



**NORTH AURORA VILLAGE BOARD MEETING  
MONDAY, AUGUST 21, 2023 – 7:00 P.M.  
NORTH AURORA VILLAGE HALL - 25 E. STATE ST.**

**ZOOM VIEWING INFORMATION**

**Website Address:** <https://us02web.zoom.us/j/86451738058>

**Meeting ID:** 864 5173 8058 | **Dial In:** +1 312 626 6799

**AGENDA**

**CALL TO ORDER - SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**AUDIENCE COMMENTS**

**CONSENT AGENDA**

1. Village Board Minutes dated 08/07/2023; Committee of the Whole Minutes dated 08/07/2023
2. Travel and Business Expenses in the Amount of **\$50.00**
3. Interim Bills List Dated 08/07/2023 FY23 in the Amount of **\$65,119.64**
4. Interim Bills List Dated 08/07/2023 FY24 in the Amount of **\$4,000.00**
5. Interim Bills List Dated 08/14/2023 in the Amount of **\$250.00**
6. Bills List Dated 08/21/2023 in the Amount of **\$387,617.51**

**NEW BUSINESS**

1. Approval of Purchase of John Deere 410P Backhoe Loader for Public Works from Westside Tractor in the Amount of **\$200,325.44**
2. Approval of Purchase to Retrofit two Water Division Trucks with New Equipment and Bodies from Knapheide Equipment Company in the Amount of **\$38,740.70**
3. Approval of Bid Award for the 2023 Parkway Tree Replacement Program to The Fields on Caton Farm in the Amount of **\$34,250.00**
4. Approval of Ordinance Approving a Map Amendment and a Special Use for a Planned Unit Development for 1.7 Acres of Property to be Known as the North Aurora Fire Protection District Station 1 in the Village of North Aurora
5. Approval of Resolution Authorizing the Transfer of Property from the Village of North Aurora to the North Aurora Fire District
6. Approval of Bid Award for the Sharepoint Implementation Document Management System to Hartland Business System in the Amount of **\$54,745.84**

7. Approval of Resolution to Approve Revisions to the Human Resources Manual for the Village of North Aurora
8. Approval of Ordinance Approving the 4<sup>th</sup> Budget Amendment for Fiscal Year 2022-23

**VILLAGE PRESIDENT**

**TRUSTEE COMMENTS**

**ADMINISTRATOR'S REPORT**

**VILLAGE DEPARTMENT REPORTS**

**ADJOURN**

Initials: SB

**NORTH AURORA VILLAGE BOARD MEETING  
VILLAGE BOARD MEETING MINUTES  
Monday, August 7, 2023**

Due to the COVID-19 pandemic, the Village Board meeting was conducted live remotely  
via telecommunications.

**CALL TO ORDER**

Mayor Gaffino called the meeting to order.

**SILENT PRAYER - MEDITATION – PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**In attendance:** Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Mike Lowery, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

**Staff in attendance:** Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community & Economic Development Director Nathan Darga, Village Attorney Kevin Drendel, Public Works Director Brian Richter, Police Chief Joe DeLeo.

**AUDIENCE COMMENTS** – None

**CONSENT AGENDA**

1. Village Board Minutes Dated 07/17/2023; Committee of the Whole Minutes Dated 07/17/2023
2. Interim Bills List Dated 07/21/2023 FY24 in the Amount of \$1,554.05
3. Interim Bills List Dated 08/02/2023 FY24 in the Amount of \$9,796.00
4. Bills List Dated 08/07/2023 FY23 in the Amount of \$31,022.51
5. Bills List Dated 08/07/2023 FY24 in the Amount of \$395,792.48
6. Approval of Social Worker Contract with A.I.D.'s Victims Services in the Amount of \$35,000.00

Motion for approval made by Trustee Guethle and seconded by Trustee Salazar. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (6-0).**

**NEW BUSINESS**

1. **Approval of an Ordinance Amending Chapter 5.70 of the North Aurora Municipal Code Regulating Outdoor Special Events in the Village of North Aurora**

Administrator Bosco reminded the Board of the recent conversations during Committee of the Whole meetings regarding the proposed changes to the Municipal Code regulating outdoor special events in the Village. The proposed changes would allow for more internal approvals, saving time and effort rather than bringing more routine situations to the Village Board for approval.

Motion for approval made by Trustee Guethle and seconded by Trustee Curtis. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (6-0).**

2. **Approval of Ordinance Amending Chapter 5.08.135 of the North Aurora Municipal Code Regulating the Sale and Consumption of Alcoholic Liquor Outside in the Village of North Aurora**

Administrator Bosco stated that this proposed amendment had been discussed alongside the previous amendment. This change would allow for the Village Liquor Commissioner, the Mayor, to issue approval of a special event liquor license request as well as a “bring your own” liquor for special events at North Aurora Riverfront Park.

Motion for approval made by Trustee Lowery and seconded by Trustee Niedzwiedz. **Roll Call Vote:** Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes, Trustee Guethle – yes. **Motion approved (6-0).**

### **3. Approval of Ordinances Amending Chapter 5.35 of the North Aurora Municipal Code Regulating Mobile Food Vendors in the Village of North Aurora**

Administrator Bosco stated that this agenda item had also been discussed recently at multiple Committee of the Whole meetings. This amendment would remove the requirement of a registration for mobile food vendors although they will still need to be licensed by Kane County. Bosco also stated that some definitions had been changed to include Mobile Food Apparatus not just Vendor in an effort to make it easier to approach the appropriate party if a code violation occurs. The changes would also extend the amount of time a food truck can be on a property. A vendor or the owner of the property can have a food truck two days a week for up to eight hours each day. Bosco said that the changes would also remove the Route 31 incubator program which allowed for establishments to utilize food trucks as a kitchen.

Motion for approval made by Trustee Guethle and seconded by Trustee Lowery. **Roll Call Vote:** Trustee Guethle – yes, Trustee Lowery – yes, Trustee Niedzwiedz – yes, Trustee Salazar – yes, Trustee Christiansen – yes, Trustee Curtis –yes. **Motion approved (6-0).**

**VILLAGE PRESIDENT** – Mayor Gaffino spoke about the success of North Aurora Days. He also complimented Staff, Public Works and the Police Department on their efforts throughout the weekend. He extended a special compliment and thanks to Natalie Stevens who handled all of the events.

**TRUSTEES COMMENTS** – Trustee Salazar complimented everyone involved in North Aurora Days stating that all involved did an excellent job.

**ADMINISTRATOR’S REPORT** – Administrator Bosco stated that he was proud that every department within the Village takes an active role in the production of North Aurora Days and enjoys seeing staff attend the event with their families.

### **VILLAGE DEPARTMENT REPORTS**

1. **Finance** – None
2. **Community Development** – None
3. **Police** – None
4. **Public Works** – None
5. **Attorney**- None

### **ADJOURNMENT**

Motion to adjourn was made by Trustee Guethle and seconded by Trustee Curtis. All in favor. **Motion approved.**

Respectfully Submitted,



Jessi Watkins  
Village Clerk

**VILLAGE OF NORTH AURORA  
COMMITTEE OF THE WHOLE MEETING MINUTES  
Monday, August 7, 2023**

Due to the COVID-19 pandemic, the Village Board meeting was conducted live remotely via telecommunications.

**CALL TO ORDER**

Mayor Gaffino called the meeting to order.

**ROLL CALL**

**In attendance:** Mayor Mark Gaffino, Trustee Jason Christiansen, Trustee Laura Curtis, Trustee Mark Guethle, Trustee Mike Lowery, Trustee Todd Niedzwiedz, Trustee Carolyn Salazar

**Staff in attendance:** Village Administrator Steve Bosco, Finance Director Jason Paprocki, Community & Economic Development Director Nathan Darga, Village Attorney Kevin Drendel, Public Works Director Brian Richter, Police Chief Joe DeLeo.

**AUDIENCE COMMENTS** – None

**TRUSTEE COMMENTS** - None

**DISCUSSION**

**1. Petition #23-03: North Aurora Fire Protection District Station #1 Planned Unit Development**

Administrator Bosco introduced the item and stated that this was part of the ongoing zoning process related to the Village's land swap agreement with the Fire District for the potential relocation of the Fire Station One.

Community & Economic Development Director Nathan Darga stated that the Fire Protection District was proposing to construct a two story, approximately 26,000 square foot building at the corner of Oak Street and Route 31. The front of the building would face Oak Street, the bays would face Route 31, the parking lot would be accessed from Oak Street and the existing alley, the alley would be improved and widened to handle the fire trucks. The trucks would be able to access the bays from the alley and pull through to Route 31. Darga said that there would be a landscaped public entry facing Oak Street.

Darga went on to explain what was being sought, he stated that the property was currently zoned O-R and R-2 and they are seeking a map amendment to rezone the properties to B-3, with the expectation to eventually rezone the rest of the block to B-3 as well.

Darga explained that the second request was for a PUD. The Planned Unit Development would approve the use of a government office or facility. It would also have several code exceptions for the site plan, mostly to do with fitting the building on the site.

The petitioner was also requesting site plan approval and final plat approval to merge the lots together to create the new lot for the fire station at 1.7 acres that was designated in the land swap agreement.

Darga stated that the Plan Commission met the previous week and recommended approval with several conditions which included pavement hashing on Route 31 to prevent vehicle queuing blocking the egress of the fire station.

Nathan Custer with Dewberry, representing the Fire Protection District presented to the Committee of the Whole the proposed Fire Station One. Custer stated that in working with the Fire Protection District on the design of the building, the first priority of the site design was to aid in the first response ability. Additionally, the design team had a list of eight priorities to adhere to during the design process. They aimed to preserve relationships by having conversations with all interested parties throughout the process; they prioritized firefighter health by adding elements to promote that; they attempted to be good stewards of resources with energy analysis and going above and beyond state sustainability standards; bearing in mind future assets, knowing that the building will be in use for at least 50 years; support staff with a family atmosphere; a focus on durability and the ability to maintain the facility and grounds; and being a good neighbor within the community.

Custer presented the Board with an overview of the proposed building, the floor plans and exterior aesthetics.

Trustee Curtis expressed concern for the red firehouse overhead doors. There was further discussion regarding the color palette and materials proposed for the building.

The Village Board expressed approval for the proposed building and all related petitioner requests. Multiple Board members also expressed their appreciation that the project was moving forward.

## **2. Human Resources Manual Revisions**

Administrator Bosco reminded the Board of the previous Committee of the Whole discussion regarding proposed amendments to the Village's Human Resources Manual. Bosco stated that in addition, there were now proposed changes to the Social Media Policy.

Finance Director Jason Paprocki recapped the original proposed changes to the policy. These changes included taking cannabis out of the "illicit drugs" and listed it similar to alcohol in relation to usage during work hours. Another change was to the ability of the Administrator to start a new hire at any point within the compensation range for that position. There was a change allowing the Administrator the ability to move an employee up a step in compensation at any time, if there was a justified reason for it. There was a proposed change to add a fifteen minute paid break to full time employees day to be used in conjunction with their thirty minute unpaid lunch break.

Mayor Gaffino stated that he would like to see altering that change to reflect adding a thirty minute paid break, as opposed to a fifteen minute break for full time employees. Trustees expressed no objection to that proposal.

Paprocki continued with the updates, stating that the changes would include a more defined description of flex time for full time employees. And the final previously discussed amendment removed the \$750 budget limit for retirement celebrations.

There were no further suggestions or changes to the proposed amendments.

Paprocki stated that the Village's Social Media Policy had previously been lengthy and restrictive. He said that the Village had been in discussions with the Village's Labor Attorney to come up with a new policy that was more comprehensive. Paprocki explained that the new policy addressed employees' representation of the Village on their private social media accounts.

Paprocki stated that there were a few additional smaller matters that had been addressed. He explained that the policy states that the Village's first budget review or workshop should occur the second regular

Committee of the Whole meeting in April, however the Village generally address the budget review earlier in the year. The change would omit the date in April and change it to “in accordance with our budget process calendar”.

Another change addresses a section of the policy that states that the Village Administrator shall give a monthly update on any work consultants were doing within the Village. This was suggested to be removed in an effort to match code to current process.

Paprocki stated that the final change was in regard to the current code which stated that the Village Administrator would go to the Board for approval of any new employee. The new verbiage would be that “the Village Administrator will be responsible for hiring new employees in accordance with our Personnel Manual”.

The Village Board was in agreement with the changes which included the thirty minute paid break for full time employees.

**EXECUTIVE SESSION** – None

**ADJOURNMENT**

Motion to adjourn made by Trustee Guethle and seconded by Trustee Niedzwiedz. All in favor. **Motion approved.**

Respectfully Submitted,

Jessi Watkins  
Village Clerk

17-Jul-23

Village Board Meeting

## Travel and Expenses for Business Purposes

NAME	EVENT	EXPENSE or REIMBURSEMENT	DATE	AMOUNT
Mark Gaffino	Metro West	Expense	7/27/2023	\$ 50.00
TOTAL				\$ 50.00

Metro West Council of Government  
40W270 Lafox Rd Ste A  
Campton Hills, IL 60175 US  
SRussell.mwcog@gmail.com

Invoice



BILL TO
Village of North Aurora Attn: Accounts Payable 25 East State Street Illinois North Aurora, IL 60542

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
5163	07/31/2023	\$100.00	08/30/2023	Net 30	

DATE	ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
	Outside Mtg	7/27 Networking Meeting Mark Gaffino Steve Bosco	2	50.00	100.00

Thank you from Metro West!!!

