



**PLAN COMMISSION AGENDA
VILLAGE HALL BOARD ROOM
25 E. STATE STREET
TUESDAY, FEBRUARY 6, 2024
7:00 PM**

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated November 7, 2023.

PUBLIC HEARING

1. **Petition #24-01 (302 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Special Use - Planned Unit Development
 - b) Site Plan Approval
2. **Petition #24-05 (Amendments to Title 17 of the North Aurora Municipal Code):** The Village of North Aurora requests text amendments to Title 17 of the North Aurora Municipal Code (Zoning Ordinance) amending provisions regarding Commercial Vehicles.

NEW BUSINESS

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OLD BUSINESS

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

ADJOURNMENT

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
NOVEMBER 7, 2023**

CALL TO ORDER

Commissioner Tom Lenkart called the meeting to order at 7:05pm.

ROLL CALL

In attendance: Commissioners Anna Tuohy, Aaron Anderson, Tom Lenkart, Richard Newell, Mark Bozik and Doug Botkin.

Not in attendance: Chairman Mike Brackett; Commissioners, Alex Negro and Scott Branson.

Staff in attendance: Community Development Director Nathan Darga and Planner David Hansen

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated September 5, 2023

Motion for approval was made by Commissioner Bozik and seconded by Commissioner Botkin. All in favor. **Motion approved.**

PUBLIC HEARING

1. **Comprehensive Plan Amendment:** 2023 Comprehensive Plan Update

Motion to open the public hearing was made by Commissioner Newell and seconded by Commissioner Bozik. All in favor. **Motion approved.**

Community Development Director Nathan Darga introduced the Comprehensive Plan Amendment item for the 2023 Comprehensive Plan Update. Darga shared the current Comprehensive Plan was originally done by Houseal Lavigne in 2015 and is the blueprint and guide for future development in the Village. Since 2015, the Village has renewed its boundary agreements with Aurora, Batavia, and Sugar Grove. The Village has contracted with Houseal Lavigne again to complete an update of certain sections of the plan. Darga shared the updated plan, which included updates to the existing and future land use maps, residential areas plan, commercial and industrial areas plan, parkland supply plan, transportation plan, and some of the subarea plans, most notably the IL 31/56 Village Center/Block One subarea plan. Darga shared the number of vacant, platted, residential lots have decreased from 327 to 124 and the Village has added 1,100 housing units since 2015. The Village has also added 15 new commercial or industrial buildings since 2015. Darga said Houseal Lavigne had individual meetings with the Village Board to help update the IL 31/56 Village Center subarea plan with a vision and new graphics.

John Houseal, of Houseal Lavigne, introduced himself and shared that the project was mostly worked on by his business partner Devin Lavigne, but he couldn't be here this evening. Houseal shared details regarding the Village Center development concept and said his staff met one on one with the Village Board for this particular area in the Village. Houseal said the Board comments for the area are included in the added page in the Comprehensive Plan. Comments in the newly added section describe the current character of the Village Center, the assets and advantages, weaknesses and issues, and the vision for Village Center along with a high level redevelopment concept of the area. The new and relocated fire protection district station is included in the subarea plan. Houseal added that subarea plans, and redevelopment concepts are just illustrious concepts and not a proposed development. No one is suggesting or has the Village indicated they are going to acquire property's or condemn properties.

Houseal added a Comprehensive Plan is a 20-year document that should be updated every 8 to 10 years since things change. A Comprehensive Plan asks 'what if' redevelopment happens, and property owners want to sell their property for redevelopment. Industrial and residential areas typically stay the same over time while some areas are more subject to change. Some areas are more susceptible to development pressures and present greater opportunities for developer interest. Houseal said the concept for the Village Center includes a 2 or 3 story mixed use building with retail, restaurant and commercial uses on ground floor with apartments and/or condos on the floors above. The Board suggested that Monroe street be a pedestrian dominant street and should try to mimic Batavia's River Street idea. Houseal said the plan calls for a quaint mixed-use concept along Monroe St, which would be a riverfront orientated district. Houseal added that the concept just shows the characteristics for a potential development for anyone interested in developing the block and understand some residential properties are still on this block and any plans for development going forward would require a willing seller and buyer to assemble properties and a developer would need to bring some plan forward to the Village. Houseal said this area is an area of focus since its one of the key changes in the Comprehensive Plan Update.

Commissioner Bozik asked if any zoning districts were changed on this plan compared to the 2015 plan. Darga said mostly the municipal boundaries have been updated, but no new zoning districts have changed or added and property on the western edge of the Village are still zoned for large estate style lots. Commissioner Bozik asked if Number 2 in the residential plan has changed since last plan. Darga mentioned its very similar and still has single family to the west and as it moves eastward to Orchard it becomes Orchard flex, which allows for the potential of higher densities for residential and regional commercial uses near the Orchard Corridor. Commissioner Bozik asked about the land along Hart Rd labelled as number 10. Darga said it's a flex area within the Aurora boundary line agreement, which allows the developer to choose what municipality it wants to annex to. The Aurora boundary agreement does call this area to be residential regardless of what municipality annexes it. Darga added the land is unincorporated Kane County currently. Commissioner Botkin, Newell, Tuohy and Anderson all had no questions or comments.

Commissioner Lenkart asked about the Hart Rd area and shared his concern regarding Aurora jumping boundary lines in the Village as it has in the past such as jumping I-88 on the southwestern end of the Village. Commissioner Lenkart asked if there was a way the Village could ensure Aurora doesn't forcibly take it. Darga said the developer would most likely reach out to the municipality not the current property owner. The Village would prefer to have the land, but the Village cannot prevent Aurora from having it if the developer prefers to go that direction.

Commissioner Lenkart asked about the alley in the Village Center area adjacent to new fire station. Darga said the alley is still there and will remain in some form due to it being an access point for new station for its vehicles. Parking for the site would most likely be on site or underground for a future development. Houseal added buildings are at or near sidewalk to help with parking for the site. Houseal continued that a future developer may show buildings in different locations or have more green space, but the concept plan in the Comprehensive Plan is for scale and general orientation of how it could be someday. Darga added that since the fire district new station is under construction now, it will probably be at least a year before any development would occur in this area. Commissioner Lenkart asked about the converting of houses to commercial on the west side of IL 31 between Oak Street and State St. Darga added the subarea plan calls for houses to be converted to commercial as development occurs in that area.

Bill Slaker, property owner of 129 S Lincolnway, had a question regarding the property's use flexibility on the west side of IL 31 directly south of the ComEd easement. Slaker added there has been industrial interest and was concerned the property didn't allow for such use and access onto IL 31. Commissioner Bozik asked Slaker if the property is zoned properly in the Comprehensive Plan and asked staff if the zoning in the updated plan is different than 2015's plan.

Darga mentioned it is shown as residential in one section of the plan. Planner David Hansen mentioned the property's zoning was not changed compared to the 2015 plan. Hansen added the property is mentioned in the future land use plan as Village Center and mixed use and is also mentioned in the subarea plan section as a mix of uses and to maintain flexibility, which would include a combination of residential, commercial, and industrial uses. Hansen added the property is zoned Estate Rural (E-R) still and regardless of development, it would need to be rezoned and is probably one of the most flexible use parcels in the Village. Hansen also added if a developer is interested, the Village can sit down and discuss the concept and area with them, but the access on IL 31 for semi-trucks has been a cause of concern in the past. Commissioner Bozik said it sounds like the way the property/area is laid out in the Comprehensive Plan provides Slaker with the most flexibility based on the market. Darga added the subarea plan calls out what the Village would like to see on IL 31 in terms of less curb cuts, burying of utility lines, and possible road diet, but ultimately IDOT will drive the discussion on that. Slaker asked if Airport Rd / IL 31 intersection improvements were still going forward. Darga said it is still in the works.

Stacy McReynolds, property owner of 36 Monroe St, thanked Houseal for addressing their concerns and mentioned she talked to Devin last night, at the Village Board Committee of the Whole meeting, who provided a lot of insight as well. McReynolds said both homeowners on Monroe St are in attendance this evening and had a question regarding 40 Monroe St, which was just purchased by the Village. McReynolds also stated they have no interest in selling their home but heard the building on 40 Monroe St will be demolished in the next 4-6 weeks. Darga said that is approximately the time frame as the property is out for bid right now for demolition. McReynolds asked since the land will be sitting vacant, is there a possibility to make it into a community garden. McReynolds said she knows of several surrounding communities who have community gardens and knows a nonprofit that could help out should the space be able to be turned into a community garden. McReynolds added the Garden club meets at Messenger Library, which is right down the street. Darga said this probably wouldn't be mentioned in the Comprehensive

Plan, but once the Village owns the property it may be a good short-term use, but that would be up to the Village Board to decide.

Motion to close the public hearing was made by Commissioner Tuohy and seconded by Commissioner Botkin. All in favor. **Motion approved.**

2. **Petition #23-05 (Amendments to Title 17 of the North Aurora Municipal Code):** The Village of North Aurora requests text amendments to Title 17 of the North Aurora Municipal Code (Zoning Ordinance) amending provisions regarding administrative procedures, nonconformities, and other corrections and clarifications.

Motion to open the public hearing was made by Commissioner Tuohy and seconded by Commissioner Bozik. All in favor. **Motion approved.**

Planner David Hansen introduced Petition #23-05, Amendments to Title 17 of the North Aurora Municipal Code, which refers to the Village's Zoning Ordinance. Hansen stated the Village of North Aurora is requesting text amendments to the Zoning Ordinance and amending provisions regarding administrative procedures, nonconformities, and other corrections and clarifications. Hansen added staff reviews the Village's Zoning Ordinance on an ongoing basis to ensure it is consistent with how the Village enforces the Ordinance and is up to date with the best practices for planning and zoning. Hansen stated the six proposed text amendment sections are summarized in the memo in the packet. There are six proposed amendments, and they are in six different chapters of the Zoning Ordinance.

Hansen added most of the proposed amendments are code clean ups and clarifications. Darga mentioned the packet has a redlined version of all the amendments that are being proposed.

- Chapter 3.4 - refers to public notice public hearing signage requirements and would remove five of the ten lines on the sign. The lines proposed for removal are subject property owner, subject property address, applicant, applicant phone number, and current zoning of the subject property. Hansen mentioned removing these items would make it easier for residents and property owners to read the sign and would make the Village the main point of contact.
- Chapter 4.5 - would remove redundant language regarding the Village's Temporary Certificate of Occupancy process. The current language is outdated and would be updated to point readers to the Temporary Occupancy section of the North Aurora Municipal Code, which is located in Chapter 15, Buildings and Construction.
- Chapter 7.3 - would remove provisions for average setback line for lots in residential subdivisions. Commissioner Lenkart asked what this section means. Hansen said it mostly relates to older subdivisions with vacant buildable lots. Hansen added a new build home wouldn't be able to be placed six feet from the average setback in the subdivision. Darga added no one on the Village side knew what this was and why it is in the code to begin with. Hansen said the Village current zoning district setbacks would still apply, which help keep the subdivisions character from a setback perspective.
- Chapter 12.1 - would move the nonconforming minimum lot size and lot width provisions to Chapter 15.5 nonconformities lots of record section and remove redundant language

regarding obstruction of watercourse channels in the Village. The current language for obstruction of watercourse channels is outdated and would be updated to point readers to Chapter 15.64 of the municipal code, which is located in Chapter 15, Buildings and Construction.

- Chapter 15.5 - would amend the nonconformities lots of record section with updated minimum lot size and lot width provisions to add clarity and improve the format of that section.
- Chapter 16.2 - pertains to definitions in the Village's Zoning Ordinance. The proposed amendments for this section include adding interpretation language for the word "should", updating the dictionary the Village uses for words not mentioned in the Zoning Ordinance, and adding rounding definitions for minimum requirements, maximum limits, and all other fractions and decimals in the Zoning Ordinance.

Commissioner Tuohy mentioned she was happy to hear the public hearing signage was being addressed since it is very difficult to read currently. Tuohy added it's always good to reduce redundancies in the Zoning Ordinance since it's such a large document to begin with. Darga mentioned he was surprised how much language is required on the current public hearing signs. Darga said most towns only have the few items required by state statute.

Commissioner Newell, Anderson, Lenkart, Bozik and Botkin all had no questions or additional comments. Darga mentioned more text amendments may be on the horizon in the near future, and one will be addressing the types of uses in all zoning districts of the Village. Commissioner Anderson asked if the Village Board has reviewed these proposed text amendments. Darga said no, since they are located in the Zoning Ordinance, the Plan Commission is the first stop, and the Village Board will review them at their next meeting with formal approval most likely coming in December. Hansen added there is a draft Ordinance of the proposed amendments attached, which will be reviewed by the Village Attorney and Board upon it being voted on.

Motion to close the public hearing was made by Commissioner Botkin and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

NEW BUSINESS

1. Comprehensive Plan Amendment: 2023 Comprehensive Plan Update

Motion for approval of a Comprehensive Plan Amendment as presented was made by Commissioner Bozik and seconded by Commissioner Newell. Vote: Tuohy – Yes, Andersen – Yes, Lenkart – Yes, Newell – Yes, Bozik – Yes, Botkin – Yes. **Motion approved.**

2. Petition #23-05 (Amendments to Title 17 of the North Aurora Municipal Code): The Village of North Aurora requests text amendments to Title 17 of the North Aurora Municipal Code (Zoning Ordinance) amending provisions regarding administrative procedures, nonconformities, and other corrections and clarifications.

Motion for approval of Petition #23-05 (Amendments to Title 17 of the North Aurora Municipal Code) as presented by staff was made by Commissioner Bozik and seconded by Commissioner

Newell. Vote: Tuohy – Yes, Andersen – Yes, Lenkart – Yes, Newell – Yes, Bozik – Yes, Botkin – Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Community Development Director Nathan Darga provided a construction update to the Fortunato restaurant development. Darga said steel finally has gone up, the roof for the building is on and the property owner is hoping to get it sealed before winter. Over the winter months, the property owner hopes to finish the inside and is hoping to open in April. Darga added Verilife has finally picked up their permit and have started to work on the build out at 2080 W Orchard Rd. Darga shared Riverfront Ram put up silk fencing this week and will have a site development permit issued once a Letter of Credit is submitted, which should be in about a week or two.

ADJOURNMENT

Motion to adjourn made by Commissioner Tuohy and seconded by Commissioner Botkin. All in favor. **Motion approved.**

Respectfully Submitted,

David Hansen
Planner

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR**

GENERAL INFORMATION

Meeting Date: February 6, 2024

Petition Number: #24-01

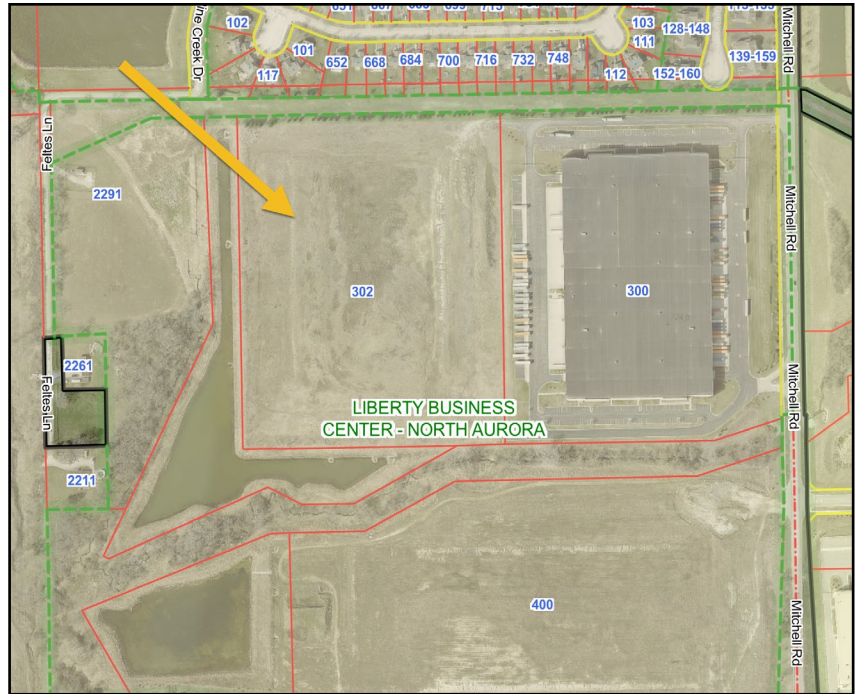
Petitioner: Liberty Illinois, LP

Location: 302 Mitchell Road

Property Index Number:
15-03-401-003

Development Size: 23.96 acres

Requests: 1) Special Use - Planned Unit Development 2) Site Plan Approval



Current Zoning: O-R-I Office, Research and Light Industrial District

Current Land Use: Vacant Land

Comprehensive Plan Designation: ‘Office/Industrial’

PROPOSAL

The petitioner is proposing to establish the 23.96-acre property as an industrial planned unit development (“PUD”). The petitioner intends to construct a 439,380 square-foot industrial office/warehouse building on Lot 3 (302 Mitchell Rd). Lot 5 is also located in Liberty Business Center, immediately adjacent to Lot 3, and consists of 8.41 acres of land on which a stormwater management pond was previously constructed to serve Lot 3 and Lot 2 (300 Mitchell Rd).

BACKGROUND

The Liberty Business Center Final Plat of Subdivision was approved by the Village Board on December 10, 2007. The Liberty Subdivision comprises of six total lots, three of which were created to accommodate warehouse development. Lot 1 (400 Mitchell Road), Lot 2 (300 Mitchell Road) & Lot 3 (302 Mitchell Road) were created to accommodate warehouse development and the remaining lots are subservient to those lots by primarily providing stormwater detention. Lot 1 is located on the southern half of the Liberty Subdivision while Lots 2 & 3 are located on the northern half. Lots 2 & 3 were partially developed after subdivision of the Liberty Business Center. Due to the onset of the recession, development of Lots 2 & 3 ceased before any buildings were erected. Construction of one warehouse building would later be completed on Lot 2 (300 Mitchell Road) in 2015. To prepare the site for a future tenant, the previous owner partially developed the subject property in 2016/2017. Some of the work completed included: mass grading, sanitary sewer, water main, service extensions

throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 5.

Per Section 17.5.4.B of the Zoning Ordinance, any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a PUD, which did not become a requirement until the new Zoning Ordinance was adopted in 2013. Each of the three lots planned for warehouse development in the Liberty Business Center exceeds two acres in size and would be classified as a nonresidential use (warehousing) once operable. As the development of Lots 2 & 3 began prior to the adoption of the Zoning Ordinance in 2013, development of the 300 Mitchell Road (Lot 2) property was allowed to commence as a permitted use.

Since work on the subject property did not commence until after the adoption of the 2013 Zoning Ordinance, the subject property is required to meet the requirements of the current Zoning Ordinance, including any procedural requirements.

The original development designed access sufficient for three buildings. The applicant has provided an updated traffic study showing that this access is still adequate. The study stated that the “intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed facility and no roadway improvements or traffic control modifications are required.”

REQUESTED ACTIONS

Special Use –Planned Unit Development

As previously mentioned, any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a planned unit development. The total site area for the proposed development is 23.96 acres and the use is considered nonresidential. The proposed plans meet the O-R-I District yard and bulk regulations and all other requirements of the Zoning Ordinance. The site plan shows all of the parking spaces being installed. If the petitioner decides to land bank some of the parking spaces, the PUD will provide the right to install the land banked parking stalls at any time, subject to building permit approval. The petitioner is also requesting to add data center to the list of permitted uses as part of the PUD.

The petitioner has submitted a response to both the Standards for Special Uses and General Standards for Planned Unit Developments.

Comprehensive Plan Land Use Recommendations

The Comprehensive Plan designates the subject properties as ‘Office/Industrial’, which is consistent with the O-R-I Office, Research and Light Industrial District. The proposed Warehousing, Storage, and Distribution Facility use is classified as a permitted use in the O-R-I Office, Research and Light Industrial District.

The proposed development area is included as part of a subarea listed in the Comprehensive Plan’s Commercial and Industrial Areas Plan:

This site includes a largely undeveloped industrial tract between Feltes Lane and Hart Road. The Village should encourage the development of new office or light industrial uses, and should work with the City of Aurora to extend Corporate Boulevard west into the site, which would allow access to the

Farnsworth Road I-88 interchange, industrial roadways should ensure that trucks cannot circulate through adjacent neighborhoods to the north.

Since the adoption of the Comprehensive Plan in 2015, Corporate Boulevard has been extended west to Mitchell Road. The entrance to the subject property would use the same entrances as 300 Mitchell Rd. Staff reviewed the original Liberty Business Center subdivision plat and confirms an access easement exists for the subject property on the plat.

Site Plan Approval

Per Section 17.4.4.B of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

D. Standards for Site Plan Review:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions, and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
 - a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.

4. The design of off-street parking lots or garages to:
 - a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.
5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
 - a. Create a logical transition to adjoining lots and developments.
 - b. Screen incompatible, negative, or unsightly uses.
 - c. Minimize the visual impact of the development on adjacent sites and roadways.
 - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
 - e. Promote and enhance the appearance and image of the Village.
6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

FINDINGS

The Community Development Department finds that the information presented in Petition #24-01 **meets** the Standards for Special Uses, Site Plan Approval and Planned Unit Developments as set forth in the Zoning Ordinance. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #24-01, subject to the following conditions:

1. The existing tree line / landscaping on the north end of subject property shall be maintained and any dead or missing landscaping shall be replaced.
2. The petitioner shall have the right to land bank parking stalls at any time. Future installation of land banked parking stalls shall be subject to building permit approval.
3. All outdoor lighting shall follow the Village's Outdoor Lighting Ordinance (Chapter 8.32).
4. A separate building permit shall be required for any guardhouses so the Village can validate the optimal location in order to avoid any potential impact on site access and circulation.
5. On-site management shall effectively monitor and regulate all on-site trucking activities in order to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance. Specifically, the drive aisle on the northern side of the building shall be kept free and clear and shall have no truck parking, standing, idling, or stacking.
6. Any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight (8) feet in height.

7. All business activities shall be conducted completely within the confines of the buildings.
8. The keeping of any goods, material, merchandise or equipment outside of the building(s) shall be prohibited.
9. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
10. All mechanical equipment located on the subject property shall be screened per Section 12.3.D of the Zoning Ordinance.
11. Any large water user (over 5,000 gallons per day) must provide information for a water impact study and pay an impact fee per section 13.24.060.

APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA
Board of Trustees
25 East State Street
North Aurora, IL 60542

PETITION NO. 24-01
FILE NAME 302 Mitchell Rd PUD
DATE STAMP 12.21.2023 @ 10am

I. APPLICANT AND OWNER DATA

Name of Applicant Liberty Illinois, LP (c/o Kelsey Perrin & Melissa Roman)
Applicant Address 321 N. Clark Street, Chicago, IL 60654
Applicant Telephone # 847-292-3900
Email Address kperrin@prologis.com & mroman@prologis.com

Property Owner(s) Liberty Illinois, LP
Owner Address 321 N. Clark Street, Chicago, IL 60654
Owner Telephone # 847-292-3900

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 302 Mitchell Road, North Aurora, IL
(indicate location if no common address)

Legal Description: LOT 3 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

Parcel Size Lot 3 - 23.964 acres

Present Use Mass graded site, intended for warehouse/industrial use
(business, manufacturing, residential, etc.)

Present Zoning District ORI - Office Research Industrial District
(Zoning Ordinance Classification)

III. PROPOSED SPECIAL USE

Proposed Special Use ORI - Office Research Industrial District

(Zoning Ordinance Classification)

Code Section that authorizes Special Use Title 17, Chapter 10.2 - Permitted and Special Uses

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? _____ to what district? _____

Describe briefly the type of use and improvement proposed _____

The site was previously mass graded. As part of the improvements, storm sewer, sanitary sewer, and water main were installed. Applicant intends to develop a building that is similar to what initially approved for the property. The building will be a 439,380 SF modern industrial office / warehouse facility that will include 252 car parking spots, 118 trailer parking spots, and 88 dock positions.

What are the existing uses of property within the general area of the Property in question? _____

The area to the north and west are are R-1 Single Family Residence District. The area to the east and south are ORI Office Research Industrial District.

To the best of your knowledge, can you affirm that there is a need for the special use at the

particular location? (Explain) Per Title 17, Chapter 5.4 (B) of the North Aurora Code of Ordinances: "Any nonresidential or multi-family parcel, or parcels two acres or more in size shall be required to be a planned unit development."

Furthermore, Section 4.3 of Appendix A of the North Aurora Code of Ordinances: " all planned unit developments are subject to special use and the requirements of that procedure."

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's [EcoCat](#) online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Kelsey Perrin VP, Investment 12/19/23
Applicant or Authorized Agent Officer Prologis Date

Liberty Illinois, LP 12/19/23
Owner Date

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, Kelsey Perrin, being first duly sworn on oath depose
and say that I am trust officer of Liberty Illinois, LP and that the following are all of the
beneficiaries of the Liberty Illinois, LP.

Prologis, LP

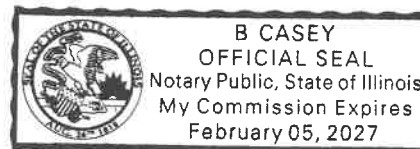
Heitman Capital, LLC

Kelsey Perrin
TRUST OFFICER VP, Investment
officer Prologis

SUBSCRIBED AND SWORN TO

Before me this 19th day of December, 20 23.

B. Casey
A Notary Public in and for such County



Following are the names and addresses of all property owners within 250 feet of the property in questions for which the special use being is being requested.

Parcel	Property Owner	Owner's Mailing Address
1503255005	Chesterfiel Homeowners Association Inc.	PO Box 46 Aurora, IL, 60507
1503260002	Clark, Kevin J	110 Gorham CT North Aurora, IL, 60542
1503260003	Vancil, Ted W	118 Gorham CT North Aurora, IL, 60542
1503260004	Vancil, Ted W	118 Gorham CT North Aurora, IL, 60542
1503260005	Acevedo, Ivan	117 Gorham CT North Aurora, IL, 60542
1503260006	Acevedo, Ivan	117 Gorham CT North Aurora, IL, 60542
1503260007	Sarathy, Arvin	101 Gorham CT North Aurora, IL, 60542
1503260008	Stone, Yolotta	109 Gorham CT North Aurora, IL, 60542
1503260009	Stone, Yolotta	109 Gorham CT North Aurora, IL, 60542
1503260010	Grigsby, Michele	652 Thompson Ave, North Aurora, IL, 60542
1503260011	Grigsby, Michele	652 Thompson Ave, North Aurora, IL, 60542
1503260012	Hobson, Lula M	660 Thompson Ave, North Aurora, IL, 60542
1503260013	Hobson, Lula M	660 Thompson Ave, North Aurora, IL, 60542
1503260014	Saewert, Gregory	668 Thompson Ave, North Aurora, IL, 60542
1503260015	Kral, David	668 Thompson Ave, North Aurora, IL 60542
1503260016	Conroy, Thomas	676 Thompson Ave, North Aurora, IL, 60542
1503260017	Conroy, Thomas	676 Thompson Ave, North Aurora, IL, 60542
1503279007	Santillan, Noe	684 Thompson Ave, North Aurora, IL, 60542
1503279008	Santillan, Noe	684 Thompson Ave, North Aurora, IL, 60542
1503279009	Jackson, Daniel	692 Thompson Ave, North Aurora, IL, 60542
1503279010	Jackson, Daniel	692 Thompson Ave, North Aurora, IL, 60542
1503279011	Soni, Dhairya	700 Thompson Ave, North Aurora, IL, 60542
1503279012	Soni, Dhairya	700 Thompson Ave, North Aurora, IL, 60542
1503279013	Berry, Kathryn	708 Thompson Ave, North Aurora, IL, 60542
1503279014	Kuzelka, John A	708 Thompson Ave, North Aurora, IL, 60542
1503279015	Ibarra, Fernando	716 Thompson Ave, North Aurora, IL, 60542
1503279016	Ibarra, Fernando	716 Thompson Ave, North Aurora, IL, 60542
1503279017	Pearce, Douglas C	724 Thompson Ave, North Aurora, IL, 60542
1503279018	Pearce, Douglas C	724 Thompson Ave, North Aurora, IL, 60542
1503279019	Shaipi, Astrit	732 Thompson Ave, North Aurora, IL, 60542
1503279020	Shaipi, Astrit	732 Thompson Ave, North Aurora, IL, 60542
1503279021	Rivera, Ricardo	740 Thompson Ave, North Aurora, IL, 60542
1503279022	Rivera, Ricardo	740 Thompson Ave, North Aurora, IL, 60542
1503279023	Bueno, Leonardo	748 Thompson Ave, North Aurora, IL, 60542
1503279024	Bueno, Leonardo	748 Thompson Ave, North Aurora, IL, 60542
1503400002	Nicor Gas Company	241 Ralph McGill Blvd NE # 10081, Atlanta, GA, 30308
1503400043	Chesterfiel Homeowners Association Inc.	PO Box 46 Aurora, IL, 60507
1503401002	Prologis LP	1800 Wazee St STE 500 Denver, CO, 80202
1503401003	Prologis LP	1800 Wazee St STE 500 Denver, CO, 80202
1503401004	Prologis LP	1800 Wazee St STE 500 Denver, CO, 80202
1503401006	Prologis LP	1800 Wazee St STE 500 Denver, CO, 80202
1503401007	Prologis LP	1800 Wazee St STE 500 Denver, CO, 80202
1503401008	North Aurora OF	25 E State St. North Aurora, IL, 60542

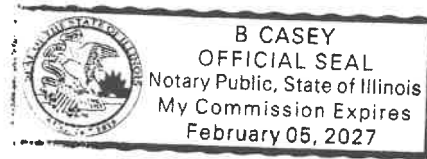
I, Kelsey Perrin, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Kelsey Perrin VP, Investment 12/19/23
Applicant Signature officer Date
Prologis

SUBSCRIBED AND SWORN TO

Before me this 19th day of December, 20 23.

