



**COMMITTEE OF THE WHOLE MEETING**  
**MONDAY, AUGUST 5, 2024**  
(Immediately following the Village Board Meeting)

**AGENDA**

**CALL TO ORDER**

**ROLL CALL**

**AUDIENCE COMMENTS**

**TRUSTEE COMMENTS**

**DISCUSSION**

1. Gas n' Wash Concept Plan
2. 302 Mitchell PUD

**EXECUTIVE SESSION**

1. Collective Bargaining
2. Property Acquisition

**ADJOURN**

Initials: SB

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## VILLAGE OF NORTH AURORA BOARD REPORT

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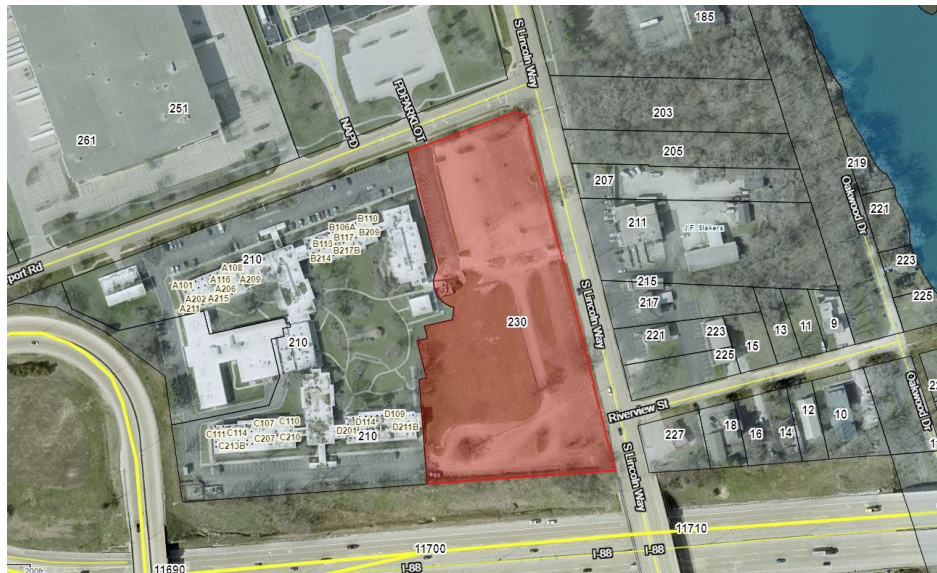
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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**CC:** STEVE BOSCO, VILLAGE ADMINISTRATOR  
**FROM:** NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR  
**SUBJECT:** GAS N WASH CONCEPT PLAN  
**AGENDA:** AUGUST 5, 2024, VILLAGE BOARD COMMITTEE OF THE WHOLE

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### HISTORY

The vacant lot at the southwest corner of Airport Road and S. Lincolnway (IL 31) was formerly developed with a hotel. The building was demolished in 2010 and the site has been vacant ever since. The property is owned by Asbury Gardens which operates an assisted living facility to the west of the property. The property is zoned B-2, General Business district. The Comprehensive Plan calls for this area to be local commercial uses.



### DISCUSSION

The current proposal is to construct a Gas N Wash facility on the property. This would include:

- An 8,065 square foot convenience store with two quick serve restaurant tenants and a video gaming area.
- A drive through for one of the restaurant tenants.
- A long-tunnel car wash with free vacuums.
- An auto fueling canopy with seven fuel pump islands.
- A commercial fueling lane for diesel with two islands located behind the convenience store.

The applicant is proposing 40 parking spaces and drive through stacking for 14 vehicles. The car wash would have stacking for 15 vehicles. As part of the project, IDOT is requiring significant roadway improvements to IL 31. These include left and right turn lanes to access the central drive aisle. This drive aisle is where the trucks would enter the site, circle the building for fuel, and exit to the south. There is also an access point on Airport Road. Trucks could enter off of Airport Road, but all trucks must exit at the southern access point on IL 31. Due to the Right of Way dedications required for the road improvements, there would likely be some setback exception required.

Gas stations, carwashes, and drive throughs are all special uses in the B-2 District. Due to the size of the property, the likely need for code exceptions, and the multiple uses and buildings, the project would be approved as a Planned Unit Development. A site plan, building and signage elevations, and an example interior layout are included in your packet. The applicant is requesting the Board's feedback on this proposal before they move forward with acquiring the property.

## Narrative

### Lenny's Gas N Wash

This narrative is in regards to the Gas N Wash proposed project at 230 S Lincoln way Street, North Aurora, IL. This development is approximately 4.16 acres of currently vacant land. The proposed development will offer the following:

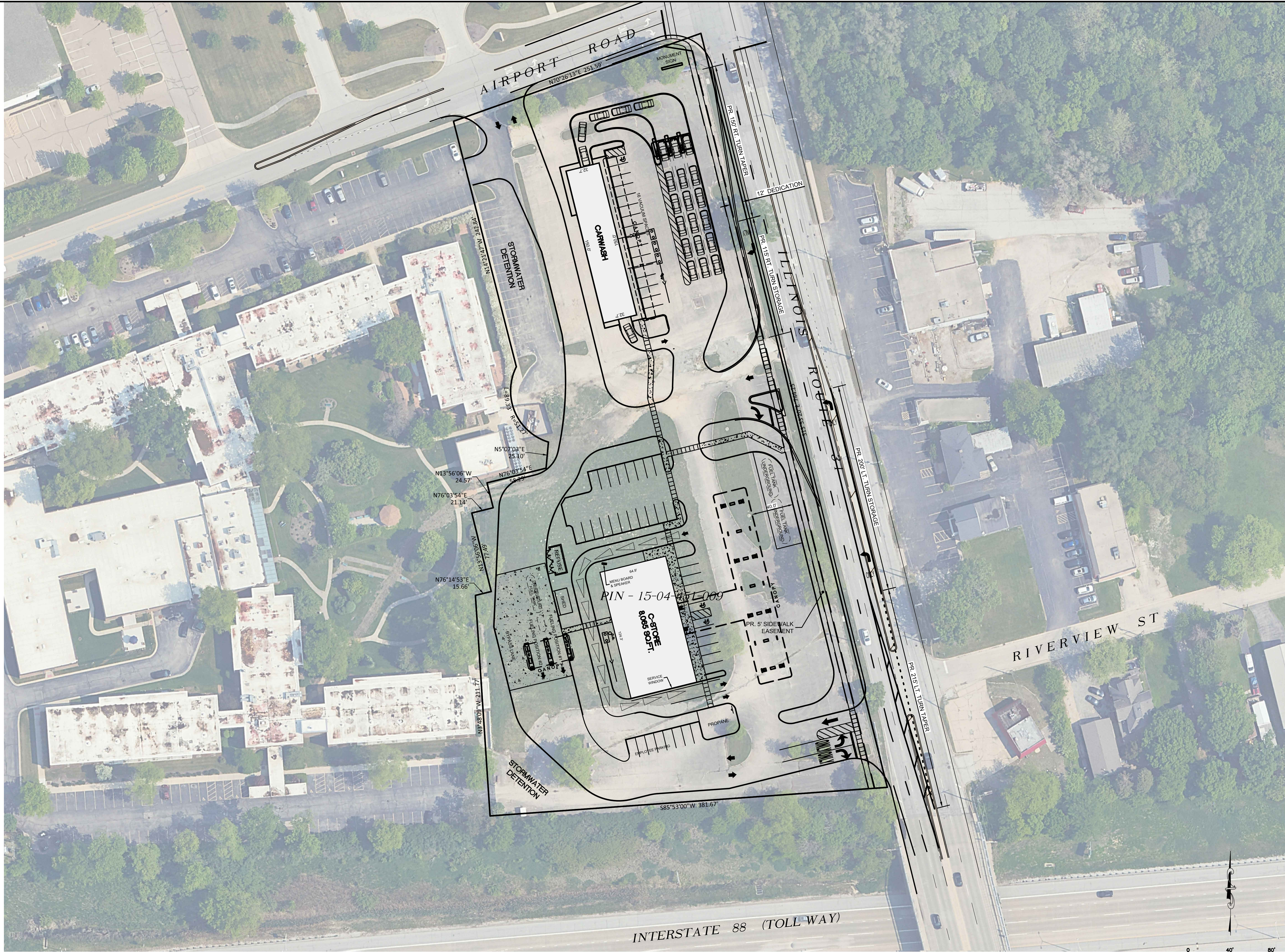
- 8,065 sf convenience store that has (2) quick serve restaurants (QSR). One of the QSR's has a drive thru.
- 4,900 sf express, long-tunnel carwash. This type of express carwash is high quality, low cost, efficient and convenient, which has led to a change in consumer preference, from competing full-service and self-service carwashes.
- Auto Canopy: 7 island inline style.
- CFL (Commercial Fueling Lane) Canopy: 2 lanes

The convenience store will be open 24 hours, as well the gaming area. Six video gaming terminals will be installed at the proposed development. Liquor Sales would operate as allowed per Village ordinance. The car wash will operate from 6:00 am to 10:00 pm. Employees per Business shift are as follows;

- 1<sup>ST</sup> Shift 6am – 2pm / 24 Employees
  - C-Store, (1) QSR – 21 Employees
  - Carwash – 3 Employees
- 2<sup>nd</sup> Shift – 2 pm -10pm / 22 Employees
  - C-Store, (2) QSR – 19 Employees
  - Carwash – 3 Employees
- 3<sup>RD</sup> Shift – 10 pm – 6am / 2 Employees
  - C-Store, – 2 Employees

The two diesel-fueling lanes that are proposed on the property will have 15,000 gallons in diesel sales a month, which is the equivalent to (7) trucks per day. No overnight Truck parking is available at this site. Hours of operation for diesel sales will be from 4 am to 10 pm.

The Gas N Wash family of stores currently includes (21) Gas N Wash locations and (3) Food N Fuel locations. The difference in these two entities, is that Food N Fuel locations do not provide the express, long-tunnel carwash. The Gas N Wash locations, however, do include this added feature. Gas N Wash is a family owned and operated business.



PLAN EDITION MILESTONES	
DATE	DESCRIPTION
4/27/24	ISSUE FOR REVIEW
5/29/24	ISSUE FOR REVIEW
6/14/2024	ISSUE FOR REVIEW
6/19/2024	ISSUE FOR REVIEW

**MGA**  
**CIVIL ENGINEERING SURVEYING**

**M GINGERICH GEREUX & ASSOCIATES**  
**MG2A WEST**  
 Professional Design Firm License # 184-005003  
 P. 815-478-9680 F. 815-478-9685  
 25620 S. GOUGAR RD. | MANHATTAN, IL 60442  
 www.mg2a.com

DESIGN: ###

DRAWING: ###

CHECKED: ###

APPROVED: ###

DESIGN: ###

DRAWING: ###

CHECKED: ###

APPROVED: ###

**GAS N WASH**  
**NWC of IL RTE 31 & I-88**  
 NORTH AURORA, ILLINOIS

**PRELIMINARY CONCEPT PLAN**

SHEET NO.  
**1** OF **1**

JOB NO. 24-147  
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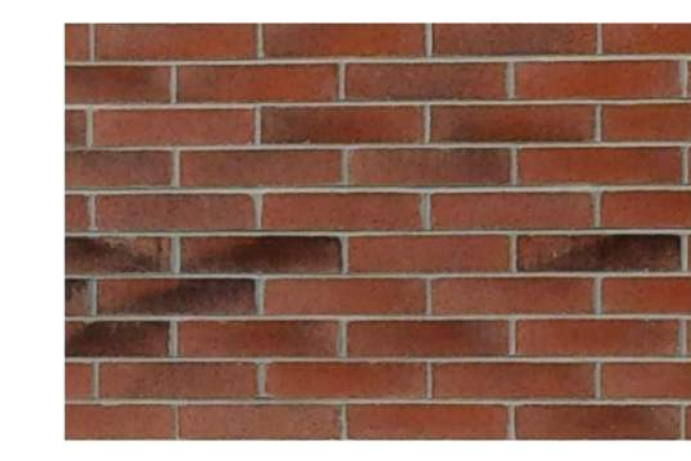
① WEST ELEVATION  
3/16" = 1'-0"



② NORTH ELEVATION  
3/16" = 1'-0"



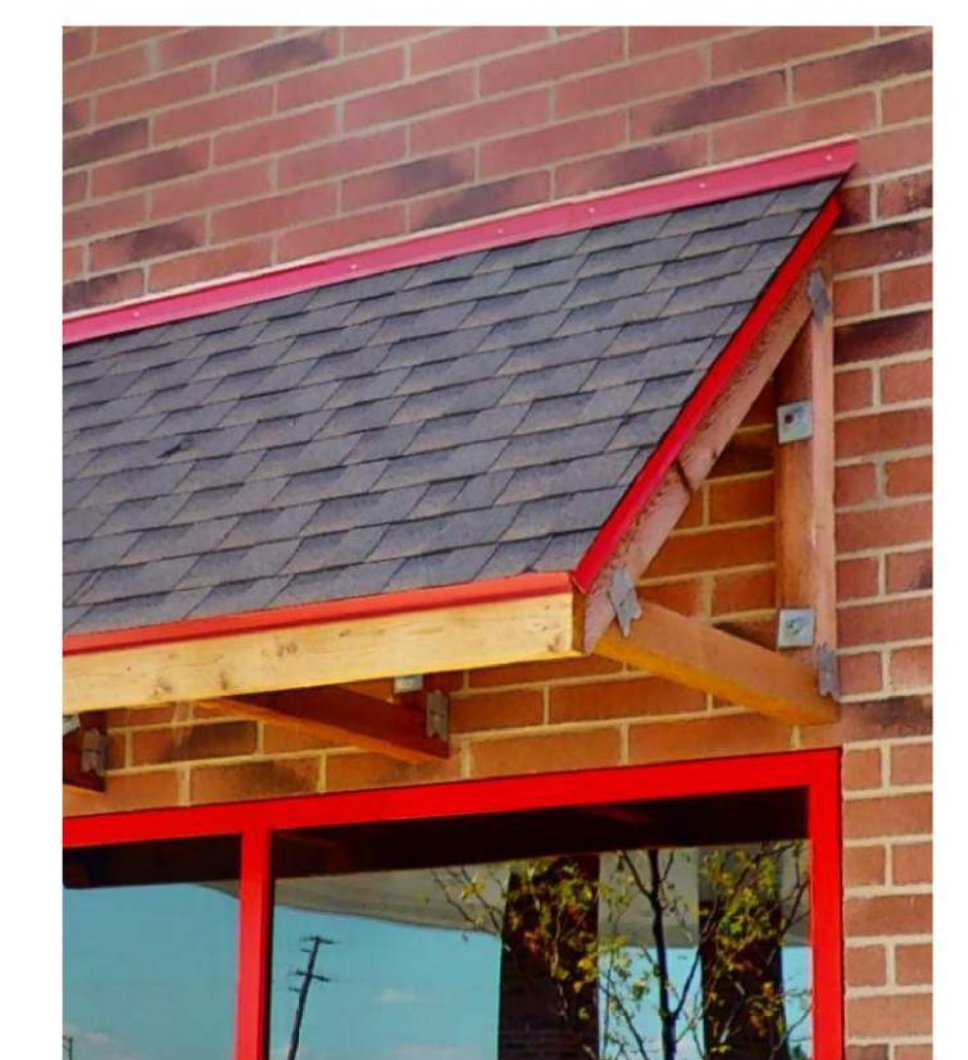
③ SOUTH ELEVATION  
3/16" = 1'-0"