BALANCE DUE

\$100.00

# Accounts Payable

## To Be Paid Proof List

User: ablasr  
Printed: 08/14/2023 - 4:34PM  
Batch: 00505.08.2023



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
College of Dupage 017690									
15070	5/22/2023	450.00	0.00	08/07/2023				No	0
01-440-4370 Conferences & Travel				Evidence Conference- Brown					
15070 Total:		450.00							
College of Dupage Total:		450.00							
Drendel & Jansons Law Group 028580									
4857	2/28/2023	1,160.25	0.00	08/07/2023				No	0
01-440-4260 Legal				Legal Services- PD/ Feb 2023					
4857 Total:		1,160.25							
Drendel & Jansons Law Gr		1,160.25							
Dynegy Energy Services 048750									
146531123061-01	7/17/2023	6,307.45	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #9 5/17 - 6/15					
146531123061-01 Total:		6,307.45							
146531123061-02	7/17/2023	9,599.53	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #7 5/9 - 6/7					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	146531123061-02 Total:	9,599.53							
146531123061-03	7/17/2023	10,320.50	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #4/ WTP 5/8 - 6/6					
	146531123061-03 Total:	10,320.50							
146531123061-04	7/17/2023	4,307.46	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #5/ ETP 5/9 - 6/7					
	146531123061-04 Total:	4,307.46							
146531123061-05	7/17/2023	7,050.76	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #8 5/5 - 6/5					
	146531123061-05 Total:	7,050.76							
146531123061-06	7/17/2023	5,981.56	0.00	08/07/2023				No	0
60-445-4662 Utility				Well #6 5/4 - 6/4					
	146531123061-06 Total:	5,981.56							
	Dynegy Energy Services To	43,567.26							
Fifth Third Bank									
028450									
BR06272023-01	5/29/2023	109.84	0.00	08/07/2023				No	0
01-445-4440 Gas & Oil				Smart Level/ Amazon					
	BR06272023-01 Total:	109.84							
BR06272023-02	5/30/2023	352.00	0.00	08/07/2023				No	0
01-445-4380 Training				ASE Tests/ ASE Test Fees					
	BR06272023-02 Total:	352.00							
DC06272023-02	5/10/2023	175.00	0.00	08/07/2023				No	0
01-440-4380 Training				FAA 107 Test/ PSI Services LLC					



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
DC06272023-02 Total:		175.00							
JG06272023-02	5/31/2023	59.00	0.00	08/07/2023				No	0
01-440-4440 Gas & Oil				Gas- Squad #64/ Casey's					
JG06272023-02 Total:		59.00							
MQ06272023-01	5/30/2023	45.08	0.00	08/07/2023				No	0
01-440-4380 Training				Equipment/ Amazon					
MQ06272023-01 Total:		45.08							
SBZ06272023-01	5/30/2023	521.75	0.00	08/07/2023				No	0
01-440-4160 Uniform Allowance				BWC Belt Clips, Single & Double Molle Mounts/ Axon					
SBZ06272023-01 Total:		521.75							
Fifth Third Bank Total:		1,262.67							
Interactive Building Solutions, LLC									
050600									
109358	5/15/2023	900.00	0.00	08/07/2023				No	0
01-445-4520 Public Buildings Rpr & Mtce				HVAC Repair- PD					
109358 Total:		900.00							
Interactive Building Soluti		900.00							
Otto Baum Company, Inc									
468474									
232300401	7/20/2023	900.00	0.00	08/07/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Inspection & Report Of TP Walls					
232300401 Total:		900.00							
Otto Baum Company, Inc T		900.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
Richard Arment 468473									
01282023	8/4/2023	45.77	0.00	08/07/2023				No	0
01-445-4799 Misc. Expenditures				Mailbox Reimb- 2404 Imgrund Rd					
01282023 Total:		45.77							
Richard Arment Total:		45.77							
Southern Kane County 033180									
08102023	8/10/2023	15,946.69	0.00	08/07/2023				No	0
60-325-3225 Tower Rent				Share Of Water Tower Rent FY23					
08102023 Total:		15,946.69							
Southern Kane County Tot		15,946.69							
Springbrook Software LLC 467920									
INV-012932	5/8/2023	887.00	0.00	08/07/2023				No	0
60-445-4510 Equipment/IT Maint				Web Payment- April 2023					
INV-012932 Total:		887.00							
Springbrook Software LLC		887.00							
Report Total:		65,119.64							

# Accounts Payable

## To Be Paid Proof List

User:jpaprocki

Printed:08/07/2023 - 2:31PM

Batch:00504.08.2023



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
LFC Entertainment Group									
049610									
08052023	8/5/2023	4,000.00	0.00	08/05/2023				No	0
15-430-4751 North Aurora Days Expenses				NA Days Band- Libido Funk Circus/ Final Payment					
	08052023 Total:	4,000.00							
	LFC Entertainment Group	4,000.00							
	Report Total:	4,000.00							

# Accounts Payable

## To Be Paid Proof List

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Printed: 08/14/2023 - 9:09AM  
Batch: 00507.08.2023



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
Woodman's Food Market, Inc.									
035760									
08102023	8/14/2023	250.00	0.00	08/14/2023				No	0
01-490-4761 Beautification Committee				Gift Cards (4)- Green Thumb Prizes					
08102023 Total:		250.00							
Woodman's Food Market, I		250.00							
Report Total:		250.00							

# Accounts Payable

## To Be Paid Proof List

User: ablasr  
Printed: 08/17/2023 - 9:07AM  
Batch: 00506.08.2023



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
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1st Ayd Corporation 039020									
PSI629807	7/21/2023	565.37	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Brake Cleaner, Drum Pump					
		<hr/>							
	PSI629807 Total:	565.37							
		<hr/>							
	1st Ayd Corporation Total:	565.37							
		<hr/>							
Ace Hardware 000030									
07312023	7/31/2023	12.02	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Fastners- NA Days					
		<hr/>							
	07312023 Total:	12.02							
		<hr/>							
	Ace Hardware Total:	12.02							
		<hr/>							
Aflac 030540									
680983	7/26/2023	301.16	0.00	08/21/2023				No	0
01-000-2053 AFLAC				AFLAC- July 2023					
		<hr/>							
	680983 Total:	301.16							
		<hr/>							
	Aflac Total:	301.16							
		<hr/>							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
AIM									
046510									
1000876	8/1/2023	147.00	0.00	08/21/2023				No	0
01-430-4267 Finance Services				Flex- July 2023					
1000876 Total:		147.00							
AIM Total:		147.00							
Alexander Negro									
468235									
08012023	8/1/2023	50.00	0.00	08/21/2023				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 8/1/23					
08012023 Total:		50.00							
Alexander Negro Total:		50.00							
Amundsen Davis, LLC									
039030									
726094	8/3/2023	650.00	0.00	08/21/2023				No	0
01-430-4260 Legal				Legal Services					
726094 Total:		650.00							
Amundsen Davis, LLC Tot		650.00							
Asila Consulting Services LLC									
468268									
IN1004	8/14/2023	1,000.00	0.00	08/21/2023				No	0
01-430-4280 Professional/Consulting Fees				Support Hours					
IN1004 Total:		1,000.00							
IN1005	8/14/2023	800.00	0.00	08/21/2023				No	0
01-430-4280 Professional/Consulting Fees				Support Hours					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
IN1005 Total:		800.00							
IN1006	8/14/2023	1,200.00	0.00	08/21/2023				No	0
01-430-4280 Professional/Consulting Fees				Support Hours					
IN1006 Total:		1,200.00							
Asila Consulting Services L		3,000.00							
AT&T Mobility									
468386									
*** 287322262477	7/19/2023	171.00	0.00	08/21/2023				No	0
01-441-4652 Phones and Connectivity				Cell Phone 6/20 - 7/19					
287322262477 Total:		171.00							
*** 287322279371	7/19/2023	555.09	0.00	08/21/2023				No	0
60-445-4652 Phones and Connectivity				Cell Phone 6/20 - 7/19					
287322279371 Total:		555.09							
AT&T Mobility Total:		726.09							
Aurora Area Convention									
003770									
08012023	8/1/2023	2,625.57	0.00	08/21/2023				No	0
15-430-4752 90% Tourism Council				NA Lodging Hotel Tax/ June 2023					
08012023 Total:		2,625.57							
Aurora Area Convention To		2,625.57							
Barnum Counseling									
468475									
301	8/2/2023	4,650.00	0.00	08/21/2023				No	0
01-440-4280 Professional Consulting				Yearly Counseling					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
301 Total:		4,650.00							
Barnum Counseling Total:		4,650.00							
Bonnell Industries									
035410									
0210879-IN	7/21/2023	2,560.00	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Maintenance- Truck #193					
0210879-IN Total:		2,560.00							
Bonnell Industries Total:		2,560.00							
Borekci Real Estate, LLC									
468158									
088092023	8/9/2023	20,177.99	0.00	08/21/2023				No	0
01-490-4781 Sales Tax Rebates				NATC Rebate March 23 - May 23- Inline 100%					
088092023 Total:		20,177.99							
Borekci Real Estate, LLC T		20,177.99							
Buckeye Power Sales Co., Inc.									
468441									
PSV335146	7/26/2023	1,010.14	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Generator Repair					
PSV335146 Total:		1,010.14							
Buckeye Power Sales Co.,		1,010.14							
C. O. P. S. Testing Service									
010080									
108285	7/25/2023	625.00	0.00	08/21/2023				No	0



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
01-439-4380 Recruit Testing				Applicant Testing					
108285 Total:		625.00							
108304	7/26/2023	625.00	0.00	08/21/2023				No	0
01-439-4380 Recruit Testing				Applicant Testing					
108304 Total:		625.00							
108318	7/27/2023	625.00	0.00	08/21/2023				No	0
01-439-4380 Recruit Testing				Applicant Testing					
108318 Total:		625.00							
C. O. P. S. Testing Service		1,875.00							
Camic Johnson, LTD. 03989									
*** 151	7/28/2023	350.00	0.00	08/21/2023				No	0
01-440-4260 Legal				Adjudication					
151 Total:		350.00							
Camic Johnson, LTD. Tota		350.00							
Carousel Sound Company 027790									
08162023	8/16/2023	250.00	0.00	08/21/2023				No	0
01-490-4759 Community Events				DJ And Oversee Cruise Night					
08162023 Total:		250.00							
Carousel Sound Company		250.00							
Carus Corporation 033300									
SLS010108853	7/24/2023	4,397.70	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
60-445-4437 Chemicals - Water Treatment					HMO Bulk Chemicals				
	SLS010108853 Total:	4,397.70							
SLS010108874	7/25/2023	4,397.70	0.00	08/21/2023				No	0
60-445-4437 Chemicals - Water Treatment					HMO Bulk Chemicals				
	SLS010108874 Total:	4,397.70							
	Carus Corporation Total:	8,795.40							
Christine Wagner 468370									
07262023	7/26/2023	197.02	0.00	08/21/2023				No	0
01-440-4370 Conferences & Travel					Travel Reimb- NEMRT Class				
	07262023 Total:	197.02							
	Christine Wagner Total:	197.02							
Cintas Corporation 041590									
4163283569	8/1/2023	57.50	0.00	08/21/2023				No	0
01-445-4520 Public Buildings Rpr & Mtce					Towel & Rug Cleaning- PW Garage				
	4163283569 Total:	57.50							
	Cintas Corporation Total:	57.50							
Commonwealth Edison 000330									
*** 0795092063	7/18/2023	8.13	0.00	08/21/2023				No	0
10-445-4660 Street Lighting and Poles					Street Lights/ 355 Moorfield				
	0795092063 Total:	8.13							
*** 0903075187	7/18/2023	8.13	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
10-445-4660 Street Lighting and Poles				Street Lights/ 1197 Comiskey					
0903075187 Total:		8.13							
*** 1743032047	7/18/2023	8.13	0.00	08/21/2023				No	0
10-445-4660 Street Lighting and Poles				Street Lights/ 1193 Comiskey					
1743032047 Total:		8.13							
Commonwealth Edison To		24.39							
DACRA Adjudication Systems									
467842									
dt-2023-07-43	7/31/2023	2,500.00	0.00	08/21/2023				No	0
01-440-4510 Equipment/IT Maint				Adjudication					
dt-2023-07-43 Total:		2,500.00							
DACRA Adjudication Syst		2,500.00							
Doug Botkin									
047330									
08012023	8/1/2023	50.00	0.00	08/21/2023				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 8/1/23					
08012023 Total:		50.00							
Doug Botkin Total:		50.00							
Drendel & Jansons Law Group									
028580									
6730	6/30/2023	624.00	0.00	08/21/2023				No	0
01-441-4260 Legal				Legal Services- CommDev/ June 2023					
6730 Total:		624.00							
6731	6/30/2023	1,904.50	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
01-430-4260 Legal				Legal Services- Gen, Admin, Fin/ June 2023					
6731 Total:		1,904.50							
6732	6/30/2023	646.75	0.00	08/21/2023				No	0
01-430-4260 Legal				Legal Services- Liquor/ June 2023					
6732 Total:		646.75							
6733	6/30/2023	2,437.25	0.00	08/21/2023				No	0
01-440-4260 Legal				Legal Services- PD/ June 2023					
6733 Total:		2,437.25							
Drendel & Jansons Law Gr		5,612.50							
Energeneecs, Inc									
035320									
0046033-IN	7/20/2023	1,620.00	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Low CL2 Alarms					
0046033-IN Total:		1,620.00							
Energeneecs, Inc Total:		1,620.00							
Engineering Enterprises, Inc.									
467917									
77754	7/28/2023	647.50	0.00	08/21/2023				No	0
60-463-4255 Engineering				Well #5 Modifications					
77754 Total:		647.50							
77755	7/28/2023	408.50	0.00	08/21/2023				No	0
21-450-4255 Engineering				2022 Road Resurfacing- Phase 3					
77755 Total:		408.50							
77756	7/28/2023	976.00	0.00	08/21/2023				No	0
60-445-4255 Engineering				Water System Model					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	77756 Total:	976.00							
77757	7/28/2023	2,951.74	0.00	08/21/2023				No	0
60-445-4255 Engineering				Source Water Protection Plan					
	77757 Total:	2,951.74							
77758	7/28/2023	6,192.50	0.00	08/21/2023				No	0
21-450-4255 Engineering				Orchard Gateway- Phase 2					
	77758 Total:	6,192.50							
	Engineering Enterprises, In	11,176.24							
Everbridge, Inc.									
048260									
M77106	7/31/2023	8,076.62	0.00	08/21/2023				No	0
01-440-4558 Emergency Management				Nixle 7/15/23 - 7/14/24					
	M77106 Total:	8,076.62							
	Everbridge, Inc. Total:	8,076.62							
Feece Oil									
031060									
39994230	7/26/2023	235.14	0.00	08/21/2023				No	0
60-445-4440 Gas & Oil				Generator Fuel- WTP					
	39994230 Total:	235.14							
3999428	7/26/2023	58.79	0.00	08/21/2023				No	0
01-445-4440 Gas & Oil				Generator Fuel- VH					
	3999428 Total:	58.79							
3999429	7/26/2023	701.98	0.00	08/21/2023				No	0
60-445-4440 Gas & Oil				Generator Fuel- ETP					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	3999429 Total:	701.98							
3999431	7/26/2023	172.90	0.00	08/21/2023	Generator Fuel- PD			No	0
01-445-4440 Gas & Oil									
	3999431 Total:	172.90							
3999691	7/27/2023	803.08	0.00	08/21/2023	Diesel Fuel			No	0
71-000-1340 Gas/Diesel Escrow									
	3999691 Total:	803.08							
3999692	7/27/2023	5,520.99	0.00	08/21/2023	Mid-Grade Fuel			No	0
71-000-1340 Gas/Diesel Escrow									
	3999692 Total:	5,520.99							
	Feece Oil Total:	7,492.88							
Fifth Third Bank 028450									
AH06272023-01	6/21/2023	83.00	0.00	08/21/2023	Membership- Lundell/ AWWA			No	0
60-445-4390 Dues & Meetings									
	AH06272023-01 Total:	83.00							
BR06272023-03	6/7/2023	2,325.00	0.00	08/21/2023	Light Tower Purchase/ Lind Equipment			No	0
01-490-4759 Community Events									
	BR06272023-03 Total:	2,325.00							
BR06272023-04	6/9/2023	154.96	0.00	08/21/2023	Post Anchors/ Amazon			No	0
01-445-4530 Public Grounds/Parks Maint									
	BR06272023-04 Total:	154.96							
BR06272023-05	6/14/2023	84.00	0.00	08/21/2023	Road Saw Belt/ Amazon			No	0
01-445-4510 Equipment/IT Maint									

