE NUMBER OF WALL MOUNTED SIGNS ON THE C-STORE TO 5 FROM THE MAXIMUM OF 3.

SIGNAGE KEY

- A "GAS N WASH" ID PRICE MONUMENT SIGN: INTERNALLY ILLUMINATED SIGN WITH ELECTRONIC MESSAGE, MASONRY BASE. 50 SF SIGN AND 50 SF ELECTRONIC PRICER (100 SF TOTAL SIGNAGE). SEE VAN BRUGGEN SIGN DRAWING 24-114.2C
- B "GAS N WASH" CANOPY SIGN: INTERNALLY ILLUMINATED CANOPY SIGN. 28 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.4C
- C "FUTURE FOOD TENANT - 1" CANOPY DECAL: TENANT DECAL, 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.4C
- D "GAS N WASH" CANOPY SIGN: INTERNALLY ILLUMINATED CANOPY SIGN. 57.5 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.4C
- E "FUTURE FOOD TENANT - 2" CANOPY DECAL: CANOPY DECAL, 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.4C
- F "GAS N WASH" CANOPY SIGN: INTERNALLY ILLUMINATED CANOPY SIGN. 29 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.4C
- G "TENANT - 1" WALL SIGN: INTERNALLY ILLUMINATED WALL SIGN. 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.6C
- H "TENANT - 1" WALL SIGN: INTERNALLY ILLUMINATED WALL SIGN. 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.6C
- I "TENANT - 2" WALL SIGN: INTERNALLY ILLUMINATED WALL SIGN. 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.6C
- J "TENANT - 1" WALL SIGN: INTERNALLY ILLUMINATED WALL SIGN. 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.6C
- K "TENANT - 2" WALL SIGN: INTERNALLY ILLUMINATED WALL SIGN. 31 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.6C
- L "TRUCKS" CANOPY SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 23.5 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.5C
- M "TRUCKS" CANOPY SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 23.5 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.5C
- N "CAR WASH ENTRANCE" CANOPY SIGN: INTERNALLY ILLUMINATED CANOPY SIGN. 35.7 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.10C
- O "FREE VACUUMS" CANOPY DECAL: CANOPY DECAL. 9.4 SF. 3 TOTAL (28.2 SF TOTAL) SEE VAN BRUGGEN SIGN DRAWING 24-114.11C
- P "CAR WASH" WALL SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 55 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.7C
- Q "CAR WASH" WALL SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 55 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.9C
- R "CAR WASH" WALL SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 32.62 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.8C
- S "CAR WASH" WALL SIGN: INTERNALLY ILLUMINATED CHANNEL LETTERS. 32.62 SF. SEE VAN BRUGGEN SIGN DRAWING 24-114.8C
- T "CARWASH" GROUND SIGN: INTERNALLY ILLUMINATED SIGN WITH ELECTRONIC MESSAGE, MASONRY BASE. 49 SF SIGN AND 21 SF ELECTRONIC MESSAGE BOARD (70 SF TOTAL SIGNAGE). SEE VAN BRUGGEN SIGN DRAWING 24-114.3C
- U "TENANT 1" DIRECTIONAL SIGN: INTERNALLY ILLUMINATED, 5 SF SIGN
- V "TENANT 1" MENU SIGN: INTERNALLY ILLUMINATED, 24 SF SIGN

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RETAIL PETROLEUM FACILITY
 SWC IL 31 & AIRPORT ROAD
 NORTH AURORA, IL 60542
GAS N WASH

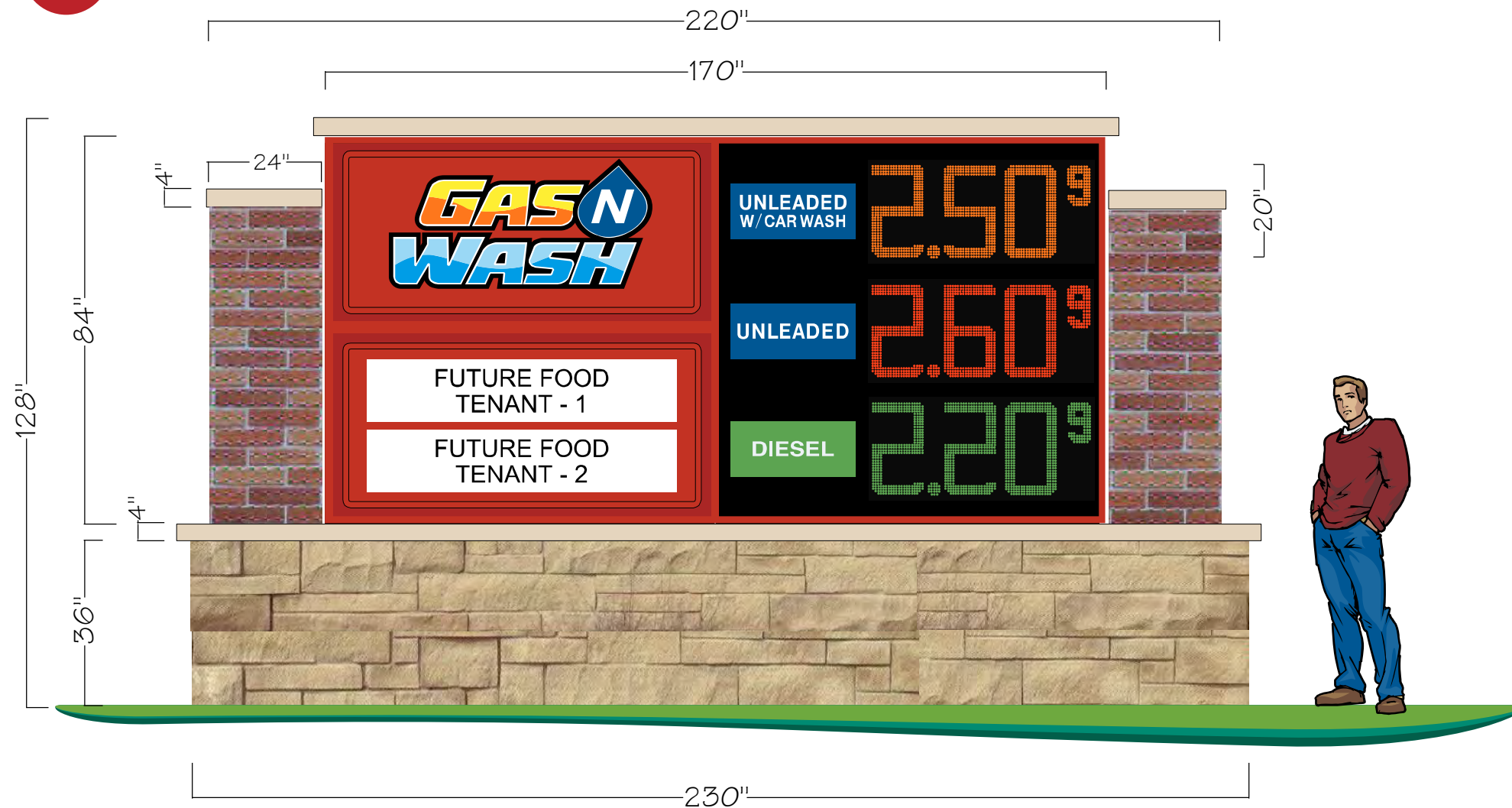
GAS N WASH

ISSUE
 TO DATE
 CLIENT 5/21/24
 ZONING 9/19/24
 ZONING 10/16/24

CHECK:CP
 DRAWN:KV
 JOB:D2400163

A007
 SITE SIGNAGE PLAN

A



"GAS N WASH" UPPER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH ILLUMINATED DECORATED GRAPHICS

100 SQ. FT

TENANT LOWER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH TRANSLUCENT WHITE TENANT PANELS WITH ILLUMINATED DECORATED GRAPHICS



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Approved _____
Date _____

Scale	3/8"	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	ID PRICE MONUMENT			
Drawn By	ED	Revisions By				Drawing No. 24-114.2C
		Date				

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- 36" X 84" ELECTRONIC MESSAGE SIGN: WATCHFIRE W6mm LED RGB - COLOR 144 X 336 SHALL ONLY CONTAIN STATIC DISPLAYS. TRANSITIONS SHALL NOT INCLUDE ANIMATION, VIDEO, BURSTS, SPIRALS OR SIMILAR EFFECTS. STROBE, FLASHING, SCROLLING, SOUNDS OR OTHER ATTENTION GETTING FEATURES ARE PROHIBITED.

70 SQ. FT.



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Approved	
Date	

Scale	3/8"	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH MONUMENT			
Drawn By	ED	Revisions By	ED			Drawing No. 24-114.3C
		Date	6-27-24			

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EAST ELEVATION 1/16" SCALE



SOUTH ELEVATION 1/16" SCALE



NORTH ELEVATION 1/16" SCALE

G

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

H

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

I

FUTURE SECONDARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

J

FUTURE PRIMARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE

K

FUTURE SECONDARY
FOOD VENDOR

ILLUMINATED CHANNEL LETTER 31 SQ. FT.
3/16" SCALE



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Approved _____
Date _____

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	C-STORE SIGNAGE			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-27-24			24-114.6C