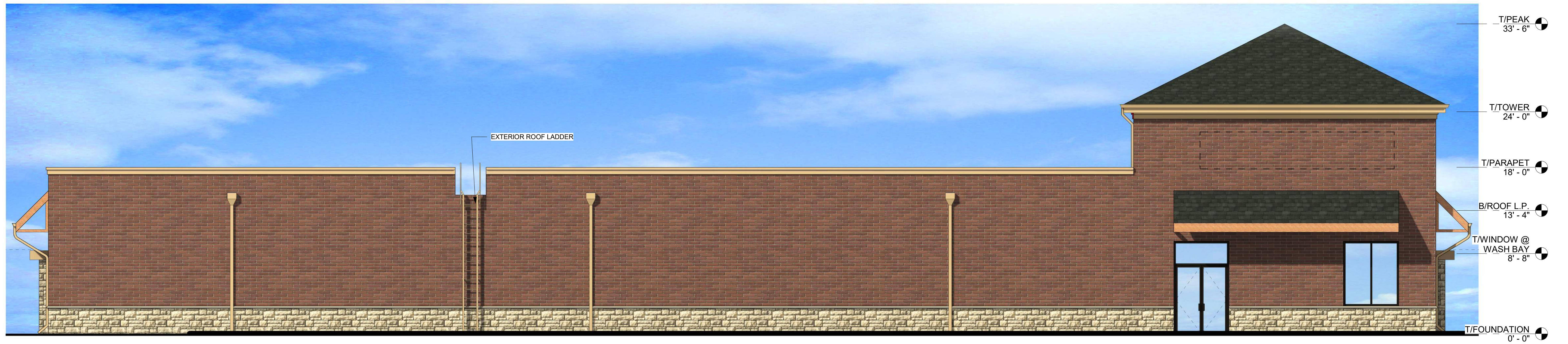
⑤ BRICK SAMPLE  
N.T.S.



⑥ STONE SAMPLE  
N.T.S.



⑦ AWNING/ GLAZING/ RED METAL  
N.T.S.

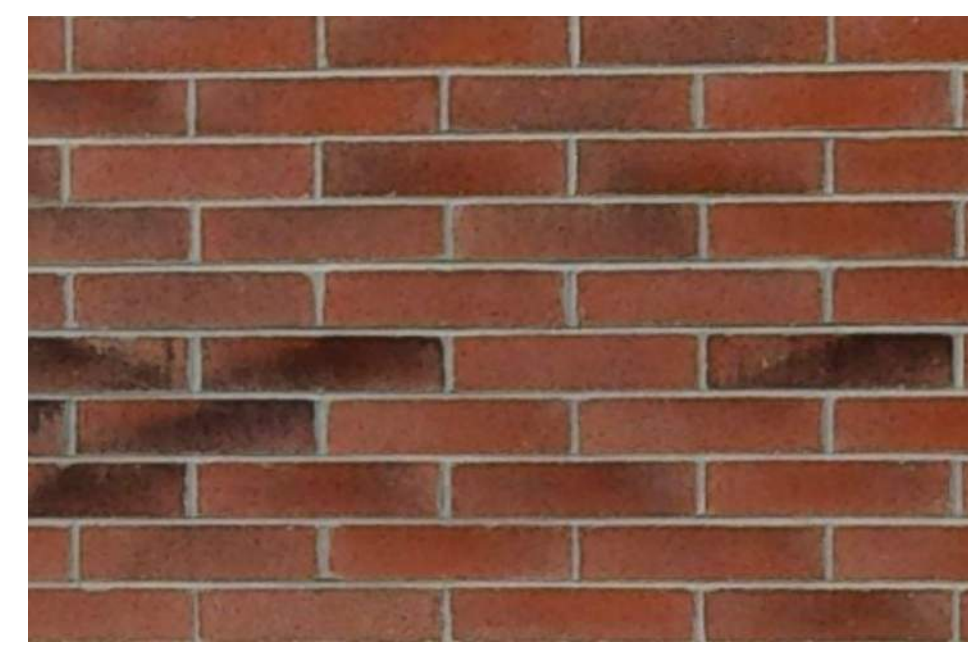
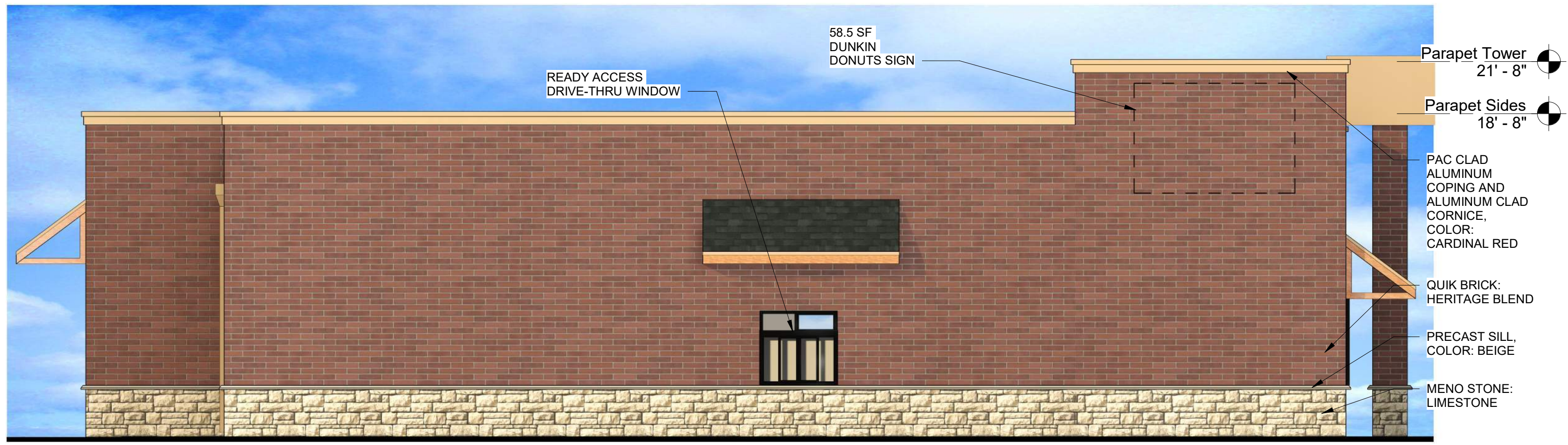


④ EAST ELEVATION  
3/16" = 1'-0"



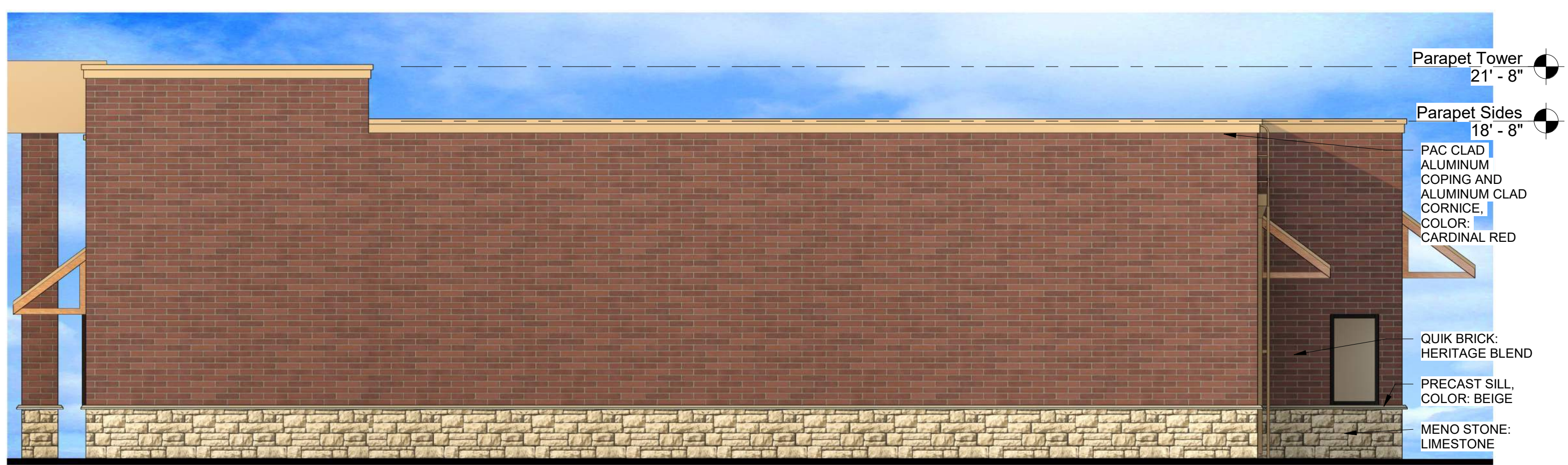
NUMERALS FOR ADDRESS ON THE STREET SIDE IN ARABIC NUMERALS NO LESS THAN 5" IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND.

1 EAST ELEVATION  
3/16" = 1'-0"



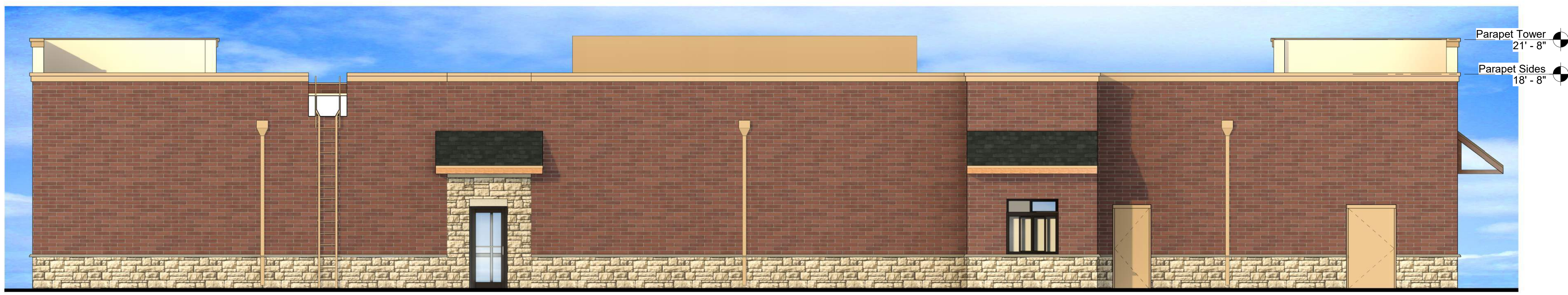
5 BRICK SAMPLE  
N.T.S.

2 SOUTH ELEVATION  
3/16" = 1'-0"



6 STONE SAMPLE  
N.T.S.

3 NORTH ELEVATION  
3/16" = 1'-0"

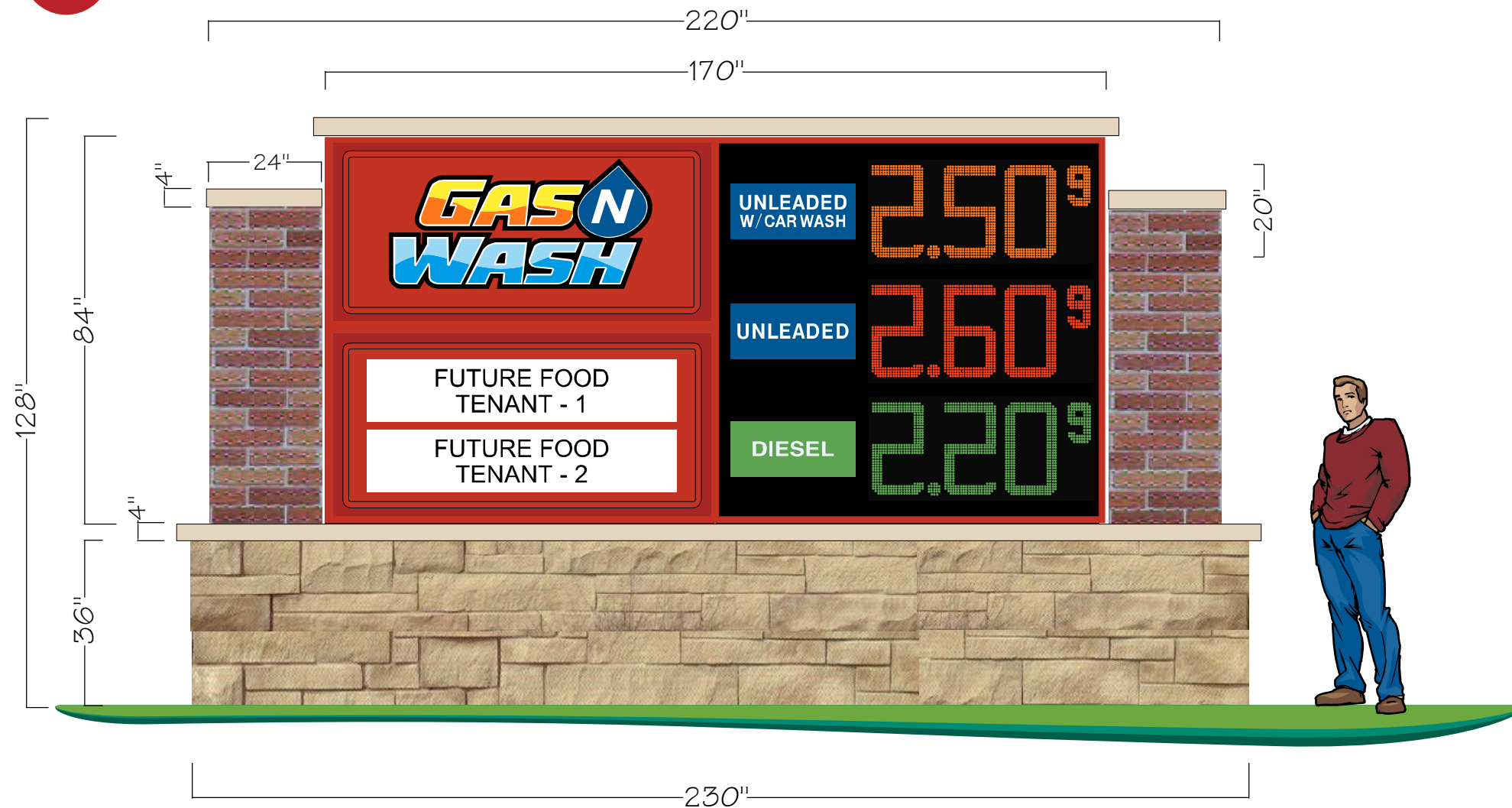


4 WEST ELEVATION  
3/16" = 1'-0"

ISSUE

TO	DATE
CLIENT	05/21/24
CLIENT	07/01/24

A



"GAS N WASH" UPPER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH ILLUMINATED DECORATED GRAPHICS

100 SQ. FT

TENANT LOWER PANEL: TRANSLUCENT 3M RED 230-33 BACKGROUND WITH TRANSLUCENT WHITE TENANT PANELS WITH ILLUMINATED DECORATED GRAPHICS