B. Casey
Notary Public



Application for Special Use 3/26/2019

302 Mitchell Road, North Aurora, IL

Development Narrative:

Existing Parcel Overview (Lot 3): Lot 3 is located in Liberty Business Center and consists of 23.963 acres of partially improved land. Per the current North Aurora Zoning Map (revision date 4/16/2021) the subject properties are zoned ORI Office research Industrial District. The subject properties are located at the southeastern limits of the Village of North Aurora. The properties to the immediate east and south are also located within the Liberty Business Center and zoned ORI. Lot 3 is bound by the Northern Illinois Gas Company right of way to the north and the properties to the east (across Mitchell Road) lie within the City of Aurora and are zoned ORI Office/Research/Light Industrial. The previous owner of Lot 3 (Liberty) partially developed the property. The completed improvements include mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 5.

Applicant intends to develop an approximately 439,380 square-foot industrial office/warehouse building, having a maximum building façade height of 50-feet with internal clear heights of 40-feet. The building's anticipated use is logistics/warehousing. Applicant anticipates the building to consist of 23,760 square-feet of office space and the remaining 415,620 square-feet to be used for warehousing and auxiliary uses. The building is anticipated to include 88 dock positions and 4 overhead drive-in doors. The site is anticipated to supply 252 vehicle parking spaces (including 7 ADA parking spaces and 52 future land banked parking spaces), and 118 trailer parking spaces. The specific end user, detailed engineering and architectural design may lead to minor variations to the office/warehouse square-footage, parking counts, site plan and building facade.

Applicant intends to develop the property for a to be determined end user or as a speculative development. In either case, the site could potentially be a data center, which falls into the ORI zoning designation. The site plan layout for data center would be determined based on available power and end user requirements.

Applicant has completed a Traffic Impact Study for the proposed development which estimated passenger vehicle and truck trips. As part of the Traffic Impact Study, applicant diligently reviewed the neighboring parcels, anticipated traffic volumes and routes, and the potential for effects upon neighboring properties. This review has shown that the neighboring parcels are industrial in nature and utilized in a similar manner as the proposed development. Additionally, the proposed Development's north access drive will be 1300 feet north of Corporate Boulevard and the south access drive will be 415 feet north of Corporate Boulevard. The majority of the site's traffic is anticipated to utilize Corporate Boulevard (45%), south Mitchell Road (30%), and north Mitchell Road (25%). This is in alignment with the Village's Comprehensive Plan. The property's operating hours, employee vehicle traffic, and truck traffic volumes will be dictated by the ultimate end user of the property and are anticipated to be typical to that of other logistics and warehousing facilities in the area. The Traffic Impact Study has been included with the

submission.

Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building.

The proposed development complies with the property's current ORI zoning and aligns with the Village of North Aurora's Comprehensive Plan. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center." This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".

Special Use Standards Conformance
302 Mitchell Road, North Aurora, IL

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.

Yes, the site is currently zoned ORI Office Research Industrial District. The proposed special use is authorized in the zoning district in which the property will be located pursuant to Chapter 10.2 of the Village Zoning Code.

2. The proposed special use is deemed necessary for the public convenience at that location.

Yes. The proposed special use is necessary for the public convenience at the location and required by Chapter 5.4 of the Village Zoning Code.

3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.

The proposed special use does not create additional impacts at public expense for public facilities and services. All required public services such as roads and utilities are already in-place. The proposed development will increase property tax revenue while diversifying the tax base, create employment opportunities and help support local businesses with future employees frequenting local businesses.

4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

Yes, the proposed use is in conformance with the goals and policies of the Comprehensive Plan and all Village codes and regulations. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.

The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity. The surrounding properties are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan. The proposed development will feature an aesthetically pleasing architectural design as shown in the provided architectural renderings and elevations.

6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value

of other property in the neighborhood in which it is located.

Yes. The proposed special use will not significantly diminish the safety, use, enjoyment and value of other properties in the neighborhood in which it is located. The surrounding properties are mostly industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility would be expected to increase the value of nearby property. Furthermore, the development follows the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."

7. The proposed special use is compatible with development on adjacent or neighboring property.

The proposed special use is compatible with development on adjacent properties. The site is currently zoned ORI Office Research Industrial District. The neighboring properties are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.

8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.

The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.

The proposed special use provides the required number of parking spaces and maintains parking areas in accordance with the requirements of this Ordinance. The site is anticipated to supply 252 vehicle parking spaces (including 7 ADA parking spaces and 52 future land banked parking stalls) and 118 trailer parking spaces.

10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.

Yes. The proposed special use is served by adequate utilities, drainage, road access, public safety and other necessary facilities. The previous owner of Lot 3 (Liberty) partially developed the property. ; The improvements completed include mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 5. Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building.

The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.

11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Yes, the site is currently zoned ORI Office Research Industrial District. The proposed special use confirms with the requirement of this Ordinance and other applicable regulations.

Chapter 5 - PLANNED UNIT DEVELOPMENTS

...

5.6 Procedure.

...

The Plan Commission shall forward its ultimate findings and recommendation for approval or denial of the preliminary plan and special use in writing to the Village Board.

- b. The Plan Commission's recommendation to the Village Board shall set forth in what respects the planned unit development is or is not in the public interest including, but not limited to, findings of fact on the following:
 - i. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
Yes, the site is currently zoned ORI Office Research Industrial District. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".
 - ii. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
No, there will be no negative impacts upon public health, safety or general welfare of the community. The surrounding properties are mostly industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility will follow the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."
 - iii. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
The proposed PUD will not be injurious to the use and enjoyment of other properties in the vicinity. The site is currently zoned ORI Office Research Industrial District. The neighboring properties are mostly industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.
 - iv. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
No, the proposed PUD will not diminish or impair property values within the neighborhood. The surrounding properties are mostly industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility would be expected to increase the value of nearby property. Furthermore, the

development follows the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."

- v. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
No, the proposed PUD will not impede the normal and orderly development or improvement of the surrounding properties. The surrounding parcels are mostly industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.
- vi. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
The previous owner of Lot 3 partially developed the property i; The completed improvements include: mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 5. Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building.
The site has been designed to include accessible parking spaces, accessible routes, and all applicable ADA requirements.
- vii. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
Yes, provisions are in-place for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.
- viii. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
Yes, the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses. The surrounding properties are mostly industrial in nature and the proposed site plan demonstrates the proposed development's compatibility with and similarity to the adjacent parcels. A proposed photometric plan has also been completed which demonstrates minimal light intensity in footcandles at all property lines. In order to minimize noise and light from the uses to the north, we have planned landscape screening along the northern property line boundary.
- ix. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?
Yes, the areas of the proposed PUD which are not used for structures or parking and loading areas are suitably landscaped as demonstrated by the landscape

rendering and preliminary landscape plans which are included as part of this submission.

- x. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?

Yes, the proposed PUD is consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan. The proposed development complies with the property's current ORI zoning and aligns with the Village of North Aurora's Comprehensive Plan. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".

- xi. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

No, there are no benefits or amenities in the proposed PUD that are unique and/or which exceed the applicable zoning requirements.

LEGAL DESCRIPTION:

LOT 3 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

CONTAINING 1,043,866 SQUARE FEET OR 23.9639 ACRES

GENERAL NOTES

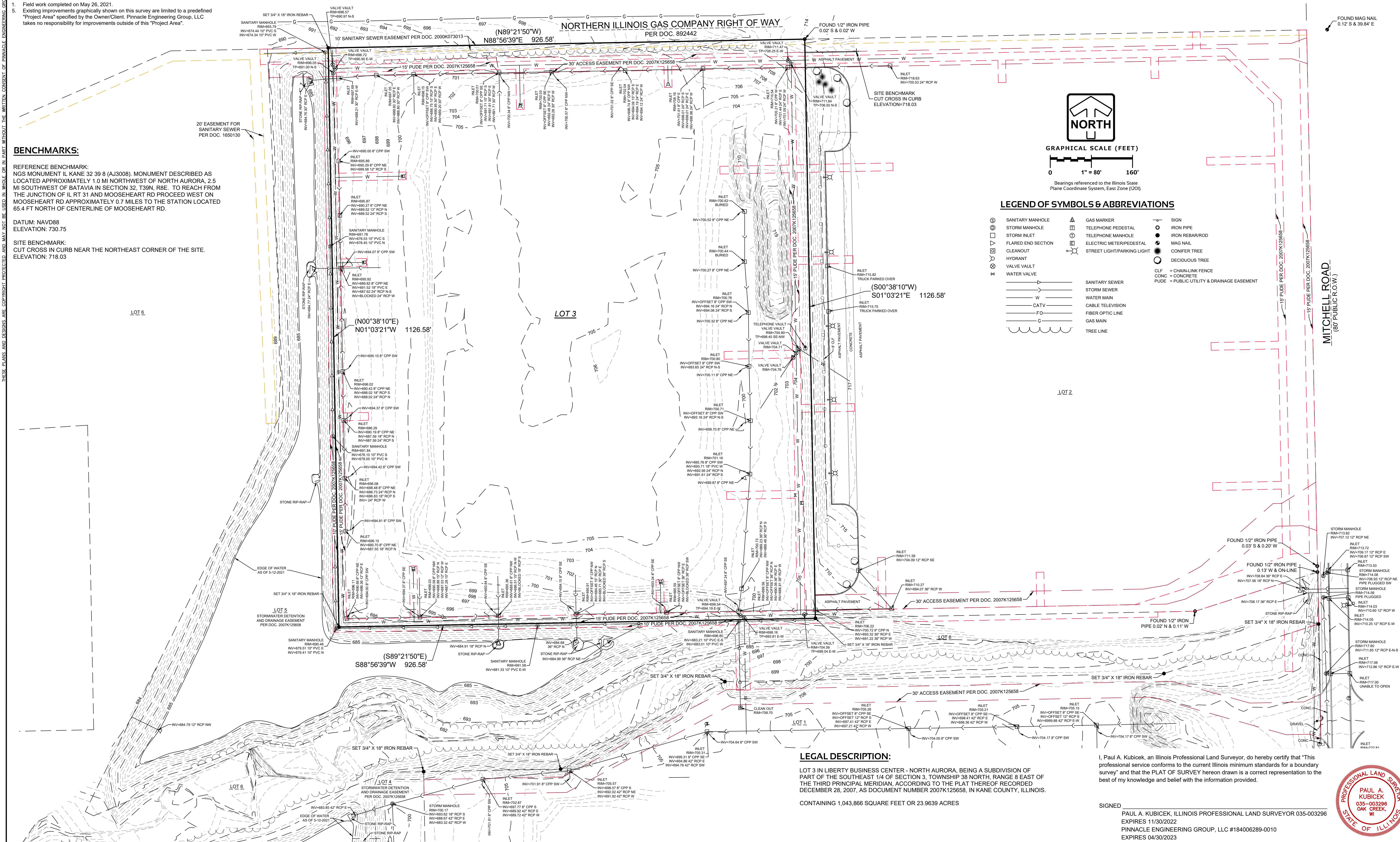
- Field work completed on May 26, 2021.
- Existing improvements graphically shown on this survey are limited to a predefined "Project Area" specified by the Owner/Client. Pinnacle Engineering Group, LLC takes no responsibility for improvements outside of this "Project Area".

BENCHMARKS:

REFERENCE BENCHMARK:
NGS MONUMENT IL KANE 32 39 8 (A33008). MONUMENT DESCRIBED AS LOCATED APPROXIMATELY 1.0 MI NORTHWEST OF NORTH AURORA, 2.5 MI SOUTHWEST OF BATAVIA IN SECTION 32, T39N, R8E. TO REACH FROM THE JUNCTION OF IL RT 31 AND MOOSEHEART RD PROCEED WEST ON MOOSEHEART RD APPROXIMATELY 0.7 MILES TO THE STATION LOCATED 65.4 FT NORTH OF CENTERLINE OF MOOSEHEART RD.

DATUM: NAVD88
ELEVATION: 730.75

SITE BENCHMARK:
CUT CROSS IN CURB NEAR THE NORTHEAST CORNER OF THE SITE.
ELEVATION: 718.03



LEGAL DESCRIPTION:

LOT 3 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

CONTAINING 1,043,866 SQUARE FEET OR 23.9639 ACRES

I, Paul A. Kubicek, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey" and that the PLAT OF SURVEY hereon drawn is a correct representation to the best of my knowledge and belief with the information provided.

SIGNED
PAUL A. KUBICEK, ILLINOIS PROFESSIONAL LAND SURVEYOR 035-003296
EXPIRES 11/30/2022
PINNACLE ENGINEERING GROUP, LLC #184006289-0010
EXPIRES 04/30/2023



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

ILLINOIS OFFICE:
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

PLAT OF SURVEY

REVISIONS

REC. JOB NO. 1960.10
DES. BY BDI
DATE 5/28/2021
SCALE 1"=80'

SHEET
1
OF
1

© COPYRIGHT 2021
SURVEY

PIN 15-03-400-039

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS

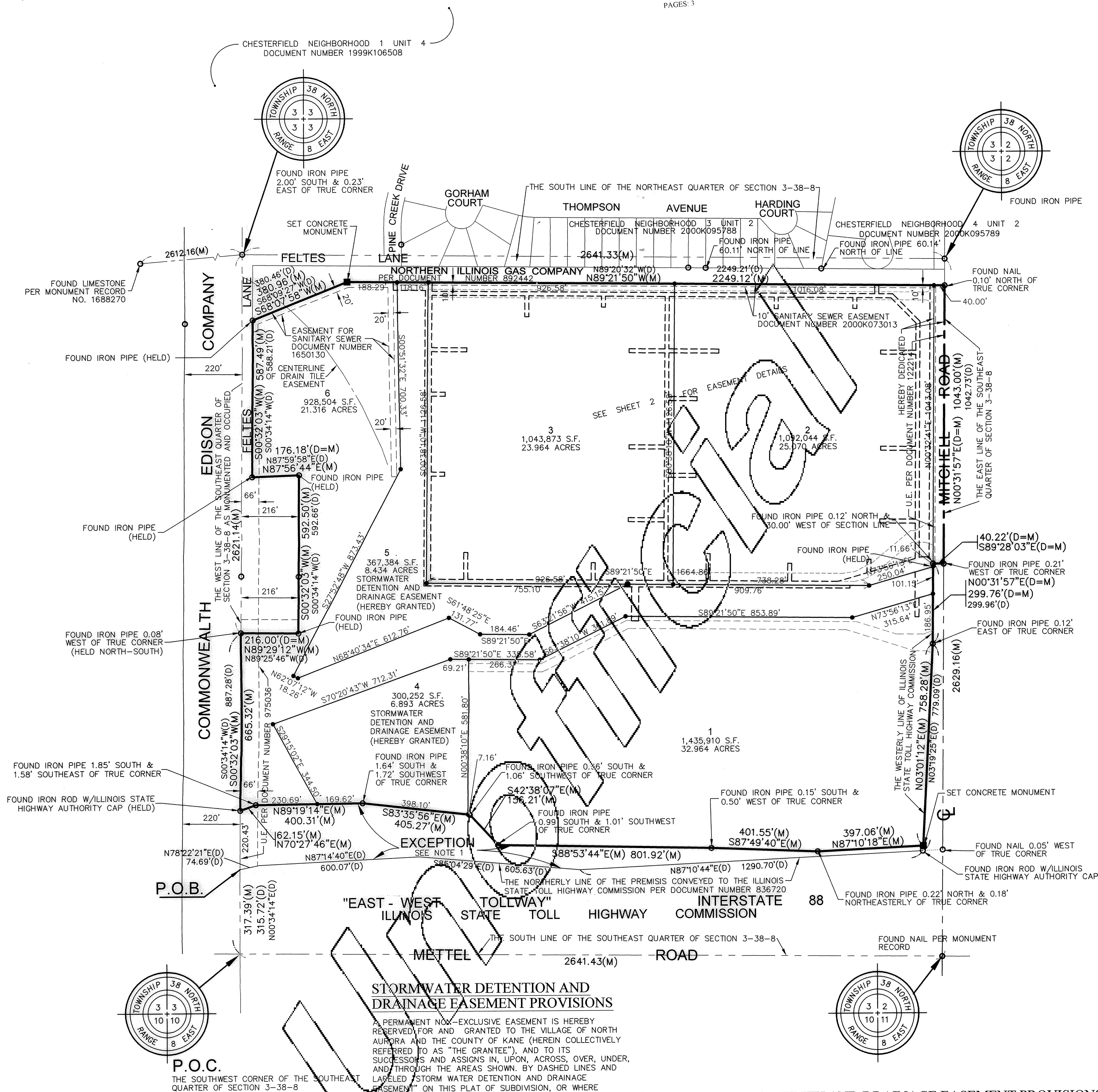
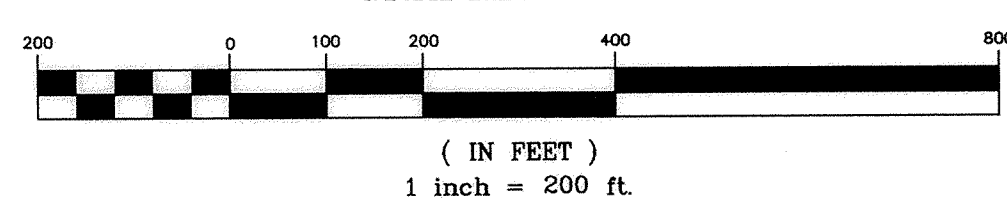
GROSS	5,209,804	SQUARE FEET	OR	119.601	ACRES
R.O.W. DEDICATION	41,836	SQUARE FEET	OR	0.960	ACRES
NET AREA	5,167,968	SQUARE FEET	OR	118.641	ACRES
(TO HEAVY LINES)					
(BASED ON MEASURED VALUES)					



2007K125658

SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

GRAPHIC SCALE



1. THAT PART TAKEN BY THE ILLINOIS TOLL HIGHWAY AUTHORITY BY ORDER AUGUST 7, 1996 CASE EDKA 96026.
2. INTENDED USES ARE AS FOLLOWS: LOTS 1 THRU 3 (INCLUSIVE) ARE BUILDABLE. LOTS 4 AND 5 ARE DETENTION AND LOT 6 IS VACANT.

- FOUND IRON STAKE
UNLESS OTHERWISE NOTED
(HELD LOCATION)
- CONCRETE MONUMENT
- + CROSS IN CONCRETE
- SET IRON PIPE

(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED DISTANCE
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.B. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

_____ LIMITS OF LAND PER
 LEGAL DESCRIPTION
 _____ ADJACENT LAND
 PARCEL LINE
 --- EASEMENT LINE
 --- CENTERLINE
 --- BUILDING SETBACK LINE
 --- SECTION LINE

A PERMANENT NOW-EXCLUSIVE EASEMENT IS HEREBY RESERVED, FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND THE COUNTY OF KANE (HEREIN COLLECTIVELY REFERRED TO AS "THE GRANTEE"), AND ITS SUCCESSORS, AGAINST THE LANDS SHOWN, COVER, UNDER, AND AROUND THE AREAS SHOWN, BY DASHED LINES AND LABELED "STORM WATER DETENTION AND DRAINAGE EASEMENT" ON THIS PLAT OF SUBDIVISION, OR WHERE OTHERWISE NOTED IN THE ABOVE LEGEND FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION FACILITIES AND APPURTENANCES ON ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS AS SAID GRANTEE MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE LATTERLY HEREON FOR THE NECESSARY REPAIRS, EQUIPMENT TO DO ANY OF THE ABOVE WORK, NO PERMANENT BUILDING OR TREES SHALL BE PLACED ON SAID DRAINAGE EASEMENTS; BUT THE PREMISES MAY BE USED FOR LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. FENCES SHALL NOT BE ERECTED UPON SAID DRAINAGE EASEMENTS IN ANY WAY WHICH WILL RESTRICT THE USES HEREIN GRANTED THE RIGHT IS ALSO, HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM OR REMOVE ANY TREES, FENCES; SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH DRAINAGE FACILITIES OR TO CROSS, UNDER, THROUGH, OVER, OR AROUND SUCH DRAINAGE EASEMENTS. THE GRANTEE SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY SUCH IMPROVEMENTS, FENCES, GARDENS, SHRUBS, OR LANDSCAPING REMOVED DURING EXERCISE OF THE HEREIN GIVEN RIGHTS. REPLACEMENT OF ITEMS SO REMOVED SHALL BE THE RESPONSIBILITY OF THE THEN LOT OWNER WHERE DRAINAGE EASEMENT AREAS ARE ALSO USED FOR ELECTRIC, TELEPHONE OR GAS DISTRIBUTION SYSTEMS OR COMPONENTS, SUCH OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE VILLAGE OF NORTH AURORA OR THE COUNTY OF KANE, AS TO ANY INTERFERENCE WITH THE USES AND RIGHTS HEREIN GRANTED. THE ERECTION OF ANY DETRIMENTAL AND OBSTACLES TO THE STABILIZATION OF THE NEGATIVE GROUND COVER ON THE ABOVE MENTIONED DRAINAGE FACILITIES ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF THESE RIGHTS SHALL BE A LIEN UPON THE PROPERTY WHEREIN SUCH OBSTRUCTION WAS PLACED OR SUCH ALTERATION OCCURRED.

MAINTENANCE OF SAID STORM WATER DETENTION AND DRAINAGE EASEMENT IS THE RESPONSIBILITY OF ALL THE LOT (PARCEL) OWNERS DEPICTED ON THE FACE OF THIS PLAT.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTED THEM EASEMENT RIGHTS FROM THE VILLAGE, INCLUDING, BUT NOT LIMITED TO JONES SPACELINK CABLEVISION, ILLINOIS BELL TELEPHONE COMPANY, COMMONWEALTH EDISON COMPANY AND NORTHERN ILLINOIS GAS COMPANY AND TO THEIR SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED PUBLIC UTILITIES AND DRAINAGE EASEMENT (P.U. & D.E.) FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, OPERATING, REPLACING, RENEWING, ALTERING, REPAIRING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ELECTRICAL, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE, OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY, STORM SEWERS, DRAINAGE WAYS, STORMWATER DETENTION, AND RETENTION, WATERMANS, AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES,, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS SAID VILLAGE AND UTILITIES MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLotted HEREON FOR THE NECESSARY CONSTRUCTION, MAINTENANCE, OPERATION TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO SAID VILLAGE AND UTILITIES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID SEWER OR WITHOUT LIMITATION, UTILITY INSTALLATIONS IN, ON, UPON, ACROSS, UNDER, OR THROUGH SAID EASEMENTS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, TREES, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS WHEREAN AN EASEMENT IS USED FOR STORM SEWERS, SANITARY SEWERS, OR ANY OTHER UTILITY INSTALLATIONS, IT SHALL BE SUBJECT TO THE REMOVAL OF SAID VILLAGE, SO AS NOT TO INTERFERE WITH THE OPERATION AND DRAINAGE. AFTER INSTALLATION OF SAID UTILITIES, THE FINAL SURFACE OF THE EASEMENT SHALL BE RESTORED IN A MANNER SO AS NOT TO INTERFERE WITH PROPER OPERATION AND DRAINAGE THEREOF. FENCES SHALL NOT BE ERECTED UPON SAID EASEMENT EXCEPT WHERE SPECIFICALLY PERMITTED BY WRITTEN AUTHORITY OF THE VILLAGE OF NORTH AURORA.

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND COOK COUNTY'S FIRE PROTECTION DISTRICT AND THEIR RESPECTIVE EMPLOYEES AND AGENTS, WITHIN PRIVATE DRIVES AND PARKING AREAS WITHIN THE PROPERTY FOR ACCESS FOR POLICE PROTECTION, TOGETHER WITH RELATED EMERGENCY AND SERVICE VEHICLES AND EQUIPMENT AND PUBLIC WORKS.

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1 of 3

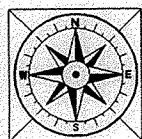
DRAWN BY: MRA

CHECKED BY: SK

DATE: 10-29-07

SCALE: 1" = 30'

SOAL: 1



COMPASS LAND SURVEYING LTD

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SUBDIVISIONS • CONDOMINIUMS

2631 GINGER WOODS PARKWAY STE. 100 • AURORA, IL 60502 • PHONE: (630) 820-9100 • FAX: (630) 820-7030

Prepared For:

LIBERTY PROPERTY TRUST
9700 W. Higgins Road
Rosemont, Illinois 60018

PROJECT:

BUSINESS CENTER - NORTH AURORA
NORTH AURORA, ILLINOIS

NO.	REVISIONS	DATE	BY
1.	PER LETTER DATED 11/21/07, & SHOW EASEMENTS	12/6/07	MP
2.	PER CLIENT COMMENT-REVISE NAME	12/11/07	MP

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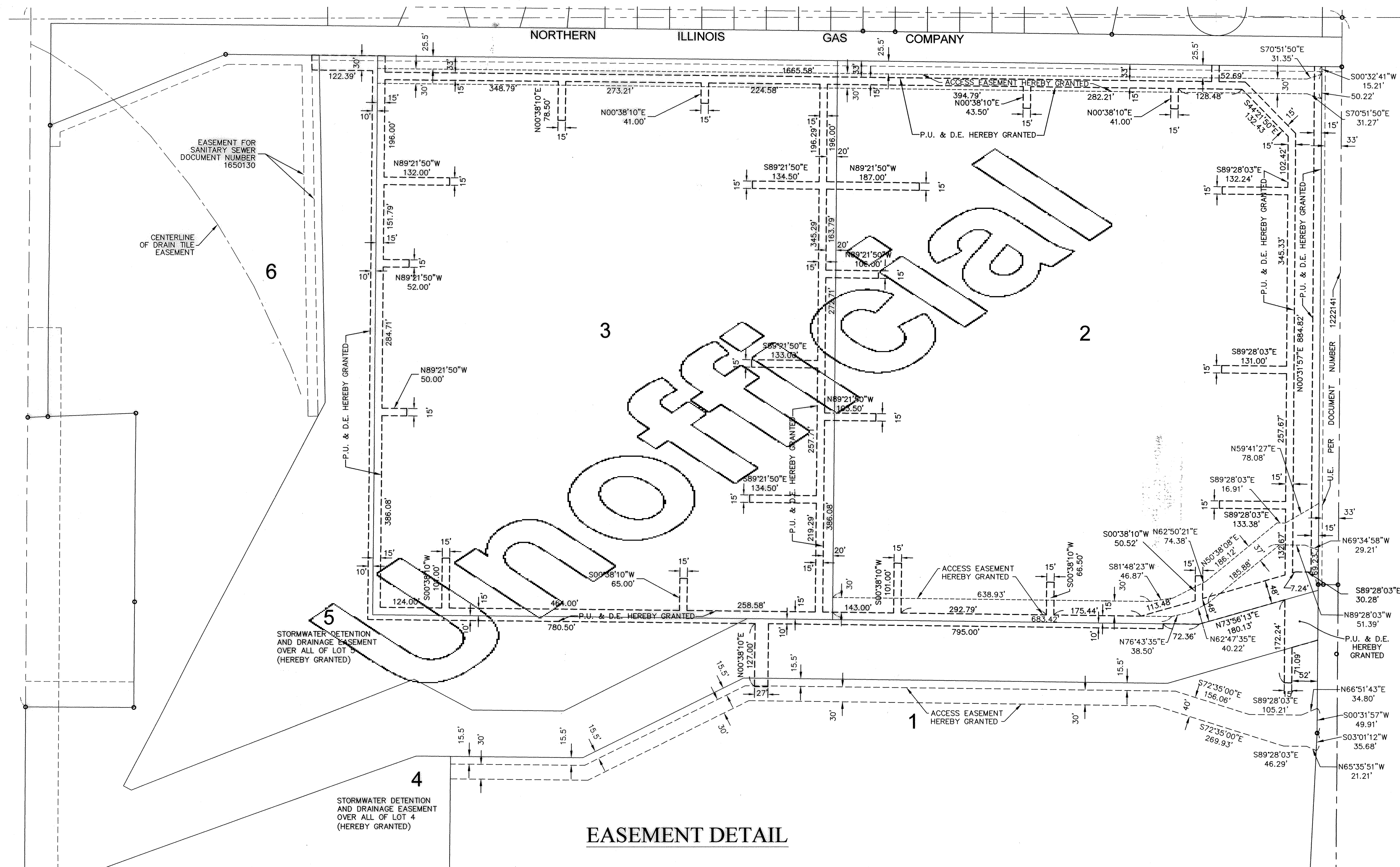
2007K125658
SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

FINAL PLAT OF SUBDIVISION
LIBERTY BUSINESS CENTER - NORTH AURORA

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS

GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.