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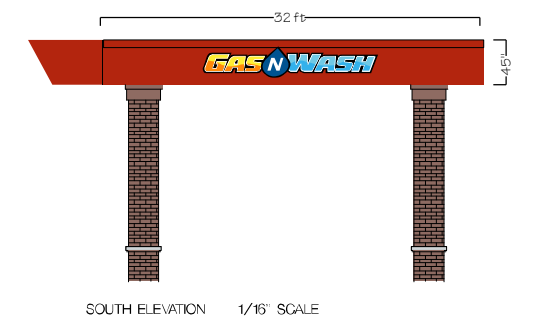
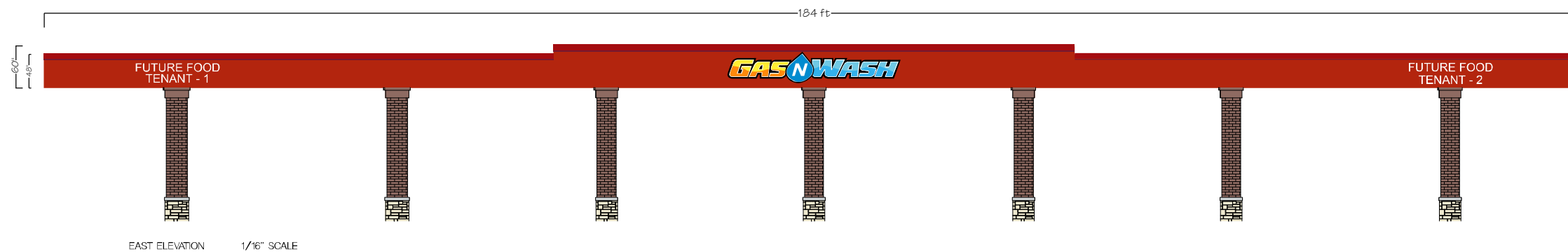
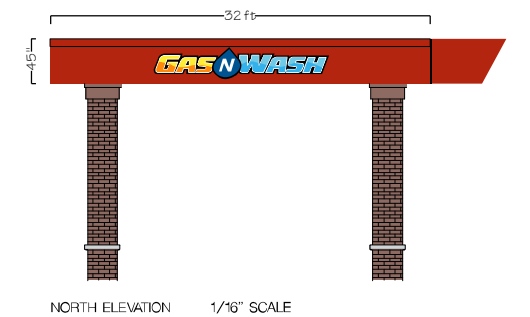
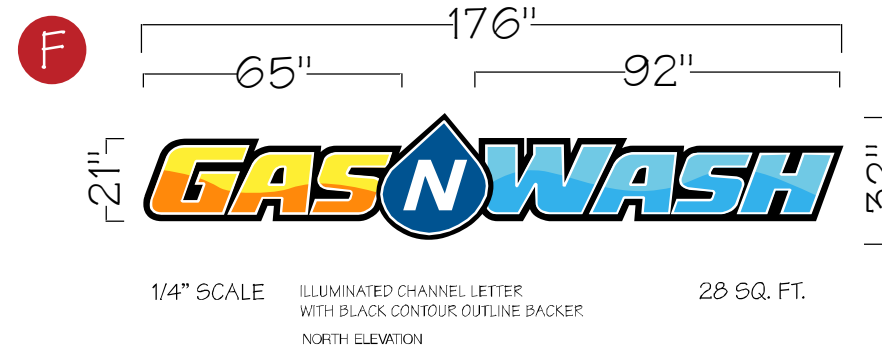
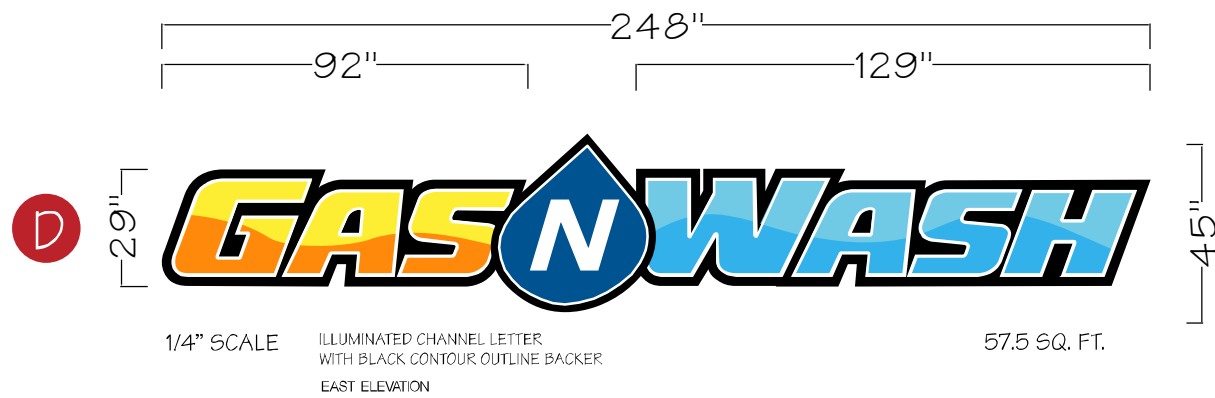
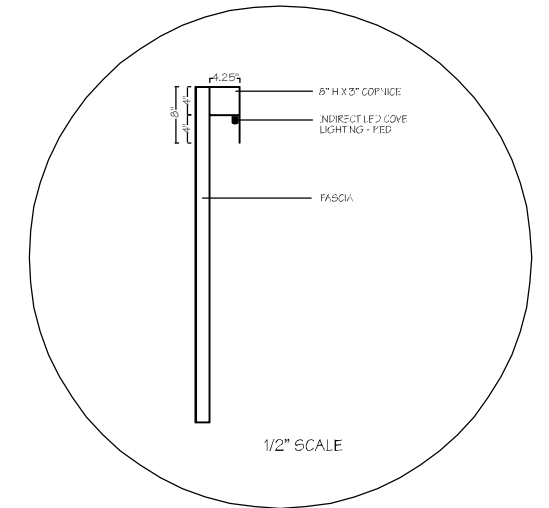
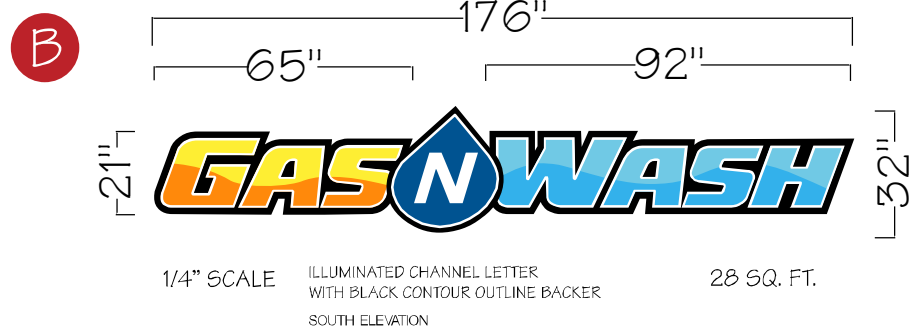
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Approved	Scale	NTS	Title				GAS N WASH - NORTH AURORA
	Date	6-7-24	Description				INDIRECT CANOPY COVE LIGHTING
Date	Drawn By	ED	Revisions By			Drawing No.	24-114.4C LED
			Date				



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Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	AUTO CANOPY SIGNAGE			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-22-24			24-114.4C

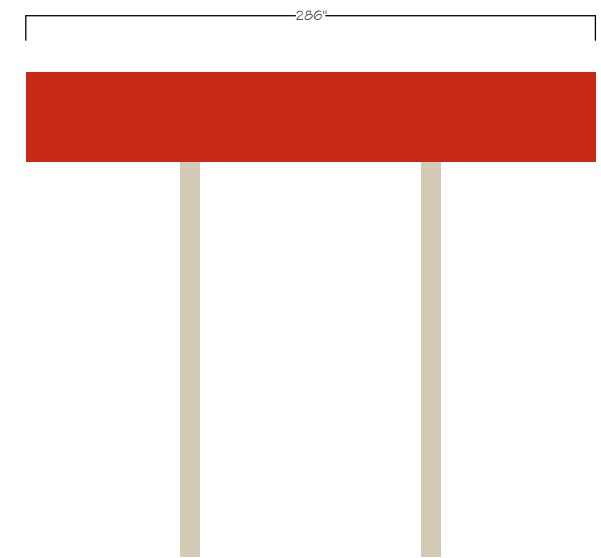
L

141"
24"
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE
23.5 SQ FT



NORTH ELEVATION
1/8" SCALE



WEST ELEVATION

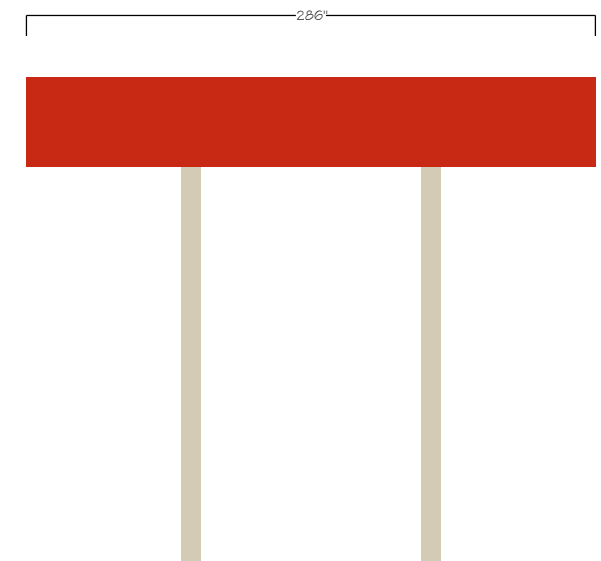
M

141"
24"
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE
23.5 SQ FT



SOUTH ELEVATION
1/8" SCALE



EAST ELEVATION



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Date

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	TRUCK CANOPY			
Drawn By	ED	Revisions By	ED			Drawing No.
		Date	8-27-24			24-114.5C

P



"DRIP" 59" X 55.5" = 22.7 SQ FT
 "CAR" 23.25" X 84" = 13.5 SQ FT
 "WASH" 23.25" X 116.5" = 18.8 SQ FT
 TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



WEST ELEVATION

1/8" SCALE



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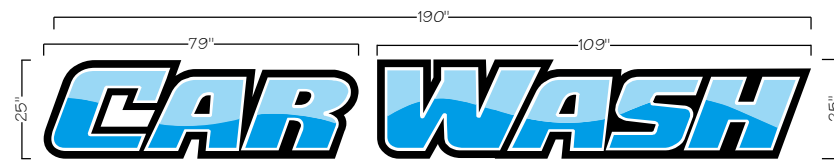
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Date	

Scale	NOTED	Title	GAS N WASH - NORTH AURORA				
Date	6-7-24	Description	CAR WASH BUILDING WEST				
Drawn By	ED	Revisions By	ED	ED		Drawing No.	24-114.7C
		Date	6-22-24	6-21-24			

R



"CAR" 25" X 79" = 13.7 SQ. FT.
 "WASH" 25" X 109" = 18.9 SQ. FT.
 TOTAL = 32.62 SQ. FT.

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



NORTH ELEVATION

1/8" SCALE



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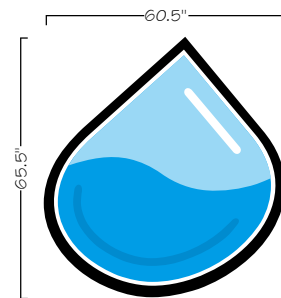
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Date	

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING NORTH			
Drawn By	ED	Revisions By	ED	ED		Drawing No. 24-114.8C
		Date	8-22-24	8-27-24		



CAR WASH

"DRIP" 59" X 55.5" = 22.7 SQ FT
"CAR" 23.25" X 8.4" = 13.5 SQ FT
"WASH" 23.25" X 116.5" = 18.8 SQ FT
TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER
WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



EAST ELEVATION

1/8" SCALE



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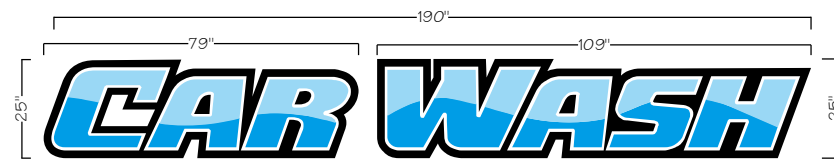
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Date

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING EAST			
Drawn By	ED	Revisions By	ED	ED		Drawing No.
		Date	8-22-24	8-27-24		24-114.9C

S



"CAR" 25" X 79" = 13.7 SQ. FT.
 "WASH" 25" X 109" = 18.9 SQ. FT.
 TOTAL = 32.62 SQ. FT.