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	BR06272023-05 Total:	84.00							
BR06272023-06	6/23/2023	108.51	0.00	08/21/2023				No	0
01-490-4761 Beautification Committee				Flower Fertilizer/ Amazon					
	BR06272023-06 Total:	108.51							
BR06272023-07	6/23/2023	108.51	0.00	08/21/2023				No	0
01-490-4761 Beautification Committee				Flower Fertilizer/ Amazon					
	BR06272023-07 Total:	108.51							
BT06272023-01	6/9/2023	14.45	0.00	08/21/2023				No	0
01-445-4390 Dues & Meetings				Transcript Fee/ Parchment Exchange					
	BT06272023-01 Total:	14.45							
BT06272023-02	6/9/2023	21.00	0.00	08/21/2023				No	0
01-445-4390 Dues & Meetings				Application Fee/ IL Prof License Fee					
	BT06272023-02 Total:	21.00							
DA06272023-01	6/30/2023	-31.08	0.00	08/21/2023				No	0
01-430-4420 IT Supplies				Micro SD Card Return/ Amazon					
	DA06272023-01 Total:	-31.08							
DA06272023-02	6/30/2023	40.85	0.00	08/21/2023				No	0
01-430-4420 IT Supplies				MDT Laptop Handle/ Ebay					
	DA06272023-02 Total:	40.85							
DA06272023-03	6/1/2023	32.98	0.00	08/21/2023				No	0
01-430-4411 Office Expenses				Desk Fan/ Amazon					
	DA06272023-03 Total:	32.98							
DA06272023-04	6/1/2023	33.88	0.00	08/21/2023				No	0
01-430-4420 IT Supplies				Crimping Tool,					
	DA06272023-04 Total:	33.88							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
DA06272023-05	6/8/2023	48.68	0.00	08/21/2023				No	0
01-430-4420 IT Supplies				Cable Organizer And Floor Cover, Mouse Pads/ Amazon					
DA06272023-05 Total:		48.68							
DA06272023-06	6/14/2023	118.70	0.00	08/21/2023				No	0
01-430-4420 IT Supplies				Phone Cases, Screen Protectors/ Amazon					
DA06272023-06 Total:		118.70							
DA06272023-07	6/14/2023	34.28	0.00	08/21/2023				No	0
01-430-4411 Office Expenses				AA, AAA Batteries/ Amazon					
DA06272023-07 Total:		34.28							
DA06272023-08	6/17/2023	10.62	0.00	08/21/2023				No	0
01-430-4505 Postage				Shipping Fees/ Otterbox					
DA06272023-08 Total:		10.62							
DA06272023-09	6/19/2023	35.98	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Soft Balls- NA Days					
DA06272023-09 Total:		35.98							
DA06272023-10	6/20/2023	-44.99	0.00	08/21/2023				No	0
01-440-4460 Comfort Dog Supplies				Dog Gate Return/ Amazon					
DA06272023-10 Total:		-44.99							
DA06272023-11	6/20/2023	47.87	0.00	08/21/2023				No	0
01-440-4460 Comfort Dog Supplies				Dog Gate/ Amazon					
DA06272023-11 Total:		47.87							
DA06272023-12	6/23/2023	109.89	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Headbands- NA Days/ Amazon					
DA06272023-12 Total:		109.89							
DC06272023-01	6/22/2023	175.00	0.00	08/21/2023				No	0
01-440-4380 Training				FAA 107 Test/ PSI Services LLC					



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
DC06272023-01 Total:		175.00							
JD06272023-01	6/1/2023	10.31	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-01 Total:		10.31							
JD06272023-02	6/1/2023	39.99	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-02 Total:		39.99							
JD06272023-03	6/2/2023	64.46	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-03 Total:		64.46							
JD06272023-04	6/2/2023	299.91	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-04 Total:		299.91							
JD06272023-05	6/5/2023	54.81	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-05 Total:		54.81							
JD06272023-06	6/5/2023	70.92	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-06 Total:		70.92							
JD06272023-07	6/5/2023	376.24	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-07 Total:		376.24							
JD06272023-08	6/8/2023	98.74	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-08 Total:		98.74							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
JD06272023-09	6/14/2023	38.42	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
JD06272023-09 Total:		38.42							
JD06272023-10	6/19/2023	553.00	0.00	08/21/2023				No	0
01-440-4799 Misc.				Retirement Lunch/ Sharkos					
JD06272023-10 Total:		553.00							
JD06272023-11	6/19/2023	78.62	0.00	08/21/2023				No	0
01-440-4799 Misc.				Retirement Cake/ Jewel					
JD06272023-11 Total:		78.62							
JD06272023-12	6/21/2023	243.00	0.00	08/21/2023				No	0
01-440-4870 Equipment				Swat Communications/ PayPal CommsGearUp					
JD06272023-12 Total:		243.00							
JG06272023-01	5/31/2023	40.37	0.00	08/21/2023				No	0
01-440-4160 Uniform Allowance				Holster Part For Axon Sensor/ Cops Plus					
JG06272023-01 Total:		40.37							
JG06272023-03	6/1/2023	202.00	0.00	08/21/2023				No	0
01-440-4555 Investigations				Investigations App/ Casey's					
JG06272023-03 Total:		202.00							
JG06272023-04	6/5/2023	9.98	0.00	08/21/2023				No	0
01-440-4460 Comfort Dog Supplies				Supplies- Zelda/ Pet Supplies Plus					
JG06272023-04 Total:		9.98							
JG06272023-05	6/9/2023	52.00	0.00	08/21/2023				No	0
01-440-4555 Investigations				Investigations Background Tool/ INGuardian Alliance					
JG06272023-05 Total:		52.00							
JG06272023-06	6/15/2023	10.00	0.00	08/21/2023				No	0
01-440-4390 Dues & Meetings				Juvenile Assoc Dues/ PayPal					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
JG06272023-06 Total:		10.00							
JG06272023-07	6/15/2023	10.00	0.00	08/21/2023				No	0
01-440-4390 Dues & Meetings				Juvenile Assoc Dues/ PayPal					
JG06272023-07 Total:		10.00							
JG06272023-08	6/15/2023	10.00	0.00	08/21/2023				No	0
01-440-4390 Dues & Meetings				Juvenile Assoc Dues/ PayPal					
JG06272023-08 Total:		10.00							
JG06272023-09	6/15/2023	25.00	0.00	08/21/2023				No	0
01-440-4390 Dues & Meetings				Lunch- KCCOPA Meeting / SQ*Kane County Chiefs					
JG06272023-09 Total:		25.00							
JG06272023-10	6/15/2023	772.82	0.00	08/21/2023				No	0
01-440-4370 Conferences & Travel				Juvenile Conf Registration/ PayPal					
JG06272023-10 Total:		772.82							
JG06272023-11	6/16/2023	124.00	0.00	08/21/2023				No	0
01-430-4799 Misc.				Retirement Gift/ Eagle Engraving					
JG06272023-11 Total:		124.00							
JG06272023-12	6/16/2023	428.94	0.00	08/21/2023				No	0
01-440-4370 Conferences & Travel				Juvenile Conf Rm/ Holiday Inn					
JG06272023-12 Total:		428.94							
JG06272023-13	6/16/2023	428.94	0.00	08/21/2023				No	0
01-440-4370 Conferences & Travel				Juvenile Conf Rm/ Holiday Inn					
JG06272023-13 Total:		428.94							
JG06272023-14	6/21/2023	14.98	0.00	08/21/2023				No	0
01-440-4370 Conferences & Travel				Firearms Supplies/ Amazon					
JG06272023-14 Total:		14.98							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
JG06272023-15	6/20/2023	171.76	0.00	08/21/2023				No	0
01-440-4383 Firearm Training				Firearms Supplies/ Home Depot					
JG06272023-15 Total:		171.76							
JG06272023-16	6/21/2023	225.44	0.00	08/21/2023				No	0
01-440-4870 Equipment				SWAT Equipment/ SP FERRO Concepts					
JG06272023-16 Total:		225.44							
JG06272023-17	6/22/2023	89.00	0.00	08/21/2023				No	0
01-440-4383 Firearm Training				Firearms Supplies/ Amazon					
JG06272023-17 Total:		89.00							
JG06272023-18	6/22/2023	154.84	0.00	08/21/2023				No	0
01-440-4383 Firearm Training				Firearms Supplies/ Amazon					
JG06272023-18 Total:		154.84							
JG06272023-19	6/22/2023	682.38	0.00	08/21/2023				No	0
01-440-4383 Firearm Training				Firearms Supplies/ N America Rescue					
JG06272023-19 Total:		682.38							
JG06272023-20	6/25/2023	10.74	0.00	08/21/2023				No	0
01-440-4555 Investigations				Investigation App/ Apple.com					
JG06272023-20 Total:		10.74							
JP06272023-01	5/31/2023	20.00	0.00	08/21/2023				No	0
01-430-4380 Training & Testing				Webinar Registration Fee/ IGFOA					
JP06272023-01 Total:		20.00							
MQ06272023-02	6/5/2023	88.02	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					
MQ06272023-02 Total:		88.02							
MQ06272023-03	6/6/2023	69.99	0.00	08/21/2023				No	0
01-440-4411 Office Expenses				Office Supplies/ Office Depot					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	MQ06272023-03 Total:	69.99							
MQ06272023-04	6/7/2023	8.12	0.00	08/21/2023				No	0
01-440-4511	Vehicle Repair and Maint			Fleet/ Menards					
	MQ06272023-04 Total:	8.12							
MQ06272023-05	6/7/2023	60.50	0.00	08/21/2023				No	0
01-440-4498	Community Service			Community Service/ Amazon					
	MQ06272023-05 Total:	60.50							
MQ06272023-06	6/8/2023	400.00	0.00	08/21/2023				No	0
01-440-4870	Equipment			Trailer Deposit/ Rondo Inc					
	MQ06272023-06 Total:	400.00							
MQ06272023-07	6/12/2023	185.01	0.00	08/21/2023				No	0
01-440-4390	Dues & Meetings			Food For Meeting/ Oak Street Bar & Grill					
	MQ06272023-07 Total:	185.01							
MQ06272023-08	6/20/2023	1,990.00	0.00	08/21/2023				No	0
01-440-4380	Training			Drone Training/ Illinois Aviation					
	MQ06272023-08 Total:	1,990.00							
MQ06272023-09	6/26/2023	500.64	0.00	08/21/2023				No	0
01-440-4370	Conferences & Travel			Conf Training- Stecklein/ Hyatt Place					
	MQ06272023-09 Total:	500.64							
MT06272023-01	6/1/2023	125.00	0.00	08/21/2023				No	0
01-430-4390	Dues & Meetings			Membership Dues/ ICSC					
	MT06272023-01 Total:	125.00							
MT06272023-02	6/15/2023	50.00	0.00	08/21/2023				No	0
01-441-4380	Training			Code Enforcement Training/ Eventbrite					
	MT06272023-02 Total:	50.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
MT06272023-03	6/5/2023	-135.23	0.00	08/21/2023				No	0
01-441-4380 Training				Code Enforcement Training/ Eventbrite					
MT06272023-03 Total:		-135.23							
NS06272023-01	5/30/2023	9.99	0.00	08/21/2023				No	0
01-410-4799 Misc. Expenditures				Picture Frame- Trustee Wall/ Michaels					
NS06272023-01 Total:		9.99							
NS06272023-02	6/1/2023	2.57	0.00	08/21/2023				No	0
01-410-4799 Misc. Expenditures				Picture- Trustee Wall/ Walgreens					
NS06272023-02 Total:		2.57							
NS06272023-03	6/1/2023	9.18	0.00	08/21/2023				No	0
01-490-4759 Community Events				Soda- Kite Event Volunteers/ Target					
NS06272023-03 Total:		9.18							
NS06272023-04	6/3/2023	86.50	0.00	08/21/2023				No	0
01-490-4759 Community Events				Food- Kite Event Volunteers/ Target					
NS06272023-04 Total:		86.50							
SB06272023-01	6/17/2023	83.56	0.00	08/21/2023				No	0
01-410-4799 Misc. Expenditures				Coffee & Donuts For Meet The Mayor/ Dunkin					
SB06272023-01 Total:		83.56							
SBZ06272023-02	6/5/2023	36.00	0.00	08/21/2023				No	0
01-440-4498 Community Service				Donuts- Teen Public Safety Academy/ Harners Bakery					
SBZ06272023-02 Total:		36.00							
SBZ06272023-03	6/5/2023	320.37	0.00	08/21/2023				No	0
01-440-4498 Community Service				Lunch- Teen Public Safety Academy/ Chick Fil A					
SBZ06272023-03 Total:		320.37							
SBZ06272023-04	6/7/2023	36.00	0.00	08/21/2023				No	0
01-440-4498 Community Service				Donuts- Teen Public Safety Academy/ Harners Bakery					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
SBZ06272023-04 Total:		36.00							
SBZ06272023-05	6/7/2023	300.01	0.00	08/21/2023				No	0
01-440-4498 Community Service				Lunch- Teen Public Safety Academy/ Juquilita					
SBZ06272023-05 Total:		300.01							
SBZ06272023-06	6/9/2023	36.27	0.00	08/21/2023				No	0
01-440-4498 Community Service				Donuts- Teen Public Safety Academy/ Harners Bakery					
SBZ06272023-06 Total:		36.27							
Fifth Third Bank Total:		13,186.20							
Gerald Ford									
467768									
6056764	7/31/2023	2,628.94	0.00	08/21/2023				No	0
01-440-4511 Vehicle Repair and Maint				Squad Repair					
6056764 Total:		2,628.94							
Gerald Ford Total:		2,628.94							
Gerald Realty Holdings LLC									
468332									
08092023	8/9/2023	160,029.87	0.00	08/21/2023				No	0
01-490-4781 Sales Tax Rebates				Gerald Ford Rebate- Jun 22 To May 23					
08092023 Total:		160,029.87							
Gerald Realty Holdings LL		160,029.87							
Grainger									
031900									
9783348668	7/26/2023	37.40	0.00	08/21/2023				No	0
01-445-4870 Equipment				Magnet, Bolt					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	9783348668 Total:	37.40							
9791677918	8/2/2023	189.26	0.00	08/21/2023				No	0
60-445-4567	Treatment Plant Repair/Maint			Cement, Primer, Fan Switch					
	9791677918 Total:	189.26							
	Grainger Total:	226.66							
Harmonic Heating & Air Conditioning 047680									
I-14534-1	7/26/2023	1,280.00	0.00	08/21/2023				No	0
01-445-4520	Public Buildings Rpr & Mtce			Labor- 4 hours					
	I-14534-1 Total:	1,280.00							
I-14534-2	7/26/2023	2,712.00	0.00	08/21/2023				No	0
01-445-4520	Public Buildings Rpr & Mtce			Cleaning, Filter Replacement- PD & VH					
	I-14534-2 Total:	2,712.00							
I-14534-3	7/28/2023	400.00	0.00	08/21/2023				No	0
01-445-4520	Public Buildings Rpr & Mtce			Labor- 2.5 hours					
	I-14534-3 Total:	400.00							
	Harmonic Heating & Air C	4,392.00							
Harris Computer Systems 041620									
MUNMN001492	6/26/2023	20,877.20	0.00	08/21/2023				No	0
01-430-4510	Equipment/IT Maint			City View Annual Maint 9/1/23 - 8/31/24					
	MUNMN001492 Total:	20,877.20							
	Harris Computer Systems T	20,877.20							