Oct 29, 2007 - 09:14 Dwg Name: G:\Psdata\9000\9303\9303.05 - Sub Plat\9303.05 SUB PLAT.dwg

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COMPASS LAND SURVEYING LTD
ALTA SURVEYS • TOPOGRAPHIC MAPPING • RIGHT OF WAY SURVEYS • CONSTRUCTION SURVEYING
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DRAWN BY: MRA
CHECKED BY: SK
DATE: 10-29-07
SCALE: 1" = 100'

LIBERTY BUSINESS CENTER - NORTH AURORA

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS



2007K125658

SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

OWNER'S CERTIFICATE

I, THE UNDERSIGNED, AS AN AUTHORIZED AGENT ~~UNDER THE PROVISIONS OF A TRUST AGREEMENT KNOWN AS TRUST NO. _____~~
DATED 12/28 DO HEREBY CERTIFY THAT SAID TRUST IS THE RECORD OWNER OF THE
PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AFFIXED HEREON, AND THAT AS SAID AGENT, AND NOT PERSONALLY, DO HEREBY
CONSENT TO THE SUBDIVISION OF SAID PROPERTY, AND THE VARIOUS DEDICATIONS, GRANTS AND RESERVATIONS OF EASEMENT AND
RIGHTS-OF-WAY DEPICTED HEREON.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID
SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF WEST AURORA SCHOOL DISTRICT 129.
DATED THIS 12/28 DAY OF DECEMBER, A.D., 2007

Donald P. Schaeffer
SIGNATURE

PLEASE TYPE/PRINT THE AUTHORIZED INDIVIDUAL'S NAME, TITLE, CORPORATION/COMPANY NAME, AND ADDRESS:

DONALD P. SCHAEFFER

LIBERTY ILLINOIS, LP
900 W. HIGGINS RD.
SUITE 670
ROSEMONT, IL 60018

AFFIX SEAL IF APPROPRIATE

NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

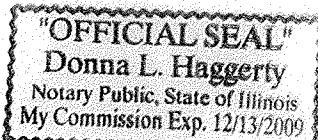
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE, DO HEREBY CERTIFY THAT THE FOREGOING
SIGNATORS OF THE OWNER'S CERTIFICATE ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO
THE FOREGOING INSTRUMENT, WHO APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED SAID
INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID BANK, AS TRUSTEE AFORESAID, FOR
THE USES THEREIN SET FORTH, AND THEN AND THERE DID AFFIX THE CORPORATE SEAL OF SAID BANK AS THE TRUSTEE AFORESAID FOR
THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS 12/28 DAY OF DECEMBER, A.D., 2007

Donna L. Haggerty
NOTARY

DONNA L. HAGGERTY
PLEASE TYPE/PRINT NAME

AFFIX SEAL



MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

_____, AS MORTGAGEE UNDER

PROVISIONS OF A CERTAIN MORTGAGE DATED _____

AND RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY,
ILLINOIS, AS DOCUMENT NUMBER _____, HEREBY CONSENTS TO RECORDING OF THE SUBDIVISION HEREIN
SHOWN.

DATED AT _____, THIS _____ DAY

OF _____, A.D., 20 _____.

BY: _____ BY: _____

TITLE: _____ TITLE: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY
CERTIFY THAT _____ (TITLE) AND _____ (TITLE)

OF _____ (COMPANY), WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHO ARE SUBSCRIBED TO THE FOREGOING MORTGAGEE'S CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE
EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND
VOLUNTARY ACT AN DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY

OF _____, A.D., 20 _____.

BY: _____
NOTARY PUBLIC

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY
RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON
AND
SBC COMPANY, A.K.A., AN ILLINOIS BELL TELEPHONE COMPANY, AND ITS GRANTEES,

THEIR RESPECTIVE LICENSEES, SUCCESSORS, AND ASSIGNS, JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR,
MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS,
ANCHORS, WIRES CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES
USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY,
COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY
SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY
EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE
DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE
PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER
PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE
OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON
AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS
FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE
RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER
GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR
DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION)
WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE
SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND
MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM
PROPERTY ACT", CHAPTER 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL
USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS,
PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY
TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING", AND
"COMMON AREA". THE TERM "COMMON AREA OR AREAS", AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED
WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE
BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEES AT COST OF THE GRANTOR/LOT OWNER UPON WRITTEN
REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND
ASSIGNS ("NI-GAS") TO INSTALL, OPERATE, MAINTAIN, REPAIR, REPLACE AND REMOVE, FACILITIES USED IN CONNECTION WITH
THE TRANSMISSION AND DISTRIBUTION OF NATURAL GAS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE
PROPERTY SHOWN ON THIS PLAT MARKED "EASEMENT", "COMMON AREA OR AREAS" AND STREETS AND ALLEYS, WHETHER
PUBLIC OR PRIVATE, AND THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS
"COMMON ELEMENTS", TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE
SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND
COMMON AREA OR AREAS, AND TO SERVE OTHER PROPERTY, ADJACENT OR OTHERWISE, AND THE RIGHT TO REMOVE
OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, TREES, BUSHES, ROOTS AND FENCES, AS MAY BE REASONABLY REQUIRED
INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES.
OBSTRUCTIONS SHALL NOT BE PLACED OVER NI-GAS' FACILITIES OR IN, UPON OR OVER THE PROPERTY IDENTIFIED ON THIS
PLAT FOR UTILITY PURPOSES WITHOUT THE PRIOR WRITTEN CONSENT OF NI-GAS. AFTER INSTALLATION OF ANY SUCH
FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER
OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THAT MEANING SET FORTH FOR SUCH TERM IN SECTION 605/2(E) OF THE
"CONDOMINIUM PROPERTY ACT" (ILLINOIS COMPILED STATUTES, CH. 765, SEC. 605/2(E), AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, INCLUDING REAL
PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS
RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PROPERTY,
EVEN THOUGH SUCH AREAS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT AND/OR FORFEITED TAXES, NO REDEEMABLE TAX SALES, AND NO UNPAID SPECIAL
ASSESSMENTS AGAINST ANY OF THE REAL ESTATE DESCRIBED AND PLATTED HEREON.

DATED THIS 20th DAY OF DECEMBER, A.D. 2007

Sandy Wegman
COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS INSTRUMENT NO. 2007K125658 WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE
28th DAY OF DECEMBER, 2007 AT 10:29 O'CLOCK A.M., AND

RECORDED IN PLAT ENVELOPE NO. 1174

Sandy Wegman
(COUNTY RECORDER)

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED AND ACCEPTED THIS 28 DAY OF DECEMBER, A.D. 2007

BOARD OF TRUSTEES,
VILLAGE OF NORTH AURORA, ILLINOIS

(PRESIDENT)

Scott C. Krebs
(VILLAGE CLERK)

ACCESS EASEMENT PROVISIONS

A PERMANENT ACCESS EASEMENT HEREBY GRANTED AND SHOWN ON THE FACE OF THIS PLAT FOR INGRESS AND
EGRESS PURPOSES FOR THE BENEFIT OF ALL PARCELS INCLUDED IN THIS PLAT OF SUBDIVISION AND FOR ANY AND
ALL EMERGENCY VEHICLES NEEDING ACCESS FOR EMERGENCY PURPOSES.

DRAINAGE OVERLAY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH
SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN
MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO
USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS
TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 11/24 DAY OF DECEMBER, 2007

William H. Perry P.E.
DESIGN ENGINEER

William H. Perry P.E.
OWNER OR ATTORNEY

DATE 12/8/07 062055801 Exp. 11/30/09
ILLINOIS REGISTERED PROFESSIONAL
ENGINEER: SIGNATURE AND SEAL

Scott C. Krebs
(VILLAGE CLERK)

PLAN COMMISSION APPROVAL

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF NORTH AURORA

THIS 4 DAY OF DECEMBER, A.D. 2007

PLAN COMMISSION,
VILLAGE OF NORTH AURORA

Mark Pratt
(CHAIRPERSON)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED
AND SUBDIVIDED THE FOLLOWING PROPERTY:

THAT PART OF THE SOUTHEAST 1/4 SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN IN
KANE COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE NORTH 00 DEGREES, 34 MINUTES, 14 SECONDS
EAST ALONG THE WEST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 315.72 FEET TO AN IRON PIPE FOUND ON THE
NORTHERLY LINE OF THE PREMISES CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION, FOR THE POINT OF
BEGINNING; THENCE (THE FOLLOWING SEVEN COURSES BEING ON SAID NORTHERLY LINE AND THE WESTERLY LINE OF THE
PREMISES CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION) NORTH 78 DEGREES, 22 MINUTES, 21 SECONDS
EAST FOR A DISTANCE OF 74.69 FEET TO A FOUND IRON PIPE; THENCE NORTH 87 DEGREES, 14 MINUTES, 40 SECONDS EAST
FOR A DISTANCE OF 600.07 FEET TO A FOUND CONCRETE MONUMENT; THENCE SOUTH 85 DEGREES, 04 MINUTES, 29
SECONDS EAST FOR A DISTANCE OF 605.63 FEET TO A FOUND CONCRETE MONUMENT; THENCE NORTH 87 DEGREES, 10
MINUTES, 44 SECONDS EAST FOR A DISTANCE OF 1290.70 FEET; THENCE NORTH 03 DEGREES, 19 MINUTES, 25 SECONDS
EAST FOR A DISTANCE OF 779.09 FEET; THENCE NORTH 00 DEGREES, 31 MINUTES, 57 SECONDS EAST ALONG A LINE
PARALLEL WITH THE EAST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 299.96 FEET TO A FOUND IRON PIPE; THENCE
SOUTH 89 DEGREES, 28 MINUTES, 03 SECONDS EAST ALONG A LINE AT RIGHT ANGLES TO THE LAST DESCRIBED PARALLEL
LINE FOR A DISTANCE OF 40.22 FEET TO AN IRON PIPE FOUND ON SAID EAST LINE OF THE SOUTHEAST 1/4; THENCE NORTH
00 DEGREES, 31 MINUTES, 57 SECONDS EAST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 1042.73 FEET TO AN
IRON PIPE FOUND ON THE SOUTH LINE OF THE PREMISES CONVEYED TO THE NORTHERN ILLINOIS GAS COMPANY; THENCE
NORTH 89 DEGREES, 20 MINUTES, 32 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 2249.21 FEET;
THENCE SOUTH 68 DEGREES, 09 MINUTES, 27 SECONDS WEST ALONG SAID SOUTHERLY LINE OF PREMISES CONVEYED TO THE
NORTHERN ILLINOIS GAS COMPANY FOR A DISTANCE OF 380.46 FEET; THENCE SOUTH 00 DEGREES, 34 MINUTES, 14 SECONDS
WEST ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 588.21 FEET TO A POINT,
SAID POINT BEING 1785.96 FEET DISTANT NORTH OF SAID SOUTHWEST CORNER OF THE SOUTHEAST 1/4; THENCE NORTH 87
DEGREES, 59 MINUTES, 58 SECONDS EAST FOR A DISTANCE OF 176.18 FEET; THENCE SOUTH 00 DEGREES, 34 MINUTES, 14
SECONDS WEST ALONG A LINE PARALLEL WITH SAID WEST LINE OF THE SOUTHEAST 1/4 FOR A DISTANCE OF 592.66 FEET;
THENCE NORTH 89 DEGREES, 25 MINUTES, 46 SECONDS WEST ALONG A LINE AT RIGHT ANGLES TO THE LAST DESCRIBED
PARALLEL LINE FOR A DISTANCE OF 216.00 FEET TO SAID WEST LINE OF THE SOUTHEAST 1/4; THENCE SOUTH 00 DEGREES,
34 MINUTES, 14 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 887.28 FEET TO SAID IRON PIPE
FOUND AT THE POINT OF BEGINNING, (LESS AND EXCEPT THAT PART TAKEN BY THE ILLINOIS STATE TOLL HIGHWAY
AUTHORITY BY THE ORDER ENTERED AUGUST 7, 1996 IN CASE EDKA 96 026) IN THE VILLAGE OF NORTH AURORA, KANE
COUNTY, ILLINOIS.

THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AND IS WITHIN THE VILLAGE OF
NORTH AURORA WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS
AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.
PERMANENT MONUMENTS AND IRON PIPES HAVE BEEN SET IN ACCORDANCE WITH THE VILLAGE OF NORTH AURORA
SUBDIVISION ORDINANCE AND ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL
REGULATIONS ENACTED BY THE VILLAGE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED
WITH IN THE PREPARATION OF THIS PLAT, AND THIS SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE
OUTSIDE 500-YEAR FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17089C0341 F, HAVING AN
EFFECTIVE DATE OF DECEMBER 20, 2002.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS 11th DAY OF DECEMBER, 2007

Scott C. Krebs
COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYING CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2009

BY: Scott C. Krebs

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509

EXPIRES 11/30/08



USE BLACK INK ONLY

Dec 04, 2007 - 14:07 Dwg Name: G:\Pdata\9000\9303\9303.05 - Sub Plat\9303.05 SUB PLAT.dwg Updated by: mpope

3 of 3	DRAWN BY: MRA		COMPASS LAND SURVEYING LTD ALTA SURVEYS • TOPOGRAPHIC MAPPING • RIGHT OF WAY SURVEYS • CONSTRUCTION SURVEYING SUBDIVISIONS • CONDOMINIUMS 2631 GINGER WOODS PARKWAY STE. 100 • AURORA, IL 60502 • PHONE: (630) 820-9100 • FAX: (630) 820-7030	Prepared For: LIBERTY PROPERTY TRUST 9700 W. Higgins Road Rosemont, Illinois 60018	NO. _____	REVISIONS	DATE	BY
	CHECKED BY: SK							
	DATE: 10-29-07							
	SCALE: NONE							
	PROJECT NO.: 9303.05			PROJECT: LIBERTY BUSINESS CENTER - NORTH AURORA NORTH AURORA, ILLINOIS				
					1.	PER LETTER DATED 11/21/07, & SHOW EASEMENTS	12/6/07	MP
					2.	PER CLIENT COMMENT-REVISE NAME	12/11/07	MP

Applicant: Pinnacle Engineering Group
Contact: Leia Cooney
Address: 1051 E. Main St, Suite 217
East Dundee, IL 60118

IDNR Project Number: 2312378
Date: 03/27/2023

Project: 302 Mitchell Road Development
Address: 302 Mitchell Road, North Aurora

Description: Development of an approximately 436,132 square-foot warehouse on a previously mass-graded lot.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

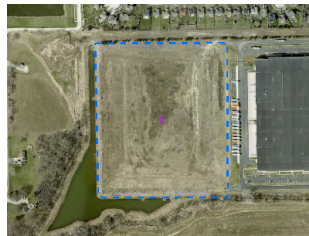
Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kane

Township, Range, Section:
38N, 8E, 3



IL Department of Natural Resources

Contact

Adam Rawe
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

IL Environmental Protection Agency
Darin E. LeCrone
1021 North Grand Avenue East
Springfield, Illinois 62794

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

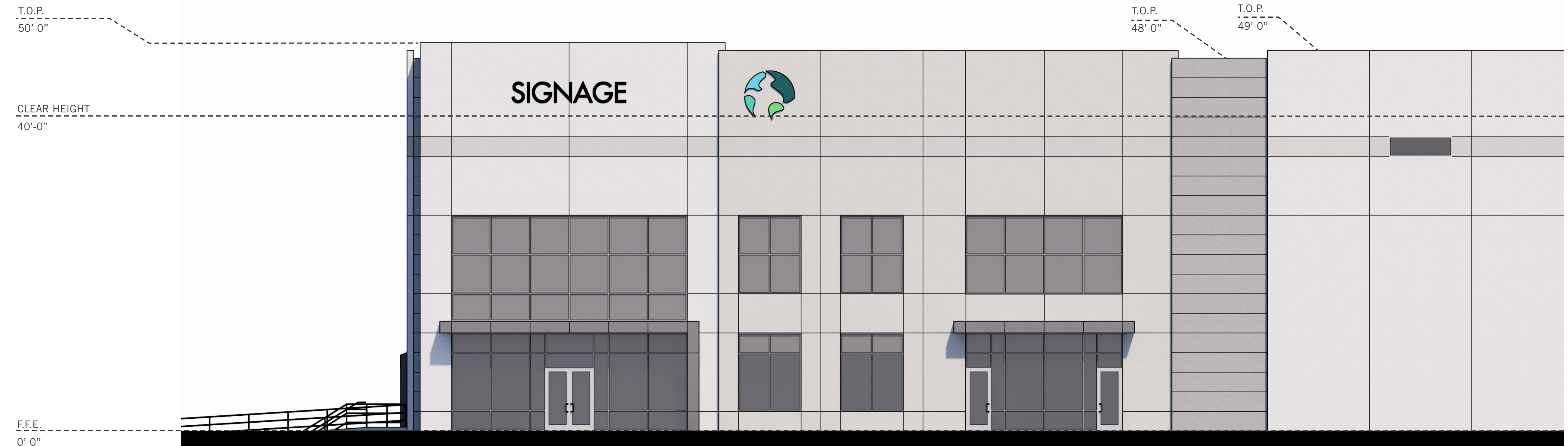
EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.





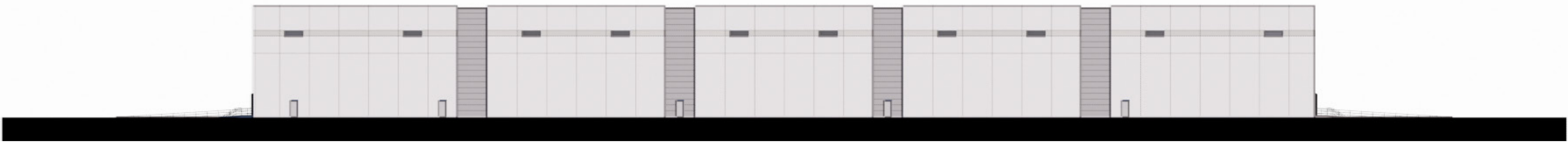
Enlarged Office Elevation - A



Conceptual Short Elevation



Conceptual Long Elevation



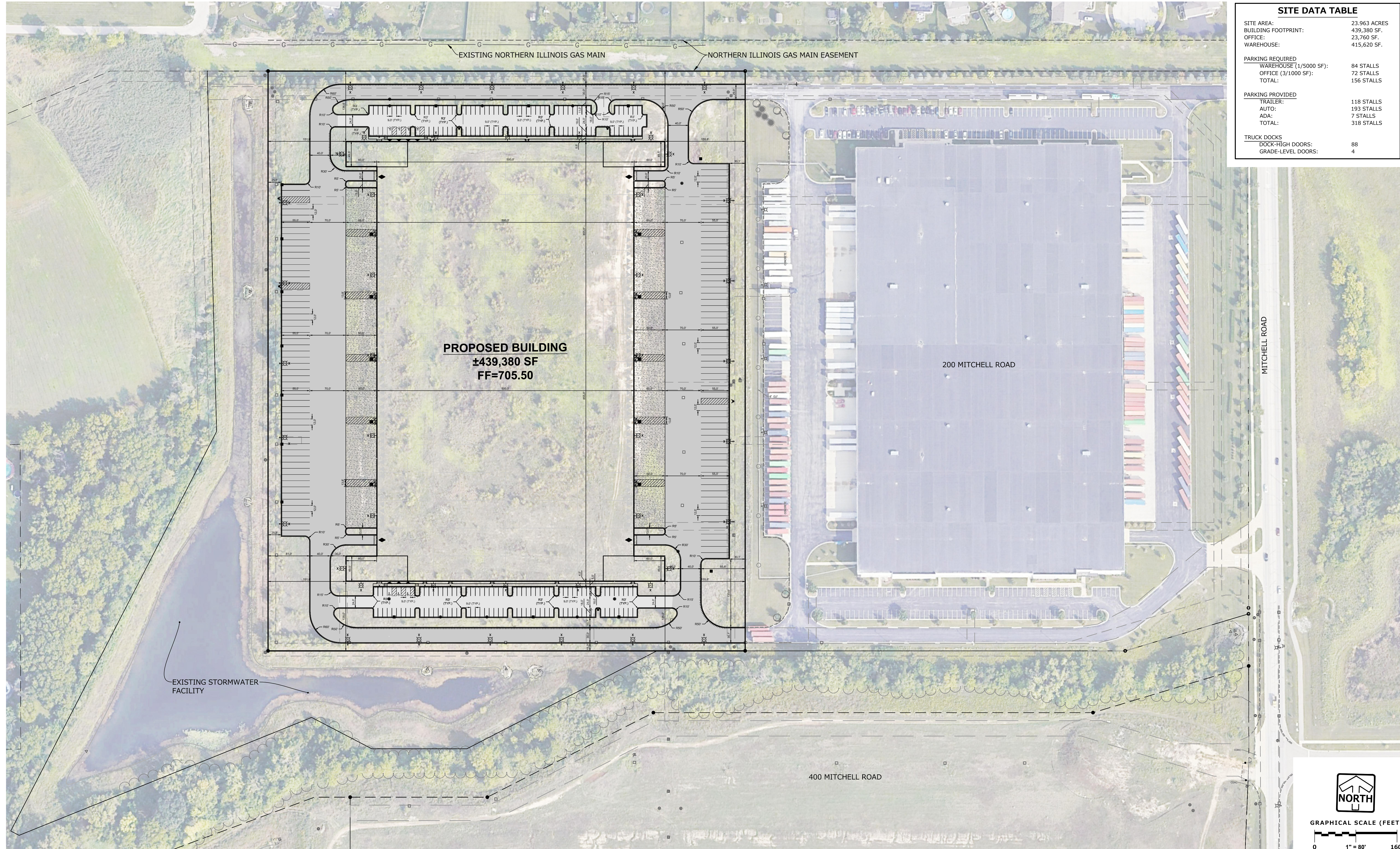
Conceptual Short Elevation



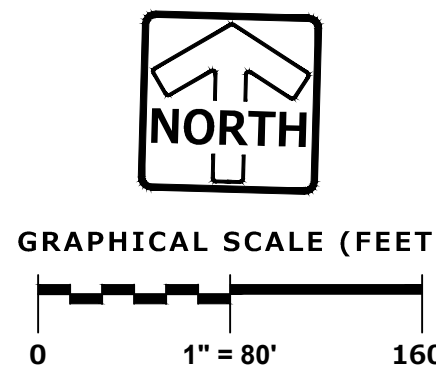
Conceptual Dock Elevation

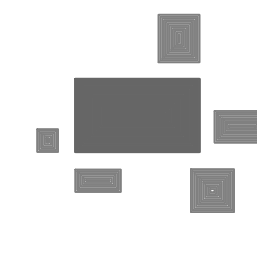
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DRAFTED: DESIGNED: REVIEWED:



SITE DATA TABLE	
SITE AREA:	23,963 ACRES
BUILDING FOOTPRINT:	439,380 SF.
OFFICE:	23,760 SF.
WAREHOUSE:	415,620 SF.
PARKING REQUIRED	
WAREHOUSE (1/5000 SF):	84 STALLS
OFFICE (3/1000 SF):	72 STALLS
TOTAL:	156 STALLS
PARKING PROVIDED	
TRAILER:	118 STALLS
AUTO:	193 STALLS
ADA:	7 STALLS
TOTAL:	318 STALLS
TRUCK DOCKS	
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EAST DUNDEE, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS	

SITE PLAN

PEE JOB No. 1960-20-11	BDJ	SHEET
REG PM	11/9/23	1
START DATE	11/9/23	OF
SCALE	1" = 80'	1

11/20/2023 9:05 AM - Z:\Projects\2020\1960.00-IL\312 - ENGINEERING\FINAL SHEETSET\C-1 COVER SHEET.dwg
DESIGNED: DPC
REVIEWED: ###
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© COPYRIGHT 2022

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
INLET		
PRECAST FLARED END SECTION		
CONCRETE HEADWALL		
VALVE VAULT		
VALVE BOX		
FIRE HYDRANT		
BUFFALO BOX		
CLEANOUT		
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
WATER MAIN		
UTILITY CROSSING		
GRANULAR TRENCH BACKFILL		
LIGHTING		
ELECTRICAL CABLE		
ELECTRICAL TRANSFORMER OR PEDESTAL		
POWER POLE		
POWER POLE WITH LIGHT		
GUY WIRE		
STREET SIGN		
GAS MAIN		
TELEPHONE LINE		
CONTOUR		
SPOT ELEVATION		
WETLANDS		
FLOODWAY		
FLOODPLAIN		
HIGH WATER LEVEL (HWL)		
NORMAL WATER LEVEL (NWL)		
DIRECTION OF SURFACE FLOW		
DITCH OR SWALE		
DIVERSION SWALE		
OVERFLOW RELIEF ROUTING		
TREE WITH TRUNK SIZE		
SOIL BORING		
TOPSOIL PROBE		
FENCE LINE, TEMPORARY SILT		
FENCE LINE, WIRE		
FENCE LINE, CHAIN LINK OR IRON		
FENCE LINE, WOOD OR PLASTIC		
CONCRETE SIDEWALK		
CURB AND GUTTER		
DEPRESSED CURB		
REVERSE PITCH CURB & GUTTER		
EASEMENT LINE		
PROPERTY LINE		

ABBREVIATIONS

BL	BASE LINE	PC	POINT OF CURVATURE
C	LONG CHORD OF CURVE	PT	POINT OF TANGENCY
C & G	CURB AND GUTTER	PVI	POINT OF VERTICAL INTERSECTION
CB	CATCH BASIN	R	RADIUS
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CL	DEGREE OF CURVE	SAN	SANITARY SEWER
EP	EDGE OF PAVEMENT	ST	STORM SEWER
FF	FINISHED FLOOR	T	TANGENCY OF CURVE
FG	FINISHED GRADE	TB	TOP OF BANK
FL	FLOW LINE	TF	TOP OF FOUNDATION
FP	FLOODPLAIN	TP	TOP OF PIPE
FR	FRAME	TS	TOP OF SIDEWALK
FW	FLOODWAY	TW	TOP OF WALL
HWL	HIGH WATER LEVEL	BW	BOTTOM OF WALL
INV	INVERT	TC	TOP OF CURB
L	LENGTH OF CURVE	TDC	TOP OF DEPRESSED CURB
MH	MANHOLE	WM	WATER MAIN
NWL	NORMAL WATER LEVEL	Δ	INTERSECTION ANGLE

PRELIMINARY ENGINEERING IMPROVEMENT PLANS
FOR
302 MITCHELL ROAD
302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

PLANS PREPARED
FOR



LIBERTY ILLINOIS VENTURE, L.P.