ILLUMINATED CHANNEL LETTER
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



SOUTH ELEVATION

1/8" SCALE



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Approved	Scale	NOTED	Title				GAS N WASH - NORTH AURORA	
	Date	6-7-24	Description				CAR WASH BUILDING SOUTH	
Date	Drawn By	ED	Revisions By	ED	ED	Drawing No.		
			Date	8-22-24	8-27-24	24-114.8C2		



460"

214"

30"

24"

CAR WASH Entrance



8'-6"

SINGLE FACE ILLUMINATED CANOPY SIGN
35.7 SQ. FT.



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Approved
Date

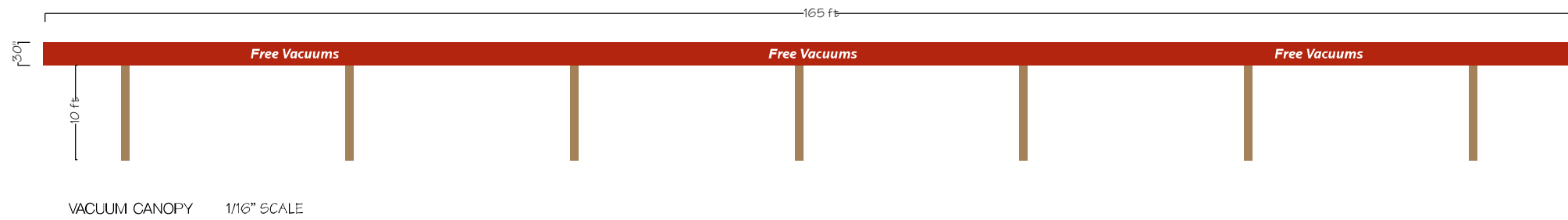
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Date	6-7-24	Description	CAR WASH PAY CANOPY			
Drawn By	ED	Revisions By	ED			Drawing No. 24-114.10C
		Date	8-27-24			

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1/2" SCALE
 NON - ILLUMINATED
 HP DIE CUT VINYL GRAPHICS
 9.4 SQ. FT.
 TOTAL 28.2 SQ FT



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Approved	Scale	NOTED	Title				GAS N WASH - NORTH AURORA				
	Date	6-7-24	Description				CAR WASH VACUUM CANOPY				
Date	Drawn By	ED	Revisions By	ED						Drawing No.	24-114.11C
			Date	6-27-24							

Traffic Impact Study Proposed Fuel Center

North Aurora, Illinois



Prepared For:



October 2, 2024

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed fuel center to be located in North Aurora, Illinois. The site is located in the southwest corner of the intersection of IL Route 31 with Airport Road. As proposed, the fuel center is to contain the following uses:

- 14 passenger vehicle fueling positions
- Two commercial fuel lanes (CFLs)
- A tunnel car wash
- An approximately 8,000 square-foot convenience store containing an approximately 1,000 square-foot coffee/donut shop with drive-through facility

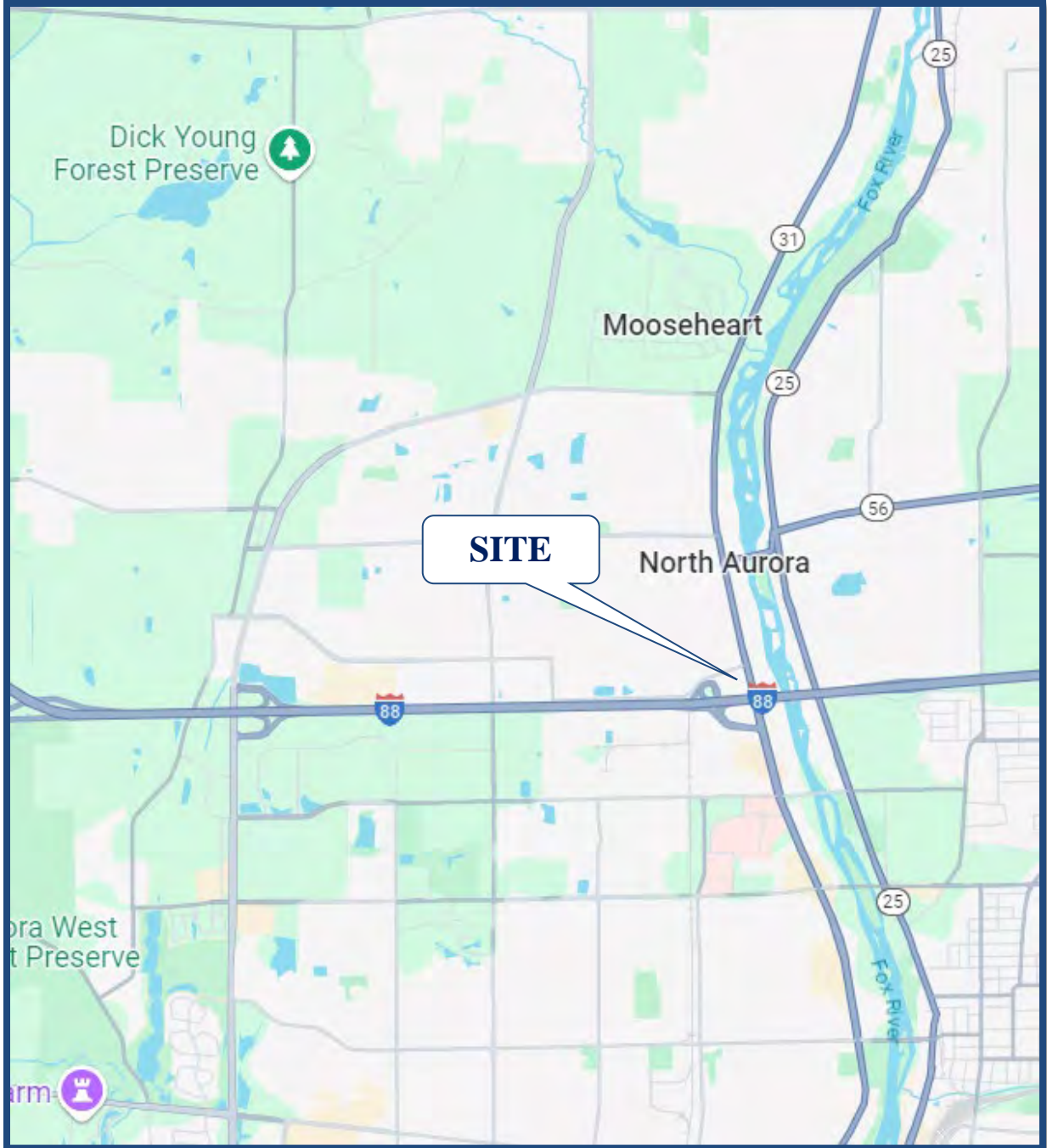
Access to the fuel center will be provided by a restricted right-in/right-out access drive and a restricted right-turn in/left-turn in/right-turn out access drive on IL Route 31 and via the existing full-movement access drive located on Airport Road that serves the Asbury Gardens assisted living facility.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed fuel center will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate the traffic generated by the proposed fuel center. **Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site. The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed fuel center
- Directional distribution of the fuel center traffic
- Vehicle trip generation for the fuel center
- Future traffic conditions including access to the fuel center
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Year 2030 No-Build Conditions – Analyzes the capacity of the existing roadway system using peak hour traffic volumes adjusted to represent the background growth of the area.
3. Year 2030 Total Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, background growth, and the traffic estimated to be generated by the full buildout of the proposed fuel center.



Site Location

Figure 1



Aerial View of Site

Figure 2

*Proposed Fuel Center
North Aurora, Illinois*

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

The site, which is currently vacant, is located in the southwest corner of IL Route 31 with Airport Road in North Aurora, Illinois. Airport Road and the Village of North Aurora Police Department station border the site on the north, the Asbury Gardens assisted living facility borders the site on the west, and I-88 borders the site on the south. Commercial uses are located east of the site along the east side of IL Route 31. Industrial and warehouse/distribution uses are located west of the site. A full-access interchange for I-88 is located approximately 0.2 miles south of the site on IL Route 31.

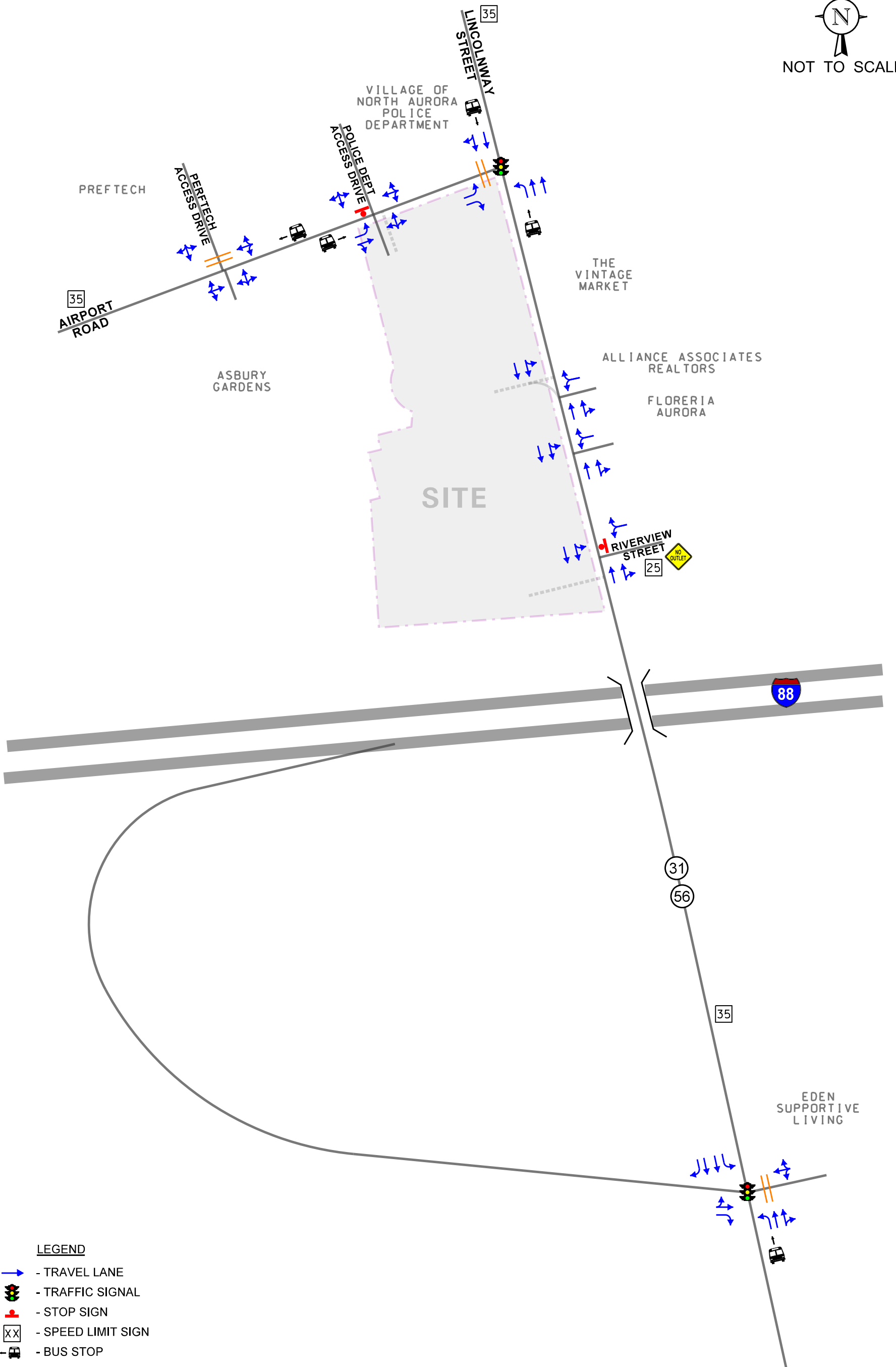
Existing Roadway System Characteristics

The characteristics of the existing roadways near the fuel center are described below and illustrated in **Figure 3**.