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
ILLCO Inc.									
040110									
1417857	7/14/2023	11.97	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Pipe Nipple Fittings					
1417857 Total:		11.97							
1418132	7/21/2023	856.68	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Pipe For Chem Feed					
1418132 Total:		856.68							
1418133	7/21/2023	56.74	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Pipe Fittings					
1418133 Total:		56.74							
ILLCO Inc. Total:		925.39							
Illinois State Police Bureau of									
041810									
*** COST CTR 0355	6/1/2023	141.25	0.00	08/21/2023				No	0
01-440-4799 Misc.				Liquor License Prints					
COST CTR 03557 Total:		141.25							
Illinois State Police Bureau		141.25							
Industrial Door Company									
044430									
120320	7/24/2023	976.00	0.00	08/21/2023				No	0
01-445-4520 Public Buildings Rpr & Mtce				Door Repair- PW Garage					
120320 Total:		976.00							
120397	7/31/2023	786.00	0.00	08/21/2023				No	0
01-445-4520 Public Buildings Rpr & Mtce				Door Repair- PW Garage					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	120397 Total:	786.00							
	Industrial Door Company T	1,762.00							
InQuest, LLC 468471									
105629843	8/4/2023	4,086.00	0.00	08/21/2023				No	0
01-430-4870 Equipment				Email Spam Filter					
	105629843 Total:	4,086.00							
	InQuest, LLC Total:	4,086.00							
iTouch Biometrics LLC 468238									
6219	8/2/2023	2,970.00	0.00	08/21/2023				No	0
01-440-4510 Equipment/IT Maint				Maintenance					
	6219 Total:	2,970.00							
	iTouch Biometrics LLC To	2,970.00							
Jaime Gutierrez 047990									
07312023	7/31/2023	450.00	0.00	08/21/2023				No	0
01-490-4759 Community Events				DJ Services- Community Picnic					
	07312023 Total:	450.00							
	Jaime Gutierrez Total:	450.00							
Kane County Recorder 010600									
NAUR070723	7/31/2023	116.00	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
01-441-4506 Publishing				Recording Fees					
NAUR070723 Total:		116.00							
NAUR072123	7/31/2023	290.00	0.00	08/21/2023				No	0
01-441-4506 Publishing				Recording Fees					
NAUR072123 Total:		290.00							
NAUR072623	7/31/2023	116.00	0.00	08/21/2023				No	0
01-441-4506 Publishing				Recording Fees					
NAUR072623 Total:		116.00							
Kane County Recorder Tot		522.00							
Kimball Midwest 467916									
101232696	7/11/2023	63.44	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Bolt, Tester					
101232696 Total:		63.44							
101267977	7/21/2023	115.00	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Protectors (100)					
101267977 Total:		115.00							
101270408	7/21/2023	267.44	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Hose End (6), Crimp Fit (6)					
101270408 Total:		267.44							
101272223	7/24/2023	105.54	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Hose End (6)					
101272223 Total:		105.54							
Kimball Midwest Total:		551.42							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
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Kirhofer's Sports 033380									
56699	8/2/2023	522.00	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Softball Shirts (60)- NA Days					
		<hr/>							
56699 Total:		522.00							
		<hr/>							
Kirhofer's Sports Total:		522.00							
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Konica Minolta 024860									
9009467199	8/1/2023	41.28	0.00	08/21/2023				No	0
01-445-4411 Office Expenses				Copier Maint- PW Garage					
		<hr/>							
9009467199 Total:		41.28							
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Konica Minolta Total:		41.28							
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Law Enforcement Training, LLC 468406									
INV-0628	8/1/2023	1,920.00	0.00	08/21/2023				No	0
01-440-4390 Dues & Meetings				Courtsmart					
		<hr/>							
INV-0628 Total:		1,920.00							
		<hr/>							
Law Enforcement Training		1,920.00							
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Lee Jensen Sales Co., Inc. 044070									
0022899-00	7/27/2023	3,275.00	0.00	08/21/2023				No	0
60-445-4870 Equipment				Gas Detector Calibration Station					
		<hr/>							
0022899-00 Total:		3,275.00							
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Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	Lee Jensen Sales Co., Inc.	3,275.00							
Marberry Cleaners 008430									
98A0AA	7/3/2023	8.00	0.00	08/21/2023				No	0
01-440-4450 Prisoner Mtce & Supplies				Prisoner Blankets					
	98A0AA Total:	8.00							
	Marberry Cleaners Total:	8.00							
Meade Electric Company, Inc. 027140									
705403	7/24/2023	404.06	0.00	08/21/2023				No	0
01-445-4545 Traffic Signs & Signals				EVP Repair- Randall & Oak					
	705403 Total:	404.06							
	Meade Electric Company,	404.06							
Menards 016070									
10714	7/13/2023	28.31	0.00	08/21/2023				No	0
01-490-4799 Misc. Expenditures				Conduit					
	10714 Total:	28.31							
11265-01	7/21/2023	32.98	0.00	08/21/2023				No	0
01-445-4421 Custodial Supplies				Paper Towels					
	11265-01 Total:	32.98							
11265-02	7/21/2023	81.68	0.00	08/21/2023				No	0
01-445-4870 Equipment				Level, Drill Bits, Knife					
	11265-02 Total:	81.68							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
11276-01	7/21/2023	77.43	0.00	08/21/2023				No	0
60-445-4423 Tools				Tools					
11276-01 Total:		77.43							
11276-02	7/21/2023	80.20	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Valves, Supplies For TPs					
11276-02 Total:		80.20							
11521	7/25/2023	499.99	0.00	08/21/2023				No	0
01-445-4870 Equipment				Drum Fan					
11521 Total:		499.99							
11573	7/26/2023	33.55	0.00	08/21/2023				No	0
01-445-4544 Storm Drain Maintenance				Concrete					
11573 Total:		33.55							
12039	8/2/2023	11.24	0.00	08/21/2023				No	0
60-445-4567 Treatment Plant Repair/Maint				Distilled Water (2), Shopper Bags (4)					
12039 Total:		11.24							
12041	8/2/2023	445.10	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Canopy, Trash Cans- NA Days					
12041 Total:		445.10							
12043	8/2/2023	123.97	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Tarps (3)- NA Days					
12043 Total:		123.97							
Menards Total:		1,414.45							
Metro West COG 032210									
5163-01	7/31/2023	50.00	0.00	08/21/2023				No	0
01-410-4390 Dues & Meetings				Metro West Meeting- Gaffino					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description			Reference					
5163-01 Total:		50.00							
5163-02	7/31/2023	50.00	0.00	08/21/2023				No	0
01-430-4390 Dues & Meetings				Metro West Meeting- Bosco					
5163-02 Total:		50.00							
Metro West COG Total:		100.00							
METRONET									
467874									
07242023-01	7/24/2023	909.73	0.00	08/21/2023				No	0
01-430-4652 Phones and Connectivity				Phone, Internet 7/24 - 8/23					
07242023-01 Total:		909.73							
07242023-02	7/24/2023	733.97	0.00	08/21/2023				No	0
01-445-4652 Phones and Connectivity				Phone, Internet 7/24 - 8/23					
07242023-02 Total:		733.97							
07242023-03	7/24/2023	800.38	0.00	08/21/2023				No	0
60-445-4652 Phones and Connectivity				Phone, Internet 7/24 - 8/23					
07242023-03 Total:		800.38							
07242023-04	7/24/2023	689.75	0.00	08/21/2023				No	0
01-441-4652 Phones and Connectivity				Phone, Internet 7/24 - 8/23					
07242023-04 Total:		689.75							
07242023-05	7/24/2023	1,876.41	0.00	08/21/2023				No	0
01-440-4652 Phones and Connectivity				Phone, Internet 7/24 - 8/23					
07242023-05 Total:		1,876.41							
METRONET Total:		5,010.24							

Mid American Water

AP-To Be Paid Proof List (08/17/2023 - 9:07 AM)

\*\*\* means this invoice number is a duplicate.

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description			Reference		
013680									
219941A	7/19/2023	727.42	0.00	08/21/2023				No	0
60-445-4568 Watermain Rprs. & Rplcmnts.				Adjusting Rings, Mastick, Frame					
219941A Total:		727.42							
220310A	7/26/2023	225.00	0.00	08/21/2023				No	0
01-445-4544 Storm Drain Maintenance				Plugs, Water Stoppers					
220310A Total:		225.00							
Mid American Water Total:		952.42							
MSC Industrial Supply									
051190									
6312118001	7/18/2023	416.16	0.00	08/21/2023				No	0
01-445-4510 Equipment/IT Maint				Cable Ties					
6312118001 Total:		416.16							
MSC Industrial Supply Tot		416.16							
North Aurora Lions Club									
467640									
08162023	8/16/2023	4,400.13	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				2023 Beer Tent Distribution- NA Days					
08162023 Total:		4,400.13							
North Aurora Lions Club T		4,400.13							
North Aurora NAPA, Inc.									
038730									
443600	7/14/2023	239.99	0.00	08/21/2023				No	0
01-445-4870 Equipment				PW Tools					



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	443600 Total:	239.99							
443973	7/20/2023	3.22	0.00	08/21/2023				No	0
01-445-4511	Vehicle Repair and Maint			Spark Plug					
	443973 Total:	3.22							
443985	7/20/2023	59.90	0.00	08/21/2023				No	0
01-445-4511	Vehicle Repair and Maint			Transmission Fluid (10)					
	443985 Total:	59.90							
444101	7/21/2023	9.38	0.00	08/21/2023				No	0
01-440-4511	Vehicle Repair and Maint			Squad Parts					
	444101 Total:	9.38							
444218-01	7/24/2023	59.88	0.00	08/21/2023				No	0
01-445-4511	Vehicle Repair and Maint			Lug Nuts					
	444218-01 Total:	59.88							
444218-02	7/24/2023	278.22	0.00	08/21/2023				No	0
01-445-4870	Equipment			Tire Air Chuck Inflator					
	444218-02 Total:	278.22							
444434	7/26/2023	120.70	0.00	08/21/2023				No	0
01-445-4511	Vehicle Repair and Maint			Filter- Truck #178					
	444434 Total:	120.70							
	North Aurora NAPA, Inc. T	771.29							
North East Multi-Regional 001520									
331623	7/27/2023	255.00	0.00	08/21/2023				No	0
01-440-4380	Training			Training					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
331623 Total:		255.00							
North East Multi-Regional		255.00							
Office Depot									
039370									
320989161001-01	7/19/2023	16.83	0.00	08/21/2023				No	0
01-430-4411 Office Expenses				Office Supplies					
320989161001-01 Total:		16.83							
320989161001-02	7/19/2023	16.83	0.00	08/21/2023				No	0
01-445-4411 Office Expenses				Office Supplies					
320989161001-02 Total:		16.83							
320989161001-03	7/19/2023	16.84	0.00	08/21/2023				No	0
60-445-4411 Office Expenses				Office Supplies					
320989161001-03 Total:		16.84							
320989161001-04	7/19/2023	16.84	0.00	08/21/2023				No	0
01-441-4411 Office Expenses				Office Supplies					
320989161001-04 Total:		16.84							
321373200001-01	7/27/2023	21.50	0.00	08/21/2023				No	0
01-430-4411 Office Expenses				Office Supplies					
321373200001-01 Total:		21.50							
321373200001-02	7/27/2023	21.51	0.00	08/21/2023				No	0
01-445-4411 Office Expenses				Office Supplies					
321373200001-02 Total:		21.51							
321373200001-03	7/27/2023	21.51	0.00	08/21/2023				No	0
60-445-4411 Office Expenses				Office Supplies					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
321373200001-03 Total:		21.51							
321373200001-04	7/27/2023	21.51	0.00	08/21/2023				No	0
01-441-4411 Office Expenses				Office Supplies					
321373200001-04 Total:		21.51							
Office Depot Total:		153.37							
Paddock Publications, Inc.									
026910									
257331	7/10/2023	126.50	0.00	08/21/2023				No	0
90-000-e288 NA Fire Department				NAFPD1 Publishing					
257331 Total:		126.50							
Paddock Publications, Inc.		126.50							
Pitney Bowes Inc.									
017470									
3106197094	7/25/2023	452.13	0.00	08/21/2023				No	0
01-440-4505 Postage				Postage Machine Rental- Oct 22 Thru Jan 21					
3106197094 Total:		452.13							
Pitney Bowes Inc. Total:		452.13							
RAY O'HERRON Co., INC									
044220									
2284567	7/25/2023	32.99	0.00	08/21/2023				No	0
01-440-4160 Uniform Allowance				Name Plates					
2284567 Total:		32.99							
RAY O'HERRON Co., INC		32.99							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
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Richard Newell									
468236									
058012023	8/1/2023	50.00	0.00	08/21/2023				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 8/1/23					
		<hr/>							
058012023 Total:		50.00							
		<hr/>							
Richard Newell Total:		50.00							
Russo Power Equipment Inc.									
036290									
SPI20345151	8/7/2023	108.97	0.00	08/21/2023				No	0
60-445-4568 Watermain Rprs. & Rplcmnts.				Straw Blanket (2), Sod Staples (1)					
		<hr/>							
SPI20345151 Total:		108.97							
		<hr/>							
Russo Power Equipment In		108.97							
Scott Branson									
468155									
08012023	8/1/2023	50.00	0.00	08/21/2023				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 8/1/23					
		<hr/>							
08012023 Total:		50.00							
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Scott Branson Total:		50.00							
Sebert Landscaping									
032840									
261061-01	7/31/2023	1,157.00	0.00	08/21/2023				No	0
17-004-4533 Maintenance				Mowing- SSA4					
		<hr/>							
261061-01 Total:		1,157.00							
261061-02	7/31/2023	1,065.00	0.00	08/21/2023				No	0
17-008-4533 Maintenance				Mowing- SSA8					
		<hr/>							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
	261061-02 Total:	1,065.00							
261061-03	7/31/2023	331.00	0.00	08/21/2023				No	0
17-009-4533 Maintenance				Mowing- SSA9					
	261061-03 Total:	331.00							
261061-04	7/31/2023	29.00	0.00	08/21/2023				No	0
17-011-4533 Maintenance				Mowing- SSA11					
	261061-04 Total:	29.00							
261061-05	7/31/2023	4,092.00	0.00	08/21/2023				No	0
01-445-4531 Grass Cutting				Mowing- Public Properties					
	261061-05 Total:	4,092.00							
	Sebert Landscaping Total:	6,674.00							
Secretary of State 002690									
08142023	8/14/2023	15.00	0.00	08/21/2023				No	0
01-440-4799 Misc.				Notary- Quinn					
	08142023 Total:	15.00							
	Secretary of State Total:	15.00							
Signarama 029780									
INV-19793	7/14/2023	1,954.11	0.00	08/21/2023				No	0
90-000-e288 NA Fire Department				Public Hearing Signs					
	INV-19793 Total:	1,954.11							
INV-19852	8/1/2023	244.71	0.00	08/21/2023				No	0
15-430-4751 North Aurora Days Expenses				Sponsor Signs- NA Days					