321 N. CLARK STREET, SUITE 2625
CHICAGO, ILLINOIS 60654
(312) 292-3900

CONTACTS

PROLOGIS, INC. / LIBERTY ILLINOIS VENTURE, L.P.

JENNY TRAUTMAN, DEVELOPMENT MANAGER
321 N. CLARK STREET, SUITE 2625
CHICAGO, IL 60654
(714) 787-9860

PINNACLE ENGINEERING GROUP, LLC

BRIAN D. JOHNSON, P.E., CPESC, SENIOR PROJECT MANAGER
1051 EAST MAIN STREET | SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

VILLAGE OF NORTH AURORA - PUBLIC WORKS

JOHN LASKOWSKI, PUBLIC WORKS DIRECTOR
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 897-8228

VILLAGE OF NORTH AURORA - COMMUNITY DEVELOPMENT

MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 906-7372

UTILITY CONTACTS

ELECTRIC

COMED (800) 334-7661

NATURAL GAS

NICOR GAS (847) 443-8157

PHONE/CABLE/INTERNET

AT&T (877) 342-6686
COMCAST (800) 266-2278
DIRECTV (800) 531-5000
FRONTIER (800) 921-8102
METRONET (844) 692-6184

BENCHMARKS

REFERENCE BENCHMARKS

REFERENCE BENCHMARK:
NGS MONUMENT IL KANE 32 39 8 (AJ3008). MONUMENT DESCRIBED AS LOCATED APPROXIMATELY 1.0 MI NORTHWEST OF NORTH AURORA, 2.5 MI SOUTHWEST OF BATAVIA IN SECTION 32, T39N, R8E, TO REACH FROM THE JUNCTION OF IL RT 31 AND MOOSEHEART RD PROCEED WEST ON MOOSEHEART RD APPROXIMATELY 0.7 MILES TO THE STATION LOCATED 65.4 FT NORTH OF CENTERLINE OF MOOSEHEART RD.

DATUM: NAVD88

ELEVATION: 730.75

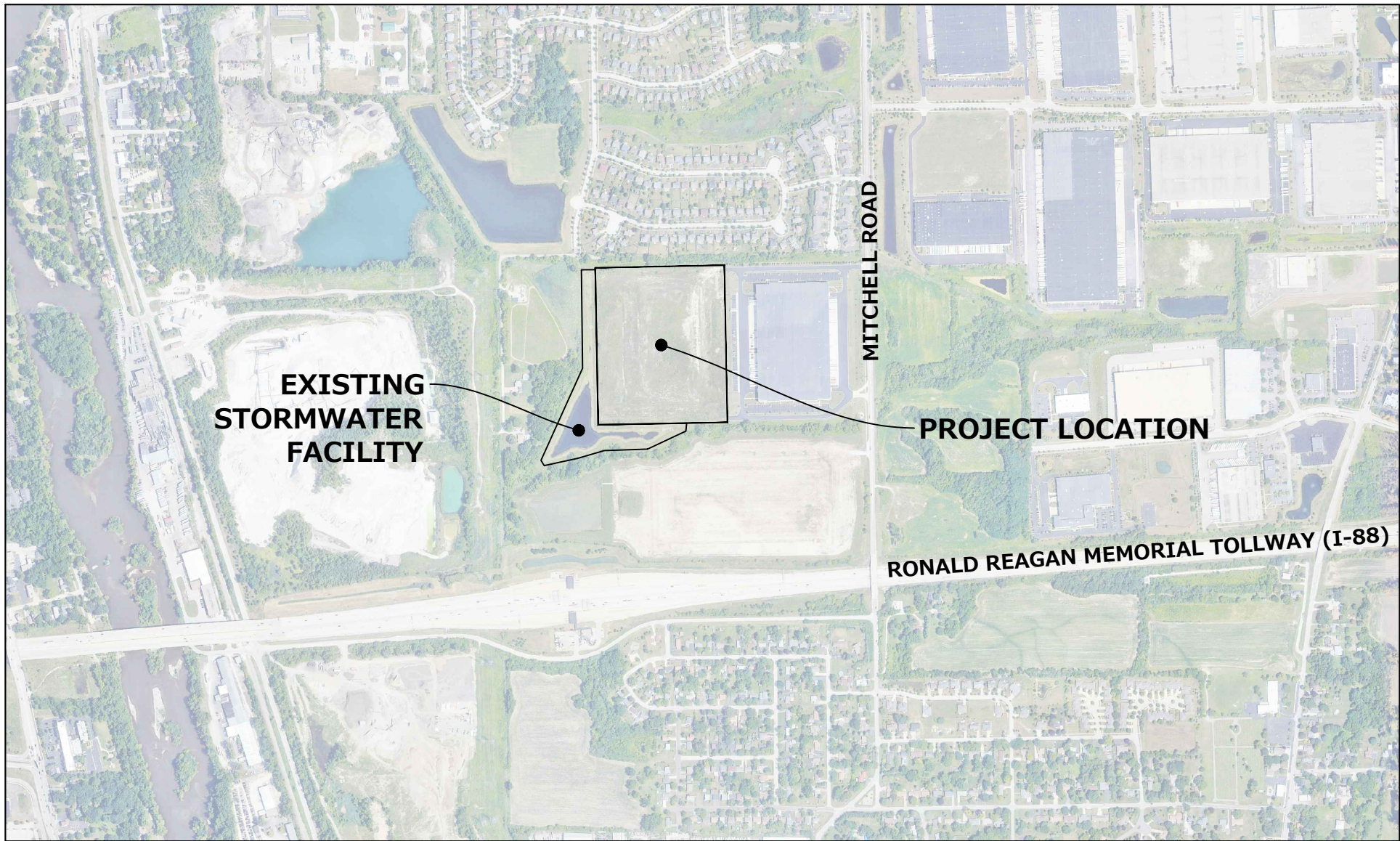
SITE BENCHMARK:

CUT CROSS IN CURB NEAR THE NORTHEAST CORNER OF THE SITE.
ELEVATION: 718.03

NOTE:

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY PINNACLE ENGINEERING GROUP, LTD., INC. ON MAY 26, 2021. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

EXISTING WATER AND SANITARY SHOWN PER RECORD DRAWING. FIELD VERIFY BEFORE CONSTRUCTION.



LOCATION MAP
SCALE: 1"=1000'

GENERAL NOTES

- THE VILLAGE OF NORTH AURORA BUILDING & ZONING DIVISION SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO EACH INSPECTION AT (630) 897-1457.
- ALL UTILITY COMPANIES, INCLUDING THE VILLAGE OF NORTH AURORA, SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY, OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
- PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS (LATEST EDITION):
 - VILLAGE OF NORTH AURORA, ILLINOIS UNIFIED DEVELOPMENT ORDINANCE.
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" BY ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
 - OTHER STANDARDS OR SPECIFICATIONS SPECIFICALLY REFERRED TO IN AN INDIVIDUAL PROVISION OF THESE STANDARDS AND SPECIFICATIONS.
 - "ILLINOIS URBAN MANUAL" AS PREPARED BY THE U.S. DEPT. OF AGRICULTURE & IL ASSOCIATION OF SOIL AND WATER CONSERVATION DISTRICTS.
 - KANE COUNTY "STORMWATER ORDINANCE" AS ADOPTED BY THE VILLAGE OF NORTH AURORA.
 - THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC.
 - ALL DOCUMENTS CITED IN THE ABOVE STANDARDS AND SPECIFICATIONS RELEVANT TO THE SUBJECT UNDER CONSIDERATION. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE REFERENCE ITEMS ABOVE AND ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MORE RESTRICTIVE PROVISION(S) SHALL APPLY.
- UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL PROVIDE FINAL "RECORD DRAWINGS" (1 MYLAR SEPIA REPRODUCIBLE, SIGNED AND SEALED BY THE ENGINEER) OF ALL UTILITIES WHICH INCLUDE THE LOCATIONS AND ELEVATIONS OF ALL MAINS, SERVICE LINES, STRUCTURES, PAVED AREAS, SITE GRADING, STREET LIGHTS AND CABLES, CURBS, AND MONUMENTS. FINAL RECORD DRAWINGS MUST ALSO INCLUDE A STATE PLANE COORDINATE SYSTEM TIE-IN. IN ADDITION TO THE DRAWINGS, AN ELECTRONIC FILE (IN DWG OR DGN FORMAT) OF THE RECORD DRAWINGS MUST BE SUBMITTED ON CD-ROM.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	PROJECT SPECIFICATIONS
C-3	FOX METRO PROJECT SPECIFICATIONS
C-4	OVERALL EXISTING CONDITIONS & DEMOLITION PLAN
C-5 - C-6	EXISTING CONDITIONS & DEMOLITION PLAN
C-7	OVERALL SITE DIMENSIONAL & PAVING PLAN
C-8 - C-9	SITE DIMENSIONAL & PAVING PLAN
C-10	OVERALL GRADING PLAN
C-11 - C-12	GRADING PLAN
C-13	OVERALL UTILITY PLAN
C-14 - C-15	UTILITY PLAN
C-16	OVERALL SITE STABILIZATION PLAN
C-17 - C-18	SITE STABILIZATION PLAN
C-19 - C-21	CONSTRUCTION STANDARDS

ATTACHMENTS

L-1	LANDSCAPE OVERVIEW
L-2 - L-3	LANDSCAPE ENLARGEMENT
L-4	LANDSCAPE NOTES & DETAILS
L-5	COLOR EXHIBIT

DRAINAGE CERTIFICATE

I, BRIAN JOHNSON, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO THE ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

DATED THIS 2ND DAY OF NOVEMBER, 2023.

Brian D. Johnson
ENGINEER

ISSUED FOR
PRELIMINARY REVIEW

EXPIRATION DATE: NOVEMBER 30, 2025	
Formerly JULIE 1-800-892-0123	
PINNACLE ENGINEERING GROUP, LLC ENGINEER'S LIMITATION	
PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.	
FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.	
PINNACLE ENGINEERING GROUP ILLINOIS DESIGN FIRM REGISTRATION NUMBER 184.006289-0010 035.003296	

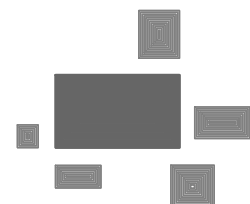
302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS

1	REVISED BUILDING	11/13/23			

COVER SHEET

SHEET
C-1
OF
C-21



PINNACLE ENGINEERING GROUP

IL DESIGN FIRM 184.006289-0010

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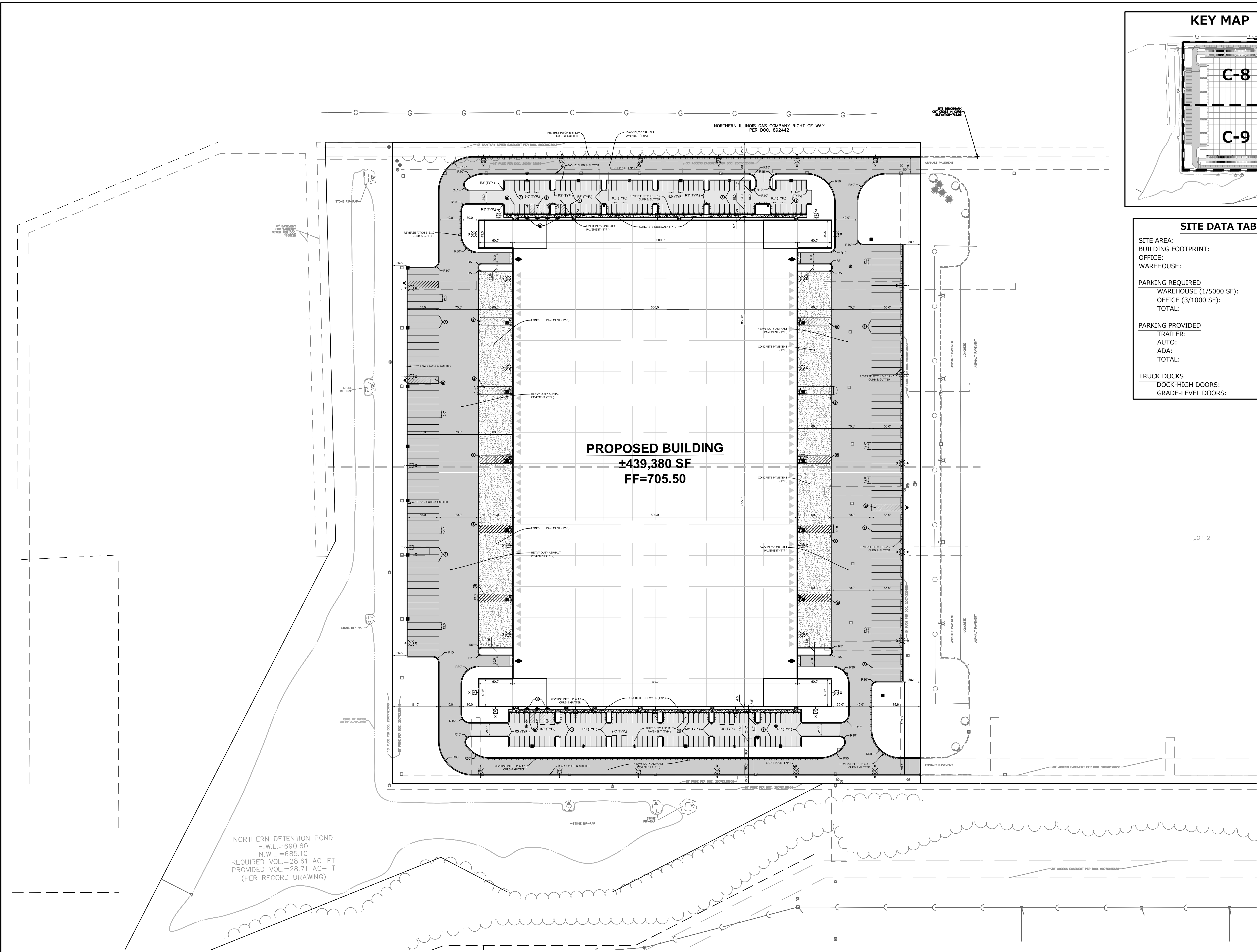
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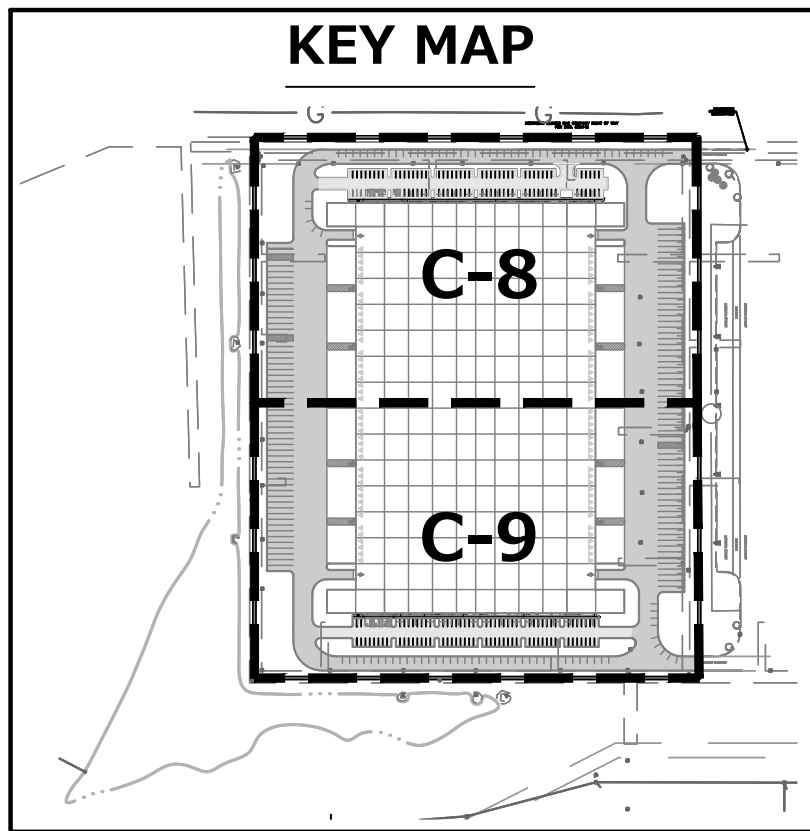
www.pinnacle-engr.com

- COVER SHEET

11/20/2023 9:05 AM - 2: Projects\2020\1960.00-LL\1312 - ENGINEERING\FINAL SHEET\SET SITE DIMENSIONAL & PAVING PLAN.dwg THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC
REVIEWED: DRAFTED: DESIGNED: DEC



NORTHERN DETENTION POND
H.W.L.=690.60
N.W.L.=685.10
REQUIRED VOL.=28.61 AC-FT
PROVIDED VOL.=28.71 AC-FT
(PER RECORD DRAWING)

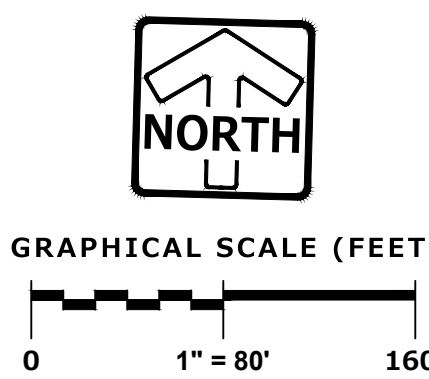



SITE DATA TABLE	
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WAREHOUSE:	415,620 SF.
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ADA:	7 STALLS
TOTAL:	318 STALLS
TRUCK DOCKS	
DOCK-HIGH DOORS:	88
GRADE-LEVEL DOORS:	4

- #### SITE DIMENSIONAL AND PAVING NOTES
- ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - REBAR / TIEBARS SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE ABUTS OTHER CONCRETE FEATURES (ie. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS. ALL REBAR/TIEBAR SHALL BE EPOXY COATED.
 - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
 - REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

PAVING LEGEND	
	CONCRETE PAVEMENT
8"	PORTLAND CEMENT CONCRETE
WITH 6"x6" W2.1 x 8GA.WWF	
6"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
	LIGHT DUTY ASPHALT PAVEMENT
1.5"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22
2.5"	BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
10"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	HEAVY DUTY ASPHALT PAVEMENT
2"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)
5"	BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
12"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	SIDEWALK
5"	PORTLAND CEMENT CONCRETE (UNREINFORCED)
4"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
*NOTE: FINAL PAVEMENT SECTIONS TO BE DETERMINED BY OWNER AND/OR GEOTECH RECOMMENDATIONS	
	B-6.12 CURB & GUTTER
	REVERSE PITCH B-6.12 CURB & GUTTER
	DEPRESSED B-6.12 CURB & GUTTER
	18 PARKING STALL COUNT (NOT TO BE PAINTED)

STRIPING/SIGNAGE LEGEND	
①	4" WHITE LINE
②	4" YELLOW LINE
③	4" DOUBLE YELLOW LINE
④	YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS
⑤	24" WIDE WHITE STOP BAR
Ⓐ	R1-1 STOP SIGN (30"x30")
Ⓑ	R7-8 & R7-1101 HANDICAP PARKING & \$350 FINE SIGNS





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IL DESIGN FIRM 184.006289-0010

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







**OVERALL SITE
DIMENSIONAL & PAVING
PLAN**

PEC JOB NO. 1960.20-LL
BID
START DATE 6/09/23
SCALE 1" = 80'

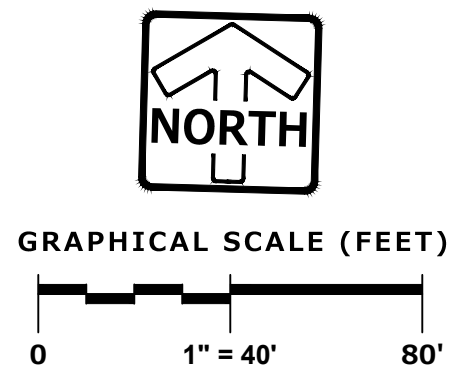
SHEET
C-7
OF
C-21

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1. ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 4. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 5. REBAR / TIEBARS SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE ABUTS OTHER CONCRETE FEATURES (ie. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS. ALL REBAR/TIEBAR SHALL BE EPOXY COATED.
 6. CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
 9. REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

PAVING LEGEND	
	CONCRETE PAVEMENT
8"	PORTLAND CEMENT CONCRETE WITH 6"x6" W/2.1 x 8 GA.WWF
6"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
	LIGHT DUTY ASPHALT PAVEMENT
1.5"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22
2.5"	BIT. BINDER COURSE, HMA, 1L-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
10"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	HEAVY DUTY ASPHALT PAVEMENT
2"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)
5"	BIT. BINDER COURSE, HMA, 1L-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
12"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	SIDEWALK
5"	PORTLAND CEMENT CONCRETE (UNREINFORCED)
4"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
*NOTE: FINAL PAVEMENT SECTIONS TO BE DETERMINED BY OWNER AND/OR GEOTECH RECOMMENDATIONS	
	B-6-12 CURB & GUTTER
	REVERSE PITCH B-6-12 CURB & GUTTER
	DEPRESSED B-6-12 CURB & GUTTER
	PAVING STALL COUNT (NOT TO BE PAINTED)

- ## **STRIPING/SIGNAGE LEGEND**
- | | |
|---|--|
| ① | 4" WHITE LINE |
| ② | 4" YELLOW LINE |
| ③ | 4" DOUBLE YELLOW LINE |
| ④ | YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS |
| 5 | 24" WIDE WHITE STOP BAR |
| A | R1-1 STOP SIGN (30"x30") |
| B | R7-8 & R7-1101 HANDICAP PARKING & \$350 FINE SIGNS |

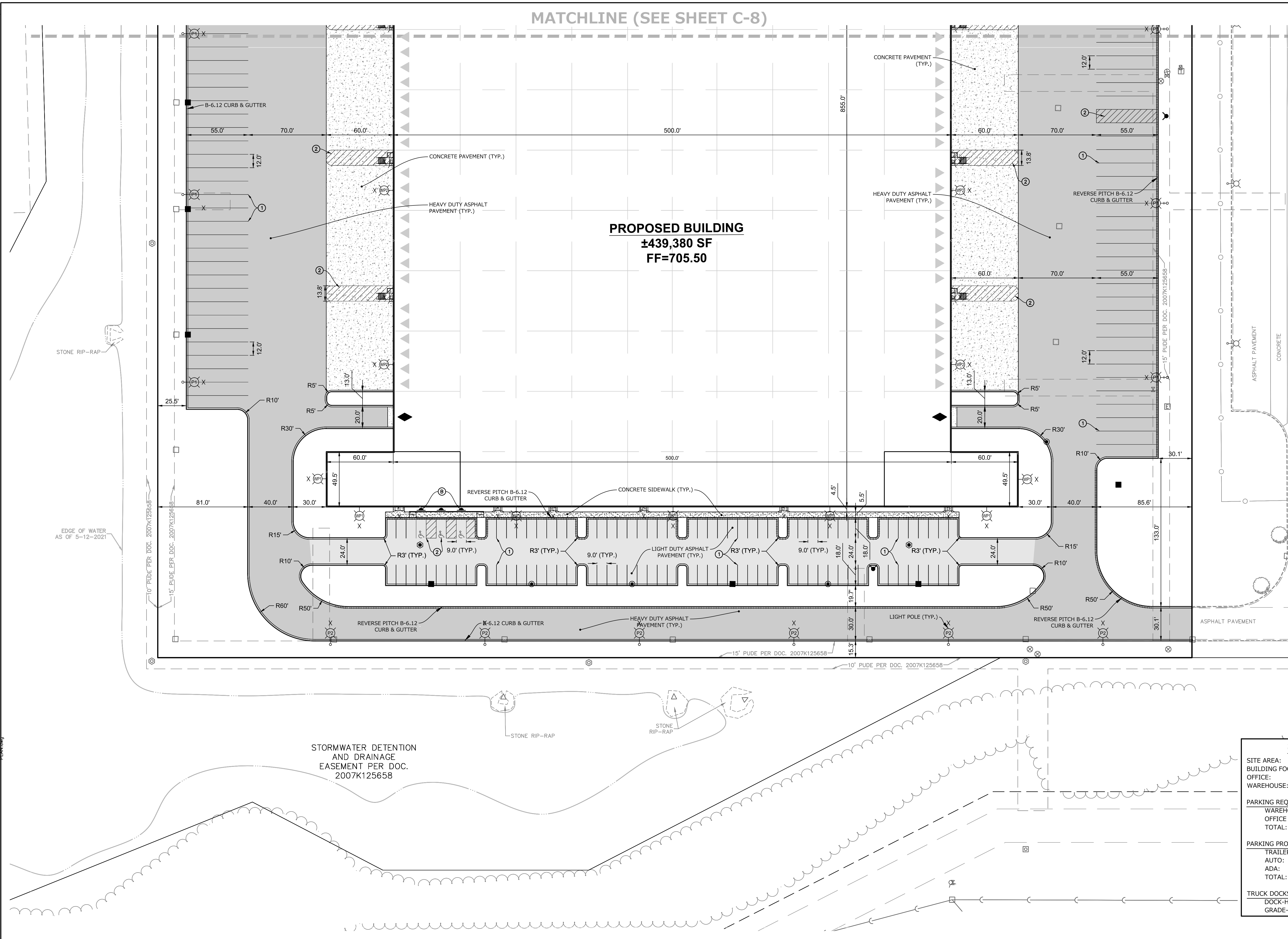


302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS		
1	REVISED BUILDING	11/13/23









SITE DIMENSIONAL & PAVNIG PLAN

PEG JOB No. 1960.20-1L
 PEG PM BDJ
 START DATE 6/09/23
 SCALE 1"=40'



- ## **SITE DIMENSIONAL AND PAVING NOTES**
1. ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 4. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 5. REBAR / TIEBAR SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE ABUTS OTHER CONCRETE FEATURES (ie. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS. ALL REBAR/TIEBAR SHALL BE EPOXY COATED.
 6. CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 7. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 8. REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
 9. REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

PAVING LEGEND

- | | |
|--|---|
|  | <p>CONCRETE PAVEMENT</p> <p>8" PORTLAND CEMENT CONCRETE WITH 6"x6" W2.1 x 8GA.WWF
COMP. CA-6 AGGREGATE BASE COURSE, TYPE B</p> |
|  | <p>LIGHT DUTY ASPHALT PAVEMENT</p> <p>1.5" BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22</p> <p>2.5" BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22</p> <p>0.3 GAL/SY BITUMINOUS PRIME COAT (MC-30)
10" COMP. CA-6 AGGREGATE SUBBASE, TYPE B</p> |
|  | <p>HEAVY DUTY ASPHALT PAVEMENT</p> <p>2" BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)</p> <p>5" BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22</p> <p>0.3 GAL/SY BITUMINOUS PRIME COAT (MC-30)
12" COMP. CA-6 AGGREGATE SUBBASE, TYPE B</p> |
|  | <p>SIDEWALK</p> <p>5" PORTLAND CEMENT CONCRETE (UNREINFORCED)
4" COMP. CA-6 AGGREGATE BASE COURSE, TYPE B</p> |
| <p>*NOTE: FINAL PAVEMENT SECTIONS TO BE DETERMINED BY OWNER AND/OR GEOTECH RECOMMENDATIONS</p> | |
|  | <p>B-6.12 CURB & GUTTER</p> |
|  | <p>REVERSE PITCH B-6.12 CURB & GUTTER</p> |
|  | <p>DEPRESSED B-6.12 CURB & GUTTER</p> |
|  | <p>PARKING STALL COUNT (NOT TO BE PAINTED)</p> |