IL Route 31 is a north-south, roadway that provides two through lanes in each direction in the vicinity of the site. North of I-88 IL Route 31 is designated as an other principal arterial and south of I-88 it is designated as a minor arterial. At its signalized intersection with Airport Road, IL Route 31 provides a left-turn lane and two through lanes on the northbound approach and provides a through lane and a combined through/right-turn lane on the southbound approach. A standard-style crosswalk is provided on the north leg of the intersection. At its signalized intersection with the I-88 ramps and the Eden Supportive Living access drive, IL Route 31 provides a left-turn lane, a through lane, and a combined through/right-turn lane on the northbound approach and IL Route 31 provides a left-turn lane, two through lanes, and a right-turn lane on the southbound approach. At its unsignalized intersections with Riverview Street, the Floreria Aurora access drive, and the Alliance Associates Realtors access drive, IL Route 31 does not provide separate turn lanes. IL Route 31 carries an annual average daily traffic (AADT) volume of 17,800 vehicles north of I-88 and 21,100 vehicles south of I-88 (Illinois Department of Transportation [IDOT] 2023). IL Route 56 runs concurrently with IL 31 north of the I-88 ramps, is under the jurisdiction of IDOT and has a posted speed limit of 35 miles per hour.



NOT TO SCALE



LEGEND

-  - TRAVEL LANE
-  - TRAFFIC SIGNAL
-  - STOP SIGN
-  - SPEED LIMIT SIGN
-  - BUS STOP
-  - STANDARD CROSSWALK

FUEL CENTER
NORTH AURORA,
ILLINOIS

EXISTING ROADWAY CHARACTERISTICS



Job No: 24-227

Figure: 3

Airport Road is generally an east-west, major collector roadway that extends west from its T-intersection with IL Route 31 and provides one lane in each direction. At its signalized intersection with IL Route 31, Airport Road provides a left-turn lane and a right-turn lane on the eastbound approach. A standard-style crosswalk is provided on the west leg of the intersection. At its unsignalized intersection with the Asbury Gardens east access drive and the North Aurora Police Department station access drive, Airport Road provides a left-turn lane and a combined through/right-turn lane on the eastbound approach and a combined left-turn/through/right-turn lane on the westbound approach. At its unsignalized intersection with the Asbury Gardens west access drive and Perftech access drive, Airport Road provides a combined left-turn/through/right-turn lane on the eastbound and westbound approaches. Airport Road carries an AADT of 2,650 vehicles (IDOT 2023), is under the jurisdiction of the Village of North Aurora, and has a posted speed limit of 35 miles per hour.

The *I-88 ramps* provide full access to both eastbound and westbound I-88 and intersect IL Route 31 opposite the access drive for Eden Supportive Living Fox Valley. At its signalized intersection with IL Route 31, the I-88 ramps provide a combined left-turn/through lane and a right-turn lane on the eastbound approach and the access drive provides a combined left-turn/through/right-turn lane on the westbound approach. A standard-style crosswalk is provided on the east leg of the intersection. The I-88 ramps carry an AADT volume of 9,500 vehicles (IDOT 2022).

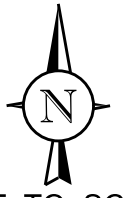
Riverview Street is an east-west, local roadway that extends east from its T-intersection with IL Route 31 and provides one lane in each direction. At its unsignalized intersection with IL Route 31, Riverview Street provides a combined left-turn/right-turn lane on the westbound approach that is under stop sign control. Riverview Street is under the jurisdiction of the Village of North Aurora and has a posted speed limit of 25 miles per hour.

Existing Traffic Volumes

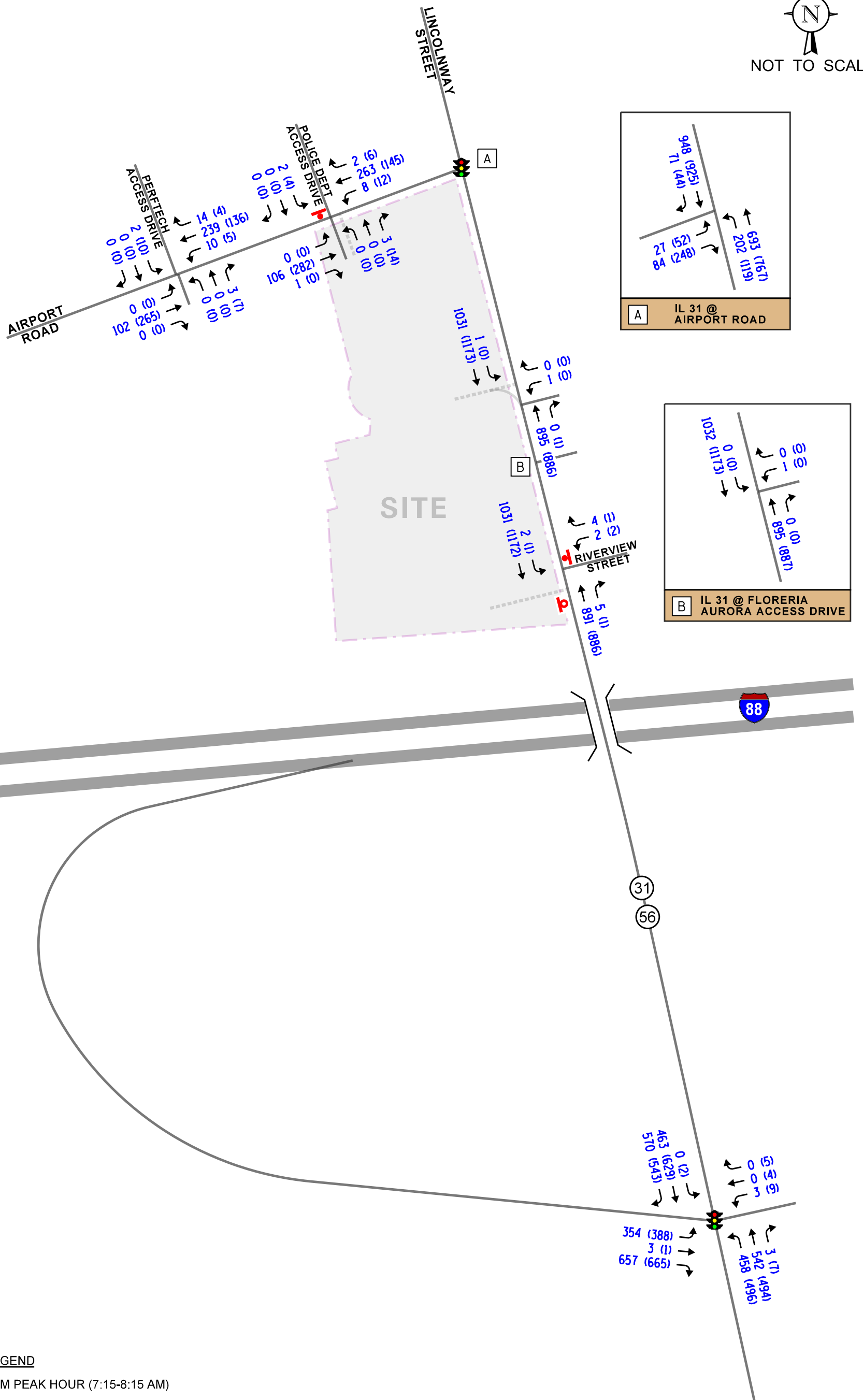
To determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts on Thursday, September 12, 2024, during the weekday morning (7:00 to 9:00 A.M.) and evening (4:00 to 6:00 P.M.) peak periods at the following intersections:

- IL Route 31 with Airport Road
- IL Route 31 with I-88 Ramps/Eden Supportive Living Access Drive
- IL Route 31 with Riverview Street
- IL Route 31 with Floreria Aurora Access Drive
- IL Route 31 with Alliance Associates Realtors Access Drive
- Airport Road with Asbury Gardens East Access Drive/North Aurora Police Department station Access Drive
- Airport Road with Asbury Gardens West Access Drive/Perftech Access Drive

The results of the traffic counts indicated that the weekday morning peak hour of traffic occurs from 7:15 A.M. to 8:15 A.M. and the weekday evening peak hour of traffic occurs from 4:00 P.M. to 5:00 P.M. **Figure 4** illustrates the existing peak hour vehicle traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.



NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (4:00-5:00 PM)

FUEL CENTER
NORTH AURORA,
ILLINOIS

EXISTING TRAFFIC VOLUMES



Job No: 24-227

Figure: 4

Crash Data Summary

KLOA, Inc. obtained crash data from IDOT for the most recent past five years available (2019 to 2023) for the roadway intersections included in the study. A summary of the crash data is available in **Tables 1** through **3**. A review of the crash data indicated that no fatalities were reported at any of the intersections¹.

Table 1
IL 31 WITH AIRPORT ROAD – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2019	0	0	0	0	0	1	0	1
2020	0	0	0	2	0	0	0	2
2021	0	0	0	2	0	1	0	3
2022	0	0	0	0	2	1	0	3
2023	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>0</u>	<u>3</u>
Total	0	0	0	5	3	4	0	12
Average	0.0	0.0	0.0	1.0	<1.0	<1.0	0.0	2.4

Table 2
IL 31 WITH I-88 RAMPS – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2019	0	0	1	7	0	11	0	19
2020	0	0	0	1	0	10	0	11
2021	0	0	0	4	0	4	0	8
2022	0	0	1	9	1	7	0	18
2023	<u>0</u>	<u>0</u>	<u>1</u>	<u>2</u>	<u>0</u>	<u>14</u>	<u>0</u>	<u>17</u>
Total	0	0	3	23	1	46	0	73
Average	0.0	0.0	<1.0	4.6	<1.0	9.2	0.0	14.6

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).