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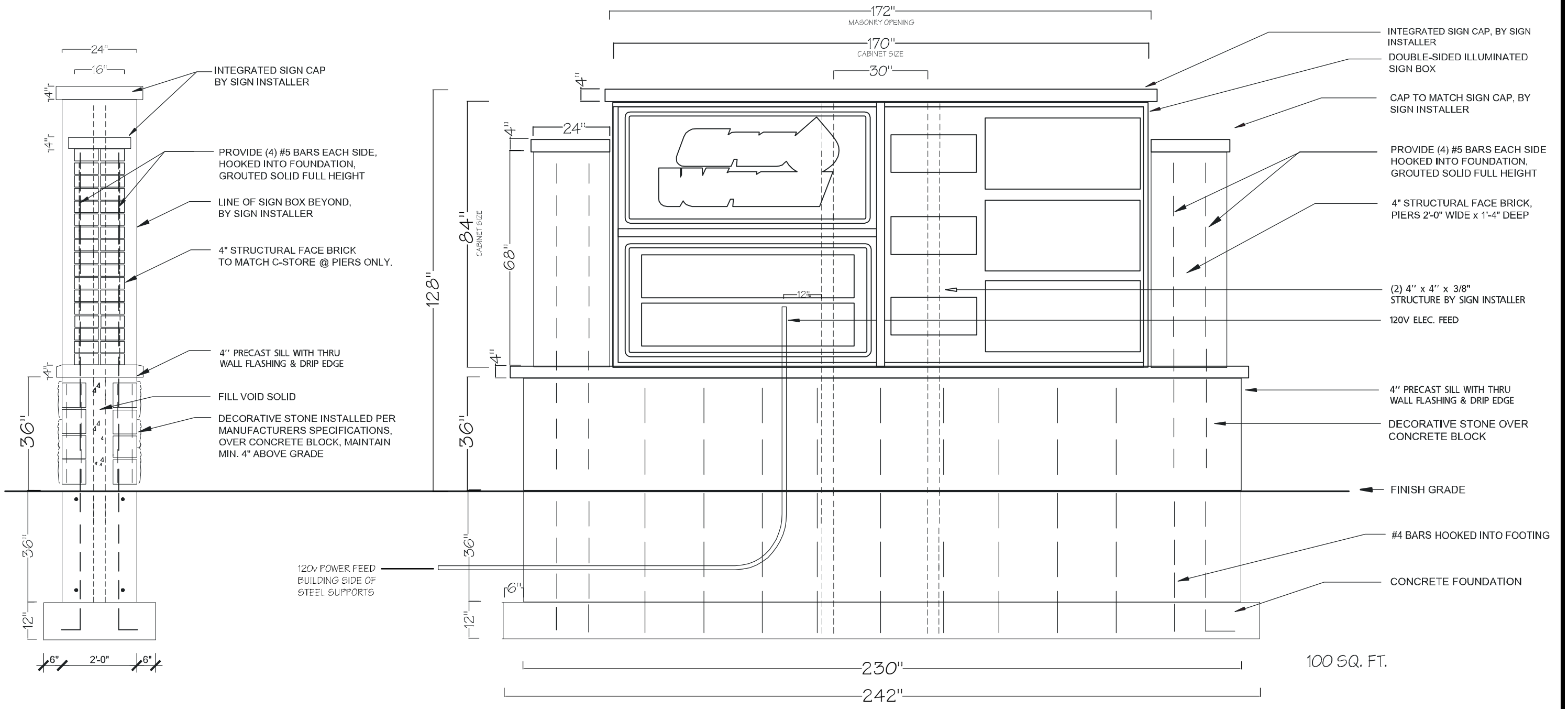
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Approved	Scale	NTS	Title				GAS N WASH - NORTH AURORA	
	Date	6-7-24	Description				ID PRICE MONUMENT	
Date	Drawn By	ED	Revisions By				Drawing No.	
			Date					24-114.2C





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Date

Scale	NTS	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	ID PRICE MONU FOUNDATION			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.2AC



- 36" X 84" ELECTRONIC MESSAGE SIGN: WATCHFIRE W6mm LED RGB - COLOR 144 X 336 SHALL ONLY CONTAIN STATIC DISPLAYS. TRANSITIONS SHALL NOT INCLUDE ANIMATION, VIDEO, BURSTS, SPIRALS OR SIMILAR EFFECTS. STROBE, FLASHING, SCROLLING, SOUNDS OR OTHER ATTENTION GETTING FEATURES ARE PROHIBITED.

70 SQ. FT.



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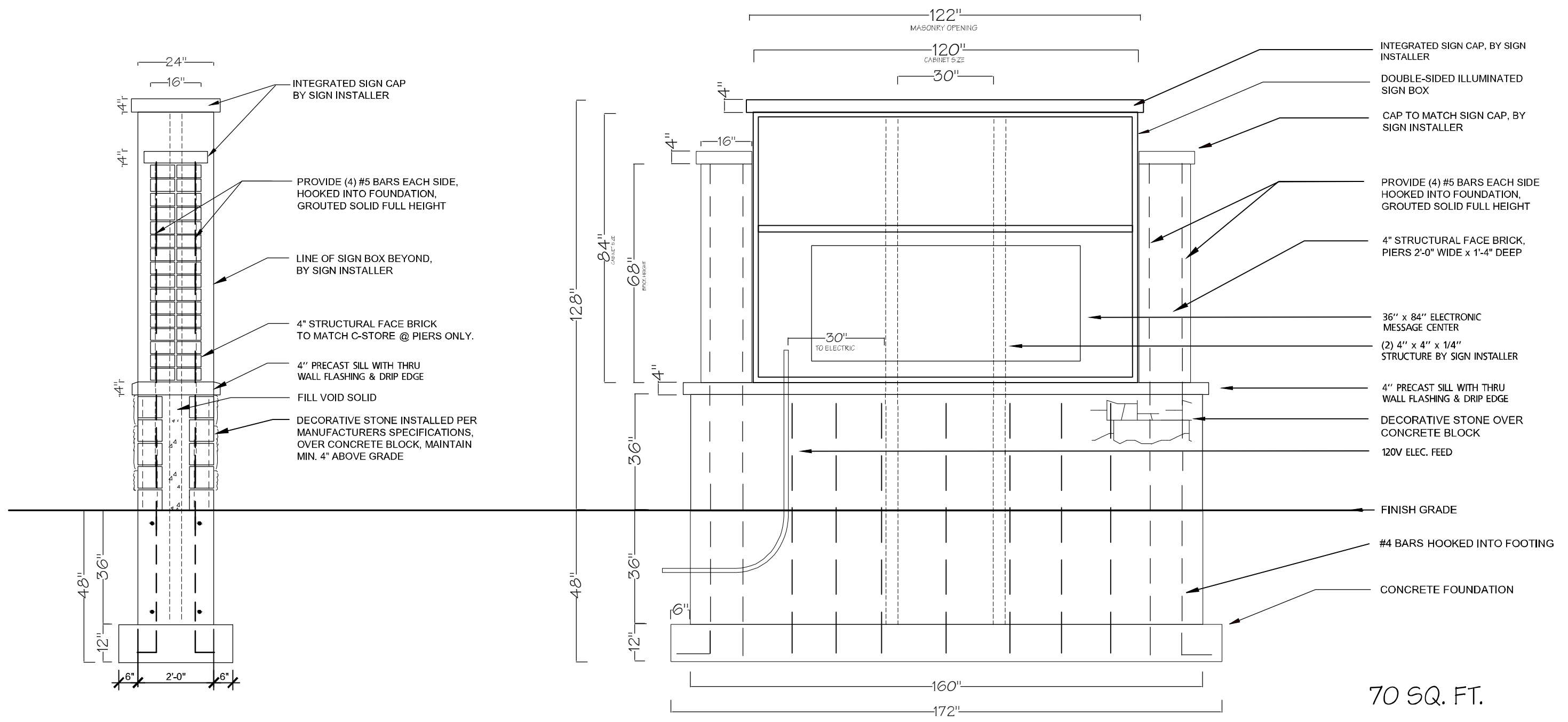
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Date	

Scale	1/2"	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH MONUMENT			
Drawn By	ED	Revisions By				Drawing No. 24-114.3C
		Date				



70 SQ. FT.



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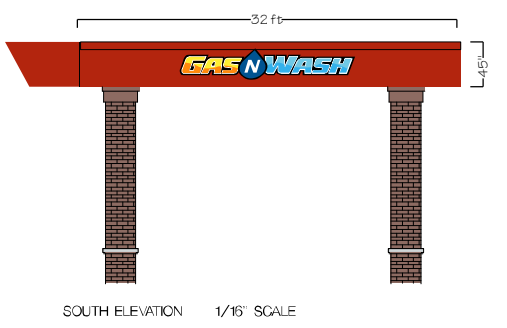
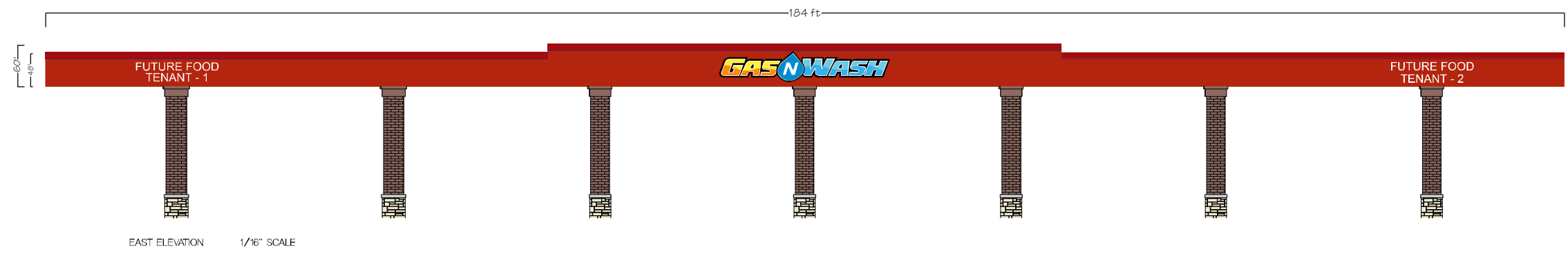
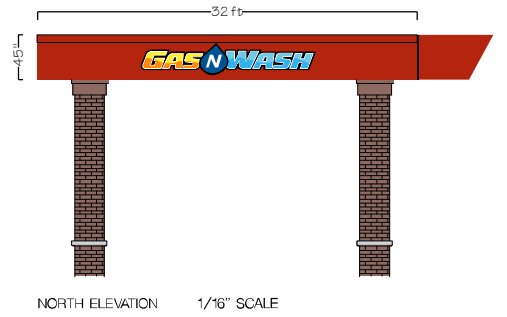
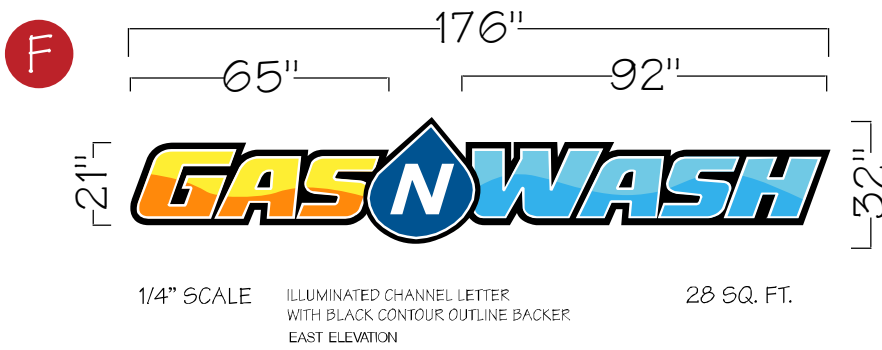
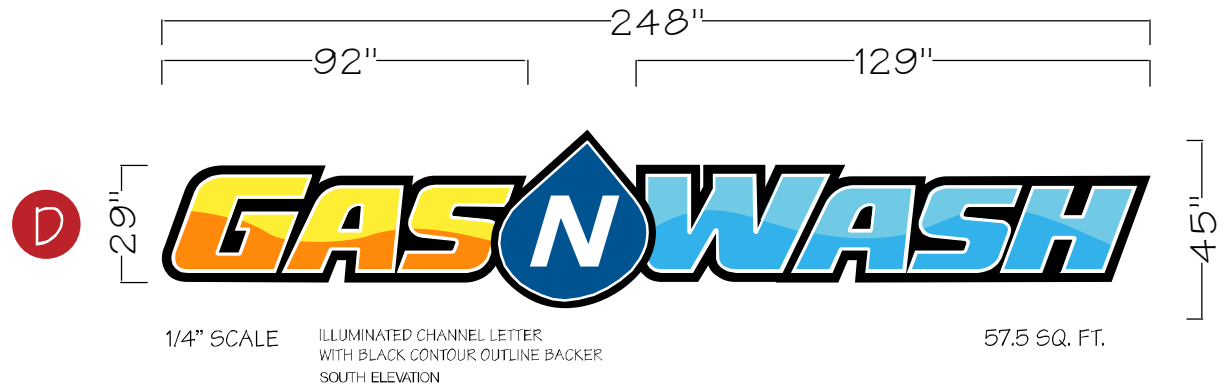
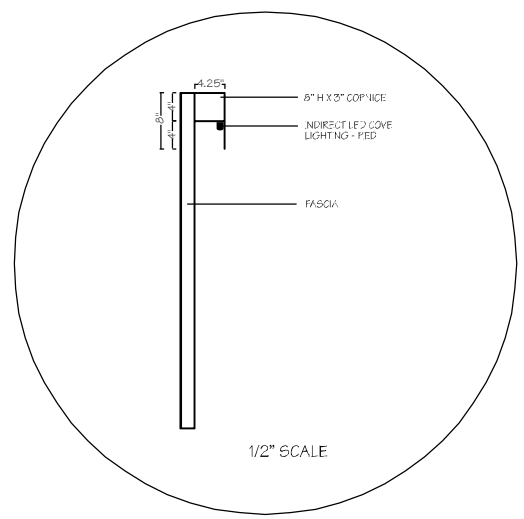
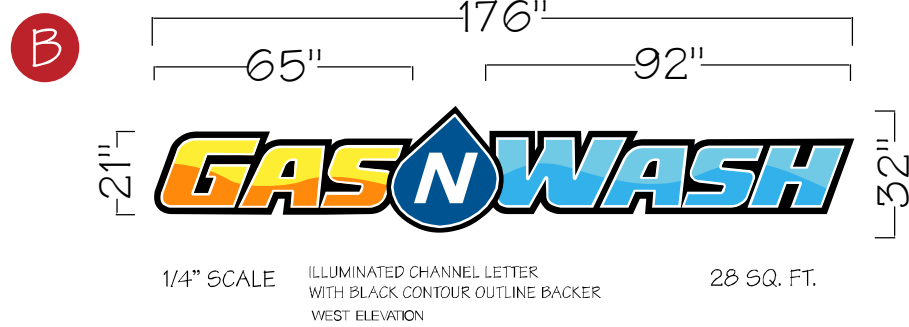
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Scale	1/2"	Title	GAS N WASH - NORTH AURORA		
Date	6-7-24	Description	CAR WASH MONU FOUNDATION		
Drawn By	ED	Revisions By			Drawing No.
		Date			24-114.3AC