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
INV-19852 Total:		244.71							
Signarama Total:		2,198.82							
Springbrook Software LLC									
467920									
INV-011826	3/18/2023	39,254.49	0.00	08/21/2023				No	0
01-430-4510 Equipment/IT Maint				Annual Subscription Fee 5/17/23 - 5/18/24					
INV-011826 Total:		39,254.49							
Springbrook Software LLC		39,254.49							
Sugar Grove Development									
039730									
209	7/31/2023	335.00	0.00	08/21/2023				No	0
01-440-4511 Vehicle Repair and Maint				Squad Washes- July 2023					
209 Total:		335.00							
Sugar Grove Development		335.00							
Superior Asphalt Materials LLC									
031440									
20230907	7/17/2023	602.24	0.00	08/21/2023				No	0
01-445-4540 Streets & Alleys Rpr & Mtce				Asphalt					
20230907 Total:		602.24							
Superior Asphalt Materials		602.24							
Technology Management Rev Fund									
007390									
T2332106	7/24/2023	723.32	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
01-440-4652 Phones and Connectivity				IWIN					
T2332106 Total:		723.32							
Technology Management R		723.32							
Testing Service Corporaton 014450									
IN127660	7/31/2023	4,550.00	0.00	08/21/2023				No	0
21-452-4501 Contractual Services				PW Facility Environmental Testing					
IN127660 Total:		4,550.00							
Testing Service Corporaton		4,550.00							
Third Millennium Assoc. , Inc. 033470									
30295-01	7/31/2023	556.59	0.00	08/21/2023				No	0
60-445-4507 Printing				Late/ Final Bills- July 2023					
30295-01 Total:		556.59							
30295-02	7/31/2023	467.70	0.00	08/21/2023				No	0
60-445-4507 Printing				New Utility Bill/ Old Bill Destruction					
30295-02 Total:		467.70							
Third Millennium Assoc. ,		1,024.29							
Thomas Lenkart 032550									
08012023	8/1/2023	50.00	0.00	08/21/2023				No	0
01-410-4016 Per Diem - Plan Commission				Plan/ Zoning Commission Meeting 8/1/23					
08012023 Total:		50.00							

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description		Reference			
Thomas Lenkart Total:		50.00							
Uline, Inc 468220 166407543	7/25/2023	348.64	0.00	08/21/2023				No	0
01-445-4421 Custodial Supplies				Custodial Supplies- PD					
166407543 Total:		348.64							
Uline, Inc Total:		348.64							
United Rentals 036410 221723687-001	7/28/2023	5,220.48	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Leak Repair- JCB Loader					
221723687-001 Total:		5,220.48							
221726053-001	7/28/2023	1,421.78	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Backhoe Filters- JCB Loader					
221726053-001 Total:		1,421.78							
222009040-001	7/28/2023	1,717.26	0.00	08/21/2023				No	0
01-445-4511 Vehicle Repair and Maint				Filters, Misc Parts- JCB Loader					
222009040-001 Total:		1,717.26							
United Rentals Total:		8,359.52							
USABlueBook 035680 INV00068384	7/11/2023	410.22	0.00	08/21/2023				No	0
60-445-4422 Safety Supplies				Rainsuit, Coveralls, Jacket					
INV00068384 Total:		410.22							



Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number				Description	Reference				
USABlueBook Total:		410.22							
Verizon Wireless									
025430									
9939547621-01	7/12/2023	19.44	0.00	08/21/2023				No	0
01-441-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547621-01 Total:		19.44							
9939547621-02	7/12/2023	10.94	0.00	08/21/2023				No	0
01-440-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547621-02 Total:		10.94							
9939547622-01	7/12/2023	10.82	0.00	08/21/2023				No	0
60-445-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547622-01 Total:		10.82							
9939547622-02	7/12/2023	10.82	0.00	08/21/2023				No	0
01-441-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547622-02 Total:		10.82							
9939547623-01	7/12/2023	10.83	0.00	08/21/2023				No	0
01-445-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547623-01 Total:		10.83							
9939547623-02	7/12/2023	43.31	0.00	08/21/2023				No	0
60-445-4652 Phones and Connectivity				Cell Phone 6/22 - 7/12					
9939547623-02 Total:		43.31							
Verizon Wireless Total:		106.16							
Water Resources									
010380									
36626	8/2/2023	5,200.00	0.00	08/21/2023				No	0

Invoice Number	Invoice Date	Amount	Quantity	Payment Date	Task Label	Type	PO #	Close PO	Line #
Account Number	Description				Reference				
60-445-4510 Equipment/IT Maint					Belt, Clip Reader				
	36626 Total:	5,200.00							
	Water Resources Total:	5,200.00							
	Report Total:	387,617.51							

# Memorandum



To: Mark Gaffino, Village President & Board of Trustees

Cc: Steven Bosco, Village Administrator

From: Brian Richter, Public Works Director

Date: August 11, 2023

Re: Purchase of a 2024 John Deere 410P Backhoe Loader

---

The Public Works Department, Water Division, is looking to purchase a new John Deere 410P Backhoe Loader from Westside Tractor located in Lisle, Illinois. This new tractor will aid the water division in completing work more efficiently and in a timely manner. Currently a backhoe loader is shared between the Water Division and the Street Division. This limits what project can be done by each division because of scheduling conflicts and the length of each project. Included in the cost of the backhoe is three different sized buckets and a hydraulic jack hammer. The jack hammer will be utilized to break up asphalt, concrete, and bed rock during water main break repairs. The backhoe can also be utilized during the winter for loading salt if our end loader is broken down and to push back snow piles. Some Water Division personal has used a similar machine in the past at their previous jobs and are familiar with John Deere equipment. Westside Tractor brought a backhoe out for the Water Division to use for a week. Staff also met with the salesman to assist with the outfitting of the machine. The Village has utilized Westside Tractor in the past to service engines that are on our leaf machines and the sewer jetting truck.

The purchase of the backhoe will be through the Sourcewell Cooperative Purchasing Program. The Village is a member of Sourcewell and has used the program in the past to purchase vehicles. The cost of the machine is \$200,325.44 and by using this cooperative purchasing program it will save the Village \$116,766.67 on the overall cost of the machine.



Attached is the quote for the John Deere 410P Backhoe Loader. Staff is recommending the purchase of the 2024 John Deere 410P Backhoe Loader from Westside Tractor in the amount of \$200,325.44. This is \$49,674.56 under our budgeted number of \$250,000.00.



**JOHN DEERE**



**July 10, 2023**

**NORTH AURORA, VILLAGE OF  
25 E STATE ST  
NORTH AURORA, IL  
6308978228**

**2024 John Deere 410 P Backhoe Loader**  
**SOURCEWELL Cooperative Contract 032119-JDC**

*All the prices in the detailed sections are Per machine basis.*

**Machine Configuration**

Code	Description	Qty	Unit Price
17E0T	410 P-tier Backhoe Loader	1	202,392.75
202	United States	1	-
351	Translated Text Labels	1	-
259	English	1	-
1003	Cab	1	14,600.25
183E	JDLINK™	1	-
3009	Autoshift Transmission - Mechanical Front Wheel Drive (MFWD)	1	-
4006	John Deere 4.5L - FT4/Stage IV	1	-
5256	Galaxy 580 Radial - 500/70R24 Rear & 340/80R18 Front	1	1,271.55
6154	Dual Batteries with Disconnect, Jump Post, and Engine Block	1	506.10
6752	Extendible Dipperstick	1	9,222.15
6575	750 lb. (340 kg.) Front Counterweight	1	1,100.40
7002	Auxiliary Hydraulics with One & Two Way Flow (Hammer &	1	6,862.80
7028	Pilot Controls, Two Lever, with Pattern Selection	1	-
7041	Loader Coupler, Three-Function Hydraulics, Single Lever	1	10,996.65
7806	24 in. (610 mm.) Wide, Heavy-Duty, 7.5 cu. ft. (0.21 cu. m.) Bucket	1	2,400.30
7714	Rear Hydraulic Coupler for Pin-on Buckets - 42 in. Thumb Ready	1	8,934.45
7863	92 in. (2.34 m.) Wide, 1.31 cu. yd. (1.0 cu. m.) Multi-Purpose	1	12,106.50
8096	Premium Mirror Option - Exterior Rear View Mirrors (2) and Front	1	185.85
8109	Sun Visor	1	105.00
8182	Radio, Bosch Basic Package	1	962.85
8207	Seat, Cloth Air-Suspension	1	554.40
8075	Diagnostic Oil Sampling Ports	1	227.85
8142	LED Light Package	1	1,161.30
8226	Strobe Light with Magnetic Mount	1	647.85
8131	Heavy-Duty Stabilizer Pads	1	509.25
8313	Stabilizer Guard	1	564.90
80A3	Custom Code - Accu-Swing	1	812.70

8027	Thumb - 42 in. 4 Tine	1	7,395.15
8062	Backhoe Boom Protection Plate	1	663.60
8126	Heavy-Duty Grille Frame	1	612.15
<b>List Price</b>			<b>\$ 284,796.75</b>
<b>Discount 41%</b>			<b>\$ 116,766.67</b>
<b>Net Price</b>			<b>\$ 168,030.08</b>

#### Custom Jobs

Code	Description	Qty	Price
	Dlr provide Pre-Delivery Inspection, Supplies and Fuel Fill	1	1,600.00
	Dealer Provided Delivery	1	800.00
	Labor for field installed kits	1	1,098.00
Ext Warranty	Extended: 48Mo or 1500Hr Comprehensive whichever occurs first	1	5,715.65
BYT11137	Boom Light Kit	1	436.00
AT408903	Mounting kit for multi-purpose (ABC) Dry Chemical Fire	1	125.00
1849R2-5310	TAG 18" JD Rubber Tire Bucket	1	1,211.54
6T80841	TAG 24" HD BKT	1	1,405.38
AT369839	Spinner Knob	1	54.83
OCOT	HH80C HYD HAMMER	1	16,248.80
1006	410 HAMMER MOUNTING BRKT	1	1,085.05
DPIN-5310	Set of Dead Pins for Ear	2	452.31
<b>Total Price</b>			<b>\$ 30,232.56</b>

#### Quote Summary (per unit)

Item Description	Prices
Machine Net Price	\$ 168,030.08
Custom Jobs	\$ 30,232.56
<b>Price per Machine</b>	<b>\$ 198,262.64</b>
Destination	Freight Charge
Lisle, IL 60532	\$ 2,062.79

**Total Net Price Quantity (1) \$ 200,325.44**

**Expected Machine Delivery: February 2024**

#### Warranty Terms

410 P includes • Full Machine Warranty for 24 Mo OR 2000 Hr whichever occurs first

Extended: 48Mo or 1500Hr Comprehensive whichever occurs first

#### Remarks:

*Please note that this quote is valid for 30 days. Purchase cards are accepted -- a 3% transaction fee will be calculated into the PO total for the credit card invoice payment.*

Adam Roth - Sales Representative West Side Tractor Sales - (630) 355-7150 • Fax (630) 355-7173 - aroth@westsidetractorsales.com

# Memorandum



To: Mark Gaffino, Village President & Board of Trustees  
CC: Steven Bosco, Village Administrator  
From: Brian Richter, Public Works Director  
Date: August 11, 2023  
Re: Retrofit of Two Water Division Vehicles with Bodies and Equipment

---

The Public Works Department is looking to retrofit two trucks in the Water Division with new equipment and bodies. Currently all Water Division trucks are outfitted with utility bodies which are not covered. Any equipment or parts that are stored in the bodies are exposed to the weather. Truck #149, a 2019 Ford F-250, will be retrofitted with an enclosed utility box. This will better protect equipment and materials that are used daily. The utility box that will be removed from this truck will be reinstalled on Truck #183, a 2006 Chevy 2500HD. Truck #183 is the oldest truck in the Water Division and the utility bed is in poor shape. Additionally, truck #183 will receive a new tow hitch and liftgate as part of retrofitting project. The new hitch will allow for this vehicle to tow trailers and the liftgate will allow staff to load heavy items into the back of the truck.





Staff reached out to the following three companies for quotes:

1. Knapheide Equipment Company - \$38,740.70
2. Monroe Truck Equipment - \$40,189.00
3. Sauber Manufacturing – Enclosed service bodies start at \$50,000.00.

Attached are the quotes from Knapheide Equipment Company and Monroe Truck Equipment for review. Staff did not receive a written quote from Sauber Manufacturing as their price for just the body started at \$50,000.00.



Staff is recommending using Knapheide Equipment Company for the retrofitting of the two Water Division trucks in the amount of \$38,740.70. Funds for this project will come out of the Vehicle and Equipment fund. The amount budgeted for this project was \$40,000.00.