Table 3
 IL 31 WITH RIVERVIEW STREET – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2019	0	0	0	0	0	0	0	0
2020	0	0	0	0	0	1	0	1
2021	0	0	0	3	1	6	0	10
2022	0	0	0	0	0	4	0	4
2023	<u>0</u>	<u>0</u>	<u>0</u>	<u>2</u>	<u>0</u>	<u>5</u>	<u>0</u>	<u>7</u>
Total	0	0	0	5	1	16	0	22
Average	0.0	0.0	0.0	1.0	<1.0	3.2	0.0	4.4

3. Traffic Characteristics of the Proposed Fuel Center

To properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed fuel center, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

As proposed, the fuel center is to contain the following uses:

- 14 fueling positions for passenger vehicles
- Two commercial fuel lanes (CFLs)
- A tunnel car wash
- An approximately 8,000 square-foot convenience store containing an approximately 1,000 square-foot coffee/donut shop with drive-through facility

Access to the development will be provided via two access drives on IL Route 31 and one access drive on Airport Road, as summarized below:

- A proposed restricted right-in/right-out access drive on located on the west side of IL Route 31 located just south of Riverview Street. This access drive will provide one inbound lane and one outbound lane with the movements restricted to right-turns only via a raised concrete channelized median and signage. Outbound movements will be under stop sign control.
- A proposed restricted right-turn in/left-turn in/right-turn out access drive located on the west side of IL Route 31, located approximately 365 feet south of Airport Road. This access drive will provide one inbound lane and one outbound lane, with the outbound lane restricted to right-turns only with a raised concrete channelized median and signage. Outbound movements will be under stop sign control. As part of the development, the IL Route 31 existing northbound left-turn lane serving Airport Road will be extended by approximately 200 feet with 215-foot taper that will serve both Airport Road and the proposed access drive. Additionally, a 115-foot southbound right-turn with a 115-foot taper will be provided on IL Route 31 serving the access drive.
- The existing Asbury Gardens east access drive located opposite the North Aurora Police Department station access drive and located approximately 235 feet west of IL Route 31. As proposed, this access drive will be widened to accommodate the turning truck traffic and will continue to provide one inbound lane and one outbound lane. The outbound movements should be under stop sign control.

A copy of the site plan depicting the proposed fuel center and access drives is included in the Appendix.

Directional Distribution

The directions from which patrons and employees will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts, and the operation of the roadway system. **Figure 5** illustrates the directional distribution of the fuel center-generated traffic.

Peak Hour Traffic Volumes

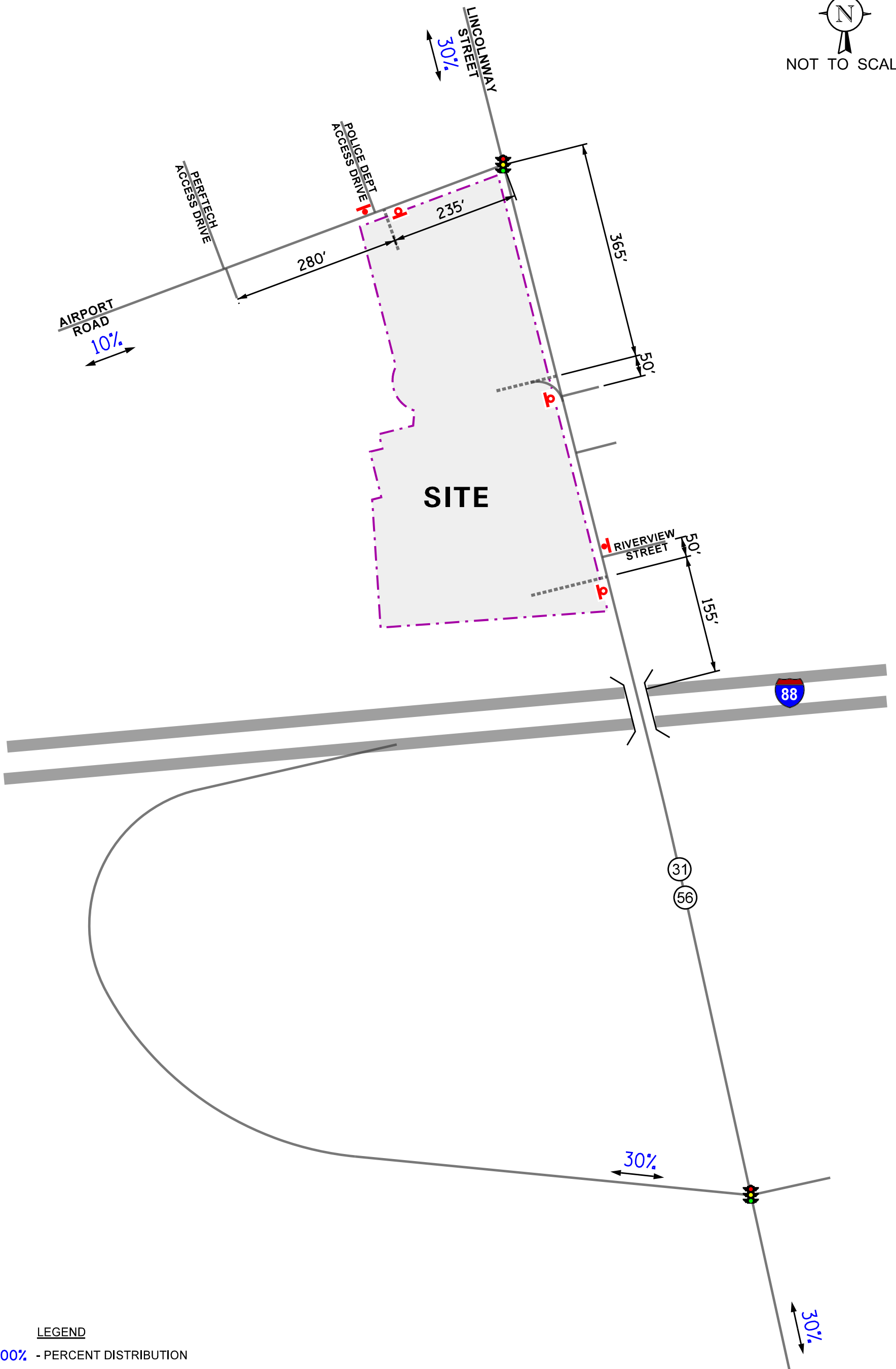
The number of passenger vehicle peak hour trips estimated to be generated by the proposed fuel center was based on the rates contained in *Trip Generation Manual*, 11th Edition, published by the Institute of Transportation Engineers (ITE). Given the limited traffic generation data available for fuel stations specific to trucks, the number of truck peak hour trips estimated to be generated by the proposed development was based on the maximum number of trucks using the fueling lanes during the peak hour. This is estimated at four trucks per lane per hour.

It is important to note that surveys conducted by ITE have shown that approximately 60 percent of trips generated by fuel centers and 70 percent of trips generated to drive-through coffee/donut shops are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours, when traffic diverted from the home-to-work and work-to-home trips. Such diverted trips are referred to as pass-by traffic. In addition, a 20 percent interaction reduction was applied to the trips estimated for the proposed drive-through restaurant and the car wash to take into account the interaction that will occur between the proposed uses.

Table 4 shows the site-generated traffic volumes for the proposed development. A copy of the ITE trip generation summary sheets is included in the Appendix.



NOT TO SCALE



LEGEND

- 00% - PERCENT DISTRIBUTION
- 00' - DISTANCE IN FEET

FUEL CENTER
NORTH AURORA,
ILLINOIS

DIRECTIONAL DISTRIBUTION



Job No: 24-227

Figure: 5

Table 4
PROJECTED SITE-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		In	Out	Total	In	Out	Total
937	Coffee/Donut Shop with Drive-Through Window (1,000 S.F.)	44	42	86	19	20	39
945	Convenience Store/Gas Station – GFA (5.5-10k) (14 Fueling Positions)	221	221	442	188	189	377
--	2 Truck Fueling Positions	8	8	16	8	8	16
948	Automatic Car Wash (1 Tunnel)	<u>10</u>	<u>10</u>	<u>20</u>	<u>39</u>	<u>39</u>	<u>78</u>
Development Subtotal		283	281	564	254	256	510
<i>Interaction Reduction (20 percent)¹</i>		-10	-10	-20	-12	-12	-24
Total Development Total Trips		273	271	544	242	244	486
Pass-By Trips²							
<i>Coffee/Donut Shop (70 percent)</i>		-24	-24	-48	-11	-11	-22
<i>Convenience Store/Gas Station (60 percent)</i>		-133	-133	-266	-113	-113	-226
Total Pass-By Trips		-157	-157	-314	-124	-124	-248
Total New Trips		116	114	230	118	120	238
Total Pass-By Trips		157	157	314	124	124	248
Total Development Trips		273	271	544	242	244	486
1 – Interaction reduction applied to coffee/donut shop and car wash.							
2 – Applied after the interaction reduction.							

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject fuel center.

Fuel Center Traffic Assignment

The estimated weekday morning and weekday evening peak hour traffic volumes that will be generated by the proposed fuel center were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). **Figure 6** illustrates the traffic assignment of the new passenger vehicle trips and **Figure 7** illustrates the traffic assignment of the pass-by trips.