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Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	AUTO CANOPY SIGNAGE			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.4C



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Approved	Scale	NTS	Title				GAS N WASH - NORTH AURORA	
	Date	6-7-24	Description				INDIRECT CANOPY COVE LIGHTING	
Date	Drawn By	ED	Revisions By				Drawing No.	24-114.4C LED
			Date					



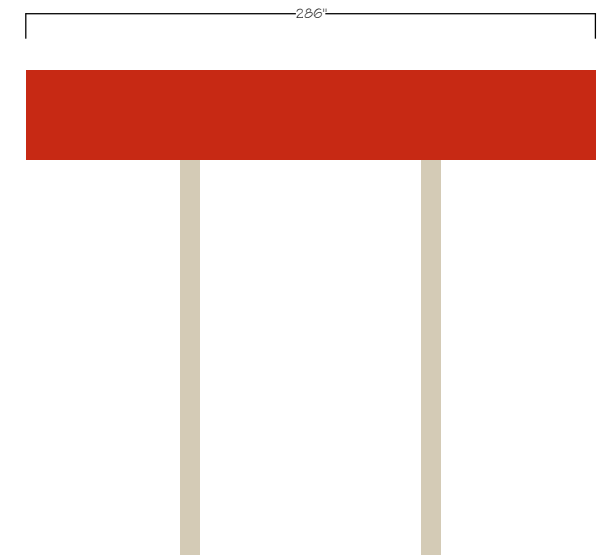
141"  
24"  
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE  
23.5 SQ FT



WEST ELEVATION

1/8" SCALE



SOUTH ELEVATION



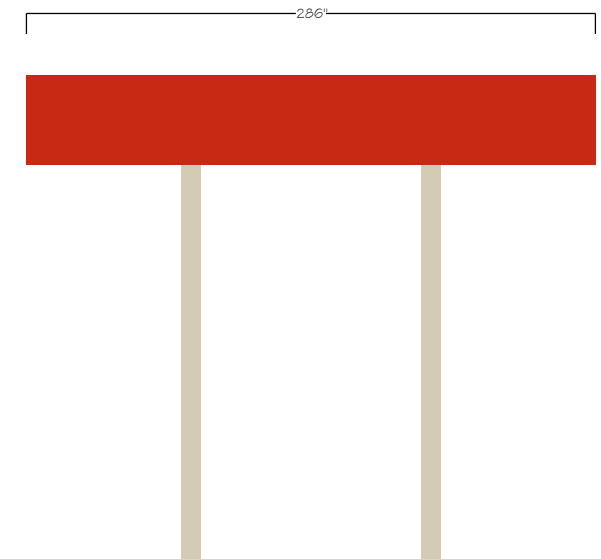
141"  
24"  
TRUCKS

ILLUMINATED CHANNEL LETTERS 3/16" SCALE  
23.5 SQ FT



EAST ELEVATION

1/8" SCALE



NORTH ELEVATION



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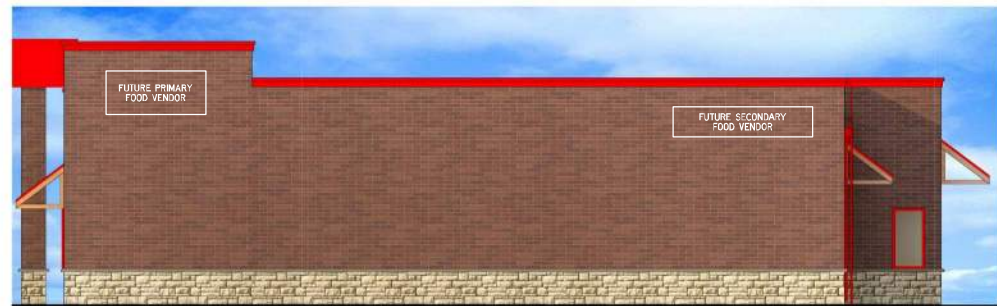
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Date	6-7-24	Description	TRUCK CANOPY			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.5C



EAST ELEVATION 1/16" SCALE

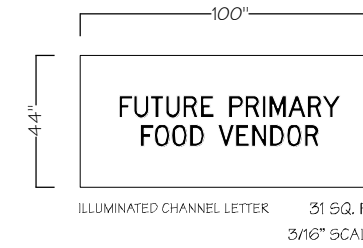


SOUTH ELEVATION 1/16" SCALE

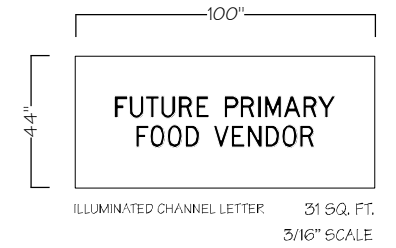


NORTH ELEVATION 1/16" SCALE

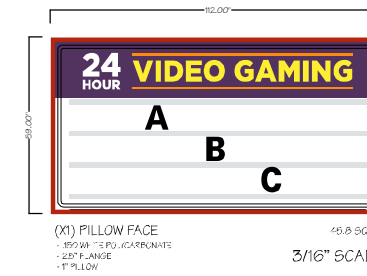
G



H



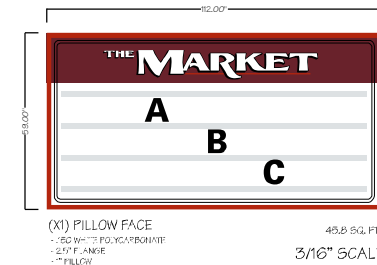
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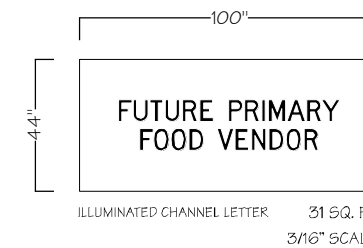
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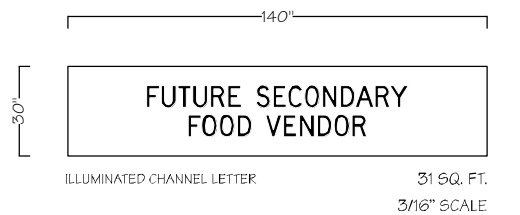
K



L



M



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Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	C-STORE SIGNAGE			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.6C

R



"DRIP" 59" X 55.5" = 22.7 SQ FT  
 "CAR" 23.25" X 84" = 13.5 SQ FT  
 "WASH" 23.25" X 116.5" = 18.8 SQ FT  
 TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER  
 WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



NORTH ELEVATION

1/8" SCALE



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Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING NORTH			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.7C





EAST ELEVATION

1/8" SCALE



"CAR" 23.25" X 84" = 13.5 SQ FT

"WASH" 23.25" X 116.5" = 18.8 SQ FT

TOTAL = 32.3 SQ FT

ILLUMINATED CHANNEL LETTER  
WITH BLACK CONTOUR OUTLINE BACKER

1/4" SCALE



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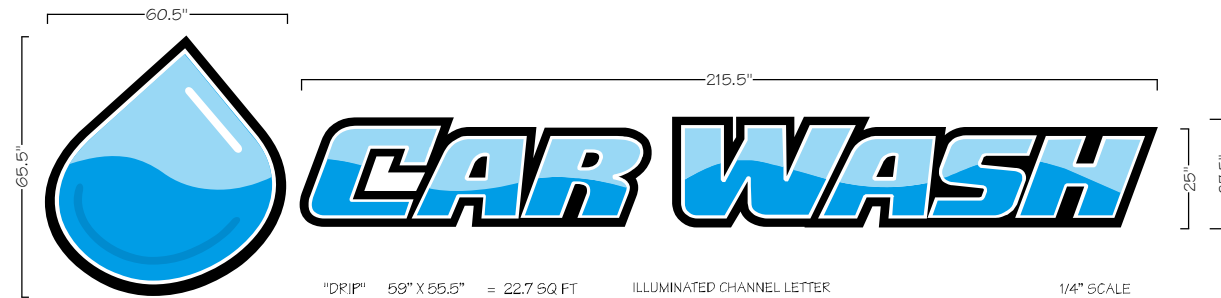
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Date	

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH BUILDING EAST			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.8C



"DRIP" 59" X 55.5" = 22.7 SQ FT  
 "CAP" 23.25" X 8.4" = 13.5 SQ FT  
 "WASH" 23.25" X 116.5" = 18.8 SQ FT  
 TOTAL = 55 SQ FT

ILLUMINATED CHANNEL LETTER  
 WITH BLACK CONTOUR, OUTLINE BACKER

1/4" SCALE



SOUTH ELEVATION

1/8" SCALE



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Approved	Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
	Date	6-7-24	Description	CAR WASH BUILDING SOUTH			
Date	Drawn By	ED	Revisions By				Drawing No. 24-114.9C
			Date				

P

460"

214"

30"

24"

**CAR WASH** Entrance



8'-6"

SINGLE FACE ILLUMINATED CANOPY SIGN  
35.7 SQ. FT.



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Date

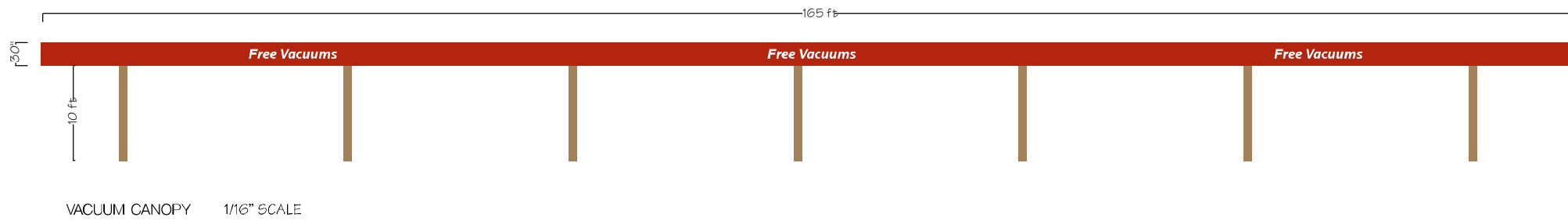
Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH PAY CANOPY			
Drawn By	ED	Revisions By				Drawing No. 24-114.10C
		Date				

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1/2" SCALE  
 NON - ILLUMINATED  
 HP DIE CUT VINYL GRAPHICS  
 9.4 SQ. FT.  
 TOTAL 28.2 SQ FT



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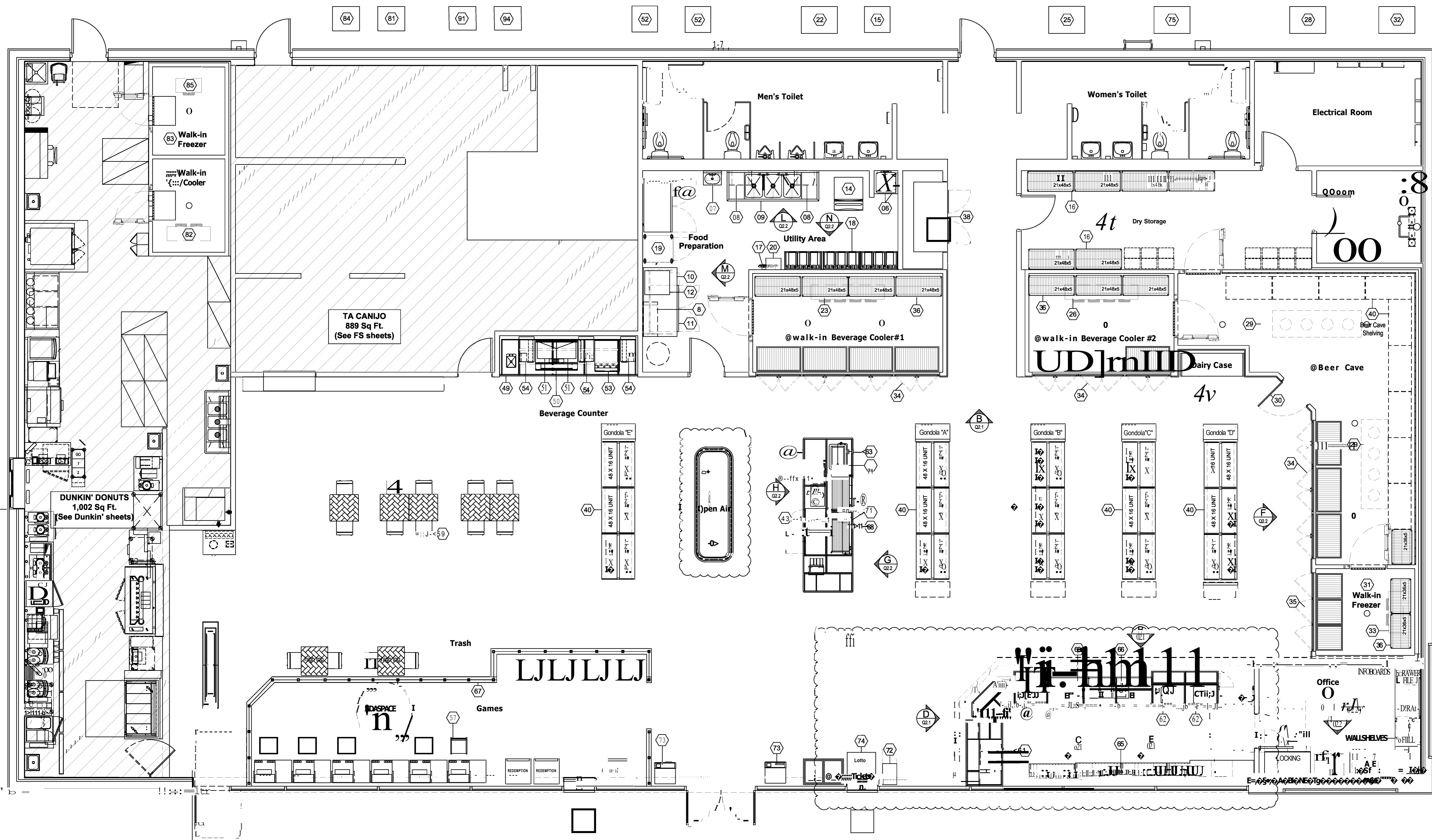
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Approved \_\_\_\_\_  
 Date \_\_\_\_\_

Scale	NOTED	Title	GAS N WASH - NORTH AURORA			
Date	6-7-24	Description	CAR WASH VACUUM CANOPY			
Drawn By	ED	Revisions By				Drawing No.
		Date				24-114.11C



**Example Store Layout**

**SYMBOL LEGEND**

Ⓜ(R) Equipment Elevation: See sheets starting at Q21 for equipment elevations

**C-STORE EQUIPMENT PLAN**

4ft. 4ft. 8ft. 8ft.