STRIPING/SIGNAGE LEGEND

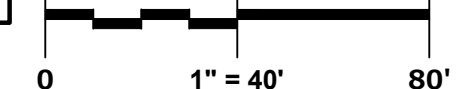
- ① 4" WHITE LINE
- ② 4" YELLOW LINE
- ③ 4" DOUBLE YELLOW LINE
- ④ YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS
- ⑤ 24" WIDE WHITE STOP BAR
- ⑥ R1-1 STOP SIGN (30"x30")
- ⑦ R7-8 & R7-1101 HANDICAP PARKING & \$350 FINE SIGNS

SITE DATA TABLE

SITE AREA:	23,963 ACRES
BUILDING FOOTPRINT:	439,380 SF.
OFFICE:	23,760 SF.
WAREHOUSE:	415,620 SF.
<u>PARKING REQUIRED</u>	
WAREHOUSE (1/5000 SF):	84 STALLS
OFFICE (3/1000 SF):	72 STALLS
TOTAL:	156 STALLS
<u>PARKING PROVIDED</u>	
TRAILER:	118 STALLS
AUTO:	193 STALLS
ADA:	7 STALLS
TOTAL:	318 STALLS
<u>TRUCK DOCKS</u>	
DOCK-HIGH DOORS:	88
GRADE-LEVEL DOORS:	4



GRAPHICAL SCALE (FEET)

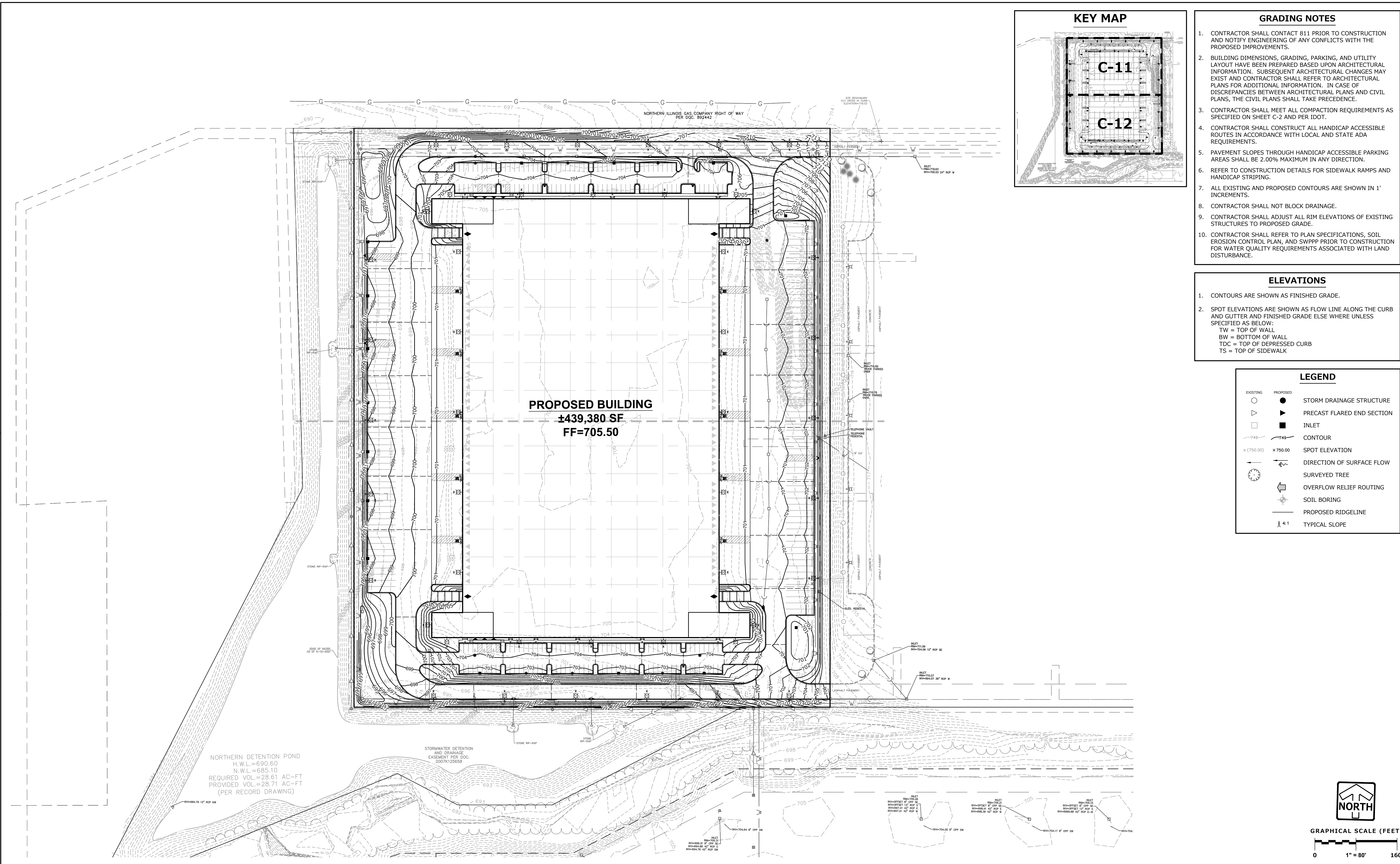


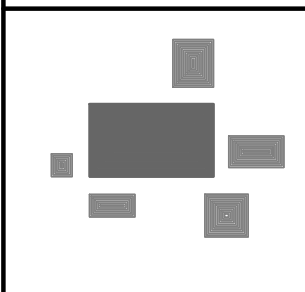
REVISIONS

1	REVISED BUILDING	11/13/23			

SITE DIMENSIONAL & PAVING PLAN

11/20/2023 9:05 AM - Z:\Projects\2020\1960.00-IL\312 - ENGINEERING\01A\SheetSet\Grading Plan.dwg DESIGNED: AJS REVIEWED: DPC DRAFTED: DPC





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302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

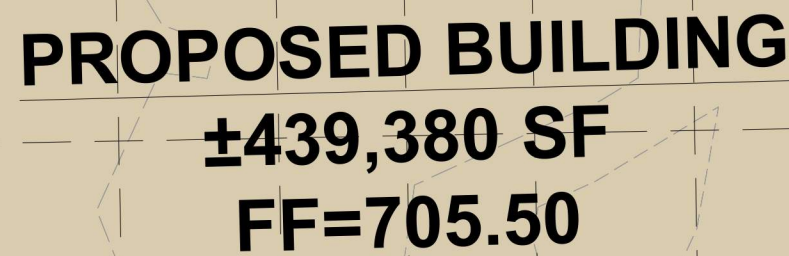
REVISIONS	
1	REVISED BUILDING 11/13/23

OVERALL GRADING PLAN

PECS JOB NO. 1960.20-IL
REG. NO. B02
START DATE 6/09/23
SCALE 1" = 80'

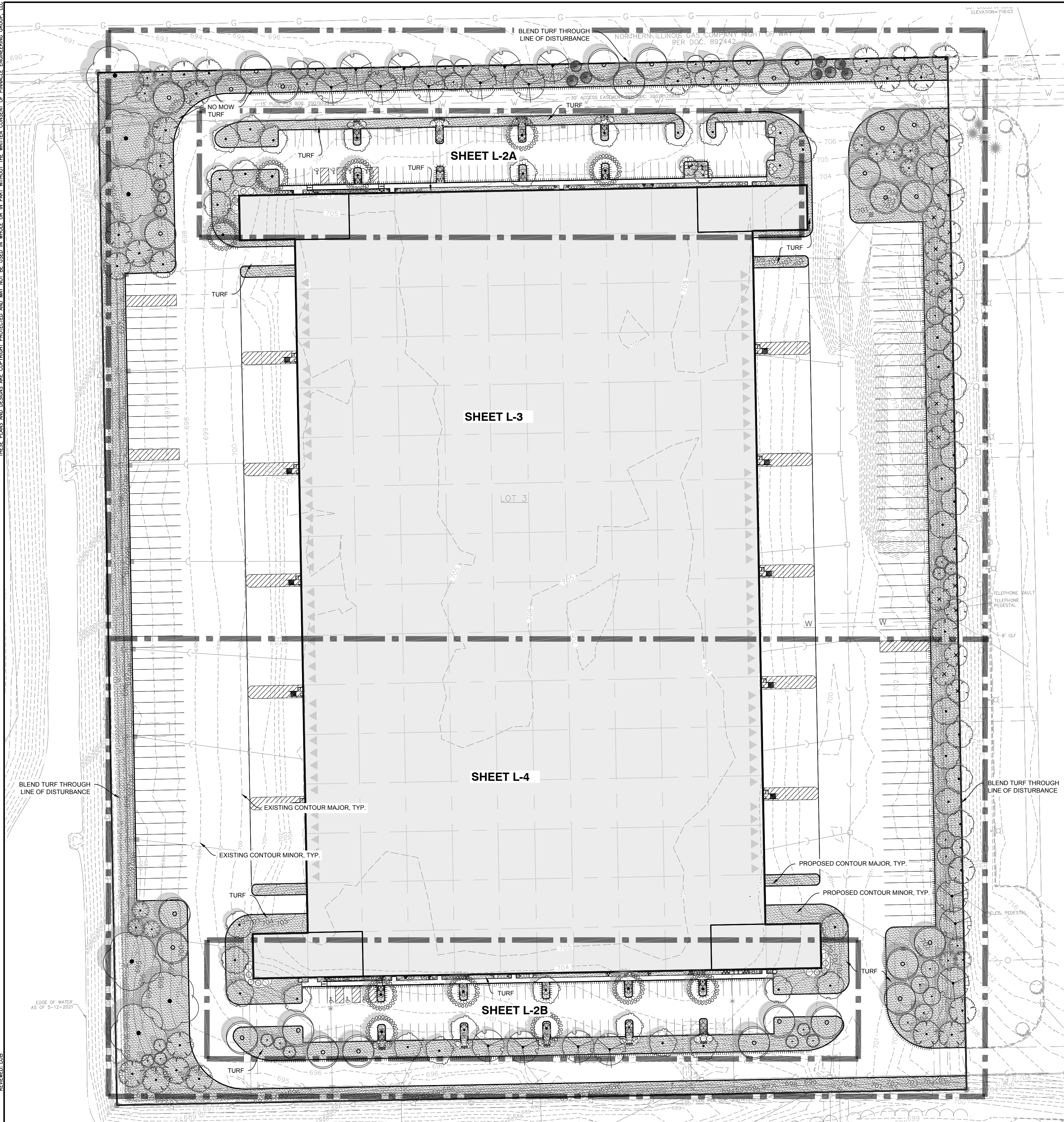
SHEET C-10
OF C-21

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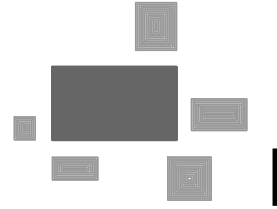
GRAPHICAL SCALE (FEET)

DESIGNED: SAT
DRAWN: SAT
CHECKED: SAT
REVIEWED: QUB
DATE: 06/09/23
PROJECT: 302 MITCHELL ROAD
SHEET: L-1 OF L-5
SCALE: 1" = 60'
GRAPHICAL SCALE (FEET)
0 1" = 60' 120'



PLANT SCHEDULE				
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AFQ	11	Acer platanoides 'Emerald Queen'	Emerald Queen Maple	2.5" Cal.
AFS	29	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5" Cal.
CCH	19	Celtis occidentalis 'ChicagoLand'	ChicagoLand Hackberry	2.5" Cal.
GTIS	26	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust	2.5" Cal.
QM	6	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.
TCG	16	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5" Cal.
TMG	12	Tilia mongolica 'Harvest Gold'	Harvest Gold Linden	2.5" Cal.
UP2	28	Ulmus x 'Morton Glossy'	Triumph Elm	2.5" Cal.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ACF	20	Abies concolor	White Fir	5" Ht.
PGD2	8	Picea glauca 'Densata'	Black Hills Spruce	5" Ht.
POS	14	Picea omorika	Serbian Spruce	5" Ht.
PSS	15	Pinus cembra	Swiss Stone Pine	5" Ht.
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CFK	2	Carpinus caroliniana 'JN Strain'	Fire King Musclewood	2.5" Cal.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ABC	6	Aronia melanocarpa 'Eлата'	Glossy Black Chokeberry	3" Ht.
CA2	27	Cornus sanguinea 'Cato'	Arctic Sun® Bloodtwig Dogwood	18" Ht.
CSB	15	Cornus sericea 'Bailey'	Red Twig Dogwood	3" Ht.
CB	6	Cornus sericea 'Bergeson's Compact'	Bergeson's Red Twig Dogwood	18" Ht.
CW2	6	Cotinus coggygria 'Lila'	Lila Dwarf Smoke Tree	18" Ht.
DLR	13	Diervilla x 'G2X88544'	Kodiak Orange Diervilla	18" Ht.
HVS	3	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18" Ht.
HBO	14	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18" Ht.
IVH	15	Itea virginica 'Little Henry'	Little Henry Sweetspire	18" Ht.
PCG	6	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	3" Ht.
RPP	2	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	18" Ht.
SBM	12	Syringa vulgaris 'Beauty of Moscow'	Beauty of Moscow Common Lilac	3" Ht.
SO3	16	Syringa x 'SMNJRP'	Bloomerang Dwarf Pink Lilac	18" Ht.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JSP	9	Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4" Ht.
JSG	37	Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	18" Ht.
JB2	27	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	18" W
JGO	2	Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	18" Ht.
PN2	3	Picea abies 'Nidiformis'	Nest Spruce	18" Ht.
PMS	12	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	18" W
TFC	23	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	18" Ht.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CFO	5	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.
CA	36	Calamagrostis x acutiflora 'Avalanche'	Avalanche Feather Reed Grass	1 gal.
DP	60	Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1 gal.
DS	30	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.
HB	21	Hakonechloa macra 'Beni-kaze'	Beni-kaze Japanese Forest Grass	1 gal.
ML	55	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1 gal.
PNW	31	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.
PB	18	Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwarf Fountain Grass	1 gal.
SS	42	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	1 gal.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ASB	15	Allium x 'Summer Beauty'	Summer Beauty Allium	4.5" cont.
BJF	14	Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera	4.5" cont.
CV	16	Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed	4.5" cont.
EMS	28	Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower	4.5" cont.
EL	139	Echinacea x 'Balsomemym'	Sombrero® Lemon Yellow Improved Coneflower	4.5" cont.
HE	31	Heuchera x 'Pink Panther'	Pink Panther Coral Bells	4.5" cont.
NBP	37	Nepeta x 'faassenii' 'Pursian Blue'	Pursian Blue Catmint	4.5" cont.
PLS	25	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.
SA4	34	Sedum x 'Autumn Fire'	Autumn Fire Sedum	4.5" Cont.

TURF	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	13,335,636	Turf Broadcast Seed	Reinders - Cadet 70/30 Fescue/Blue Mix	
	12,246,817	Turf Broadcast Seed Low Grow	Reinders No Mow/Low Grow Mix	



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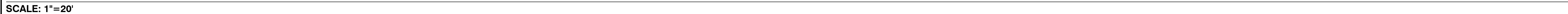
302 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS		
1	REVISED BUILDING	11/13/23

LANDSCAPE OVERVIEW

REG JOB NO. 1960.20-IL
BDJ
START DATE 6/09/23
SCALE 1" = 60'

SHEET
L-1
OF
L-5



SCALE: 1"=20'



SCALE: 1"=20'

SHRUBS	BOTANICAL NAME
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ABC	<i>Aronia melanocarpa</i> 'Elate'
CA2	<i>Cornus sanguinea</i> 'Cato'
CSB	<i>Cornus sericea</i> 'Bailey'
CS	<i>Cornus sericea</i> 'Bergeson's Compact'
CW2	<i>Cotinus coggygria</i> 'Lilla'
DLR	<i>Diervilla</i> x <i>G2X8854</i> '
HVS	<i>Hydrangea</i> p 'Vanilla Strawberry'
HV3	<i>Hydrangea paniculata</i> 'Bobo'
IVH	<i>Itea virginica</i> 'Little Henry'
RCG	<i>Physocarpus opulifolius</i> 'Center Glow'
RPP	<i>Rosa rugosa</i> 'Purple Pavement'
SBM	<i>Syringa vulgaris</i> 'Beauty of Moscow'
SO3	<i>Syringa</i> x <i>SMNJRP1</i> '
<hr/>	
EVERGREEN SHRUBS	BOTANICAL NAME
JSP	<i>Juniperus chinensis</i> 'J.N. Select Blue'
JSG	<i>Juniperus chinensis</i> 'Sea of Gold'
JB2	<i>Juniperus horizontalis</i> 'Blue Forest'
IGO	<i>Juniperus virginiana</i> 'Grey Owl'
PN2	<i>Picea abies</i> 'Nidiformis'
PMS	<i>Pinus mugo</i> 'Stomlowm'
TFC	<i>Thuja occidentalis</i> 'Congabe'

COMMON NAME
Glossy Black Chokeberry
Arctic Sun® Bloodtwig Dogwood
Red Twig Dogwood
Bergeson's Red Twig Dogwood
Lilla Dwarf Smoke Tree
Kodiak Orange Diervilla
Vanilla Strawberry Hydrangea
Bobo Hydrangea
Little Henry Sweetspire
Center Glow Ninebark
Purple Pavement Rugosa Rose
Beauty of Moscow Common Lilac
Blooming Dwarf Pink Lilac

CFO
CA

DP	<i>Deschampsia cespitosa</i> 'Pixie Fountain'
DS	<i>Deschampsia cespitosa</i> 'Schottland'
HB	<i>Hakonechloa macra</i> 'Beni-kaze'
ML	<i>Miscanthus sinensis</i> 'Little Kitten'
PNW	<i>Panicum virgatum</i> 'Northwind'
PB	<i>Pennisetum alopecuroides</i> 'Burgundy Bunny'
SS	<i>Schizachyrium scoparium</i> 'Standing Ovation'

ASB

BJF	Brunnera macrophylla 'Jack Frost'
CV	Coreopsis verticillata 'Moonbeam'
EMS	Echinacea purpurea 'Magnus Superior'
EL	Echinacea x 'Balsomemymy'
HE	Heuchera x 'Pink Panther'
NPB	Nepeta x faassenii 'Pursian Blue'
PLS	Perovskia atriplicifolia 'Little Spire'
SA4	Sedum x 'Autumn Fire'

TURF

Deschampsia cespitosa 'Pixie Fountain'
Deschampsia cespitosa 'Schottland'
Hakonechloa macra 'Beni-kaze'
Miscanthus sinensis 'Little Kitten'
Panicum virgatum 'Northwind'
Pennisetum alopecuroides 'Burgundy Bunny'
Schizachyrium scoparium 'Standing Ovation'

Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera
Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed
Echinacea purpurea 'Magnus Superior'	Magnus Superior Coneflower
Echinacea x 'Balsomemym'	Sombrero® Lemon Yellow Improved Coneflower
Heuchera x 'Pink Panther'	Pink Panther Coral Bells
Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint
Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage
Sedum x 'Autumn Fire'	Autumn Fire Sedum

BOTANICAL NAME

Turf Broadcast Seed	Reinders - Cadet 70/30 Fescue/Blue Mix
Turf Broadcast Seed Low Grow	Reinders No Mow/Low Grow Mix

Pixie Fountain Tufted Hair Grass
Schottland Tufted Hair Grass
Beni-kaze Japanese Forest Grass
Little Kitten Eulalia Grass
Northwind Switch Grass
Burgundy Bunny Dwarf Fountain Grass
Standing Ovation Little Bluestem

Jack Frost Brunnera
Moonbeam Tickseed
Magnus Superior Coneflower
Sombbrero® Lemon Yellow Improved Coneflower
Pink Panther Coral Bells
Purrsian Blue Catmint
Little Spire Russian Sage
Autumn Fire Sedum

COMMON NAME

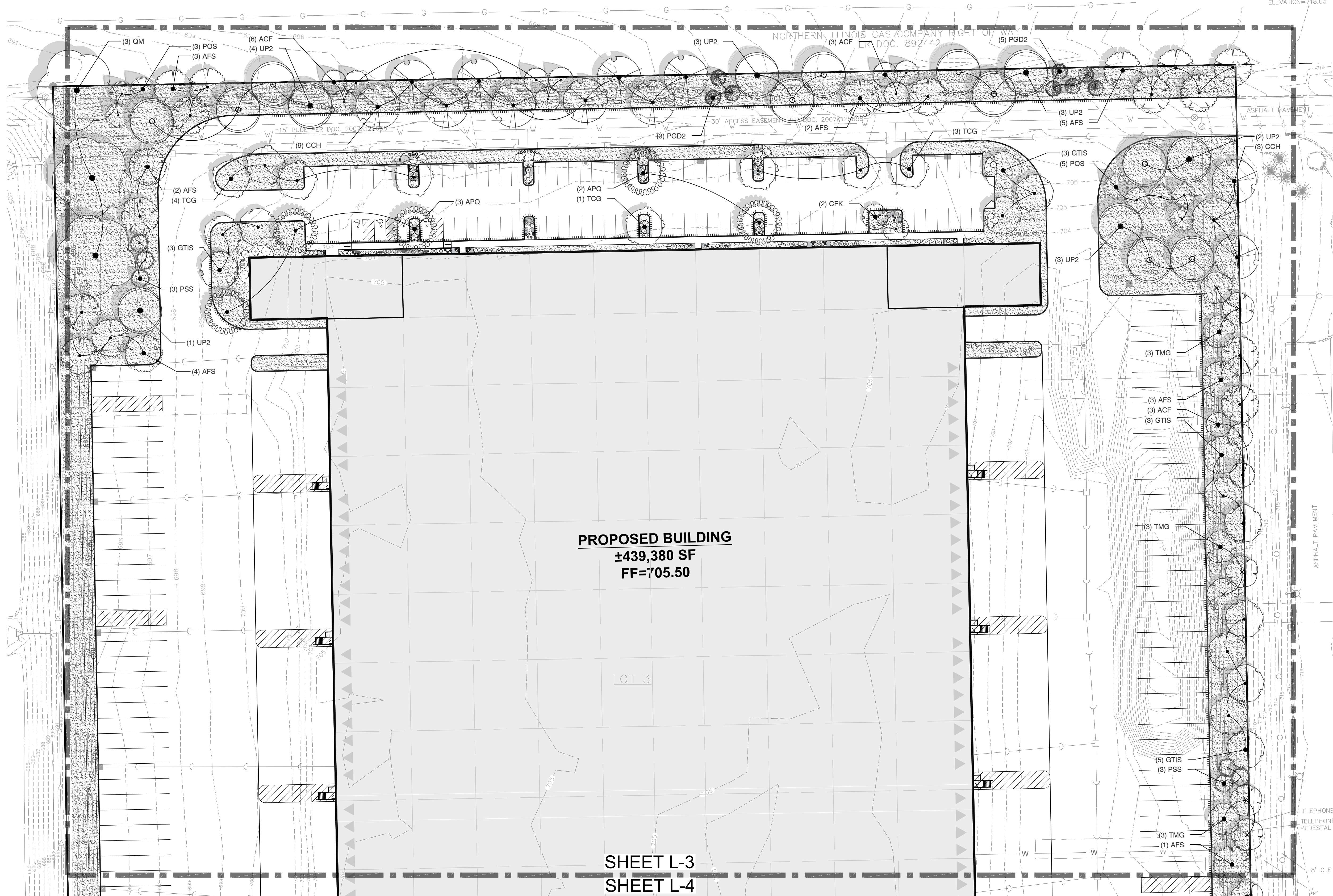
Reinders - Cadet 70/30 Fescue/Blue Mix

Reinders No Mow/Low Grow Mix



GRAPHICAL SCALE (FEET)

DESIGNED: SAT
DRAWN: SAT
REVIEWED: DUB
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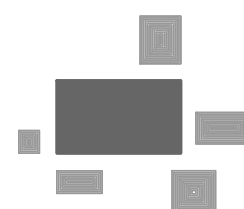
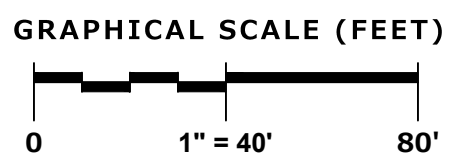


PROPOSED BUILDING
±439,380 SF
FF=705.50

LOT 3

SHEET L-3
SHEET L-4

TREE PLANT KEY		
TREES	BOTANICAL NAME	COMMON NAME
APQ	Acer platanoides 'Emerald Queen'	Emerald Queen Maple
AFS	Acer x freemanii 'Sienna'	Sienna Glen Maple
CCH	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry
GTIS	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust
QM	Quercus muehlenbergii	Chinkapin Oak
TCG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden
TMG	Tilia mongolica 'Harvest Gold'	Harvest Gold Linden
UP2	Ulmus x 'Morton Glossy'	Triumph Elm
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME
ACF	Abies concolor	White Fir
PGD2	Picea glauca 'Densata'	Black Hills Spruce
POS	Picea omorika	Serbian Spruce
PSS	Pinus cembra	Swiss Stone Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CFK	Carpinus caroliniana 'JN Strain'	Fire King Musclemwood



PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING CHICAGO | MILWAUKEE | NATIONWIDE

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

CHICAGO OFFICE:
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EAST DUNDEE, IL 60118
(847) 551-5300

302 MITCHELL ROAD

NORTH AURORA, ILLINOIS

REVISIONS

1	REVISED BUILDING	11/13/23			

**LANDSCAPE TREE PLAN
ENLARGEMENT**

REG. JOB No. 1360-20-IL

REG. PM. BDI

START DATE 6/09/23

SCALE 1" = 40'

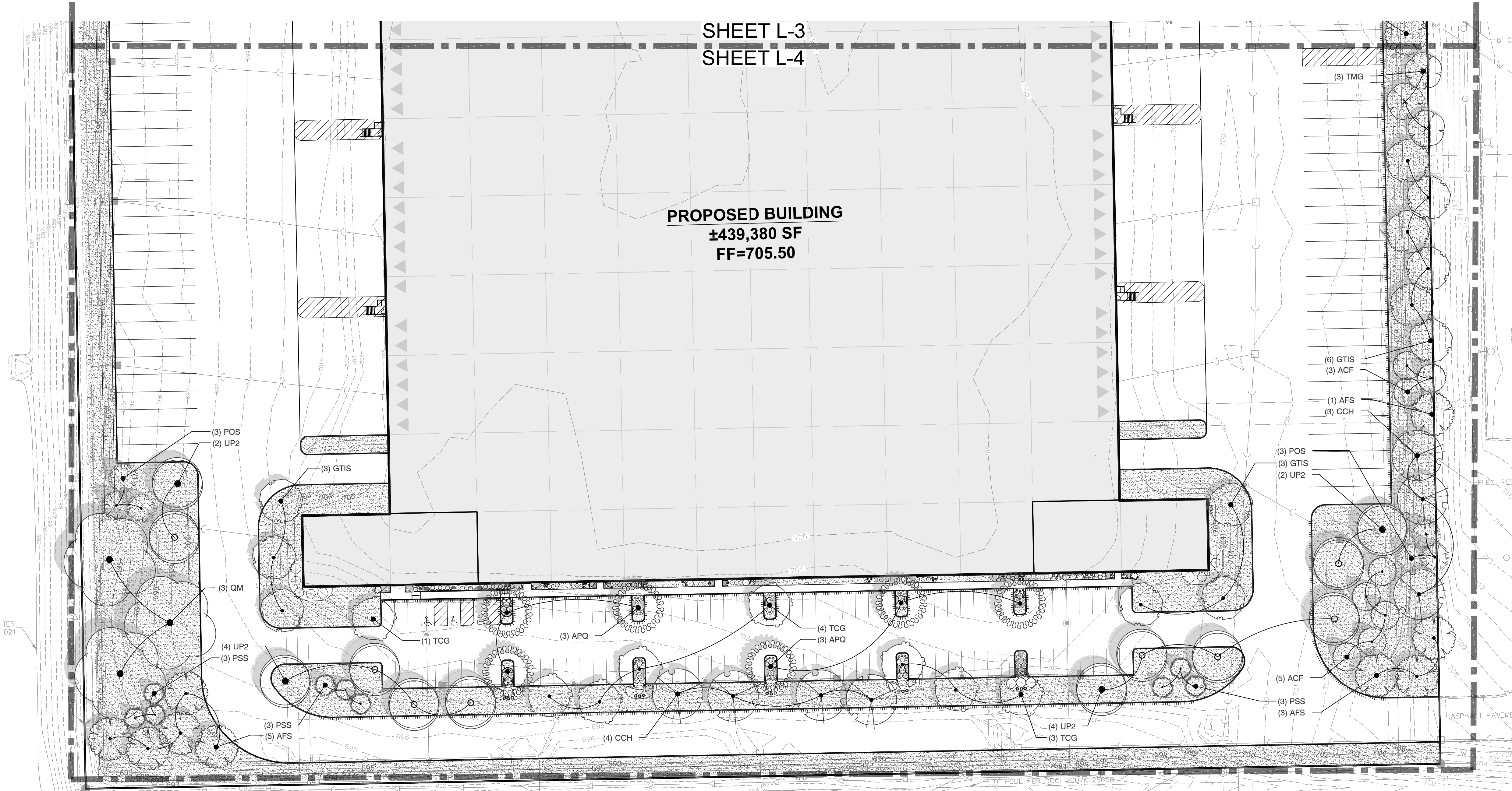
SHEET
L-3
OF
L-5

LANDSCAPE TREE PLAN ENLARGEMENT

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THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

DESIGNED: SAT
DRAFTED: SAT
REVIEWED: DUB



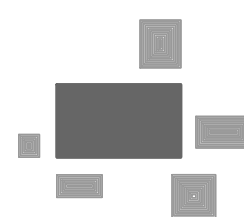
TREE PLANT KEY

TREES	BOTANICAL NAME	COMMON NAME
APQ	Acer platanoides 'Emerald Queen'	Emerald Queen Maple
AFS	Acer x freemanii 'Sienna'	Sienna Glen Maple
CCH	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry
GTIS	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Common Honeylocust
QM	Quercus muehlenbergii	Chinkapin Oak
TCG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden
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PSS	Pinus cembra	Swiss Stone Pine
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
CFK	Carpinus caroliniana 'JN Strain'	Fire King Musclemwood



GRAPHICAL SCALE (FEET)

0 1" = 40' 80'



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CHICAGO | MILWAUKEE | NATIONWIDE

302 MITCHELL ROAD

NORTH AURORA, ILLINOIS

REVISIONS

1	REVISED BUILDING	11/13/23			

**LANDSCAPE TREE PLAN
ENLARGEMENT**

REG JOB No. **1960-20-1L**
REG PM: **BDJ**
START DATE: **6/09/23**
SCALE: **1" = 40'**

SHEET
L-4
OF
L-5

LANDSCAPE TREE PLAN ENLARGEMENT

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GENERAL PLANTING NOTES

1.

THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
2.

THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3.

NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
4.

ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5B. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
5.

ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
6.

ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
7.

TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
8.

ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSEYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
9.

BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
10.

ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
11.

ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
12.

TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
13.

ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
14.

ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
15.

WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
16.

THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
17.

OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
18.

ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
19.

ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
20.

ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
21.

FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
22.

THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
23.

ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
24.

ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
25.

ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

26.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT J.U.L.I.E.
27.

TREES SHALL BE INSTALLED NO CLOSER THAN:

-10 FEET FROM ANY FIRE HYDRANT

-7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
28.

ANY TREE SHOWN TO BE INSTALLED CLOSER TO UTILITIES THAN LISTED ABOVE SHALL HAVE TREE ROOT BARRIER INSTALLED PER DETAIL (7/L-4). CONTRACTOR TO PROVIDE ROOT BARRIER SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
29.

THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
30.

THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
31.

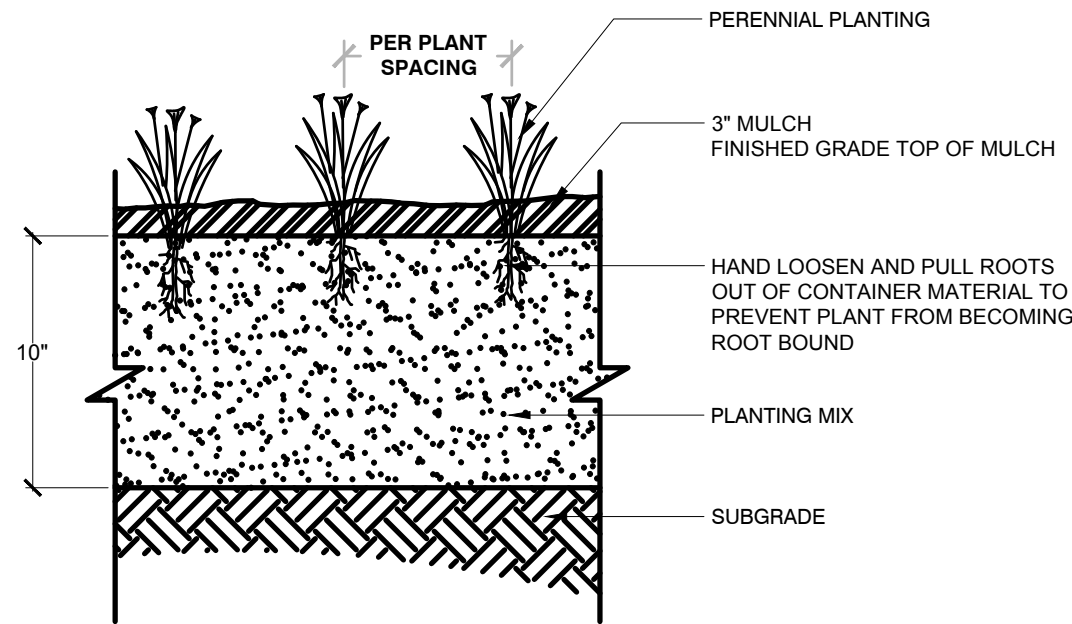
THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
32.

THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
33.

PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
34.

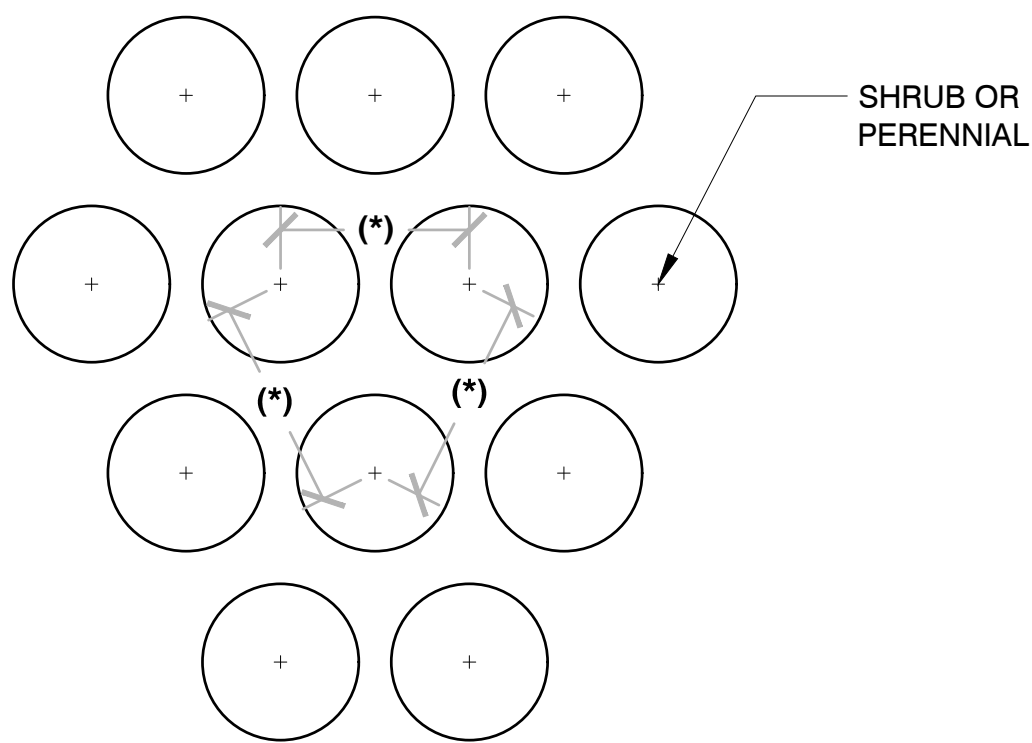
THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

	LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
SECTION 14.5	ON LOT LANDSCAPING 205,624 SQ FT • TREE 1/1000 SQ FT	206	206
SECTION 14.9	PARKING INTERIOR TREES • TREES • NOTE: PARKING AREA INCLUDED	12	32
SECTION 14.10	BUFFER YARD 930' @ 1 TREE / 20'	47	47

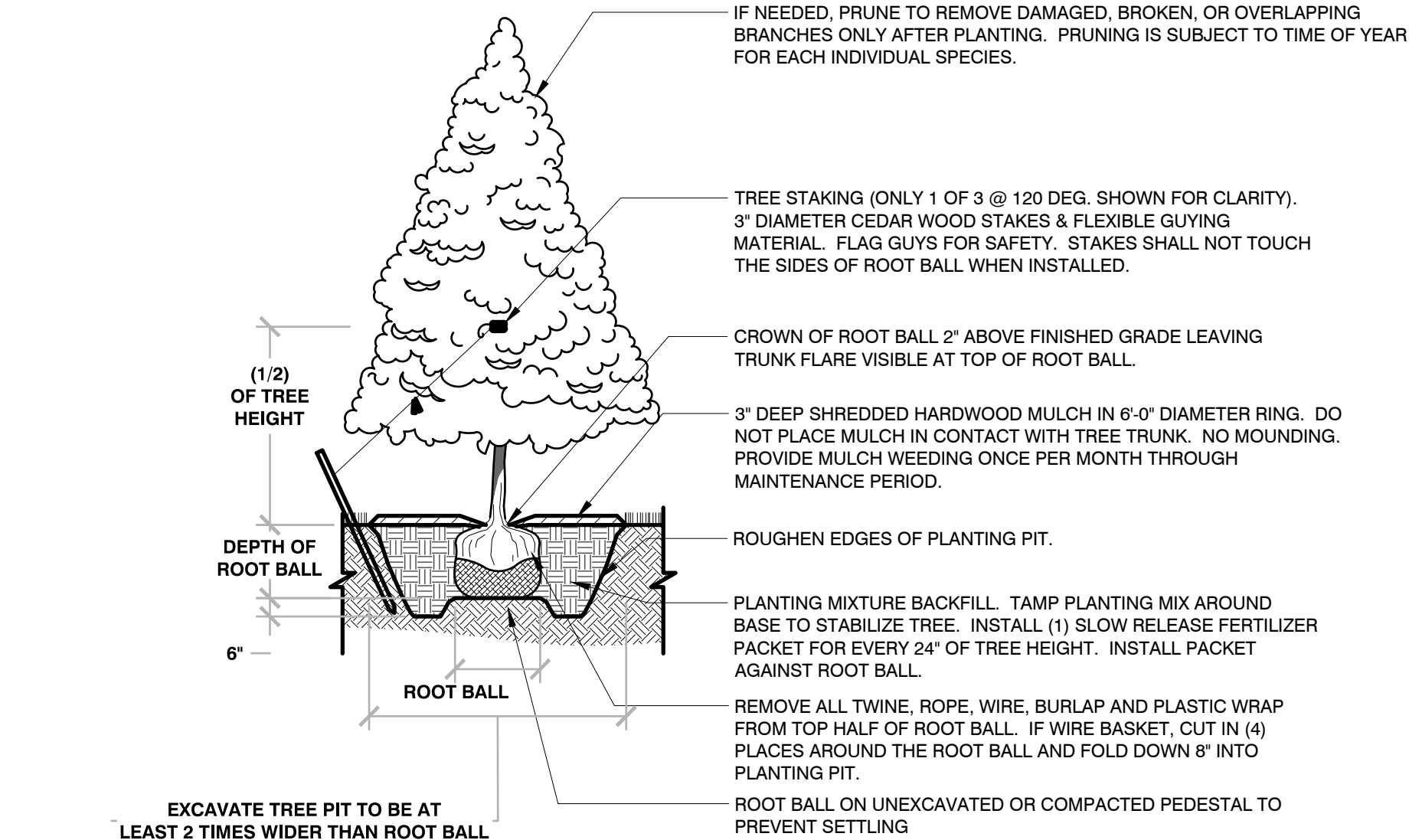


4 PERENNIAL PLANTING

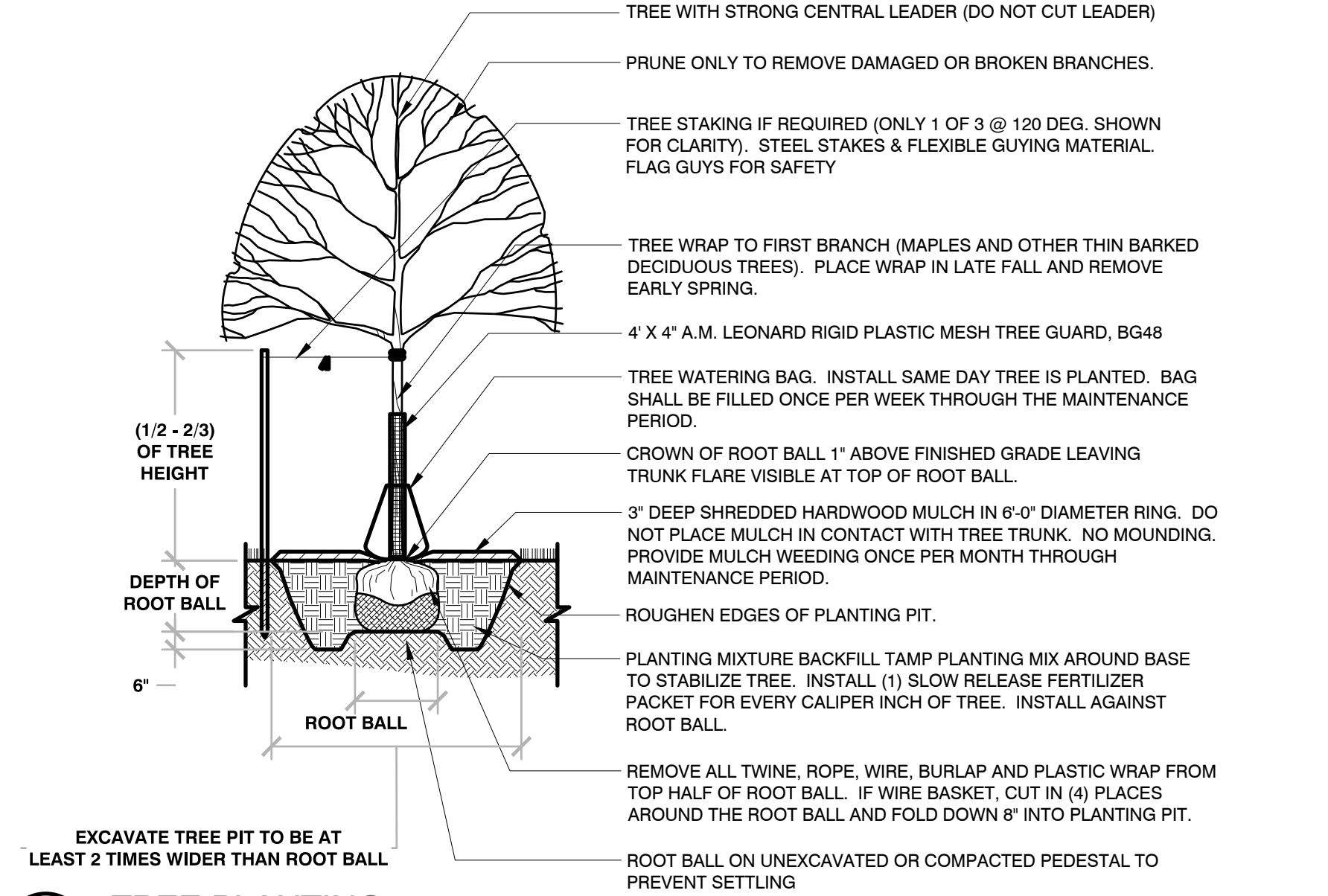
5 PLANT SPACING



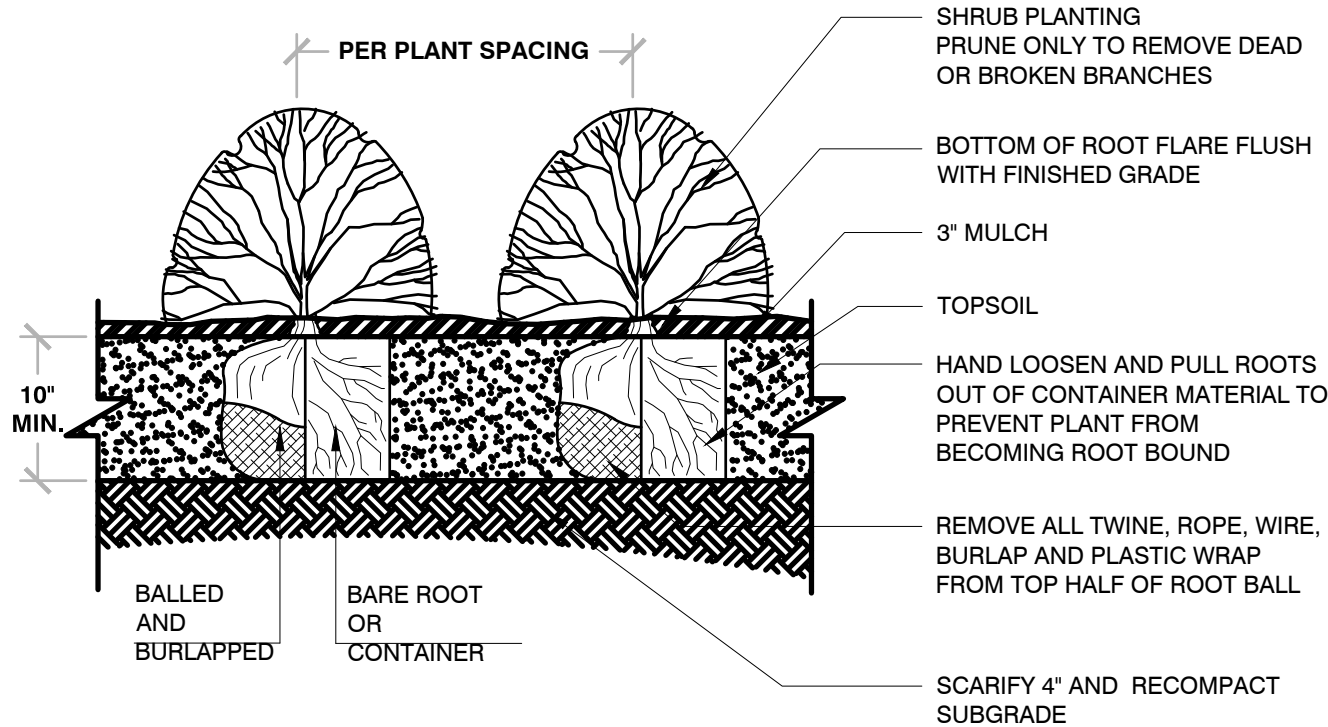
(*) = SPECIFIED PLANT SPACING PER PLANTING LIST



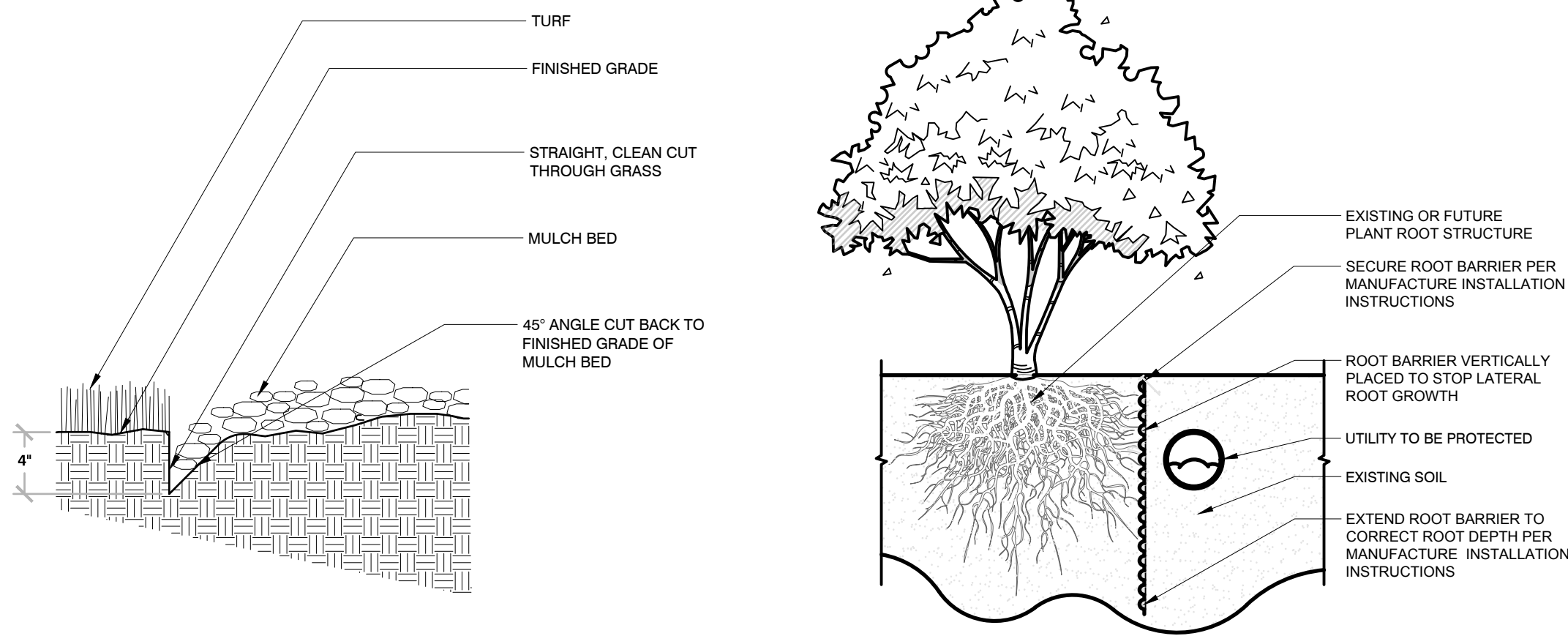
2 EVERGREEN TREE PLANTING



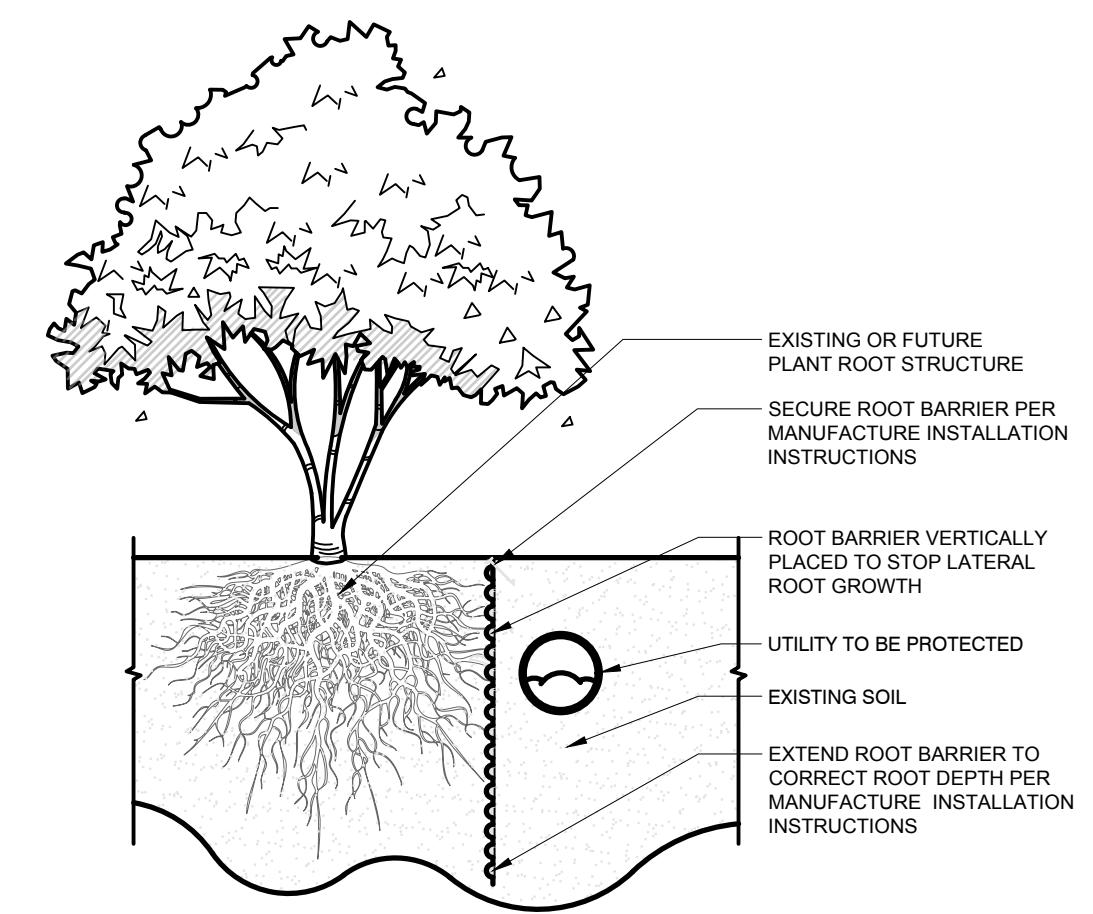
1 TREE PLANTING



3 SHRUB PLANTING



6 TRENCHED BED EDGE



7 TREE ROOT BARRIER- UTILITY

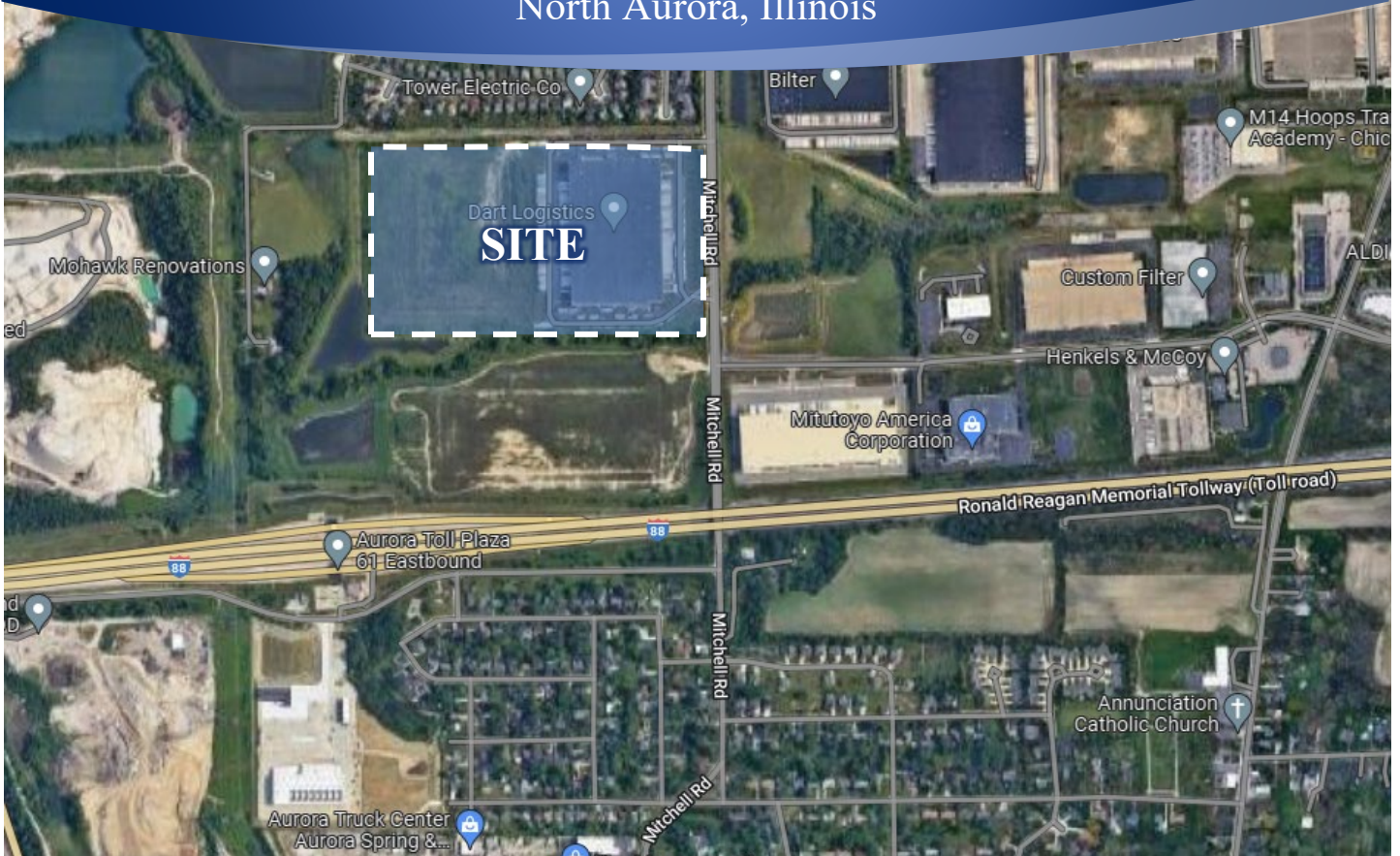
REVISIONS		
1	REVISED BUILDING	11/13/23

LANDSCAPE NOTES & DETAILS

PEG JOB No. 1960-20-01	BDJ	SHEET
PEG PM	START DATE 6/09/23	L-5
SCALE	VARIABLES	OF
		L-5

Traffic Impact Study Proposed Warehouse/Distribution Facility (302 Mitchell Road)

North Aurora, Illinois



Prepared For:

PINNACLE ENGINEERING GROUP



November 13, 2023

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed warehouse/distribution facility to be located in North Aurora, Illinois. The vacant site is located directly west of the Dart Logistics building, which is located on the west side of Mitchell Road just north of Corporate Drive. As proposed, the site will be developed with an approximately 439,380 square-foot warehouse/distribution building. Access to the proposed facility will be provided via the two access drives serving the Dart Logistics building, which consists of a full-movement access drive and a restricted inbound right-turn/outbound right-turn/outbound left-turn access drive located on the west side of Mitchell Road.