Background (No-Build) Traffic Conditions

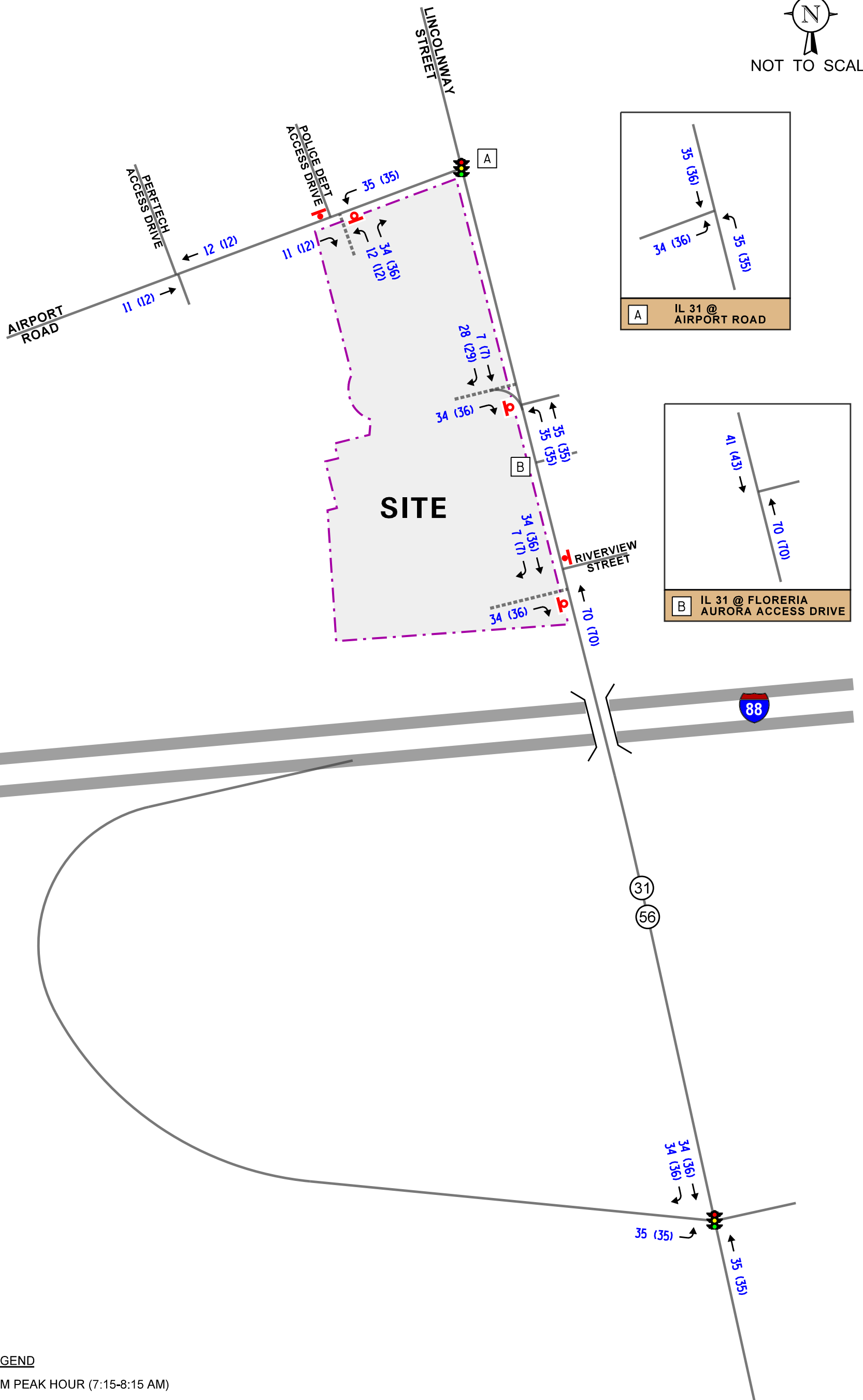
The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on Annual Average Daily Traffic (AADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated September 23, 2024, the existing traffic volumes are projected to increase by a total of seven percent (1.1 percent compounded annually) to represent Year 2030 no-build conditions (one-year buildout plus five years). Year 2030 background traffic volumes are shown in **Figure 8**.

Year 2030 Total Projected Traffic Volumes

The development-generated traffic (Figures 6 and 7) was added to the Year 2030 no-build traffic volumes (Figure 8) to determine the projected Year 2030 total traffic volumes, as shown in **Figure 9**.



NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (4:00-5:00 PM)

FUEL CENTER
NORTH AURORA,
ILLINOIS

NEW SITE TRAFFIC VOLUMES

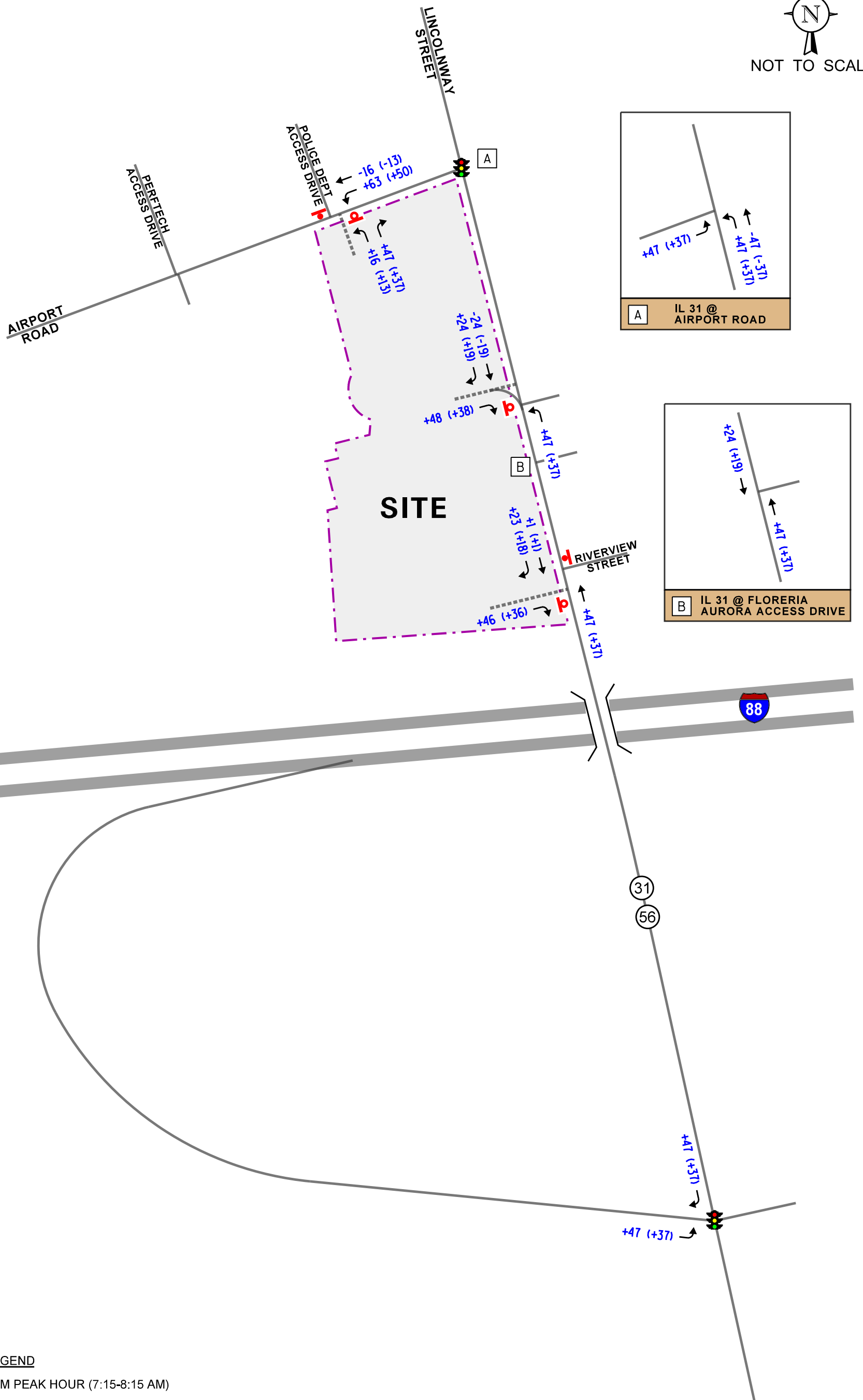


Job No: 24-227

Figure: 6



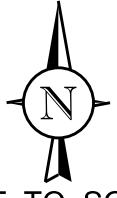
NOT TO SCALE



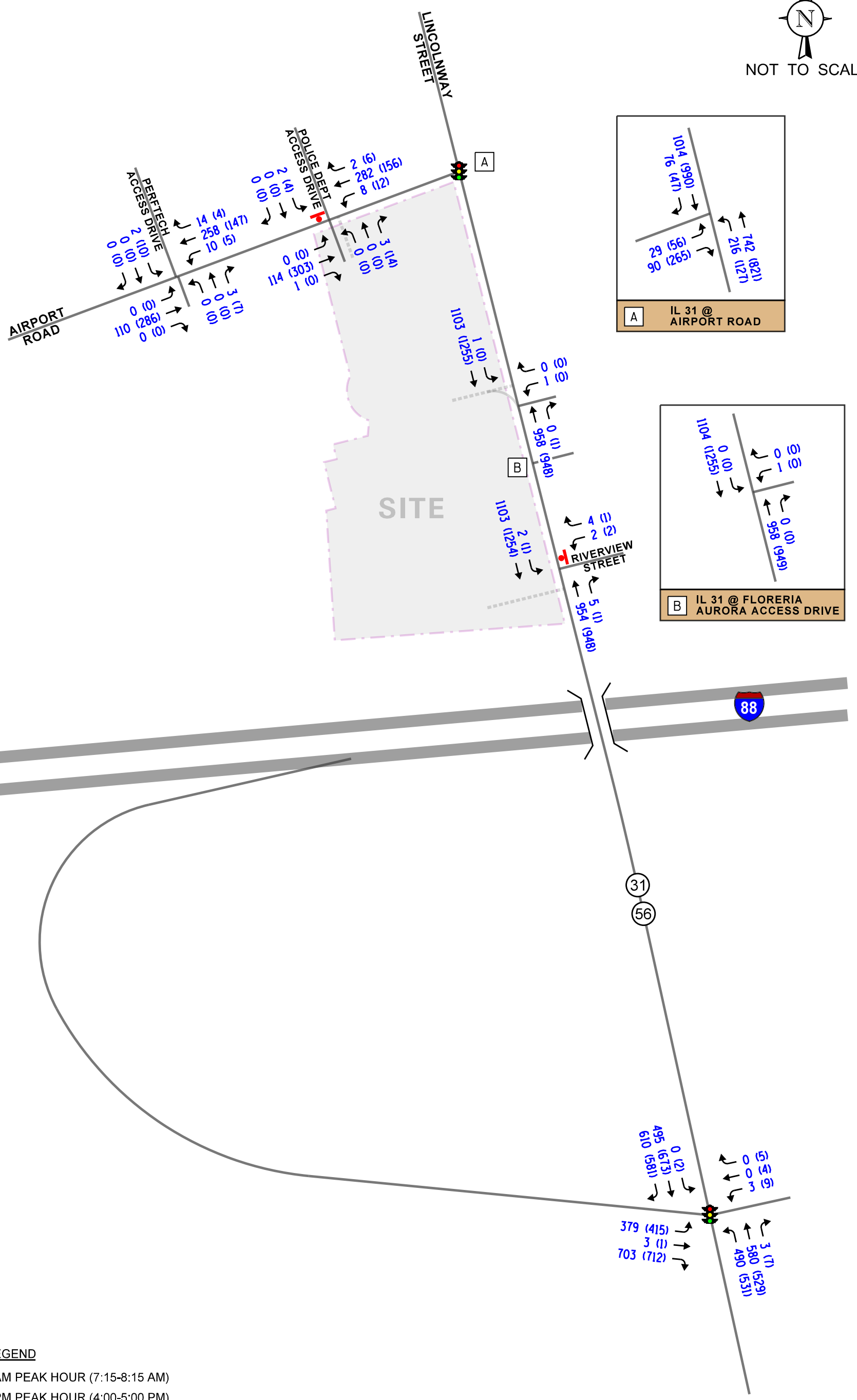
FUEL CENTER
NORTH AURORA,
ILLINOIS

PASS-BY TRAFFIC VOLUMES

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.
Job No: 24-227 Figure: 7



NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (4:00-5:00 PM)