SCALE 1/4"=1'-0"

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**VILLAGE OF NORTH AURORA  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR

**FROM:** NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR

**SUBJECT:** PETITION #24-01: 302 MITCHELL ROAD PLANNED UNIT DEVELOPMENT

**AGENDA:** AUGUST 5, 2024 COMMITTEE OF THE WHOLE MEETING

---

## **DISCUSSION**

The petitioner (Prologis) is proposing to establish the property as an industrial planned unit development ("PUD"). The petitioner intends to construct a 439,380 square-foot industrial office/warehouse building on Lot 3, which consists of 23.96 acres in the Liberty Business Center. Lot 3 is located immediately west of the existing building at 300 Mitchell Road (lot 2).

The property was originally annexed in 1987 and zoned for industrial uses. In 2007, Liberty had the plat for the business park approved which created three lots for warehouse development as well as various outlots for stormwater detention. Lots 2 and 3 were mass graded in 2008. However, due to the recession, no further building was completed at that time. The building at 300 Mitchell was completed in 2015. The balance of the site including this lot and lot 1 (400 Mitchell) had mass grading, utility, and stormwater improvements completed in 2017. Since the lots were initially created in 2007, Village code has changed to require PUD and Site Plan approval for any development over 2 acres. The current owner of the property, Prologis, is now petitioning for that approval for lot 3. The Board approved a similar PUD for Lot 1 in May of 2023.

The petition was reviewed by the Plan Commission on February 6, 2024 and the Board at the February 19, 2024 Committee of the Whole meeting. At both meetings, residents expressed concerns about truck parking, idling, and stacking along the northern drive aisle as well as lighting and noise effects on their homes. Most of those concerns related to the existing building at 300 Mitchell. While this building is not up for approval, what goes on there, deeply affects the neighborhood and the future use of the building at 302. Since these meetings there have been several developments at the existing building at 300 Mitchell that help alleviate some of the concerns. These include:

- The previous tenant, Dart, has moved out. A new tenant, Bimbo Bakery, has leased the space and has submitted permit drawings for interior remodel and engineering drawings for a site reconfiguration.
  - Included in the site work is opening the southern access point up to a full access on Mitchell. This will allow the trucks utilize the southern drive aisle.
  - They are also converting the southern car parking into a truck staging area. This will allow the trucks waiting to check in to line up on the south side of the building.
  - Finally, they are installing the eastern most trailer parking stalls. This was shown on the original plan but "land banked," meaning they were never installed. Installing these spaces now should ensure that overflow trailers never need to be parked on the northern drive aisle.

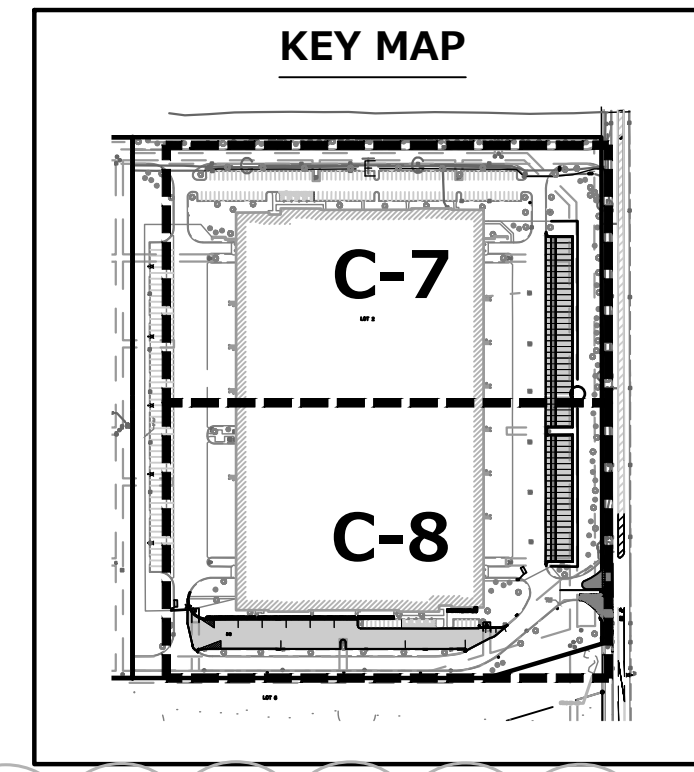
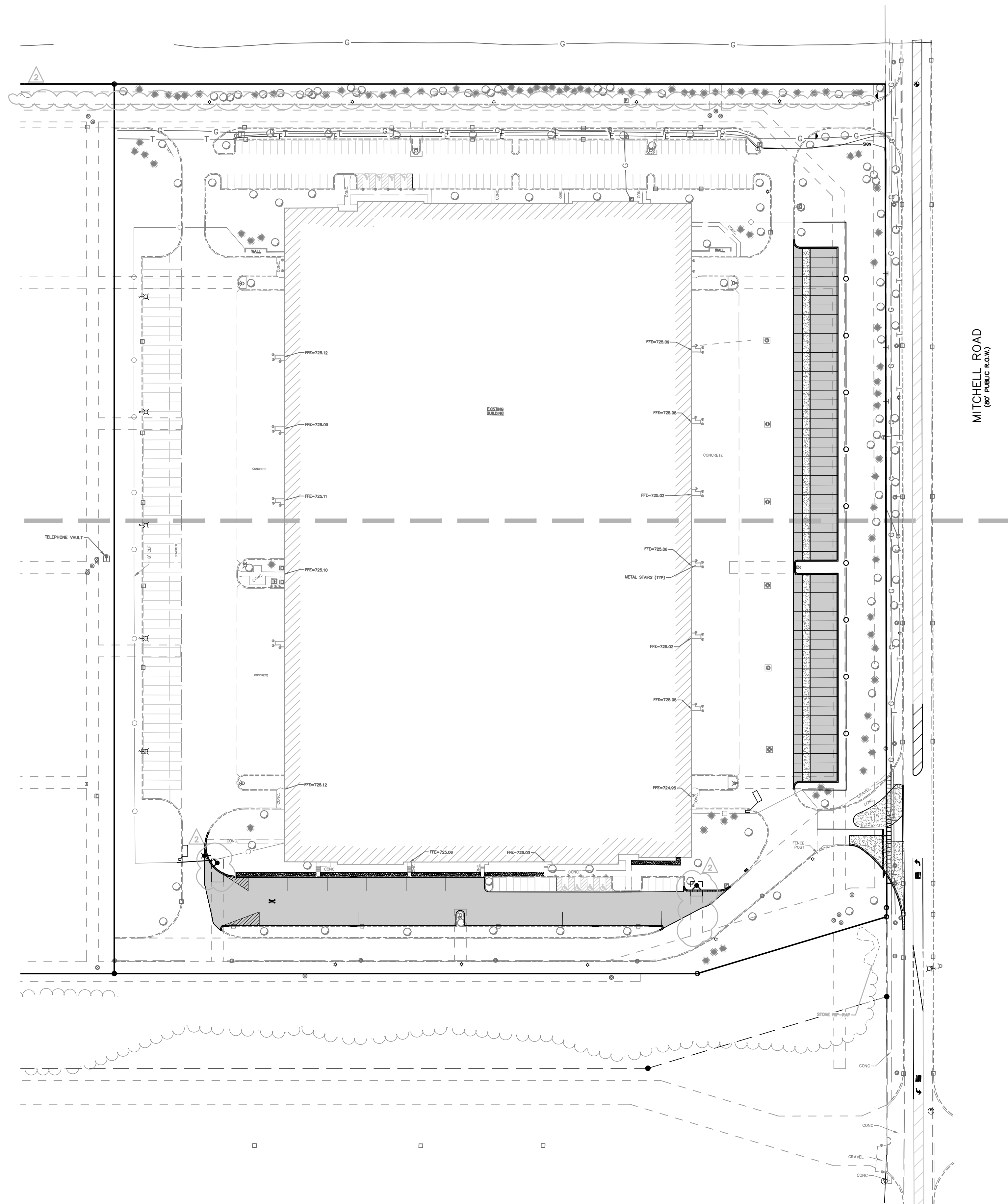
- Prologis has installed guards in all of the site light fixtures to help direct the light straight down.
- Prologis is evaluating the landscaping on the 300 Mitchell site and will be replacing 33 trees to bring it into compliance with code.

With these improvements to the 300 Mitchell site underway, Prologis has requested that the formal approval of the 302 Site move forward. There are two requests for approval being made to the Village as part of Petition #24-01; A Special Use – Planned Unit Development and Site Plan Approval. The site plan for 302 is the same as it was in February with the following exceptions.

- Trucks can now enter the 302 site from the southern entrance thanks to the improvements being made at the 300 site.
- A solid fence has been added along the northern drive aisle to provide more screening for the residents.

Staff would like to take this opportunity to solicit feedback from the Village Board on Petition #24-01.

7/29/2024 3:37 PM - Z:\Projects\2024\5580.00-IL\600 - CAD\FINAL SHEETS\SITE DIMENSIONAL & PAVING PLAN.dwg  
 REVISED: BDJ  
 DESIGNED: DAT  
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SITE DATA TABLE	
SITE AREA:	25.07 ACRES
BUILDING FOOTPRINT:	429,980 SF.
OFFICE:	13,268 SF.
WAREHOUSE:	416,712 SF.
PARKING REQUIRED	
WAREHOUSE (1/5000 SF):	84 STALLS
OFFICE (2/1000 SF):	27 STALLS
TOTAL:	111 STALLS
PARKING PROVIDED	
TRAILER:	112 STALLS
PARALLEL TRAILER:	4 STALLS
PARALLEL TRAILER (CAB ONLY):	6 STALLS
AUTO:	146 STALLS
ADA:	8 STALLS
TOTAL:	276 STALLS
TRUCK DOCKS	
DOCK-HIGH DOORS:	77
GRADE-LEVEL DOORS:	4

- #### SITE DIMENSIONAL AND PAVING NOTES
- ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
  - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
  - REBAR / TIEBARS SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE ABUTS OTHER CONCRETE FEATURES (i.e. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS. ALL REBAR/TIEBAR SHALL BE EPOXY COATED.
  - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
  - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
  - REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMP AND HANDICAP STRIPING.
  - REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

#### PAVING LEGEND

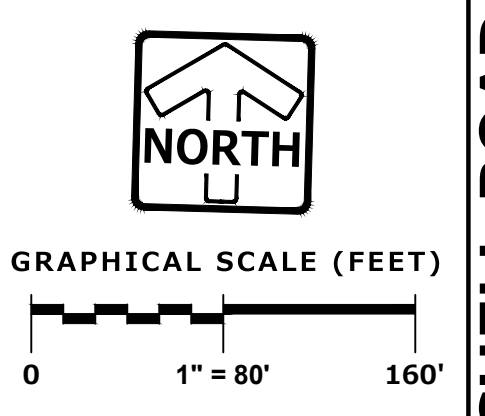
	CONCRETE PAVEMENT
8"	PORTLAND CEMENT CONCRETE WITH 6"x6" W2.1 x 8GA. WWF
6"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
	HEAVY DUTY ASPHALT PAVEMENT
2"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)
5"	BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
12"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	SIDEWALK
5"	PORTLAND CEMENT CONCRETE (UNREINFORCED)
4"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B

\*NOTE: FINAL PAVEMENT SECTIONS TO BE DETERMINED BY OWNER AND/OR GEOTECH RECOMMENDATIONS

	B-6.12 CURB & GUTTER
	REVERSE PITCH B-6.12 CURB & GUTTER
	DEPRESSED B-6.12 CURB & GUTTER
	PARKING STALL COUNT (NOT TO BE PAINTED)
	PEDESTAL POLE
	BOLLARD

#### STRIPING/SIGNAGE LEGEND

- 4" YELLOW LINE
- YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS
- 24" WIDE WHITE STOP BAR
- 4" DOUBLE YELLOW LINE
- 6" WHITE LINE
- 6" WHITE LINE (2' DASH - 6' SKIP)
- WHITE LETTERS/SYMBOLS PAVEMENT
- 45 DEGREE STRIPES - 6' SPACING
- STOP SIGN
- "TRUCKS TO USE SOUTH ACCESS ONLY" SIGN



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## 300 MITCHELL ROAD NORTH AURORA, ILLINOIS