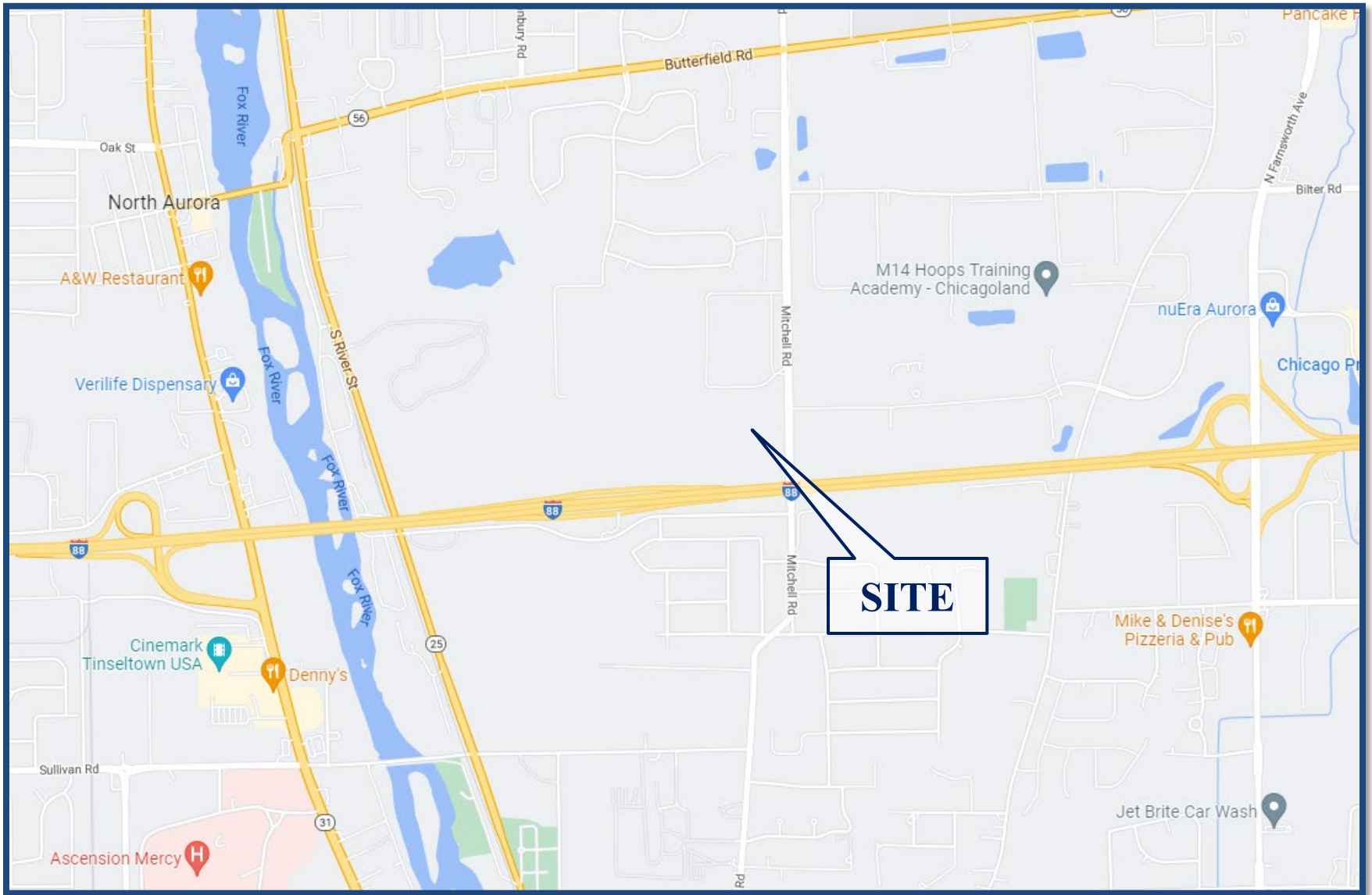
The purpose of this study was to examine background traffic conditions, assess the impact that the proposed facility will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed facility.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site. The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed facility
- Directional distribution of the facility traffic
- Vehicle trip generation for the facility
- Future traffic conditions including access to the facility
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes as determined from traffic counts conducted in 2022.
2. Year 2029 No-Build Conditions – Analyzes the capacity of the existing roadway system using existing traffic volumes increased by an ambient area growth factor not attributable to any particular development and other developments approved in the area.
3. Year 2029 Total Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the Year 2029 no-build traffic volumes and the traffic estimated to be generated by the proposed facility.



Site Location

Figure 1

*Proposed Warehouse/Distribution Facility
North Aurora, Illinois*



Aerial View of Site

Figure 2

*Proposed Warehouse/Distribution Facility
North Aurora, Illinois*

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

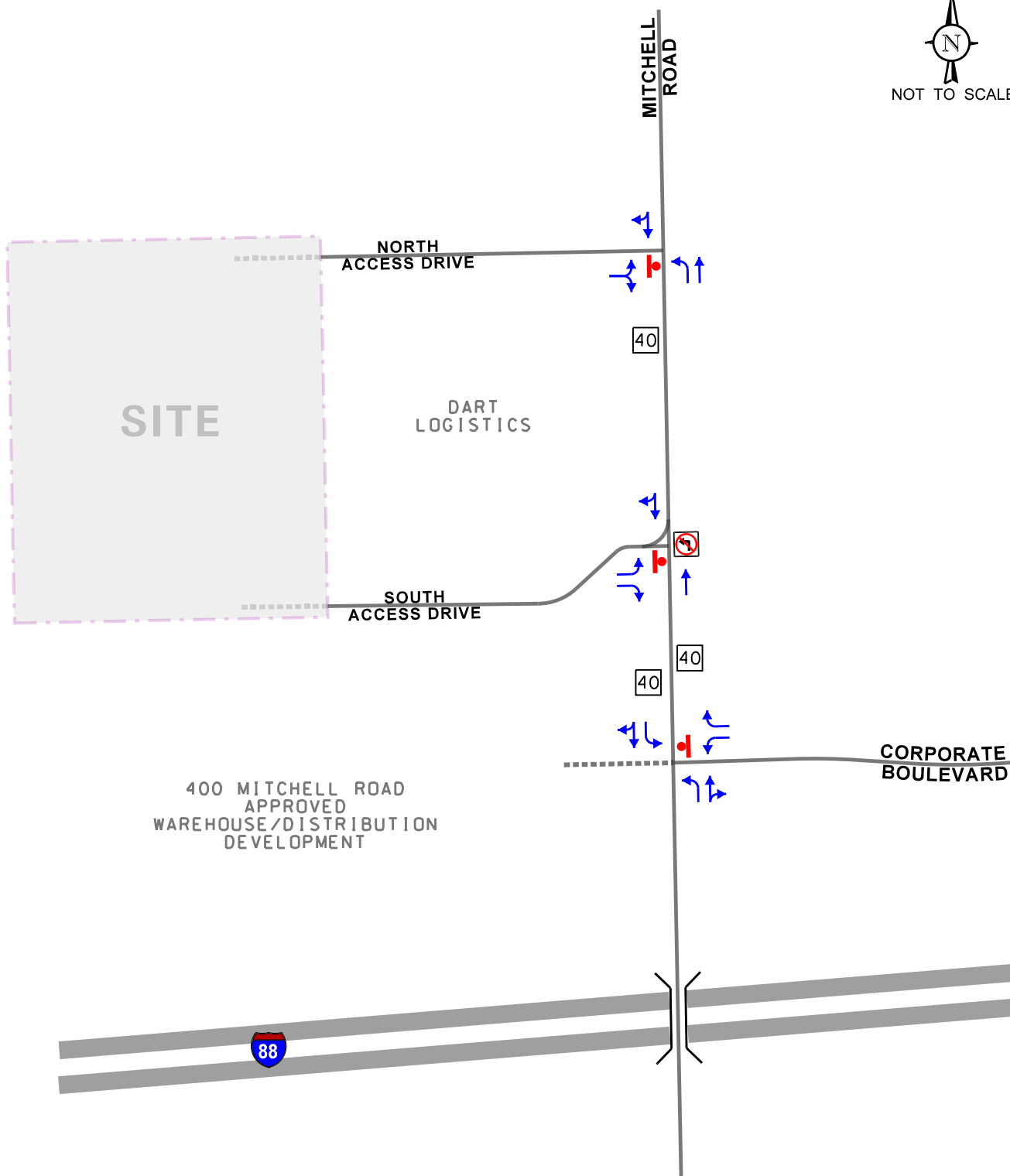
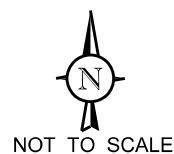
The vacant site is located directly west of the Dart Logistics building which is located on the west side of Mitchell Road just north of Corporate Drive. Land uses within the vicinity of the site include industrial, warehouse, and distribution facilities to the east and south of the site and residential uses to the north of the site. An approved 604,500 square-foot warehouse/distribution building is to be located directly south of the site with access to be provided via Mitchell Road opposite Corporate Drive.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the facility are described below and illustrated in **Figure 3**.

Mitchell Road is a north-south, major collector roadway that provides one lane in each direction generally divided by a stripped median. At its unsignalized intersection with Corporate Boulevard, Mitchell Road provides an exclusive left-turn lane and a combined through/right-turn lane on both approaches. At its unsignalized intersection with the Dart Logistics south access drive, Mitchell Road provides a through lane on the northbound approach and a shared through/right-turn lane on the southbound approach. At its unsignalized intersection with the Dart Logistics north access drive, Mitchell Road provides a separate left-turn lane and a through lane on the northbound approach and a shared through/right-turn lane on the southbound approach. Mitchell Road is under the jurisdiction of the Village of North Aurora, carries an Average Annual Daily Traffic (AADT) volume of 8,900 vehicles (IDOT 2022), and has a posted speed limit of 40 miles per hour.

Corporate Boulevard is generally an east-west, local roadway that provides one lane in each direction. The road extends from Mitchell Road to Farnsworth Avenue where it is aligned opposite Premium Outlet Boulevard. At its unsignalized “T” intersection with Mitchell Road, Corporate Boulevard provides an exclusive left-turn lane and an exclusive right-turn lane on the westbound approach that are under stop sign control. Corporate Boulevard is under the jurisdiction of the Village of North Aurora.



LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)

Access to the Dart Logistics facility is provided via the following two access drives:

- The north access drive is located on the west side of Mitchell Road at the north end of the site approximately 1,300 feet north of Corporate Drive and provides full access to and from the site. The access drive provides one inbound lane and one outbound lane with the outbound lane under stop sign control.
- The south access drive is located on the west side of Mitchell Road at the south end of the site approximately 415 feet north of Corporate Drive and is restricted to inbound right-turn, outbound left-turn, and outbound right-turn movements. The access drive has one inbound lane and two outbound lanes striped for an exclusive left-turn lane and an exclusive right-turn lane. The outbound lanes are under stop sign control.

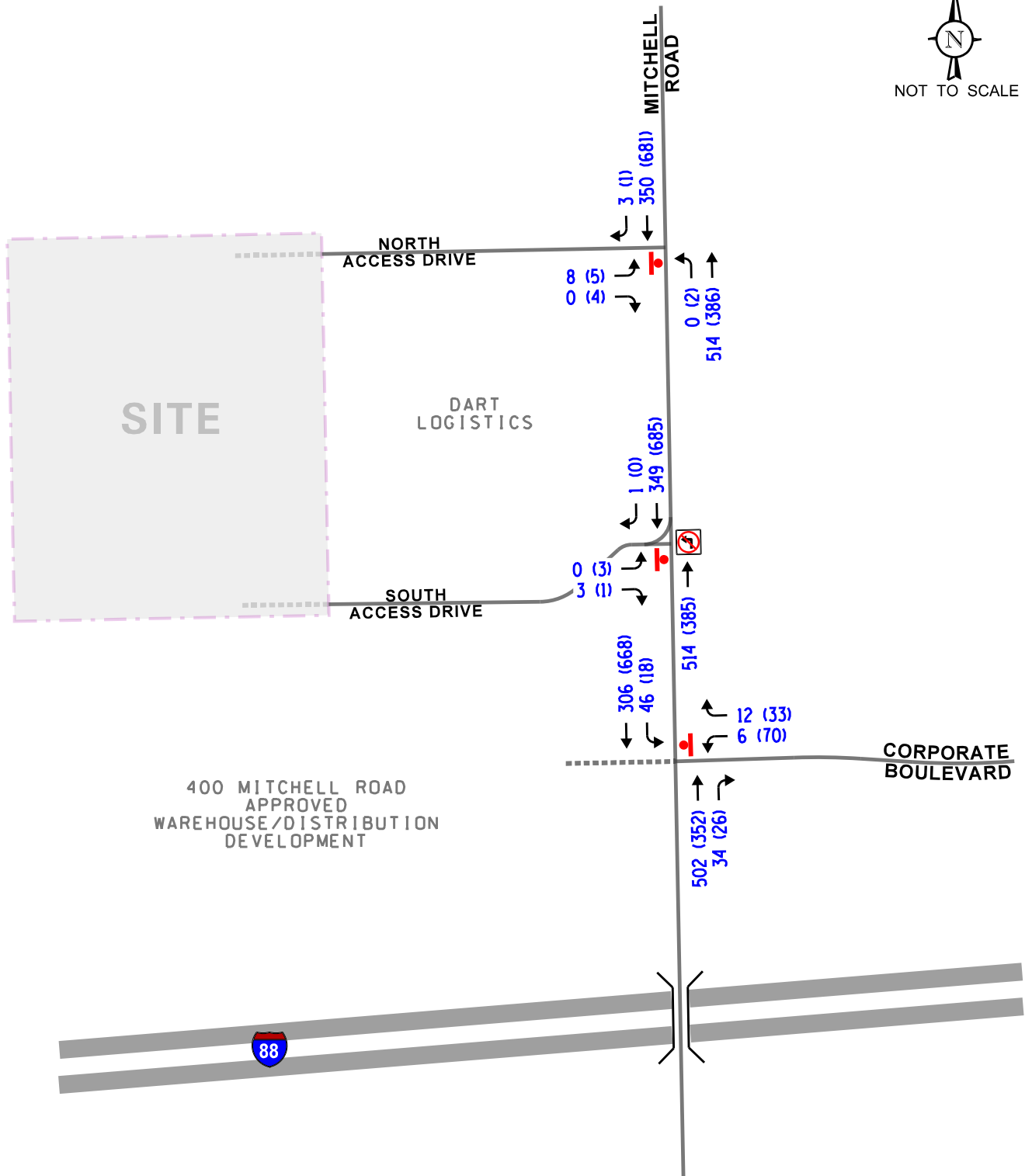
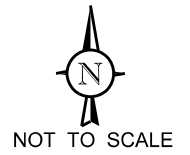
Existing Traffic Volumes

In order to determine current traffic conditions within the study area, KLOA, Inc. conducted peak period traffic counts at the following intersections:

- Mitchell Road with Corporate Boulevard (Tuesday, December 20, 2022)
- Mitchell Road with Dart Logistics south access drive (Tuesday, October 24, 2023)
- Mitchell Road with Dart Logistics north access drive (Tuesday, October 24, 2023)

The traffic counts were conducted during the weekday morning peak period (6:00 to 9:00 A.M.) and during the weekday evening peak period (3:00 to 6:00 P.M.). The results of the traffic counts show that the peak hours of traffic generally occurred between 7:15 and 8:15 A.M. during the weekday morning peak period and between 3:30 and 4:30 P.M. during the weekday evening peak period. Copies of the traffic count summary sheets are included in the Appendix.

The existing traffic volumes, inclusive of trucks, are illustrated in **Figure 4**.



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (3:30-4:30 PM)

302 Mitchell Road
Warehouse Development
North Aurora, Illinois

Existing Traffic Volumes



Job No: 23-285

Figure: 4

Crash Analysis

KLOA, Inc. obtained crash data for the most recent available past five years (2017 to 2021) at the study area intersections. A review of the crash data revealed only one crash was reported at the intersection of Mitchell Road with Corporate Boulevard and no crashes were reported at the intersection of Mitchell Road with either of the Dart Logistics access drives. Further, no fatalities were reported at any of the intersections during the review period. A summary of the crash data for the intersection of Mitchell Road with Corporate Boulevard is shown in **Table 1**.¹

Table 1

MITCHELL ROAD WITH CORPORATE BOULEVARD - CRASH SUMMARY

Year	Type of Crash Frequency						
	Angle	Object	Rear End	Sideswipe	Turning	Other	Total
2018	0	0	0	0	0	0	0
2019	0	0	0	0	0	0	0
2020	0	0	0	0	0	0	0
2021	0	0	0	0	1	0	1
2022	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>
Total	0	0	0	0	1	0	1
Average/Year	--	--	--	--	<1.0	--	<1.0

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

3. Traffic Characteristics of the Proposed Facility

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed facility, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Facility Plan

As proposed, the site will be developed with an approximately 439,380 square-foot warehouse/distribution building. Access to the proposed facility will be provided via the two access drives serving the Dart Logistics building which are summarized below:

- The north access drive is located on the west side of Mitchell Road at the north end of the site approximately 1,300 feet north of Corporate Drive and provides full access to and from the site. The access drive provides one inbound lane and one outbound lane with the outbound lane under stop sign control.
- The south access drive is located on the west side of Mitchell Road at the south end of the site approximately 415 feet north of Corporate Drive and is restricted to inbound right-turn, outbound left-turn, and outbound right-turn movements. The access drive has one inbound lane and two outbound lanes striped for an exclusive left-turn lane and an exclusive right-turn lane. The outbound lanes are under stop sign control.

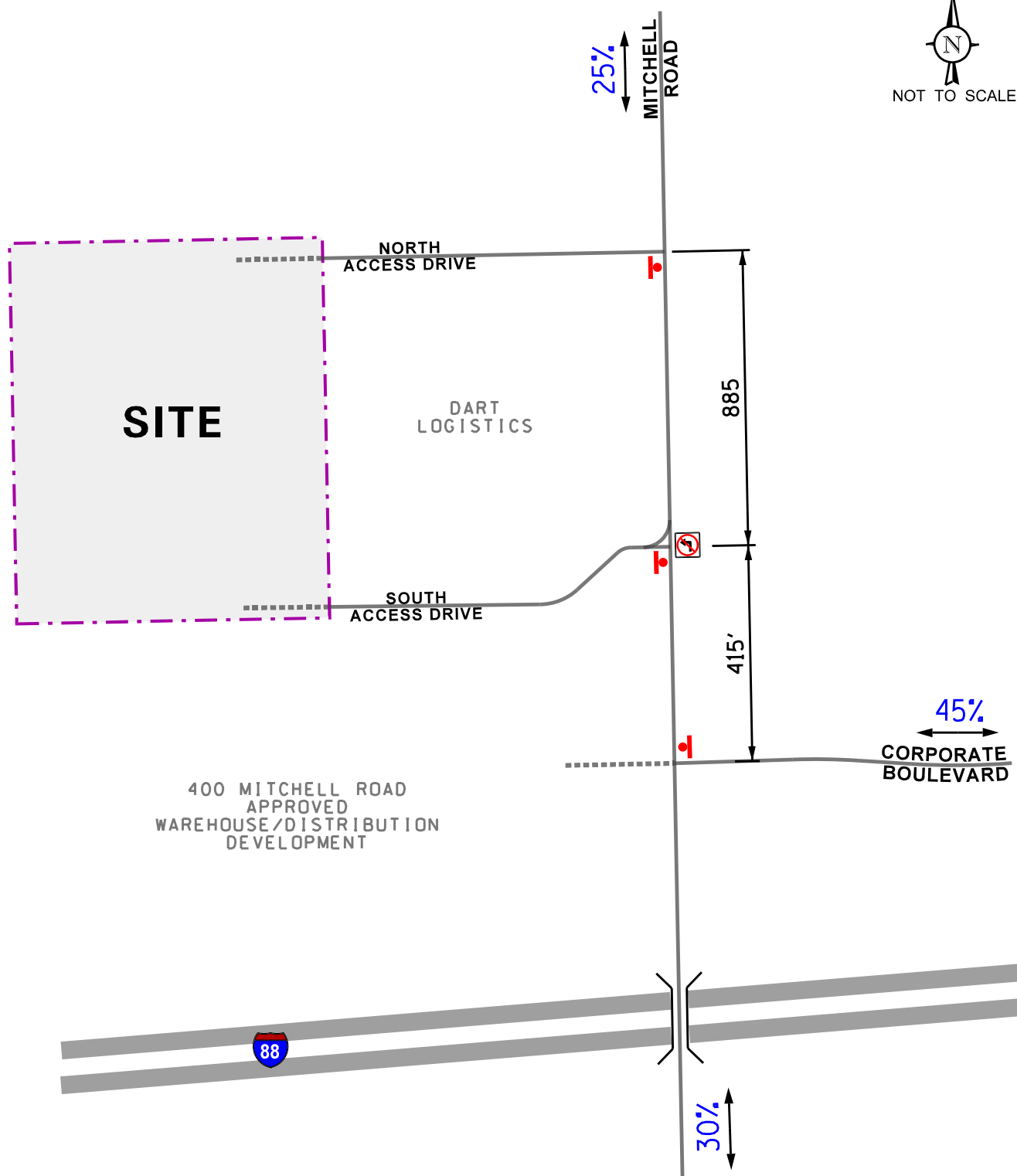
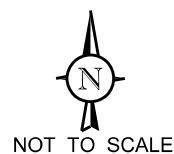
A copy of the site plan is included in the Appendix.

Directional Distribution

The directions from which employees and trucks will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts, and the operation of the existing roadway system. **Figure 5** illustrates the directional distribution of the site-generated traffic.

Facility-Generated Traffic Volumes

The total number of peak hour vehicle trips estimated to be generated by the proposed facility was based on vehicle trip generation rates contained in *Trip Generation Manual*, 11th Edition, published by the Institute of Transportation Engineers (ITE) for Land-Use Code 150 (Warehousing). **Table 2** summarizes the trips projected to be generated by the facility during the peak hours and on a daily basis. **Table 3** summarizes the truck trips projected to be generated by the facility by hour. Copies of the ITE trip generation sheets are included in the Appendix.



LEGEND

- 00% - PERCENT DISTRIBUTION
- 00' - DISTANCE IN FEET

302 Mitchell Road
Warehouse Development
North Aurora, Illinois

Directional Distribution



Job No: 23-285

Figure: 5

Table 2

ESTIMATED PEAK HOUR AND DAILY TRIP GENERATION

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Trips		
		In	Out	Total	In	Out	Total	In	Out	Total
150	Warehouse (439,380 s.f.)	59	17	76	22	57	79	367	367	734
	Truck Trips	5	4	9	7	6	13	123	123	246
	Passenger Vehicle Trips	54	13	67	15	51	66	244	244	488

Table 3

ESTIMATED 24-HOUR TRUCK TRIP GENERATION

Hour	Warehousing (ITE LUC 150) – 439,380 s.f.					
	Weekday Morning			Weekday Evening		
	In	Out	Total	In	Out	Total
12:00	0	0	0	10	6	16
1:00	0	0	0	11	9	20
2:00	1	2	3	8	7	15
3:00	2	1	3	13	9	22
4:00	2	4	6	9	8	17
5:00	4	4	8	4	6	10
6:00	7	4	11	1	1	2
7:00	4	10	14	1	1	2
8:00	5	9	14	2	2	4
9:00	15	9	24	0	2	2
10:00	10	15	25	0	0	0
11:00	14	14	28	0	0	0

Based on daily truck trips (Table 2) and ITE's Hourly Distribution of Entering and Exiting Truck Trips tables.

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to ambient growth and other area developments, and the traffic estimated to be generated by the proposed subject facility.

Facility Traffic Assignment

The estimated weekday morning and evening traffic volumes that will be generated by the proposed facility were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). The new passenger traffic assignment for the proposed facility is illustrated in **Figure 6** and the new truck traffic assignment is illustrated in **Figure 7**.

Background (No-Build) Traffic Conditions

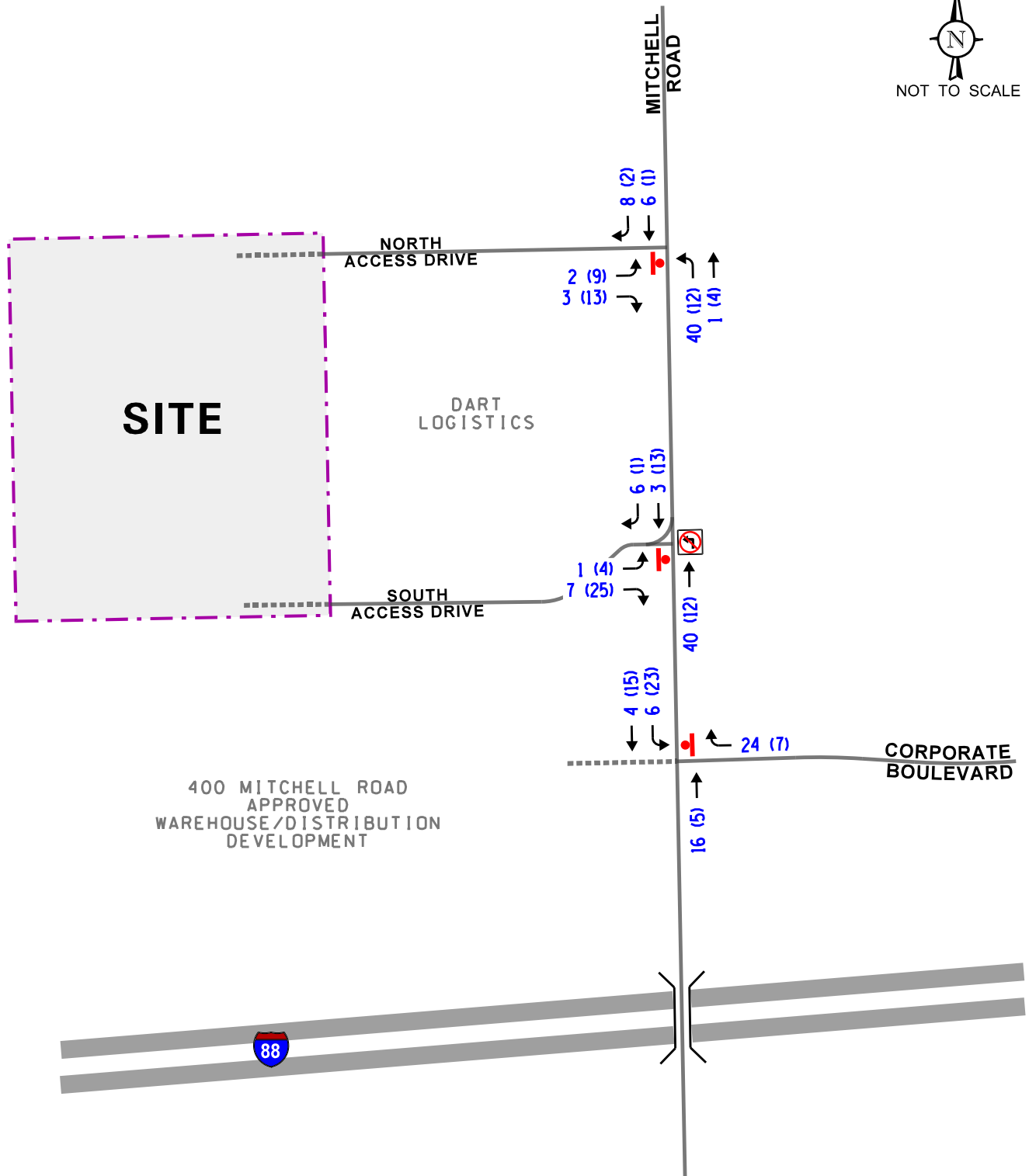
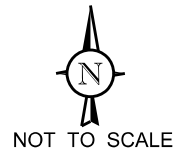
The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any planned development). Based on AADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP), the base traffic volumes were increased by an annually compounded growth rate of 0.88 percent per year for seven years (buildout year plus six years) for a total of six percent. A copy of the CMAP letter is included in the Appendix.