FUEL CENTER
NORTH AURORA,
ILLINOIS

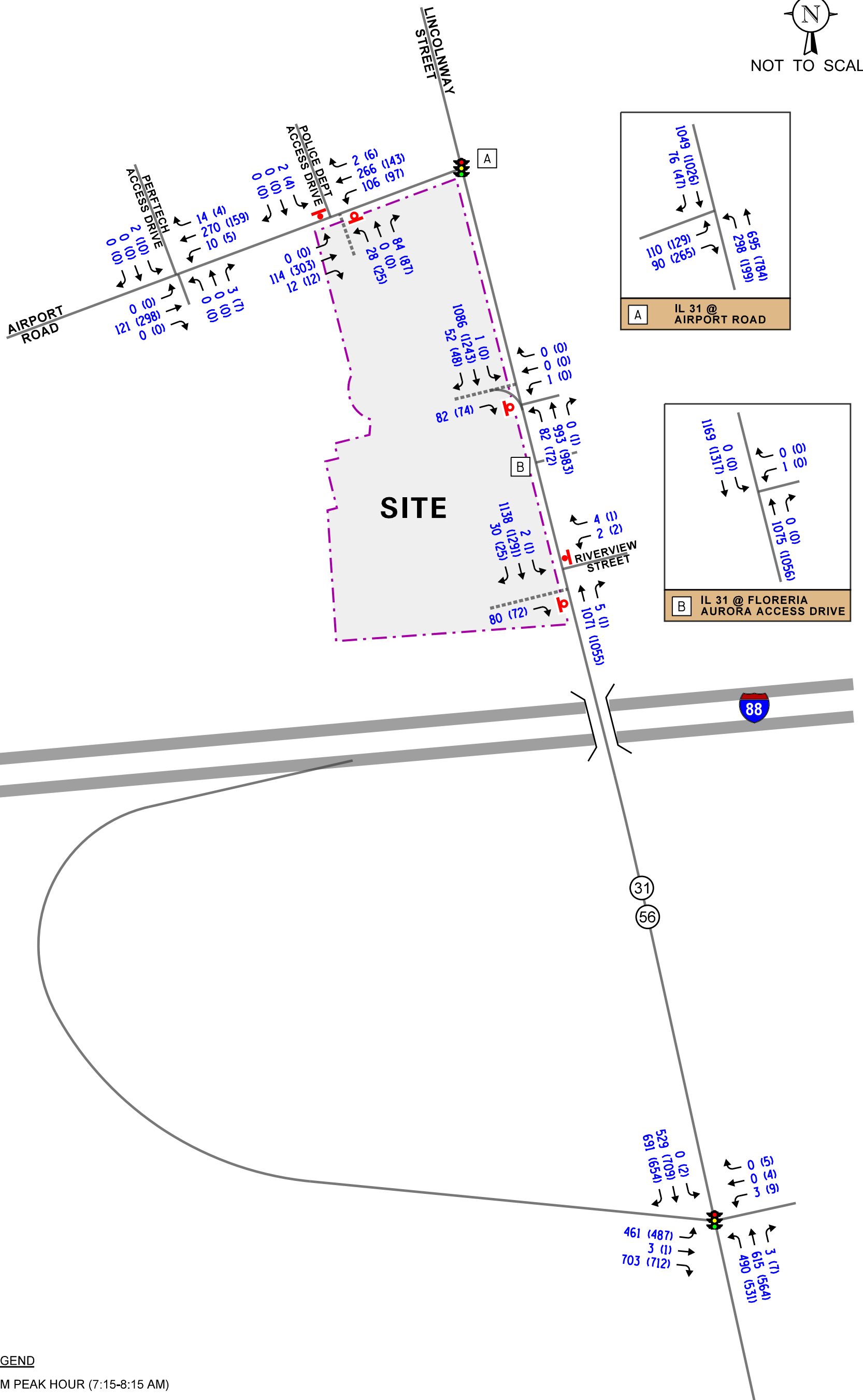
YEAR 2030 NO-BUILD TRAFFIC VOLUMES



Job No: 24-227 Figure: 8



NOT TO SCALE



FUEL CENTER
NORTH AURORA,
ILLINOIS

YEAR 2030 TOTAL TRAFFIC VOLUMES

KLOA
 Kenig, Lindgren, O'Hara, Aboona, Inc.
 Job No: 24-227 Figure: 9

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the existing (Year 2024), Year 2030 no-build, and Year 2030 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 software. The analysis for the traffic-signal controlled intersection were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of services.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing (2024), Year 2030 no-build, and Year 2030 total projected conditions are presented in **Tables 5** through **9**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 5
 IL ROUTE 31 WITH AIRPORT ROAD – SIGNALIZED

	Peak Hour	Eastbound		Northbound		Southbound	Overall
		L	R	L	T	T/R	
Existing Conditions	Weekday Morning	D 47.7	E 64.3	A 8.2	A 2.2	A – 10.00	A 9.9
		E – 60.3		A – 3.6			
	Weekday Evening	D 49.0	F 87.5	A 9.7	A 6.5	B – 15.1	C 20.9
		F – 80.8		A – 6.9			
No-Build Conditions	Weekday Morning	D 47.6	E 65.4	B 12.4	A 2.5	B – 12.0	B 11.5
		E – 61.0		A – 4.8			
	Weekday Evening	D 49.7	F 97.5	B 11.9	A 7.0	B – 15.9	C 22.7
		F – 89.1		A – 7.6			
Projected Conditions	Weekday Morning	E (E) 59.4 (60.4)	E (B) 64.5 (14.0)	C (C) 23.3 (22.8)	A (A) 2.4 (2.3)	B – 14.2 (B – 13.9)	B (B) 15.9 (13.8)
		E – 61.7 (D – 39.5)		A – 8.7 (A – 8.4)			
	Weekday Evening	D (E) 53.9 (70.4)	F (C) 97.5 (26.7)	C (B) 22.9 (15.0)	A (A) 6.6 (3.6)	B – 17.5 (B – 12.0)	C (B) 25.0 (14.2)
		F – 83.2 (D – 41.0)		A – 9.9 (A – 5.9)			
Letter denotes Level of Service		L – Left Turn	R – Right Turn	Values in parentheses are results when assuming right-turns on red for the eastbound approach.			
Delay is measured in seconds.		T – Through					

Table 6

IL ROUTE 31 WITH I-88 RAMPS/EDEN SUPPORTIVE LIVING ACCESS DRIVE – SIGNALZIED

	Peak Hour	Eastbound		Westbound	Northbound		Southbound			Overall
		L/T	R	L/T/R	L	T/R	L	T	R	
Existing Conditions	Weekday Morning	F 80.2	C 20.4	C – 30.0	C 22.1	B 11.9	--	C 29.3	A 8.7	C 25.3
		D – 41.5			B – 16.5		B – 17.9			
	Weekday Evening	E 64.5	B 17.4	C – 22.1	D 46.6	B 17.9	B 19.0	D 41.1	A 6.3	C 30.4
		C – 34.8			C – 32.2		C – 25.0			
No-Build Conditions	Weekday Morning	F 91.2	C 20.7	C – 30.3	C 28.0	B 12.4	--	C 33.5	B 11.3	C 28.7
		D – 45.5			B – 19.5		C – 21.2			
	Weekday Evening	E 66.7	B 15.7	C – 21.8	E 68.1	B 19.0	C 20.5	D 50.4	A 8.0	D 35.8
		C – 34.5			D – 43.4		C – 30.8			
Projected Conditions	Weekday Morning	F 99+	C 21.7	C – 31.0	C 28.9	B 12.3	--	D 37.4	B 15.4	D 40.6
		E – 76.9			B – 19.6		C – 25.0			
	Weekday Evening	F 80.5	B 15.7	C – 21.7	F 91.0	C 20.8	C 23.5	E 56.4	B 10.2	D 42.8
		D – 42.0			D – 54.6		C – 34.2			
Letter denotes Level of Service L – Left Turn R – Right Turn Delay is measured in seconds. T – Through										

Table 7
 UNSIGNALIZED – EXISTING CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL Route 31 with Riverview Street¹				
• Westbound Approach	B	10.7	B	11.6
• Southbound Left Turn	A	8.3	A	8.3
IL Route 31 with Floreria Aurora Access Drive¹				
• Westbound Approach	B	13.0	A	0.0
• Southbound Left Turn	A	0.0	A	0.0
IL Route 31 with Alliance Associates Realtors Access Drive¹				
• Westbound Approach	B	13.4	A	0.0
• Southbound Left Turn	A	8.3	A	0.0
Airport Road with Asbury Gardens East Access Drive/NA Police Dept. Access Drive¹				
• Northbound Approach	A	8.8	B	10.2
• Southbound Approach	B	11.7	B	13.4
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.4	A	7.9
Airport Road with Asbury Gardens West Access Drive/Perftech Access Drive¹				
• Northbound Approach	A	8.8	B	10.3
• Southbound Approach	B	11.5	B	13.3
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.4	A	8.2
LOS = Level of Service		1 – Two-way stop control		
Delay is measured in seconds.				

Table 8
 UNSIGNALIZED – YEAR 2030 NO-BUILD CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL Route 31 with Riverview Street¹				
• Westbound Approach	B	11.0	B	12.2
• Southbound Left Turn	A	8.5	A	8.4
IL Route 31 with Floreria Aurora Access Drive¹				
• Westbound Approach	B	13.4	A	0.0
• Southbound Left Turn	A	0.0	A	0.0
IL Route 31 with Alliance Associates Realtors Access Drive¹				
• Westbound Approach	B	14.1	A	0.0
• Southbound Left Turn	A	8.4	A	0.0
Airport Road with Asbury Gardens East Access Drive/NA Police Dept. Access Drive¹				
• Northbound Approach	A	8.9	B	10.4
• Southbound Approach	B	12.0	B	13.9
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.5	A	8.0
Airport Road with Asbury Gardens West Access Drive/Perftech Access Drive¹				
• Northbound Approach	A	8.8	B	10.5
• Southbound Approach	B	11.7	B	13.9
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.4	A	8.3
LOS = Level of Service		1 – Two-way stop control		
Delay is measured in seconds.				