REVISIONS	
1	VILLAGE COMMENTS 7/19/2024
2	VILLAGE COMMENTS 7/29/2024

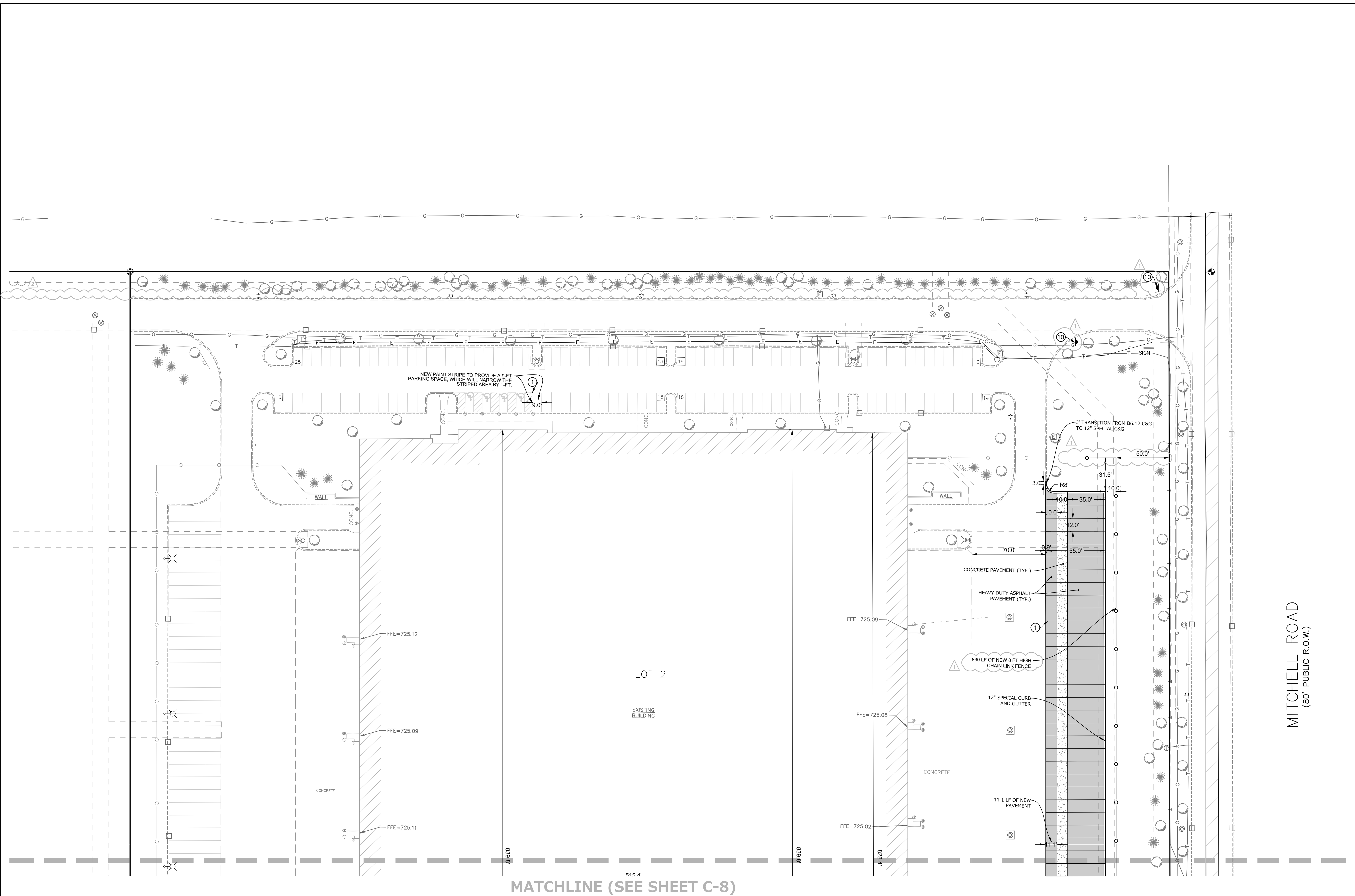
## OVERALL SITE DIMENSIONAL & PAVING PLAN

SHEET  
**C-6**  
 OF  
**C-19**

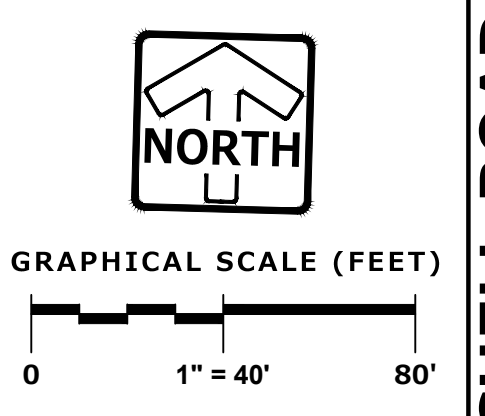
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 300 MITCHELL ROAD - OVERALL SITE DIMENSIONAL & PAVING PLAN



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MATCHLINE (SEE SHEET C-8)



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**300 MITCHELL ROAD**  
 NORTH AURORA, ILLINOIS

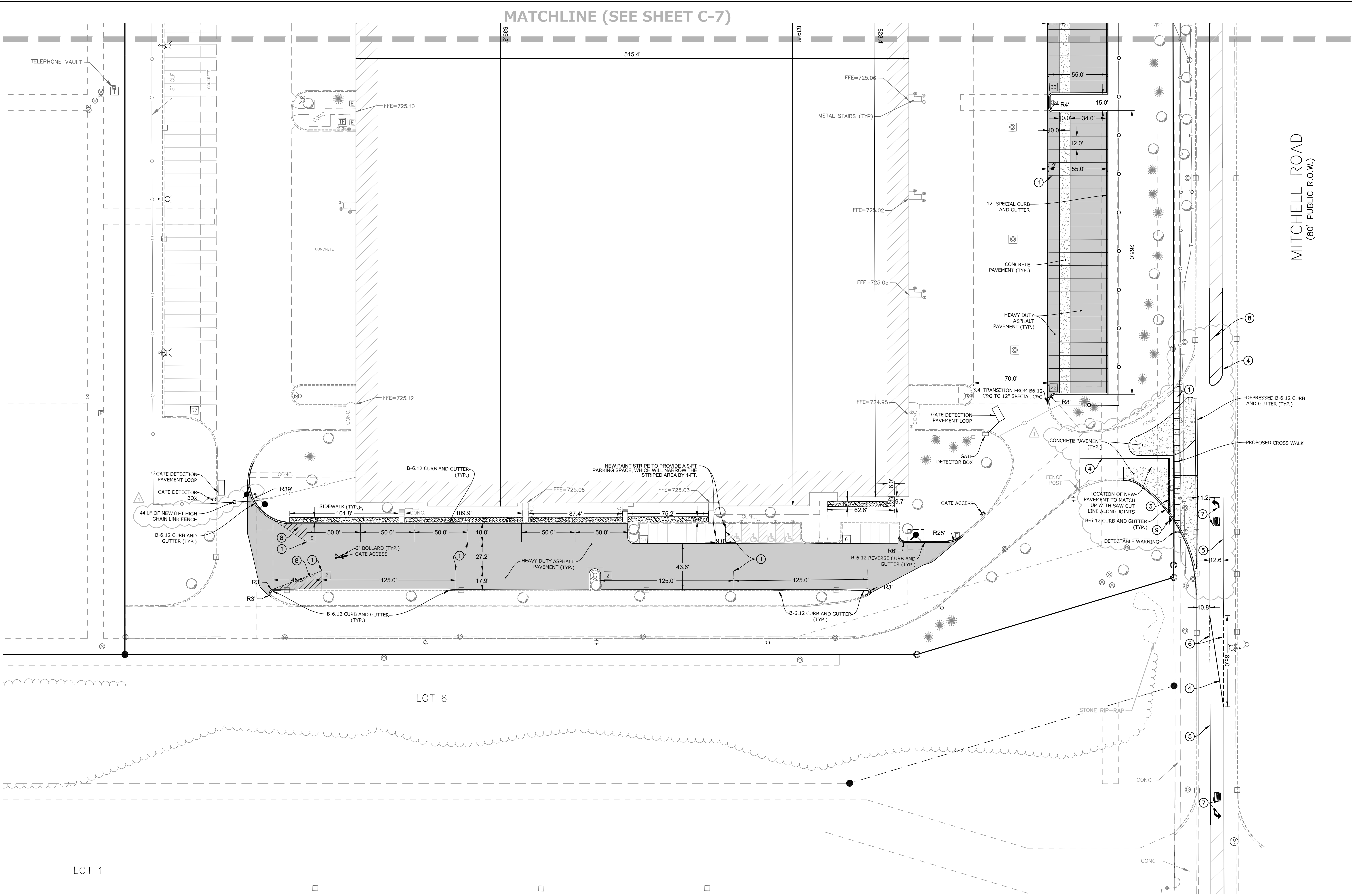
REVISIONS	
1	VILLAGE COMMENTS 7/19/2024
2	VILLAGE COMMENTS 7/29/2024

**SITE DIMENSIONAL & PAVING PLAN**

SHEET  
**C-7**  
 OF  
**C-19**  
 REG JOB NO. 5580.00-IL  
 REG PM BDJ  
 START DATE 04/12/24  
 SCALE 1"=40'  
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**300 MITCHELL ROAD - SITE DIMENSIONAL & PAVING PLAN**

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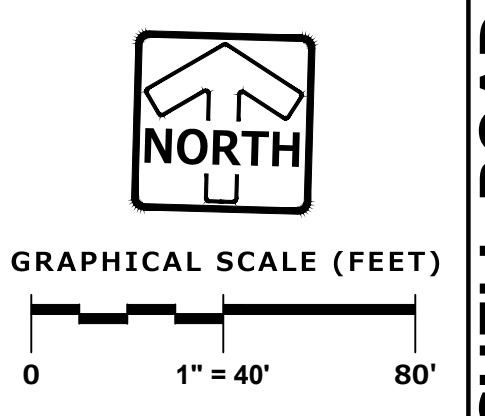


MATCHLINE (SEE SHEET C-7)

MITCHELL ROAD  
(60' PUBLIC R.O.W.)

LOT 6

LOT 1



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**300 MITCHELL ROAD**  
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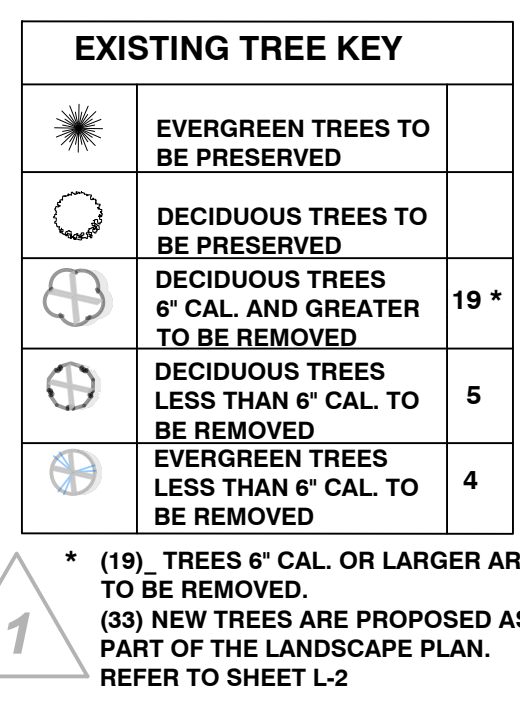
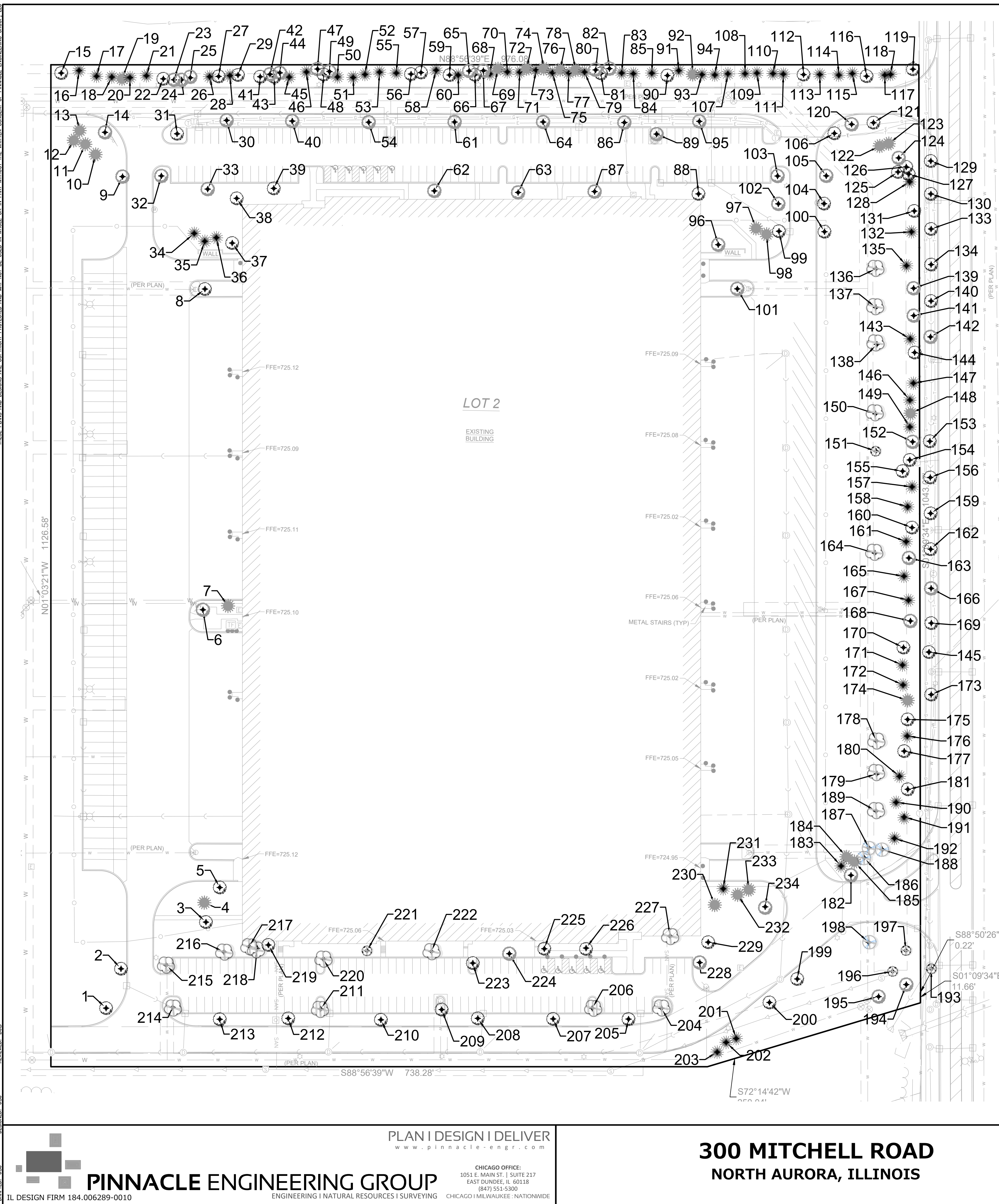
REVISIONS	
1	VILLAGE COMMENTS 7/19/2024
2	VILLAGE COMMENTS 7/29/2024

**SITE DIMENSIONAL & PAVING PLAN**

SHEET  
**C-8**  
 OF  
**C-19**

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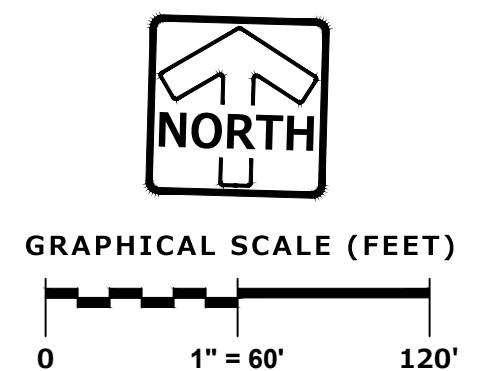


NOTES

EXISTING TREES 6" CALIPER AND LARGER ARE SHOWN ON THIS INVENTORY PLAN PER MUNICIPAL REQUIREMENT. GAPS IN THE TREE NUMBERS LISTED IN THE CHART HAVE RESULTED BECAUSE TREES SMALLER THAN 6" CALIPER ARE NOT BEING SHOWN.