The background traffic volumes also included the traffic to be generated by the approved 604,500 square-foot warehouse/distribution development to be located directly south of the site. Access to the development will be provided via Mitchell Road opposite Corporate Drive. The volume of traffic to be generated by the development was based on the traffic study performed by KLOA, Inc. for the development.

The Year 2029 no-build traffic volumes are illustrated in **Figure 8**.

Total Projected Traffic Volumes

The facility-generated traffic (Figures 6 and 7) was added to the Year 2029 no-build traffic volumes (Figure 8) to determine the Year 2029 total projected traffic volumes, as shown in **Figure 9**.

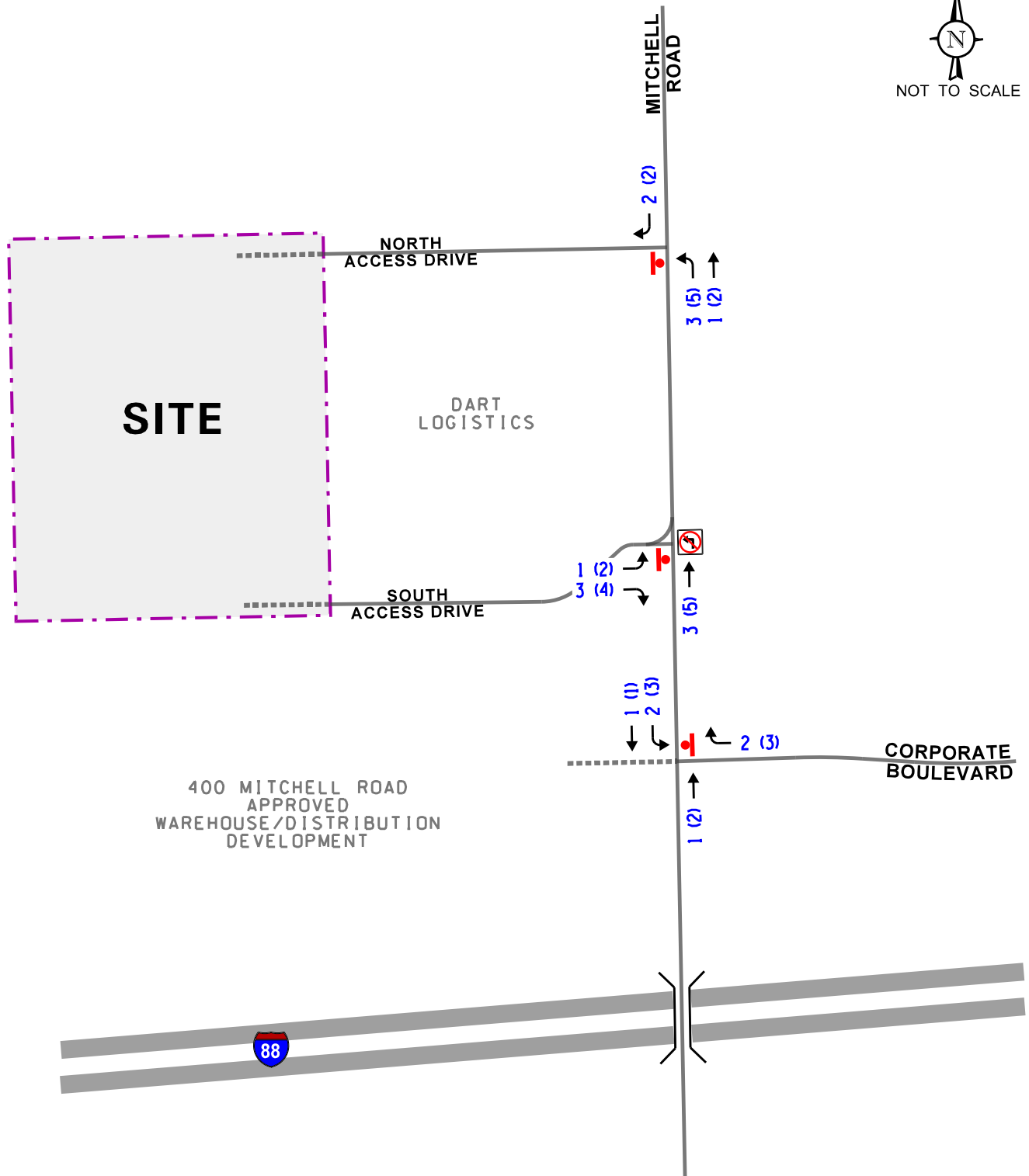
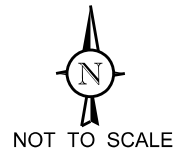


LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (3:30-4:30 PM)

302 Mitchell Road
Warehouse Development
North Aurora, Illinois

Site-Generated Traffic Volumes
Passenger Vehicles



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (3:30-4:30 PM)

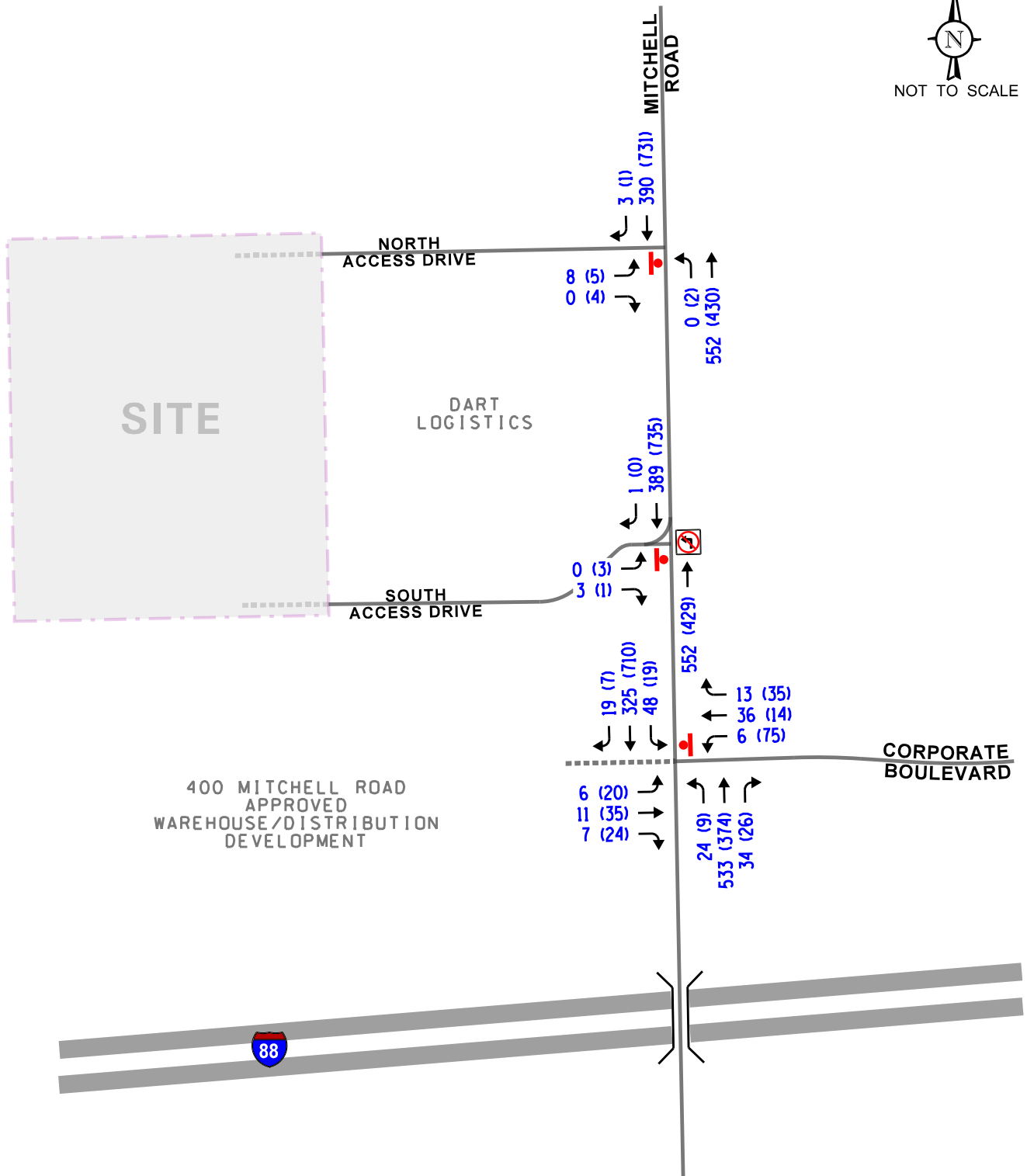
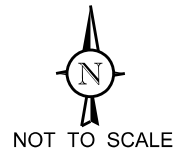
302 Mitchell Road
Warehouse Development
North Aurora, Illinois

Site-Generated Traffic Volumes
Trucks



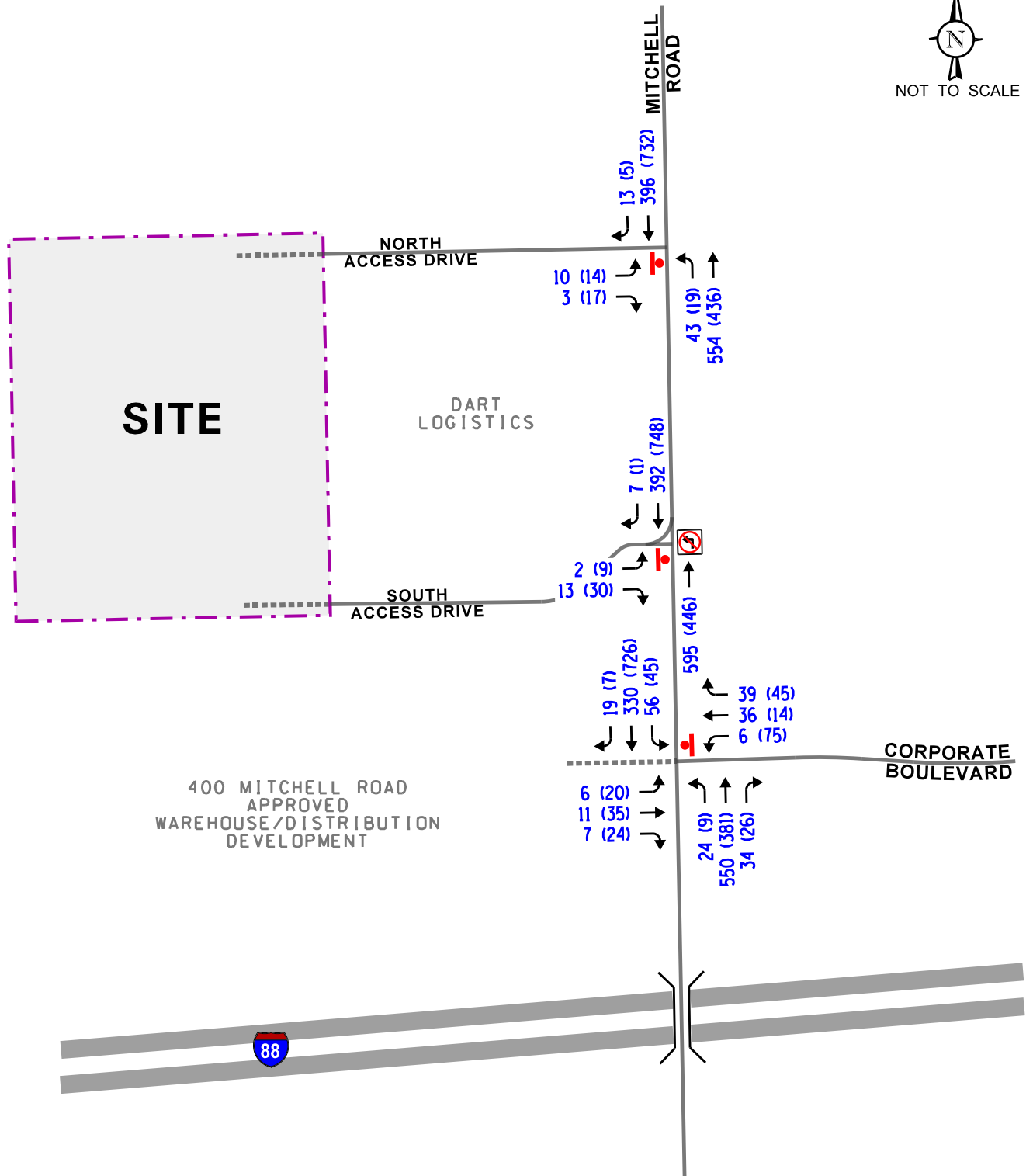
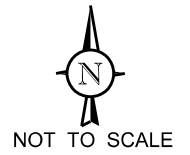
Job No: 23-285

Figure: 7



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (3:30-4:30 PM)



LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the existing, Year 2029 no-build, and Year 2029 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 software.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing, Year 2029 no-build, and Year 2029 total projected conditions are presented in **Tables 4** through **6**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 4

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
EXISTING CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics North Access Drive¹				
• Eastbound Approach	C	16.7	C	17.5
• Northbound Left Turn	A	0.1	A	9.1
Mitchell Road with Dart Logistics South Access Drive¹				
• Eastbound Approach	B	12.4	C	116.0
Mitchell Road with Corporate Boulevard¹				
• Westbound Left Turn	B	14.9	C	18.7
• Westbound Right Turn	B	13.3	B	10.9
• Southbound Left Turn	A	9.2	A	8.5
LOS = Level of Service Delay is measured in seconds.				
1 – One-Way/Two-way stop control				

Table 5

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
YEAR 2029 NO-BUILD TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics North Access Drive¹				
• Eastbound Approach	C	17.6	C	18.6
• Northbound Left Turn	A	0.1	A	9.3
Mitchell Road with Dart Logistics South Access Drive¹				
• Eastbound Approach	B	12.9	C	16.9
Mitchell Road with Corporate Boulevard¹				
• Eastbound Left Turn	C	22.3	C	21.6
• Eastbound Through/Right Turn	C	17.0	C	20.0
• Westbound Left Turn	C	18.6	D	31.2
• Westbound Through/Right Turn	C	19.3	B	14.4
• Northbound Left Turn	A	8.3	B	10.1
• Southbound Left Turn	A	9.3	A	8.6
LOS = Level of Service Delay is measured in seconds.				
1 – One-Way/Two-way stop control				

Table 6

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
YEAR 2029 TOTAL PROJECTED TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics North Access Drive¹				
• Eastbound Approach	C	18.0	C	18.4
• Northbound Left Turn	A	8.5	B	10.1
Mitchell Road with Dart Logistics South Access Drive¹				
• Eastbound Approach	B	12.6	C	16.5
Mitchell Road with Corporate Boulevard¹				
• Eastbound Left Turn	D	25.4	C	23.8
• Eastbound Through/Right Turn	C	17.6	C	21.6
• Westbound Left Turn	C	19.3	E	36.9
• Westbound Through/Right Turn	C	19.7	B	14.7
• Northbound Left Turn	A	8.3	B	10.2
• Southbound Left Turn	A	9.5	A	8.6
LOS = Level of Service Delay is measured in seconds.				
1 – One-Way/Two-way stop control				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the facility-generated traffic.

Mitchell Road with Corporate Boulevard/Proposed Access Drive

The results of the capacity analysis indicate that the westbound left-turn movement currently operates at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour. The westbound right-turn movement currently operates at LOS B during both peak hours and the southbound left-turn movement operates at LOS A during both peak hours.

Under Year 2029 no-build conditions, all of the critical movements are projected to operate at LOS C or better except the westbound left-turn movement, which is projected to operate at LOS D during the evening peak hour.

Access to the warehouse/distribution development approved south of the subject site will be accommodated via a proposed full-movement access drive located on the west side of Mitchell Road opposite Corporate Boulevard. The access drive will provide one inbound lane and two outbound lanes striped for an exclusive left-turn lane and a shared through/right-turn lane. The outbound movements should be under stop sign control. Left-turn movements from Mitchell Road to the facility will be accommodated via the existing northbound left-turn lane provided at this intersection.

Under Year 2029 total projected conditions and assuming the additional access drive at this intersection, all of the critical movements are projected to continue to operate at LOS D or better except the westbound left-turn movement, which is projected to operate on the threshold between LOS D/E during the evening peak hour. It should be noted that the intersection was evaluated assuming two-stage, left-turn movements from Corporate Boulevard and the development access drive to Mitchell Road. A two-stage, left-turn movement is when a vehicle crosses one stream of traffic then waits in the striped median for a gap in the other stream of traffic, as opposed to waiting for a gap in both streams of traffic to complete a left turn. As such, at times, the average delay for the Corporate Boulevard and development access drive left-turn and through movements may be longer than shown in Table 6, particularly during the evening peak hour. However, this is typical for left-turn movements and through movements under stop sign control along higher volume roads such as Mitchell Road. This traffic will be able to enter or cross Mitchell Road but may experience some additional delay. The maximum 95th percentile queue for the southbound left-turn lane is projected to be one to two vehicles during both peak hours, which will not extend to the Dart Logistics access drive. As such, this intersection has adequate reserve capacity to accommodate the traffic that will be generated by the proposed development.

As the crash data has shown, this intersection has experienced a very low incidence of crashes over the past five years. However, the sight lines for motorists on Corporate Boulevard looking south along Mitchell Road are reduced due to the existing landscaping. As such, it is recommended that the landscaping along the east side of Mitchell Road south of Corporate Boulevard be trimmed or removed to enhance the sight distance.

Mitchell Road with the South Dart Logistics Access Drive

The results of the capacity analysis indicate that the access drive approach currently operates at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour.

Under Year 2029 no-build, the access drive approach is projected to continue to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour.

Access to the development is proposed to be provided via both of the Dart Logistics access drives. Under Year 2029 total projected conditions, the access drive approach is projected to continue to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour.

As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed facility and no roadway improvements or traffic control modifications are required.

Mitchell Road with the North Dart Logistics Access Drive

The results of the capacity analysis indicate that the critical movements at this access drive currently operate at LOS C or better during the weekday morning and evening peak hours.

Under Year 2029 no-build conditions, the critical movements at this access drive are projected to continue to operate at LOS C or better during the weekday morning and evening peak hours.

Access to the development is proposed to be provided via both of the Dart Logistics access drives. Under Year 2029 total projected conditions, the critical movements at this access drive are projected to continue to operate at LOS C or better during the weekday morning and evening peak hours. As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed facility and no roadway improvements or traffic control modifications are required.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- Access to the proposed facility will be provided via the two access drives serving the Dart Logistics building which are summarized below:
 - The north access drive is located on the west side of Mitchell Road at the north end of the site approximately 1,300 feet north of Corporate Drive and provides full access to and from the site. The access drive provides one inbound lane and one outbound lane with the outbound lane under stop sign control.
 - The south access drive is located on the west side of Mitchell Road at the south end of the site approximately 415 feet north of Corporate Drive and is restricted to inbound right-turn, outbound left-turn, and outbound right-turn movements. The access drive has one inbound lane and two outbound lanes striped for an exclusive left-turn lane and an exclusive right-turn lane. The outbound lanes are under stop sign control.
- The two existing access drives will provide efficient and orderly access with limited impact on the area traffic.
- The roadway system has adequate reserve capacity to accommodate the traffic that will be generated by the proposed facility and no roadway improvements or traffic control modifications are required.
- As the crash data has shown, the Mitchell Road/Corporate Drive/access drive intersection has experienced a very low incidence of crashes over the past five years. However, the sight lines for motorists on Corporate Boulevard looking south along Mitchell Road are reduced due to the existing landscaping. As such, it is recommended that the landscaping along the east side of Mitchell Road south of Corporate Boulevard be trimmed or removed to enhance the sight distance.

VILLAGE OF NORTH AURORA STAFF REPORT

TO: VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: TEXT AMENDMENTS TO VILLAGE'S ZONING ORDINANCE
AGENDA: FEBRUARY 6, 2024 PLAN COMMISSION MEETING
PETITION NUMBER: #24-05

ITEM

Amending Title 17 of the North Aurora Code of Ordinances Regarding Commercial Vehicles

BACKGROUND

The Village of North Aurora maintains a Zoning Ordinance, which is found in Title 17 of the Code Ordinances (North Aurora's Municipal Code). Staff reviews the Village's Zoning Ordinance on an ongoing basis to ensure it is consistent with how the Village enforces the Ordinance and is up to date with the best practices for planning and zoning. The Community Development Department has identified changes needed to the commercial vehicle section. The text of the section and the definition of commercial vehicle had differing information. Additionally, the section of Village code used by the Police Department to regulate parking (Title 10) had a different definition of commercial vehicle as well. The new proposed definition is:

Commercial Motor Vehicle. For the purposes of Title 17, commercial vehicles shall be any self-propelled or towed vehicle that meets one of the following categories:

- A. Has a gross vehicle weight, a gross vehicle weight rating, a gross combination weight, or a gross combination weight rating of 12,001 or more pounds (F Plate or greater).
- B. Is a box truck or cutaway (with any plate) where the passenger compartment is completely separate from the cargo area with seating for the driver and no more than one or two passengers.
- C. Has a gross vehicle weight, a gross vehicle weight rating, a gross combination weight, or a gross combination weight rating of 10,001 pounds to 12,000 pounds (D Plate) AND any one of the following characteristics: contains a bucket, lift, towing, dump bed, ladder storage or other similar equipment; is taller than ninety inches (90") in height; is designed to carry more than fifteen passengers.

As with recreational vehicles, commercial vehicles are allowed to be stored inside a garage. The language was updated to match that of recreational vehicles. One minor change was made to the recreational vehicle section. That was to align the no parking times with the police section.

A redline version of the code changes is included with this packet for your review.

Title 17 - Zoning

17.13.11 - Commercial vehicles in residential districts.

The following restrictions shall apply to the parking or storage of commercial vehicles on property zoned for residential use.

- A. No commercial vehicles, ~~as defined in section 16.3, including road tractors, agricultural wagon trailers, semi-trailers and special mobile equipment~~ shall be parked or stored on any residential premises ~~or any public right-of-way in a residential district~~, except under the following conditions.
 - 1. Commercial vehicles are permitted to park in residential districts when making a delivery or providing a service adjacent to such residential premises.
 - 2. Commercial vehicles that are parked or stored in ~~an enclosed structure~~ a fully enclosed permanent structure. Temporary storage tents for commercial vehicles shall not be considered a permanent structure.
 - 3. ~~Commercial vehicles that are either pickup trucks, standard passenger vehicles or passenger vans designed to carry fifteen (15) or fewer passengers. Passenger vans or pickup trucks must be less than ninety (90) inches in height, and cannot exceed Class D license plate requirements for the State of Illinois.~~
- B. Commercial vehicle parking may be approved as a special use subject to Section 4.3 (Special Uses). If approved, the special use shall be limited to the particular vehicle and property for which the special use is sought and shall apply only to the applicant and shall not be assignable or transferable.

17.13.12 - Recreational vehicles in residential districts.

For the purposes of this section, recreational vehicles shall include campers, motor homes, boats (and other watercraft), pop-up campers, and utility trailers.

- A. No recreational vehicle shall be parked on or over public right-of-way ~~between the hours of 10:00 p.m. and 6:00 a.m.~~
- B. No more than one recreational vehicle shall be parked or stored on a residential premises at any given time.
- C. No recreational vehicle shall be parked on residential premises except during the following periods:
 - 1. Thursday 6:00 p.m. through Monday noon.
 - 2. April 1 through April 15 and October 15 through October 30.
 - 3. Upon written request by permit issued by the code enforcement office for a continuous period not to exceed fourteen (14) days for the parking of recreational vehicles owned by temporary house guests. Such special circumstance permits shall be limited to one per guest family during each six-month period during the calendar year.
 - 4. Recreational vehicles may be stored behind the front building elevation on a residential lot, subject to any parking restrictions included in the Zoning Ordinance. For the purposes of this section, the "front building elevation" shall also include any building frontage along a corner side yard.
- D. There shall be no limit to the number of recreational vehicles being parked or stored in a fully enclosed permanent structure. Temporary storage tents for recreational vehicles shall not be considered a permanent structure.
- E. All parking and storing of recreational vehicles shall be on a hard surface as identified in section 13.8(C).
- F. No recreational vehicle shall be used for living, sleeping, or housekeeping purposes in any zoning district.

17.16.3 Definitions.

Commercial Motor Vehicle. ~~Any motorized vehicle licensed by the State of Illinois as a commercial vehicle, used in a commercial enterprise, containing lettering on the vehicle body advertising a commercial enterprise, or requiring a State of Illinois license plate of "Class D" or greater.~~ For the purposes of Title 17, commercial vehicles shall be any self-propelled or towed vehicle that meets one of the following categories:

- A. Has a gross vehicle weight, a gross vehicle weight rating, a gross combination weight, or a gross combination weight rating of 12,001 or more pounds (F Plate or greater).
- B. Is a box truck or cutaway (with any plate) where the passenger compartment is completely separate from the cargo area with seating for the driver and no more than one or two passengers.
- C. Has a gross vehicle weight, a gross vehicle weight rating, a gross combination weight, or a gross combination weight rating of 10,001 pounds to 12,000 pounds (D Plate) AND any one of the following characteristics: contains a bucket, lift, towing, dump bed, ladder storage or other similar equipment; is taller than ninety inches (90") in height; is designed to carry more than fifteen passengers.

Recreational Vehicle. A vehicle, or similar means of human transportation, used primarily for recreational purposes, which shall include, but is not limited to, the following:

- A. Boat/Raft. Any unit that is used for water travel.
- B. Camper Trailer. A non-self-propelled motor vehicle designed to be towed and designed to be used as a temporary dwelling for travel or recreational use.
- C. Motor Home. A portable dwelling designed and constructed as an integral part of a self-propelled vehicle.
- D. Pickup Coach. A structure designed primarily to be mounted on a pickup or truck chassis and with sufficient equipment to render it suitable for use as a temporary dwelling for travel, recreational or vacation uses.
- E. Snowmobile. A motorized vehicle used for travel over snow or ice.
- F. Utility Trailers. A vehicle, enclosed or non-enclosed, without its own motive power (excluding semitrailers) that is designed and constructed to transport another vehicle, such as a car, boat, motorcycle, or snowmobile, or to transport equipment and/or tools, such as lawn mowers, etc., and that is eligible to be licensed or registered and insured for highway use.