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000273

Page 1 of 2

**Customer:** VILLAGE OF NORTH AURORA  
25 E. STATE STREET  
NORTH AURORA IL 60542

**Quote Number:** BW00000273  
**Quote Date:** 3/3/2023  
**Quote valid until:** 4/2/2023

**Contact:** ADAM HAKE

**Phone:**  
**Email:**

**By:** **Prepared** bwise  
**Salesperson:** BRETT WISE  
**PO#:**

**Enduser:** EnduserCust

<b>Make:</b>	<b>Model:</b>	<b>Year:</b>	<b>Single/Dual:</b>
<b>Cab Type:</b>	<b>Wheelbase:</b>	<b>Cab-to-Axle:</b>	<b>VIN:</b>

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	AMOUNT
1	KNAP OPT 1	NORTH AURORA TRUCK # 183 INSTALL KNAPHEIDE 696 BODY	\$933.00	\$933.00
1	KNAP 34109179	CLASS IV RECEIVER HITCH FOR KU VCC W/ STEP BUMP OR UTILITY BO	\$596.00	\$596.00
1	POLL 11-893	RV OEM-STYLE 7-WAY SOCKET	\$110.00	\$110.00
1	KNAP 20226030	MOUNTING INSTALL KIT GM 56" CA WITHOUT HITCH	\$570.00	\$570.00
1	TGG2541342EA38	TOMMY GATE G2 1300# LIFTGATE WITH ALUMINUM PLATFORM	\$4,265.00	\$4,265.00
			<b>Quote Total:</b>	<b>\$6,474.00</b>
			<b>Discount:</b>	<b>\$0.00</b>
			<b>Sales Tax:</b>	<b>\$0.00</b>
			<b>Total Due:</b>	<b>\$6,474.00</b>

### The following options may be added:

QUANTITY	DESCRIPTION	PRICE EACH	AMOUNT	ADD TO QUOTE
				Yes / No

### Notes:

This Quote is subject to the following terms and conditions:

#### Credit Card Policy

We do not accept credit cards for payment of any order in excess of \$10,000.00. For other orders, we do accept MasterCard, American Express, Visa and Discover for payment.

#### Pricing Policy

- Price Quotation is good on orders received through the expiration date.
- Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any change may result in price change.
- Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order.
- Knapheide Truck Equipment must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

#### Payment Policy

- Payment Terms are due upon receipt of signed quote unless prior credit agreement has been established at the time of order.
- Payment terms for customers with an established credit account will be Net 30 from date of invoice.
- Knapheide has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

#### Return Policy



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

QUOTATION

Quote ID: BW00000273

Page 2 of 2

- All sales are final. Purchased parts or products are non returnable.

Cancellation Policy

- Payment is due in full upon cancellation of any orders for non-stocked parts or products (provided part/product has been ordered by Knapheide) and upon cancellation of installation orders, once product installation has begun.

Customer agrees and understands this Quote is an offer to sell subject to the terms and conditions above and any additional terms or modifications are hereby objected to, unless mutually agreed upon in writing by Customer and Knapheide. The undersigned represents and warrants that he/she is duly authorized to sign below on behalf of Customer and thereby accepts offer and Knapheide will begin processing the order.

*Knapheide Truck Equipment Center is not responsible for loss of or damage to the vehicle due to or arising from fire, weather, theft or any other cause except the sole negligence of Knapheide Truck Equipment Center. Knapheide Truck Equipment Center is not responsible for any loss or damage to articles of personal property that have been left in the vehicle or for loss or damage to bodies, trailers or special equipment, including any cargo, materials or supplies carried on or in such bodies, trailers or special equipment, whatever the cause.*

Customer must fill out the information below before the order can be processed...

Signature & Print Accepted by:	
Date:	
P.O. number:	Dealer Code:



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000272

Page 1 of 2

Customer: VILLAGE OF NORTH AURORA  
25 E. STATE STREET  
NORTH AURORA IL 60542

Quote Number: BW00000272  
Quote Date: 3/3/2023  
Quote valid until: 4/2/2023

Contact: ADAM HAKE

Phone:  
Email:

By: Prepared bwise  
Salesperson: BRETT WISE  
PO#:

Enduser: EnduserCust

Make:	Model:	Year:	Single/Dual:
Cab Type:	Wheelbase:	Cab-to-Axle:	VIN:

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	AMOUNT
1	KNAP OPT 1	NORTH AURORA TRUCK # 183 REMOVE EXISTING FIBERGLASS BODY	\$933.00	\$933.00
			Quote Total:	\$933.00
			Discount:	\$0.00
			Sales Tax:	\$0.00
			Total Due:	\$933.00

The following options may be added:

QUANTITY	DESCRIPTION	PRICE EACH	AMOUNT	ADD TO QUOTE
				Yes / No

### Notes:

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- Knapheide Truck Equipment must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

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- Payment terms for customers with an established credit account will be Net 30 from date of invoice.
- Knapheide has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

#### Return Policy

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#### Cancellation Policy

- Payment is due in full upon cancellation of any orders for non-stocked parts or products (provided part/product has been ordered by Knapheide) and upon cancellation of installation orders, once product installation has begun.



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000272

Page 2 of 2

Customer agrees and understands this Quote is an offer to sell subject to the terms and conditions above and any additional terms or modifications are hereby objected to, unless mutually agreed upon in writing by Customer and Knapheide. The undersigned represents and warrants that he/she is duly authorized to sign below on behalf of Customer and thereby accepts offer and Knapheide will begin processing the order.

*Knapheide Truck Equipment Center is not responsible for loss of or damage to the vehicle due to or arising from fire, weather, theft or any other cause except the sole negligence of Knapheide Truck Equipment Center. Knapheide Truck Equipment Center is not responsible for any loss or damage to articles of personal property that have been left in the vehicle or for loss or damage to bodies, trailers or special equipment, including any cargo, materials or supplies carried on or in such bodies, trailers or special equipment, whatever the cause.*

Customer must fill out the information below before the order can be processed...

Signature & Print Accepted by:	
Date:	
P.O. number:	Dealer Code:



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000274

Page 1 of 3

Customer: VILLAGE OF NORTH AURORA  
25 E. STATE STREET  
NORTH AURORA IL 60542

Quote Number: BW00000274  
Quote Date: 3/3/2023  
Quote valid until: 4/2/2023

Contact: ADAM HAKE

Phone:

Email:

By: Prepared bwise  
Salesperson: BRETT WISE  
PO#:

Enduser: EnduserCust

Make:	Model:	Year:	Single/Dual:
Cab Type:	Wheelbase:	Cab-to-Axle:	VIN:

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	AMOUNT
1	KNAP AKC98M1478	AKC98M1478 ALUM KUV Two (2) adjustable divider shelves & dividers, street & curb side front vertical comp. One (1) adjustable divider shelf & dividers, street and curb side full height rear vertical compartment One (1) adjustable divider shelf & dividers, curb side horizontal compartment Two (2) full length shelves each side in interior of body on all models. One on top of compartments, and one fixed shelf in roof. Automotive style rotary latches and gas spring door retainers on all vertical doors Rear solid doors with rotary latch Solid bulkhead Master Locks installed on both sides and grab handle at right rear in cargo area Complete surface mounted light kit with all required lights, and 1 interior LED dome light	\$18,738.00	\$18,738.00
1	KNAP 20164890	KIT QK MT50 ISO A98 2017+ FD	\$1,069.70	\$1,069.70
1	KNAP 34121620	78" W KNAPLINED GG BUMP W/HITC H REC FOR ALUM KC BODY W 49" W	\$781.00	\$781.00
2	PAIN MAT	PRIMER PAINT AND RELATED	\$144.00	\$288.00
1	KNAP 20000150	KNAPHEIDE FENDERSKIRT ALUM RH OR LH	\$118.00	\$118.00
1	KNAP 20006680	FENDERSKIRT 44.75 ALUM FD FT	\$171.00	\$171.00
1	KNAP 12256319	UPFITTER POWER SWITCH AND HARN FOR REAR STROBES FACTORY SWIT	\$150.00	\$150.00
1	OEM CAMERA INSTALL	BRACKET AND LABOR FOR CAMERA	\$27.00	\$27.00
1	KNAP 20048435	KNAPHEIDE ALUM. FUEL FILL CUPLOOSE FORD F SERIES	\$86.00	\$86.00
1	KNAP 77014290	DEL DOOR SEAL ALUM KUVCC	(\$39.00)	(\$39.00)
65	KNAP 20000130	DOOR SEAL, ALUM. BODIES	\$1.00	\$65.00
4	FEDE MPS600-AA	AMBER LED STROBE MICROPULSE SURFACE MT: 2-MOUNTED IN FRONT OF BODY AND 2 MOUNTED AT REAR OF BODY.	\$192.00	\$768.00

Quote Total: \$22,222.70  
Discount: \$0.00  
Sales Tax: \$0.00



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000274

Page 2 of 3

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	AMOUNT
Total Due:				\$22,222.70

The following options may be added:

QUANTITY	DESCRIPTION	PRICE EACH	AMOUNT	ADD TO QUOTE
1	SIDE ACCESS DOORS OF ALUM KC BODIES	\$2,146.00	\$2,146.00	Yes / No
1	LINER SPRAY IN BED LINER INSIDE BODY LOAD SPACE 12" UP ON FRONT AND SIDE WALLS	\$975.00	\$975.00	Yes / No
1	INVERTER, POWER 12V 3000W INSTALLED IN FRONT COMPARTMENT WITH ISOLATOR AND ADDITIONAL BATTERY.	\$2,295.00	\$2,295.00	Yes / No
1	SIGNAL MASTER DIRECTIONAL LIGHT BAR 51" MOUNTED TO REAR OF BODY	\$850.00	\$850.00	Yes / No
4	LED SCENE, 9X7, QUADRAFLARE 2 INSTALL ON EACH SIDE OF BODY	\$478.00	\$1,912.00	Yes / No

### Notes:

This Quote is subject to the following terms and conditions:

#### Credit Card Policy

We do not accept credit cards for payment of any order in excess of \$10,000.00. For other orders, we do accept MasterCard, American Express, Visa and Discover for payment.

#### Pricing Policy

- Price Quotation is good on orders received through the expiration date.
- Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any change may result in price change.
- Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order.
- Knapheide Truck Equipment must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

#### Payment Policy

- Payment Terms are due upon receipt of signed quote unless prior credit agreement has been established at the time of order.
- Payment terms for customers with an established credit account will be Net 30 from date of invoice.
- Knapheide has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

#### Return Policy

- All sales are final. Purchased parts or products are non returnable.

#### Cancellation Policy

- Payment is due in full upon cancellation of any orders for non-stocked parts or products (provided part/product has been ordered by Knapheide) and upon cancellation of installation orders, once product installation has begun.

Customer agrees and understands this Quote is an offer to sell subject to the terms and conditions above and any additional terms or modifications are hereby objected to, unless mutually agreed upon in writing by Customer and Knapheide. The undersigned represents and warrants that he/she is duly authorized to sign below on behalf of Customer and thereby accepts offer and Knapheide will begin processing the order.

Knapheide Truck Equipment Center is not responsible for loss of or damage to the vehicle due to or arising from fire, weather, theft or any other cause except the sole negligence of Knapheide Truck Equipment Center. Knapheide Truck Equipment Center is not responsible for any loss or damage to articles of personal property that have been left in the vehicle or for loss or damage to bodies, trailers or special equipment, including any cargo, materials or supplies carried on or in such bodies, trailers or special equipment, whatever the cause.

Customer must fill out the information below before the order can be processed...

Signature & Print Accepted by:	
-----------------------------------	--



Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

**QUOTATION**

Quote ID: BW00000274

Page 3 of 3

<i>Date:</i>	
<i>P.O. number:</i>	Dealer Code:





Knapheide Equipment Co - Chicago  
2600 IL-120  
McHenry IL 60051  
Phone: 815-385-2600  
Fax:

## QUOTATION

Quote ID: BW00000271

Page 1 of 2

**Customer:** VILLAGE OF NORTH AURORA  
25 E. STATE STREET  
NORTH AURORA IL 60542

**Quote Number:** BW00000271  
**Quote Date:** 3/3/2023  
**Quote valid until:** 4/2/2023

**Contact:** ADAM HAKE

**Phone:**  
**Email:**

**By:** **Prepared** bwise  
**Salesperson:** BRETT WISE  
**PO#:**

**Enduser:** EnduserCust

<b>Make:</b>	<b>Model:</b>	<b>Year:</b>	<b>Single/Dual:</b>
<b>Cab Type:</b>	<b>Wheelbase:</b>	<b>Cab-to-Axle:</b>	<b>VIN:</b>

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	AMOUNT
1	KNAP OPT 1	NORTH AURORA TRUCK #149 REMOVE EXISTING KNAPHEIDE 696 BODY	\$933.00	\$933.00
<b>Quote Total:</b>				<b>\$933.00</b>
<b>Discount:</b>				<b>\$0.00</b>
<b>Sales Tax:</b>				<b>\$0.00</b>
<b>Total Due:</b>				<b>\$933.00</b>

The following options may be added:

QUANTITY	DESCRIPTION	PRICE EACH	AMOUNT	ADD TO QUOTE
				Yes / No

### Notes:

This Quote is subject to the following terms and conditions:

#### Credit Card Policy

We do not accept credit cards for payment of any order in excess of \$10,000.00. For other orders, we do accept MasterCard, American Express, Visa and Discover for payment.

#### Pricing Policy

- Price Quotation is good on orders received through the expiration date.
- Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any change may result in price change.
- Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order.
- Knapheide Truck Equipment must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

#### Payment Policy

- Payment Terms are due upon receipt of signed quote unless prior credit agreement has been established at the time of order.
- Payment terms for customers with an established credit account will be Net 30 from date of invoice.
- Knapheide has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

#### Return Policy

- All sales are final. Purchased parts or products are non returnable.

#### Cancellation Policy

- Payment is due in full upon cancellation of any orders for non-stocked parts or products (provided part/product has been ordered by Knapheide) and upon cancellation of installation orders, once product installation has begun.



**Knapheide Equipment Co - Chicago**  
**2600 IL-120**  
**McHenry IL 60051**  
**Phone: 815-385-2600**  
**Fax:**

## QUOTATION

Quote ID: BW00000271

Page 2 of 2

Customer agrees and understands this Quote is an offer to sell subject to the terms and conditions above and any additional terms or modifications are hereby objected to, unless mutually agreed upon in writing by Customer and Knapheide. The undersigned represents and warrants that he/she is duly authorized to sign below on behalf of Customer and thereby accepts offer and Knapheide will begin processing the order.

*Knapheide Truck Equipment Center is not responsible for loss of or damage to the vehicle due to or arising from fire, weather, theft or any other cause except the sole negligence of Knapheide Truck Equipment Center. Knapheide Truck Equipment Center is not responsible for any loss or damage to articles of personal property that have been left in the vehicle or for loss or damage to bodies, trailers or special equipment, including any cargo, materials or supplies carried on or in such bodies, trailers or special equipment, whatever the cause.*

Customer must fill out the information below before the order can be processed...