Table with columns: Tree Number, Tree Species, Diameter, Tree Condition, Single/Multi Stem, Tree Number, Tree Species, Diameter, Tree Condition, Single/Multi Stem. Lists 231 trees with their details.

\* INDICATES TREE TO BE REMOVED



PINNACLE ENGINEERING GROUP logo and contact information for Chicago Office: 1051 E. MAIN ST., SUITE 217, EAST DUNDEE, IL 60118.

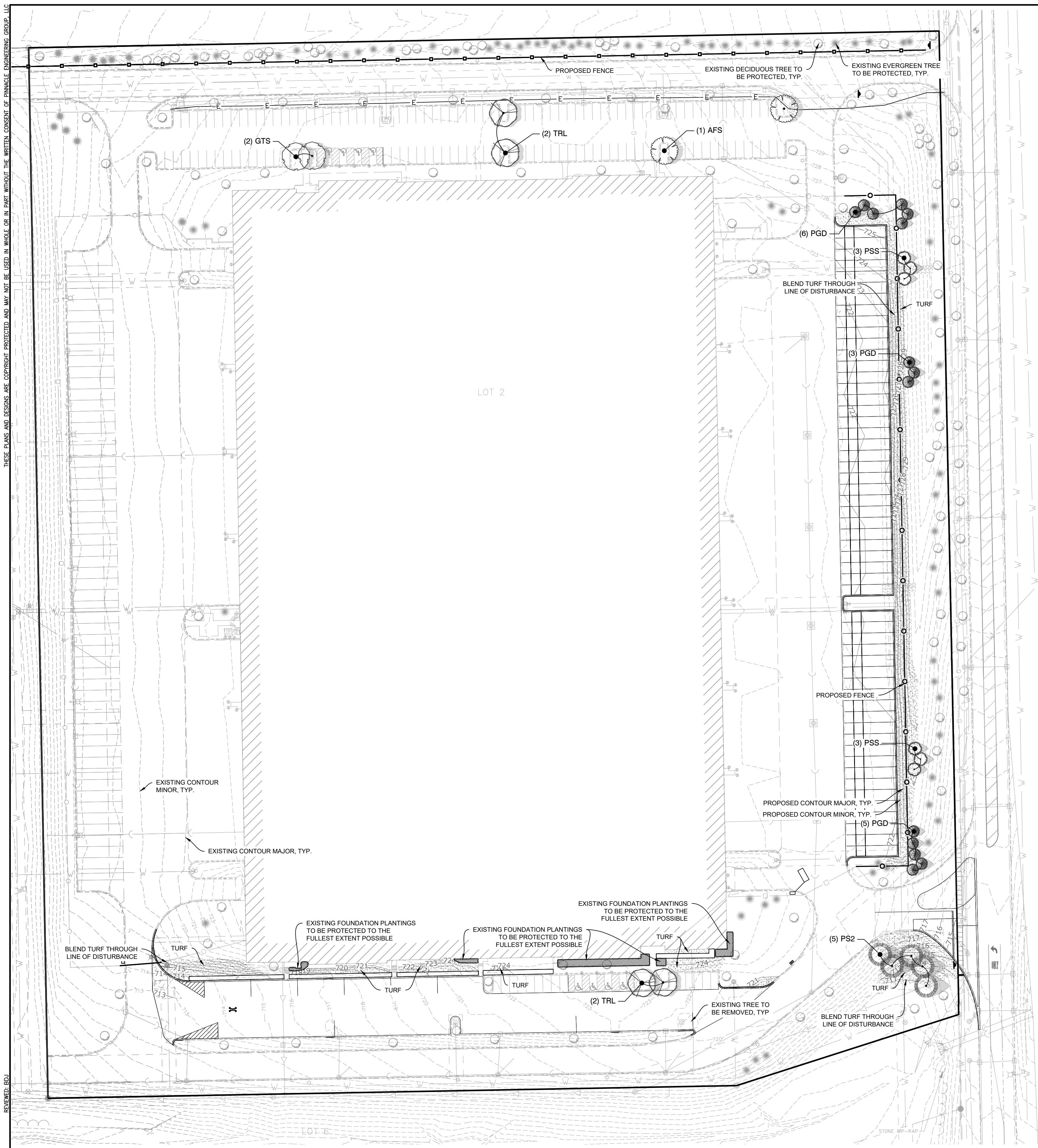
300 MITCHELL ROAD NORTH AURORA, ILLINOIS

REVISIONS table with columns for revision number, description, and date.

EXISTING TREES

SHEET ET-1 OF ET-1 information including project name and sheet number.

300 MITCHELL ROAD - EXISTING TREES

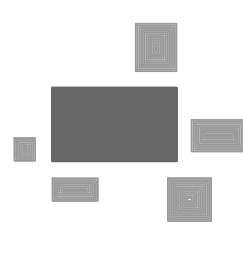


**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>TREES</b>					
AFS	2	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5" Cal.	50' T x 35' W
GTS	2	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust	2.5" Cal.	45' T x 35' W
TRL	4	Tilia americana 'Redmond'	Redmond American Linden	2.5" Cal.	50' T x 35' W
<b>EVERGREEN TREES</b>					
PGD	14	Picea glauca 'Densata'	Black Hills Spruce	6' Ht.	30' T x 15' W
PSS	6	Pinus cembra	Swiss Stone Pine	6' Ht.	35' T x 15' W
PS2	5	Pinus sylvestris	Scots Pine	6' Ht.	45' T x 35' W
<b>TURF</b>					
	22,332 sf	Turf Broadcast Seed	Reinders - Cadet 70/30 Fescue/Blue Mix		

SECTION	LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
SECTION 14.5	ON LOT LANDSCAPING 231,378 SQ FT • TOTAL TREES 1/1000 SQ FT • PROPOSED TREE • EXISTING TREES	232	238 (33) (205)
SECTION 14.9	PARKING INTERIOR TREES • TREES • NOTE: UNABLE TO MEET DUE TO EXISTING UTILITY LOCATIONS	16	15*
SECTION 14.10	BUFFER YARD 97' @ 1 TREE / 20' • PROPOSED • EXISTING TREES	49	73 (0) (73)

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 CHECKED: BDU  
 REVIEWED: BDU  
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**300 MITCHELL ROAD**  
NORTH AURORA, ILLINOIS

**REVISIONS**

NO.	DESCRIPTION	DATE
1	VILLAGE COMMENTS	7/19/2024

**OVERALL LANDSCAPE**

SHEET  
**L-1**  
 OF  
**L-2**  
 REG. JOB NO. 5580.00-IL  
 REG. PM. BDU  
 START DATE 04/12/24  
 SCALE 1"=60'  
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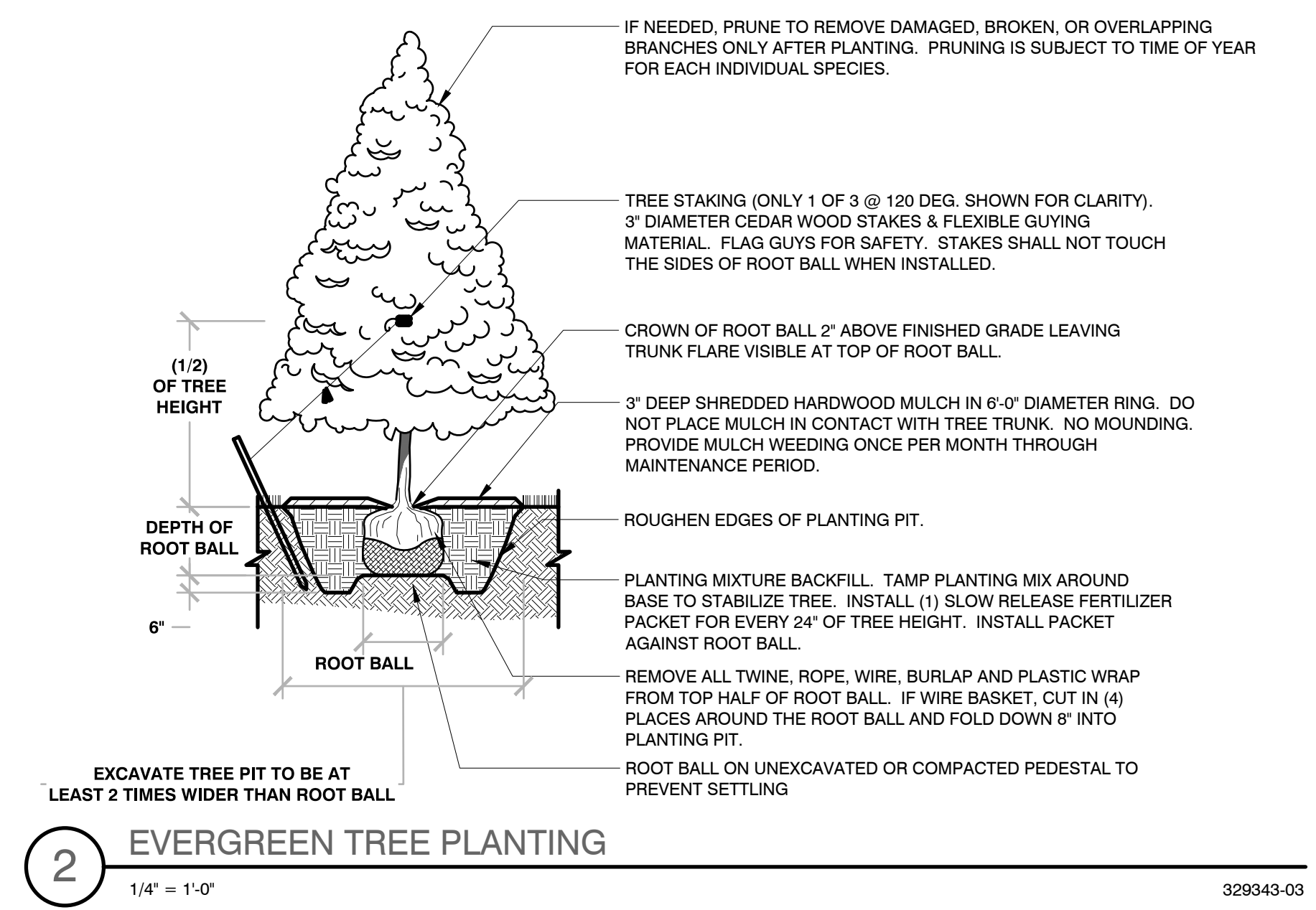
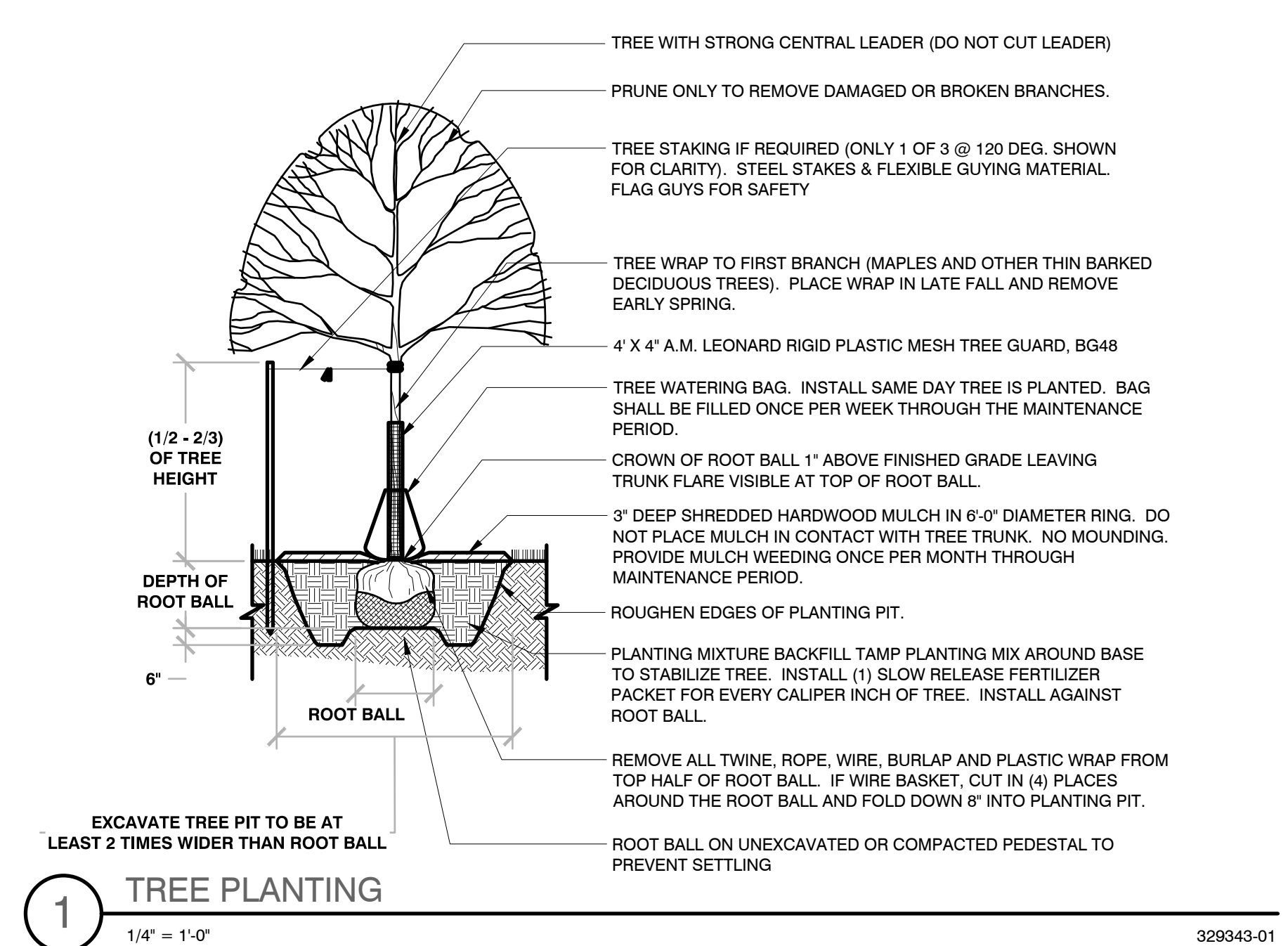
### GENERAL PLANTING NOTES