Table 9
 UNSIGNALIZED – YEAR 2030 TOTAL CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL Route 31 with Riverview Street/Right-In/Right-Out Access Drive¹				
• Eastbound Approach	B	11.7	B	12.5
• Westbound Approach	B	11.8	B	13.1
• Southbound Left Turn	A	8.7	A	8.6
IL Route 31 with Floreria Aurora Access Drive¹				
• Westbound Approach	B	14.4	A	0.0
• Southbound Left Turn	A	0.0	A	0.0
IL Route 31 with Alliance Associates Realtors Access Drive/Prop. Three-Fourths Access¹				
• Eastbound Approach	B	11.5	B	12.2
• Westbound Approach	C	17.4	A	0.0
• Northbound Left Turn	A	9.1	A	9.6
• Southbound Left Turn	A	8.6	A	0.0
Airport Road with Asbury Gardens East Access Drive/NA Police Dept. Access Drive¹				
• Northbound Approach	B	11.5	B	12.9
• Southbound Approach	C	16.6	C	18.2
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.7	A	8.2
Airport Road with Asbury Gardens West Access Drive/Perftech Access Drive¹				
• Northbound Approach	A	8.9	B	10.6
• Southbound Approach	B	12.0	B	14.3
• Eastbound Left Turn	A	0.0	A	0.0
• Westbound Left Turn	A	7.5	A	8.3
LOS = Level of Service		1 – Two-way stop control		
Delay is measured in seconds.				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the fuel center-generated traffic.

IL Route 31 with Airport Road

The results of the capacity analysis indicate that this intersection currently operates at an overall Level of Service (LOS) A during the weekday morning peak hour and at LOS C during the weekday evening peak hour. All the intersection movements currently operate at LOS D or better during both peak hours except the eastbound right-turn movement which currently operates at LOS E during the weekday morning peak hour and at LOS F during the weekday evening peak hour. The poor level of service is due to the fact that the analyses has assumed no right-turns on red, per IDOT requirements, even thorough they are permitted at this intersection. As such, the eastbound right-turn movement and, subsequently, the overall intersection operates better than the analyses indicate.

Under Year 2030 no-build conditions, the intersection is projected to operate at LOS B during the weekday morning peak hour and at LOS C during the weekday evening peak hour. All the movements are projected to continue to operate at LOS D or better accept the eastbound right-turn movement.

Under Year 2030 total projected conditions, the intersection is projected to continue to operate overall at LOS B during the weekday morning peak hour and at LOS C during the weekday evening peak hour. All the movements are projected to continue to operate at LOS D or better accept the eastbound left-turn and right-turn movements. The left-turn movement is projected to operate at the threshold of LOS D/E during the weekday morning peak hour and LOS D during the weekday evening peak hour and the eastbound right-turn movement is projected to continue to operate at LOS E during the weekday morning peak hour and at LOS F during the weekday evening peak hour. Assuming right-turns on red, the eastbound right-turn movement is projected to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour. As such, this intersection has adequate reserve capacity to accommodate the traffic estimated to be generated by the proposed fuel center and no roadway improvements or traffic control modifications are required in conjunction with the proposed fuel center.

IL Route 31 with I-88 Ramps/Eden Supportive Living Access Drive

The results of the capacity analysis indicate that this signalized intersection currently operates at LOS C during the weekday morning and evening peak hours. All the intersection movements currently operate at LOS D or better during both peak hours except the eastbound through/left-turn movement which currently operates at LOS F during the weekday morning peak hour and at LOS E during the weekday evening peak hour. In addition, field observations have shown that the northbound left-turn movement can experience some significant queuing during the weekday evening peak hour. This is due in part to the reduced green time that these movements receive.

Assuming the Year 2030 no-build conditions, this intersection is projected to operate at LOS C during the weekday morning peak hour and LOS D during the weekday evening peak hour. All the intersection movements are projected to operate at LOS D or better during both peak hours except the eastbound through/left-turn movement and the northbound left-turn movement. The eastbound through/left-turn movement is projected to operate at LOS F during the weekday morning peak hour and at LOS E during the weekday evening peak hour and the northbound left-turn movement is projected to operate at LOS E during the weekday evening peak hour.

Assuming the Year 2030 total conditions, this intersection is projected to operate at LOS D during the weekday morning and evening peak hours. All the intersection movements are projected to operate at LOS D or better during both peak hours except the eastbound through/left-turn movement and the northbound left-turn movement. The eastbound through/left-turn movement is projected to continue to operate at LOS F during the weekday morning and evening peak hours and the northbound left-turn movement is projected to operate at LOS F during the weekday evening peak hour. It should be noted that the southbound through movement is projected to operate at on the threshold of LOS D/E. If the Year 2030 total traffic volumes are realized, it is recommended that the traffic signal timings at this intersection should be reoptimized to better distributed the green time over the various movements.

IL Route 31 with Riverview Street/Proposed Right-In/Right-Out Access Drive

The results of the capacity analysis indicate that the westbound approach from Riverview Street currently operates at LOS B during the weekday morning and weekday evening peak hours. The southbound left-turn movement currently operates at LOS A during the peak hours.

Under Year 2030 no-build conditions, the westbound approach and left-turn movement are projected to continue operating at the current levels of service.

Access to the development is to be provided via a restricted right-in/right-out access drive located on the west side of IL Route 31 just south of Riverview Street. This access drive will provide one inbound lane and one outbound lane with the movements restricted to right-turns only via a raised concrete channelized median and signage. Outbound movements will be under stop sign control.

Under Year 2030 total projected conditions, the Riverview Street and the outbound lane of the access drive are projected to operate at LOS B during the weekday morning and evening peak hours and the southbound left-turn movement is projected to continue operating at LOS A during the peak hours. As such, this access drive is projected to provide flexible and efficient access to the site and with limited impact on the operation of the intersection.

IL Route 31 with Floreria Aurora Access Drive

The results of the capacity analysis indicate that the westbound approach currently operates at LOS B during the weekday morning peak hour and at LOS A during the weekday evening peak hour. The southbound left-turn movement currently operates at LOS A during the peak hours. Under Year 2030 no-build and total projected conditions, the access drive approach and left-turn movement are projected to continue operating at the current levels of service. It should be noted that the northbound left-turn lane serving Airport Road will be extended past this access drive. However, given the limited traffic using the access drive, the extension of the left-turn lane is projected to have limited impact on this intersection. As such, the intersection has sufficient reserve capacity to accommodate the traffic to be generated by the fuel center and no roadway improvements or traffic control modifications are required.

IL Route 31 with Alliance Associates Realtors Access Drive/Proposed Three-Fourths Access Drive

The results of the capacity analysis indicate that the westbound approach currently operates at LOS B during the weekday morning peak hour and at LOS A during the weekday evening peak hour. The southbound left-turn movement currently operates at LOS A during the peak hours.

Under Year 2030 no-build conditions, the westbound approach and southbound left-turn movement are projected to continue operating at the current levels of service.

Access to the development is to be provided via a proposed restricted right-turn in/left-turn in/right-turn out access drive located on the west side of IL Route 31 located approximately 365 feet south of Airport Road and opposite Alliance Associates Realtors Access Drive. This access drive will provide one inbound lane and one outbound lane with the outbound lane restricted to right-turns only via a raised concrete channelized median and signage. Outbound movements will be under stop sign control. As part of the development, the IL Route 31 existing northbound left-turn lane serving Airport Road will be extended by approximately 200 feet with 215-foot taper that will serve both Airport Road and the proposed access drive. Additionally, a 115-foot southbound right-turn with a 115-foot taper will be provided on IL Route 31 serving the access drive.

Under Year 2030 total projected conditions, the fuel center access drive outbound movement is projected to operate at LOS B during the weekday morning and evening peak hours. The westbound approach from the Alliance Associates Realtors access drive is projected to operate at LOS C during the weekday morning peak hour and at LOS A during the weekday evening peak hour. The northbound and southbound left-turn movements are projected to operate at LOS A during the peak hours. As such, this access drive is projected to provide flexible and efficient access to the site with limited impact on the operation of the existing intersection.

Airport Road with Asbury Gardens East Access Drive/North Aurora Police Department Station Access Drive

The results of the capacity analysis indicate that the northbound and southbound approaches currently operate at LOS B or better during the weekday morning and weekday evening peak hours. The eastbound and westbound left-turn movements operate at LOS A during the peak hours.

Under Year 2030 no-build conditions, the critical approaches and movements are projected to continue operating at the current levels of service.

Access to the development is to be provided via the existing Asbury Gardens east access drive located opposite the North Aurora Police Department station access drive and approximately 235 feet west of IL Route 31. As proposed, this access drive will be widened to accommodate the turning truck traffic and will continue to provide one inbound lane and one outbound lane. The outbound movements should be under stop sign control.

Under Year 2030 total projected conditions, the access drive approach is projected to operate at LOS B during the weekday morning and evening peak hours and have 95th percentile queues of approximately one to two vehicles. The southbound approach is projected to operate at LOS C and the eastbound and westbound left-turn movements are projected to operate at LOS A during the peak hours. As such, this intersection has adequate reserve capacity to accommodate the traffic estimated to be generated by the proposed fuel center and no additional roadway improvements or traffic control modifications are required in conjunction with the proposed fuel center.

Airport Road with Asbury Gardens West Access Drive/Perftech Access Drive

The results of the capacity analysis indicate that that the northbound and southbound approaches currently operate at LOS B or better during the weekday morning and evening peak hours. The eastbound and westbound left-turn movements operate at LOS A during the peak hours. Under Year 2030 no-build and total projected conditions, the critical approaches and movements are projected to continue operating at the current levels of service. As such, the proposed fuel center is projected to have a limited impact on this intersection and no roadway or traffic control modifications are required.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The traffic projected to be generated by the proposed fuel center will be reduced due to the volume of pass-by traffic that will be diverted from the existing traffic on the adjacent roadways.
- Access to the development will be provided as summarized below:
 - A proposed restricted right-in/right-out access drive on located on the west side of IL Route 31 located just south of Riverview Street. This access drive will provide one inbound lane and one outbound lane with the movements restricted to right-turns only via a raised concrete channelized median and signage. Outbound movements will be under stop sign control.
 - A proposed restricted right-turn in/left-turn in/right-turn out access drive located on the west side of IL Route 31 located approximately 365 feet south of Airport Road. This access drive will provide one inbound lane and one outbound lane with the outbound lane restricted to right-turns only with a raised concrete channelized median and signage. Outbound movements will be under stop sign control. As part of the development, the IL Route 31 existing northbound left-turn lane serving Airport Road will be extended by approximately 200 feet with 215-foot taper that will serve both Airport Road and the proposed access drive. Additionally, a 115-foot southbound right-turn with a 115-foot taper will be provided on IL Route 31 serving the access drive.
 - The existing Asbury Gardens east access drive located opposite the North Aurora Police Department station access drive and located approximately 235 feet west of IL Route 31. As proposed, this access drive will be widened to accommodate the turning truck traffic and will continue to provide one inbound lane and one outbound lane. The outbound movements should be under stop sign control.
- The area roadway system has generally sufficient reserve capacity to accommodate the additional traffic to be generated by the proposed fuel center. If the 2030 total traffic volumes are realized, the traffic signal timings at the IL Route 31 with I-88 ramps and the Eden Supportive Living Access Drive should be reoptimized.
- The proposed access system will be adequate in accommodating the traffic projected to be generated by the proposed fuel center.