Signature & Print Accepted by:	
Date:	
P.O. number:	Dealer Code:



812 Draper Avenue  
Joliet, IL 60432  
Sales Rep: Tom Markel  
Ph: (331) 229-0744  
www.MonroeTruck.com

J.O. #

Quotation ID: 4BD0006050

Date: 7/20/2023

Valid thru: 8/19/2023

Terms: NET 30

Quoted by: Bob Drews

Ph/Fax: 815-280-4237 / 815-727-5429

**Quoted to:**

NORTH AURORA, VILLAGE OF (ATTN: ADAM HAKE)

25 E. STATE STREET

NORTH AURORA, IL 60542

Ph: 630-897-8228 / Fax: 630-897-8258

Email:

**TRUCK # 183**

**Chassis Information**

<b>Year:</b> 2006	<b>Make:</b> CHEVROLET	<b>Model:</b> SILVERADO 2500	<b>Chassis Color:</b>	<b>Cab Type:</b> EXTENDED
<b>Single/Dual:</b> SRW	<b>CA:</b> 56.0	<b>CT:</b> -1.0	<b>Wheelbase:</b> 158.0	<b>Engine:</b> GAS
			<b>F.O. Number #:</b>	<b>Vin:</b>

**Monroe Truck Equipment, Inc. is pleased to offer the following quote for your review:**

Description	Amount	
REMOVE EXISTING ASTORIA FIBERGLASS UTILITY BODY, HEADACHE RACK, STROBE LIGHT AND HITCH		
INSTALL KNAPHEIDE SERVICE BODY REMOVED FROM TRUCK # 149 - INCLUDES HEADACHE RACK/STROBE LIGHT AND REAR BUMPER		
FABRICATED 2" RECEIVER TUBE, CLASS 5 HITCH W/ 16,000 WEIGHT CARRYING CAPACITY		
TRAILER RECEPTACLE: 7-WAY, ROUND SOCKET, FLAT PIN, RV STYLE		
<b>Quote Total:</b>		<b>\$4,425.00</b>
<b>Additional Options:</b>		
<b>Description</b>	<b>Amount</b>	<b>Add to quote? Yes / No</b>
TOMMY GATE, ALUMINUM, TWO-PIECE, G2 SERIES LIFTGATE (G2-54-1342 EA38) - LOAD AREA: 49" WIDTH X 38" DEPTH W/ 6" TAPER - 1,300 LB RATED LOAD CAPACITY - ENCLOSED HYDRAULIC SYSTEM - MOISTURE RESISTANT TOGGLE SWITCH - 150 AMP CIRCUIT BREAKER - 90 SECOND DEACTIVATION TIMER (HELPS PREVENT UNAUTHORIZED USE) - PRESSURE RELIEF VALVE (PREVENTS OPERATOR FROM OVERLOADING THE PLATFORM) *** INCLUDES ACME HITCH COMPATIBLE WITH LIFTGATE ***	<b>\$5,027.00</b>	
7" BUMPERETTE MOUNTED ON REAR OF SERVICE BODY (1 EACH SIDE OF LIFTGATE) - BOLTED TO REAR OF BODY - HELPS ACCESSING BODY WITHOUT USING THE LIFTGATE - POWDER COATED WHITE	<b>\$808.00</b>	<b>Yes / No</b>
(2) NORTH AMERICAN AMBER/CLEAR COMBO SURFACE MOUNTED STROBES AT REAR OF BODY	<b>\$452.00</b>	<b>Yes / No</b>

**Terms & Conditions**

- Terms are Due Upon Receipt unless prior credit arrangements are made at the time of order.
  - Please note if chassis is furnished, it is as a convenience and terms are Net Due on Receipt of Chassis.
  - Restocking fees may be applicable for cancelled orders.
  - MTE is not responsible or liable for equipment that does not meet local/state regulations if those laws are not made known at time of order.
- By signing and accepting this quote, the customer agrees to the terms listed above and has confirmed that all chassis information listed above is accurate to chassis specs.

<b>Re-Assign (Required for all pool units):</b>	<input type="checkbox"/> Fleet	<input type="checkbox"/> Retail	<b>Customer P.O. Number:</b>	<b>Dealer Code:</b>	<b>Sourcewell Member Number:</b>
<b>MSO/MCO (ONLY check if legally required):</b>	<input type="checkbox"/> MCO	<input type="checkbox"/> MSO			
<b>Customer Signature:</b>			<b>Date of Acceptance:</b>		





812 Draper Avenue  
Joliet, IL 60432  
Sales Rep: Tom Markel  
Ph: (331) 229-0744  
www.MonroeTruck.com

J.O. #

Quotation ID: 4BD0006045

Date: 7/18/2023

Valid thru: 8/17/2023

Terms: NET 30

Quoted by: Bob Drews

Ph/Fax: 815-280-4237 / 815-727-5429

**Quoted to:**

NORTH AURORA, VILLAGE OF (ATTN: ADAM HAKE)  
25 E. STATE STREET  
NORTH AURORA, IL 60542  
Ph: 630-897-8228 / Fax: 630-897-8258  
Email: ahake@northaurora.org

**TRUCK # 149 (WATER DEPT.)**

**Chassis Information**

Year: 2019	Make: FORD	Model: F-250	Chassis Color:	Cab Type: EXTENDED
Single/Dual: SRW	CA: 56.0	CT: -1.0	Wheelbase: 164.0	Engine: GAS
			F.O. Number #:	Vin:

**Notes: DOES NOT INCLUDE REMOUNTING OF THE REMOVED UTILITY BODY**

Monroe Truck Equipment, Inc. is pleased to offer the following quote for your review:

Description	Amount	
REMOVE EXISTING SERVICE BODY, BUMPER, HEADACHE RACK AND LIGHT BAR		
98" READING CLASSIC II ALUMINUM SERVICE BODY W/ 50" TAPERED PANEL TOP		
- ALUMINUM UNDERSTRUCTURE		
- 48.5" LOAD SPACE		
- 3/16" ALUMINUM DIAMOND PLATE FLOOR		
- HEAVY GAUGE, ALL ALUMINUM DOOR CONSTRUCTION		
- HIDDEN DOOR HINGES		
- STAINLESS STEEL ROTARY PADDLE LATCHES		
- NITROGEN GAS STRUT DOOR HOLDERS		
- AUTOMOTIVE BUBBLE TYPE & MECHANICAL DOOR SEALS		
- EAGLE BEAK STYLE ROLLED & PRESSED DRIP EDGE		
- ADJUSTABLE COMPARTMENT TRAYS/SHELVES		
- SEAMLESS WHEELHOUSE PANEL		
- LED S/T/T LIGHTS RECESSED IN BODY END PANELS		
- MASTER LOCKING FOR COMPARTMENT DOORS		
- ACRYLIC E-COAT IMMERSION PRIMER SYSTEM & POWDER COATED FINISH *** WHITE ***		
- TAPERED PANEL TOP		
- (2) LED INTERIOR CARGO LIGHTS W/ SWITCH		
- SOLID PANEL REAR SWING OUT DOORS W/ S.S. ROTARY LOCK		
- (2) CONDUIT ACCESS DOORS AT REAR		
- GRAB HANDLE AT REAR OPENING		
- INSTALLED		
BUMPER: TREAD PLATE, RECESSED W/ L.E.D. MARKER LIGHTS - POWDER-COATED WHITE		
RELOCATE TRAILER RECEPTACLE		
RELOCATE BACK UP CAMERA		
(2) WHELEN TLIF AMBER/CLEAR LED STROBE LIGHTS		
- MOUNTED ON REAR OF SERVICE BODY		
<b>Additional Options:</b>	<b>Quote Total:</b>	<b>\$20,627.00</b>
<b>Description</b>	<b>Amount</b>	<b>Add to quote?</b>
SPRAY LINER OF LOADSPACE	\$1,805.00	Yes / No
- FLOOR AND SIDEWALLS OF CARGO AREA		
SIDE ACCESS DOORS OF PANEL BODY	\$2,604.00	Yes / No
- BOTH SIDES		
WHELEN TAM85 TRAFFIC ADVISOR	\$1,990.00	Yes / No
- CAB MOUNTED CONTROLLER		
- 8 LAMP SUPER-LED AMBER (46.82" LONG)		
- MOUNTED ABOVE REAR DOORS		



Description	Amount	Add to quote?
(4) ABL 3000 LUMENS WORK (FLOOD) LIGHT: CLEAR, L.E.D. - (1) MOUNTED ON AT EACH CORNER	\$1,332.00	Yes / No
3000 WATT POWER INVERTER - MOUNTED IN CURBSIDE FRONT COMPARTMENT - AUX. BATTERY AND CASE W/ VENTING	\$2,379.00	Yes / No

#### Terms & Conditions

- Terms are Due Upon Receipt unless prior credit arrangements are made at the time of order.
- Please note if chassis is furnished, it is as a convenience and terms are Net Due on Receipt of Chassis.
- State and Federal taxes will be added where applicable. **Out-of-state municipal entities may be subject to Wisconsin sales tax.**
- Restocking fees may be applicable for cancelled orders.
- MTE is not responsible or liable for equipment that does not meet local/state regulations if those laws are not made known at time of order.

By signing and accepting this quote, the customer agrees to the terms listed above and has confirmed that all chassis information listed above is accurate to chassis specs.

Re-Assign (Required for all pool units):	<input type="checkbox"/> Fleet	<input type="checkbox"/> Retail	Customer P.O. Number:	Dealer Code:	Sourcewell Member Number:
MSO/MCO (ONLY check if legally required):	<input type="checkbox"/> MCO	<input type="checkbox"/> MSO			
Customer Signature:				Date of Acceptance:	

# Memorandum



To: Mark Gaffino, Village President & Board of Trustees  
Cc: Steven Bosco, Village Administrator  
From: Brian Richter, Public Works Director  
Date: August 14, 2023  
Re: Award of Bid for 2023 Tree Replacement Program

This scope of this project includes the replacement of 100 parkway trees throughout the Village with the option of adding an additional 25 trees should the need arise. The project was advertised on the Village website on July 24, 2023. In the hope of increasing competition and awareness of the project, some of the companies who downloaded the 2022 project specifications last year were notified directly of this project. This year we observed that the documents were downloaded by four third-party advertisers who then independently publish or notify interested contractors and four landscaping contractors. We received three bids on August 10, 2023. The results are displayed in the table below. The low bidder was The Fields on Caton Farm in the amount of \$34,250.00.

Table 1. Bid Results

<b>The Fields on Caton Farm</b> <b>1850 Caton Farm Rd.</b> <b>Crest Hill, IL 60403</b>	Yellowstone Landscape 23940 W. Andrew Rd. Plainfield, IL 60585	Langton Group 4510 Dean St. Woodstock, IL 60098
<b>\$34,250.00</b>	\$36,018.00	\$41,665.00*

\*The number read at the bid opening for the Langton Group was \$47,415.00. After the bid opening staff checked the numbers and found Langton Group bid amount was \$41,665.00.

Tree replacement is budgeted at \$45,000 from the General Fund from the Tree Service line item, account number 01.445.4532. Staff reached out to the references that were provided in the bid and they all had good reviews of The Fields on Caton Farm. It is the recommendation of staff that the Village Board award the contract to The Fields on Caton Farm in the amount of \$34,250.00.

## **CONTRACT FOR PARKWAY TREE REPLACEMENT PROJECT**

**THIS AGREEMENT**, made and concluded this 21st day of August, 2023, between the Village of North Aurora, an Illinois municipal corporation (hereinafter referred to as “Village”) and The Fields on Caton Farm, an Illinois Corporation (hereinafter referred to as “Contractor”) for Parkway Tree Replacement Services.

**WHEREAS**, the Village advertised for bids for Tree Replacement Project services (hereinafter “(Services)”) and provided bid specifications for such services, a copy of which is attached hereto and incorporated herein by reference as “Bid Specifications”; and

**WHEREAS**, Contractor submitted a bid for the Services in the amount of **Thirty Four Thousand Two Hundred Fifty Dollars (\$34,250)** dollars in response to the request for bids advertised by the Village, a copy of which Bid is also included in the Bid Specifications

**WHEREAS**, the Contractor’s bid was determined to be the lowest responsible bid and was accepted by the Village Board of Trustees at the regularly scheduled meeting on August 21, 2023.

**NOW THEREFORE**, in consideration of Thirty Four Thousand Two Hundred Fifty Dollars (\$34,250) to be paid by the Village to the Contractor for work completed as described by the bid specifications for tree replacement, the parties hereto agree and covenant as follows:

1. The Village and the Contractor agree the Bid Specifications attached hereto and incorporated herein are essential documents to this Contract and are made a part thereof.
2. The Contractor shall fulfill all the Services in keeping with the Bid Specifications and the Bid and shall furnish all labor and equipment necessary to perform the Services in a professional and workman like manner.
3. The Contractor shall be solely responsible for its own employees, subcontractors and agents and for the performance of the Services and shall indemnify and hold the Village harmless from and against any claims or causes of action asserted by its employees, subcontractors and agents or claims, causes of action, liabilities or damages resulting or related to the performance of the Services.

4. The Contractor shall supply a Certificate or other proof of Insurance in acceptable form to the Village as a condition to the Village's obligations under this Contract in compliance with the Bid Specifications.

5. If required pursuant to Village ordinance or the Bid Specifications, the Contractor shall supply a payment and performance bond and surety in form acceptable to the Village before performing the Services.

6. The Contractor acknowledges and agrees that, if the Illinois Prevailing Wage Act applies, the Contractor shall be responsible for such compliance and shall hold the Village and indemnify the Village from and against claims or liabilities arising from a failure to comply.

7. Either party may terminate this Agreement upon thirty (30) days written notice by registered mail, or by personal delivery of notice, to the other party.

8. This instrument contains the entire agreement between the parties, and those statements, promises, or inducements made by either party or agent of either party that are not contained in this written agreement shall not be valid or binding.

9. In any claims for breach of this contract, the prevailing party shall be entitled to recovery all of its reasonable costs, including reasonable attorney fees.

10. Any litigation brought in regard to this Contract shall be brought in the Sixteenth Judicial Circuit, Kane County, Illinois.

11. This Agreement shall not be altered or modified in any way except in writing and signed by both parties.

[signatures to follow]

**IN WITNESS WHEREOF**, the said parties have executed these presents on the date above mentioned.

**Village of North Aurora**

**The Fields on Caton Farm**

\_\_\_\_\_  
By: Mark Gaffino,

\_\_\_\_\_  
By:

\_\_\_\_\_  
Village President  
Title

\_\_\_\_\_  
Title





# Bid Bond

**CONTRACTOR:**

(Name, legal status and address)

The Fields On Caton Farm, Inc.

2412 Hacker Dr, Crest Hill  
Lockport Township, IL 60435

**OWNER:**

(Name, legal status and address)

Village of North Aurora

25 E. State Street  
North Aurora, IL 60542

**SURETY:**

(Name, legal status and principal place of business)

The Ohio Casualty Insurance Company

175 Berkeley Street  
Boston, MA 02116

**MAILING ADDRESS FOR NOTICES:**

Liberty Mutual Surety Claims

P.O. Box 34526  
Seattle, WA 98124

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

**BOND AMOUNT:** 5% of Bid Amount      Five Percent of Bid Amount

**PROJECT:**

(Name, location or address, and Project number, if any)

Parkway Tree Replacement Project

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 8th day of August, 2023

(Witness)

The Fields On Caton Farm, Inc.