- THE LAYOUT OF ALL INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5B. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- WHILE PLANTING TREES, BACKFILL  $\frac{2}{3}$  OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION ( SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT J.U.L.I.E.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
  - 10 FEET FROM ANY FIRE HYDRANT
  - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE

- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

### SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENESED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENESED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



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**300 MITCHELL ROAD**  
NORTH AURORA, ILLINOIS

REVISIONS	
1	VILLAGE COMMENTS 7/19/2024

**General Notes**

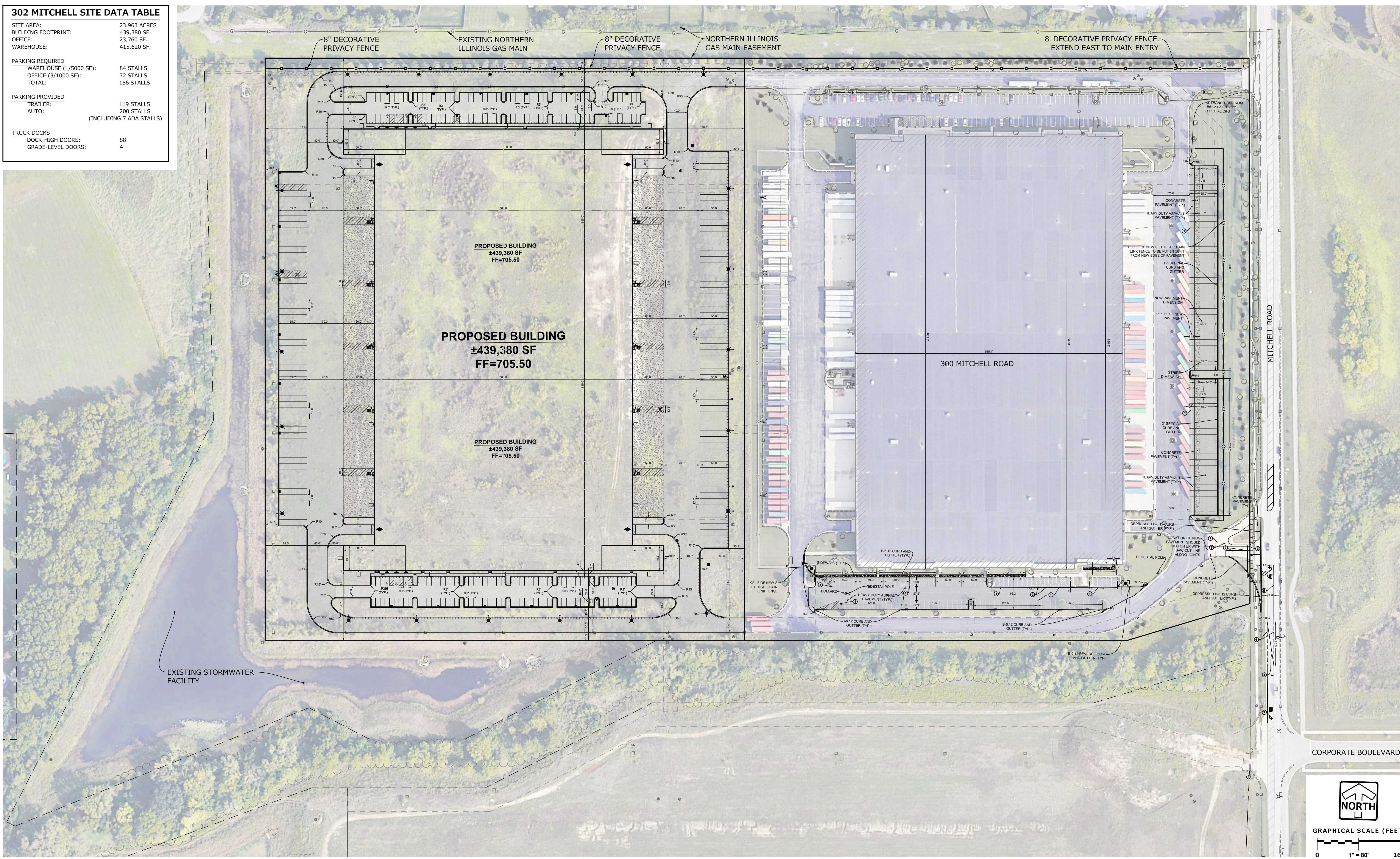
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REG. No. B01  
START DATE 04/12/24  
SCALE 1"=40'

SHEET **L-2** OF **L-2**

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300 MITCHELL ROAD - GENERAL NOTES  
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DESIGNED: 8/7/2024 3:03 PM - 7. D:\pinnacle\2024\1960-20-ILL - ENGINEERING\NATURAL RESOURCES\302 MITCHELL SITE PLAN.dwg  
 REVIEWED:  
 DRAFTED:

302 MITCHELL SITE DATA TABLE	
SITE AREA:	23.963 ACRES
BUILDING FOOTPRINT:	439,380 SF.
OFFICE:	23,760 SF.
WAREHOUSE:	415,620 SF.
<b>PARKING REQUIRED</b>	
WAREHOUSE (1/5000 SF):	84 STALLS
OFFICE (3/1000 SF):	72 STALLS
TOTAL:	156 STALLS
<b>PARKING PROVIDED</b>	
TRAILER:	119 STALLS
AUTO:	200 STALLS
	(INCLUDING 7 ADA STALLS)
<b>TRUCK DOCKS</b>	
DOCK-HIGH DOORS:	88
GRADE-LEVEL DOORS:	4



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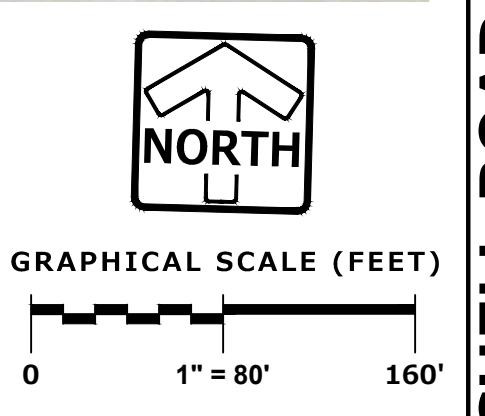
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**302 MITCHELL ROAD**  
 NORTH AURORA, ILLINOIS

REVISIONS	

**SITE PLAN**



PEG JOB No. 1960-20-ILL REG. NO. B02 START DATE 11/9/23 SCALE 1" = 80'	SHEET <b>1</b> OF <b>1</b>
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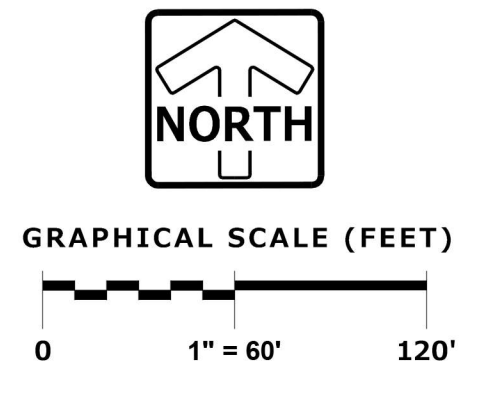
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 302 MITCHELL ROAD - SITE PLAN  
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**PLANT SCHEDULE**

QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
11	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2.5' Cal.	45' T x 40' W
29	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5' Cal.	50' T x 35' W
19	Celtis occidentalis 'ChicagoLand'	ChicagoLand Hackberry	2.5' Cal.	50' T x 40' W
26	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust	2.5' Cal.	45' T x 35' W
6	Quercus muehlenbergii	Chinkapin Oak	2.5' Cal.	70' T x 70' W
16	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5' Cal.	45' T x 35' W
12	Tilia mongolica 'Harvest Gold'	Harvest Gold Linden	2.5' Cal.	40' T x 30' W
28	Ulmus x 'Morton Glossy'	Triumph Elm	2.5' Cal.	55' T x 40' W
<b>EVERGREEN TREES</b>				
20	Abies concolor	White Fir	5' Ht.	40' T x 25' W
8	Picea glauca 'Densata'	Black Hills Spruce	5' Ht.	30' T x 15' W
14	Picea omorika	Serbian Spruce	5' Ht.	55' T x 20' W
15	Pinus cembra	Swiss Stone Pine	5' Ht.	35' T x 15' W
<b>ORNAMENTAL TREES</b>				
2	Carpinus caroliniana 'N Strain'	Fire King Musciewood	2.5' Cal.	25' T x 25' W
<b>SHRUBS</b>				
6	Aronia melanocarpa 'Eлата'	Glossy Black Chokeberry	3' Ht.	5' T x 5' W
27	Cornus sanguinea 'Cato'	Arctic Sun® Bloodtwig Dogwood	18' Ht.	3' T x 3' W
15	Cornus sericea 'Baileyi'	Red Twig Dogwood	3' Ht.	8' T x 8' W
6	Cornus sericea 'Bergeson's Compact'	Bergeson's Red Twig Dogwood	18' Ht.	5' T x 5' W
6	Cotinus coggygria 'Lilla'	Lilla Dwarf Smoke Tree	18' Ht.	4' T x 4' W
13	Diervilla x 'G2X8544'	Kodiak Orange Diervilla	18' Ht.	4' T x 4' W
3	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18' Ht.	6' T x 5' W
14	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18' Ht.	3' T x 4' W
15	Itea virginica 'Little Henry'	Little Henry Sweetgum	18' Ht.	3' T x 3' W
6	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	3' Ht.	8' T x 8' W
2	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	18' Ht.	5' T x 5' W
12	Syringa vulgaris 'Beauty of Moscow'	Beauty of Moscow Common Lilac	3' Ht.	8' T x 7' W
16	Syringa x 'SMNJRPI'	Bloomerang Dwarf Pink Lilac	18' Ht.	4' T x 3' W
<b>EVERGREEN SHRUBS</b>				
9	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4' Ht.	16' T x 8' W
37	Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	18' Ht.	3' T x 4' W
27	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	18' W	1' T x 4' W
2	Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	18' Ht.	3' T x 5' W
3	Picea abies 'Nidiformis'	Nest Spruce	18' Ht.	3' T x 5' W
12	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	18' W	3' T x 3' W
23	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	18' Ht.	2' T x 3' W
<b>ORNAMENTAL GRASSES</b>				
5	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24' T x 24' W
36	Calamagrostis x acutiflora 'Avalanche'	Avalanche Feather Reed Grass	1 gal.	5' T x 2' W
60	Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1 gal.	20' T x 18' W
30	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.	3' T x 2' W
21	Hakonechloa macra 'Beni-kaze'	Beni-kaze Japanese Forest Grass	1 gal.	18' T x 24' W
55	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1 gal.	24' T x 15' W
31	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	42' T x 28' W
18	Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwarf Fountain Grass	1 gal.	18' T x 18' W
42	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	1 gal.	4' T x 2' W
<b>PERENNIALS</b>				
15	Allium x 'Summer Beauty'	Summer Beauty Allium	4.5' cont.	20' o.c. 18' T x 18' W
14	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	4.5' cont.	15' o.c. 15' T x 15' W
16	Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed	4.5' cont.	15' o.c. 15' T x 18' W
28	Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower	4.5' cont.	18' o.c. 28' T x 18' W
139	Echinacea x 'Balsomemym'	Sombrero® Lemon Yellow Improved Coneflower	4.5' cont.	15' o.c. 20' T x 18' W
31	Heuchera x 'Pink Panther'	Pink Panther Coral Bells	4.5' cont.	18' o.c. 18' T x 20' W
37	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint	4.5' cont.	20' o.c. 14' T x 24' W
25	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5' cont.	22' o.c. 24' T x 24' W
34	Sedum x 'Autumn Fire'	Autumn Fire Sedum	4.5' Cont.	15' o.c. 24' T x 18' W
<b>TURF</b>				
69,598 sf	Turf Hydroseed	Drought Tolerant Fescue Blend		
81,837 sf	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix		

**PROPOSED BUILDING**  
**±439,380 SF**  
**FF=705.50**



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**REVISIONS**

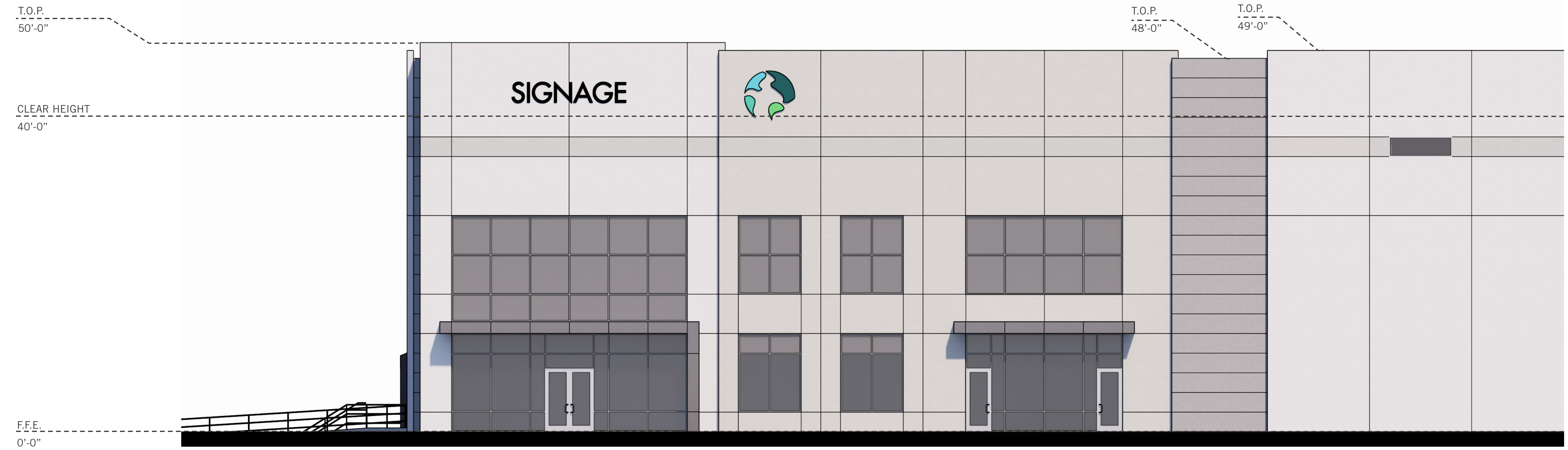

**COLOR EXHIBIT**

REG. JOB No. 19660-20-IL  
 PEG. PM. BJD  
 START DATE 6/09/23  
 SCALE 1" = 60'

SHEET  
 L-1  
 OF  
 L-1







Enlarged Office Elevation - A



Conceptual Short Elevation



Conceptual Long Elevation



Conceptual Short Elevation



Conceptual Dock Elevation