(Contractor as Principal)

(Seal)

(Title)

The Ohio Casualty Insurance Company

(Surety)

(Title) Sara Grygiel - Attorney in Fact



**BID-0019752**

Liberty Mutual Surety vouches that the original text of this document conforms exactly to the text in AIA Document A310-2010 Edition Bid Bond.



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

The Ohio Casualty Insurance Company

## POWER OF ATTORNEY

Principal: The Fields On Caton Farm, Inc.

Agency Name: Mudron Kane Insurance Group

Bond Number: BID-0019752

Obligee: Village of North Aurora

Bid Bond Amount: ( 5% of Bid Amount ) Five Percent of Bid Amount

**KNOW ALL PERSONS BY THESE PRESENTS:** that The Ohio Casualty Insurance Company, a corporation duly organized under the laws of the State of New Hampshire (herein collectively called the "Company"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint **Sara Grygiel** in the city and state of **Joliet, IL**, each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Company in their own proper persons.

**IN WITNESS WHEREOF**, this Power of Attorney has been subscribed by an authorized officer or official of the Company and the corporate seal of the Company has been affixed thereto this 28th day of March, 2021.



The Ohio Casualty Insurance Company

By:

David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA ss  
COUNTY OF MONTGOMERY

On this 28th day of March, 2021, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of The Ohio Casualty Insurance Company and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as duly authorized officer.

**IN WITNESS WHEREOF**, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal  
Teresa Pastella, Notary Public  
Montgomery County  
My commission expires March 28, 2025  
Commission number 1126044  
Member, Pennsylvania Association of Notaries

By:

Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-law and Authorizations of The Ohio Casualty Insurance Company, which is now in full force and effect reading as follows:

### ARTICLE IV – OFFICERS: Section 12. Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

**Certificate of Designation** – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

**Authorization** – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature or electronic signatures of any assistant secretary of the Company or facsimile or mechanically reproduced or electronic seal of the Company, wherever appearing upon a certified copy of any power of attorney or bond issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of The Ohio Casualty Insurance Company do hereby certify that this power of attorney executed by said Company is in full force and effect and has not been revoked.

**IN TESTIMONY WHEREOF**, I have hereunto set my hand and affixed the seals of said Company this 8th day of August, 2023.



By:

Renee C. Llewellyn, Assistant Secretary



## Bid Specifications

Project:

Parkway Tree Replacement Project

Bid opening:

Thursday August 10, 2023, 10:00 A.M.

Location:

Village Hall 25 E. State St., North Aurora, IL 60542

Contact:

Brian Richter, Public Works Director, 331.385.6256



### **Advertisement for Bids**

The Village of North Aurora will receive sealed bids for the furnishing and planting of parkway trees. The bids will be received at the North Aurora Village Hall, 25 East State Street, North Aurora, Illinois 60542 until 10:00 a.m. local time on Thursday, August 10, 2023. At this time and date, the bids will be publicly opened and read aloud. All bids must be addressed as follows:

#### **SEALED BID**

Contractor Name

Re: Bid for Parkway Tree Replacement Project

Village of North Aurora  
Attn: Brian Richter  
Public Works Director  
25 East State Street  
North Aurora, IL 60542

The bid packet can be downloaded, free of charge, at the Village's website <http://northaurora.org/government/rfp-rfq-bidding.aspx> or can be picked up at 25 East State Street, North Aurora, IL 60542 beginning Monday, July 24, 2023. Addendums, if issued, will be available on the web site and must be included in the bid.

Each bid must be accompanied by a Bid Guarantee in the form of a Bid Bond from a company with an A-1 best rating, or a cashier's check in the amount of five percent (5%) of the total bid, if the bid is greater than \$10,000, and made payable to the Village of North Aurora, 25 East State Street, North Aurora, Illinois, 60542. The Village of North Aurora reserves the right to reject any or all bids and to waive irregularities and informalities in the bids received.



## **Village of North Aurora Bid Specifications for Planting Parkway Trees**

### **Description of Work**

This project will include the installation of at least 100 parkway trees with the possibility of adding 25 additional trees within the Village of North Aurora. The contractor will be responsible to provide the necessary supervision, labor, materials and equipment to furnish, excavate, plant, provide mulch and topsoil, and the initial watering of the tree. The contractor is responsible for site clean-up. All excess excavated material and debris associated with this operation shall be collected and removed from the site. The contractor will be responsible for traffic control during installation operations including barricades, flaggers, or other traffic control devices necessary to create and maintain a safe work zone and consistent automobile traffic. The contractor shall provide a door hanger furnished by the Village with instructions to the resident on how to properly care for the tree.

### **Addenda to the Bid Specifications**

Addendums, if issued, will be available on the web site and must be included in the bid.

### **Transport and Inspection**

Trees shall be protected from damage during transport. The Village will provide a staging area on the east side and west side of the river. No trees or construction materials shall be stored on the street or in the right of way overnight. Village staff will go to the nurseries to select trees for planting. Scheduling of this will be done after the contract is awarded. Upon arrival staff will inspect the trees health. Trees that are judged to be damaged or unhealthy shall be returned by the contractor and a replacement provided.

### **Locations**

All planting sites will be identified and marked by the Village by the Director of Public Works, Assistant Public Works Director/Village Engineer, or his designee before planting begins. The Village of North Aurora will provide a list of addresses for contractor use. Date planted and type of tree planted will need to be recorded for each address and given to the Village upon completion of the project. The Contractor is required to contact the Village of North Aurora 24 hours before each day's work begins and provide the locations of work.

It will be the responsibility of the Contractor to contact Julie (811) or 800-892-0123 with the locations of the proposed excavations for the trees. When underground utilities are encountered, immediately call the controlling agency and the Village of North Aurora. Contractor or subcontractor will at his expense, restore to original condition all structures, facilities and other property damaged.

## **Materials Specifications**

Nursery Stock. All trees shall be healthy, vigorous and well-grown showing evidence of proper root and top pruning, single trunk, high-branched specimens suitable for use along public streets.

Root balls and burlap. All balled and bur lapped plants shall be field grown, and the root ball packaged in a burlap and twine. All trees balled and bur lapped with ball shape and size conforming to ANSI Z60.1-2014 standards. Standards can be found at [www.americanhort.org/standard](http://www.americanhort.org/standard) . Root balls shall be adequately protected at all times from sun, heat, freezing and drying.

Backfill shall be accomplished with a suitable topsoil that shall be free of stones 1 ½" in any dimension, refuse, roots, and weeds. Muddy topsoil shall not be used for planting.

Premium Hardwood Mulch shall be used to enrich and insulate the soil.

## **Planting**

Trees are to be installed in accordance with recommendations of the International Society of Arboriculture and ANSI Z60.1-2014 standards. Standards can be found at [www.americanhort.org/standard](http://www.americanhort.org/standard) .

The trees specified for planting shall be minimum of 2-1/2" in diameter measured 6" above the burlap sack. The holes dug shall be of sufficient depth to place the root ball. The holes dug shall be under constant supervision of the contractor until the time the tree is planted. Open excavations shall be barricaded if they are left open without supervision.

When backfilling trees, the approved soil shall be free from stones greater than 1-1/2" in diameter. Soil that is found on location of acceptable quality should be used in the backfilling of the tree.

A soil berm at the edge of the root ball shall be constructed with the excess soil excavated from the hole. Excess soil that has been excavated and not used in the planting of the tree must be removed and disposed of at the contractor's expense.

Premium Hardwood Mulch shall be placed within 24 hours of the planting of the tree. The mulch shall be placed 4 inches thick over loosened soil and no more than 1 inch over the root ball. Trees shall be watered at this time as well. Water will be provided by the Village at 318 Butterfield Rd.

Stakes shall not be used unless specified by the Public Works Director or his designee.

## **Site Visit**

The contractor is encouraged to visit several site locations to understand job site conditions.

## **Additions and Deletions**

The Village of North Aurora reserves the right to add or delete trees to the contract within reason. Contract additions and deletions will be based on the unit price costs furnished in the Schedule of Prices.

## **Warranty**

Contractor guarantees that all trees remain alive and healthy until the end of the **one (1) year warranty period**. Contractor replaces, as specified at his expense, any dead trees and any trees that in the opinion of the Superintendent of Streets or his designee that has become unhealthy or unsightly. If the trees are judged to be dead, diseased, dying, or in poor health for any reason, the contractor must replace the tree.

## **Warranty Security**

As part of this project, the Village of North Aurora will require the contractor to post a refundable warranty security in the amount of \$2,500.00 in the form of cashier's check or letter of credit in form acceptable to the Village. This security will be released after the warranty obligations have been fulfilled.

## **Time of Completion**

The project must be completed by November 18, 2023 or when ground becomes frozen, whichever occurs first. An extension in time must be requested in writing and approved by the Public Works Director or the Assistant Public Works Director/Village Engineer.

## **Bid Bond**

If the bidder's proposal for the project is equal to or greater than \$10,000, a bid bond or certified check in the amount of five percent (5%) of the bidder's proposal will be required. No bid bond will be required if the proposal for the project is less than \$10,000.

## **Indemnification**

The policy limits availability or unavailability of insurance coverage or the applicability of claims, defenses or limitations based upon applicable law (including but not limited to the Illinois Workers' Compensation Act or similar laws or statutes) shall in no way limit the Contractor's obligation to indemnify and hold harmless the Village from any claims for damage, liabilities or other costs arising out of or relating to the Contractor's work as outlined in this contract.

## Insurance Requirements:

The Contractor will be required to meet our standard insurance requirements. Unless otherwise specified the Contractor shall, before commencing work hereunder, procure and thereafter maintain policies of insurance satisfactory to the Village of North Aurora. The contractor shall supply a certificate of insurance with the Village of North Aurora an additionally named insured in the following minimum amounts with specific coverage which includes underground, explosion, and collapse.

Property Damage	\$1,000,000 (each accident)
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Bodily Injury	\$ 500,000 (each person)
	\$1,000,000 (each accident)

Workmen's Compensation Insurance: All Liability imposed  
Workmen's Compensations stature

Employer's Liability Insurance	\$100,000
Contractual Liability Insurance	\$500,000
Completed Operations Insurance	\$500,000
Owned, Hired and non-Ownership Vehicle Bodily Injury and Property Damaged to the Following Limits	

Bodily injury, including accidental death	\$ 500,000 (each person)
	\$1,000,000 (each accident)

Property damage	\$1,000,000 (each accident)
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## Schedule of Prices\*

The Village wants to maintain diversity among its parkway trees. To maintain diversity the Village has indicated the quantity of trees required in each group of Table 1 below. Each group is assigned a required quantity of trees. The contractor must furnish the total number of trees in each group from among the species listed within the group. A quantity of zero should be entered for a tree that will not be supplied within a group. If the contractor would like to substitute a species of tree, approval must be granted in writing by the Director of Public Works or the Assistant Public Works Director/Village Engineer.

### Instructions for Table 1. Schedule of Prices.

Please complete the Schedule of Prices below by providing the Quantity Supplied, Unit Price, and Total Cost and return with your bid. If you choose to provide a quantity of zero include a unit price anyway in the event the Village would like to add that specific tree.

Table 1. Schedule of Prices

Group 1 (30 Trees)		Quantity Supplied (30)	Unit Price	Total Cost
Common Name	Botanical Name			
Autumn Blaze Maple	Acer rubrum	10	335.00	3350.00
State Street Maple	Acer miyadei	10	335.00	3350.00
Sycamore Maple	Acer pseudo-platanus		800.00	
Sugar Maple	Acer saccharum		350.00	
Marmo Freeman Maple	Acer freemanii 'Marmo'	10	335.00	3350.00
Sienna Glen Maple	Acer x freemanii 'Sienna'		350.00	
Group 1 Total must = 30 Trees		30	Group 1 Total	10,050.00

Group 2 (10 Trees)		Quantity Supplied (10)	Unit Price	Total Cost
Common Name	Botanical Name			
Bur Oak	Quercus macrocarpa		375.00	
Chinkapin Oak	Quercus myehlenbergii		375.00	
Swamp White Oak	Quercus bicolor	10	365.00	3650.00
Red Oak	Quercus rubra		375.00	
Shingle Oak	Quercus imbricaria 'Fagaceae'		375.00	
Sawtooth Oak	Quercus acutissima		375.00	
Group 2 Total must = 10 Trees		10	Group 2 Total	3650.00

Group 3 (10 Trees)		Supplied (10)	Price	Cost
Common Name	Botanical Name			
Redmond Linden	Tilia Americana 'Redmond'		340.00	
Silver Linden	Tilia tomentosa	10	340.00	3400.00
Little Leaf Linden	Tilia cordata		340.00	
Group 3 Total must = 10 Trees		10	Group 3 Total	3400.00

**Group 4 (30 Trees)**

Common Name	Botanical Name	Quantity Supplied (30)	Unit Price	Total Cost
Triumph Elm	Ulmus 'Morton Glossy'	15	335.00	5025.00
Accolade Elm	Ulmus davidiana var. japonica 'Morton'		365.00	
Patriot Elm	Ulmus 'Patriot'	15	335.00	5025.00
New Horizon Elm	Ulmus 'New Horizon'		365.00	
Pioneer Elm	Ulmus 'Pioneer'		395.00	
Frontier Elm	Ulmus 'Frontier'		395.00	
Prairie Elm	Ulmus Americana 'Lewis & Clark'		335.00	
Princeton Elm	Ulmus Americana 'Princeton'		335.00	

Group 4  
 Group 4 Total must = 30 Trees 30 Total 10,050.00

**Group 5 (20 Trees)**

Common Name	Botanical Name	Quantity Supplied (20)	Unit Price	Total Cost
Bloodgood-London Planetree	Platanus acerifolia 'Bloodgood'	-	375.00	
London Planetree	Platanus acerifolia		375.00	
Skyline Locust	Gleditsia triacanthos	20	355.00	7100.00
Kentucky Coffee Tree (male only)	<del>Gymnocladus dioica</del>	-	-	-
Prairie Pride Common Hackberry	Celtis occidentalis 'Prairie Pride'		375.00	

Group 5  
 Group 5 Total must = 20 Trees 20 Total 7100.00

Group 1-5 Total Cost 100 Trees \$ 34,250.00  
 {Overall Total Cost Group 1-5}

\*Village reserves ability to swap trees of the same price in the above list as supply allows.

## Contract

The contract shall be deemed as being awarded when formal notice shall have been duly served upon the intended awardee by an officer of the Village of North Aurora duly authorized to give such notice.  
**Bid will be awarded to lowest responsible total base bid amount, pending compliance with instruction to bidder's document.**

### I. Bidding company contact information

Company name: THE FIELDS ON CATON FARM, INC.

Company address: 2412 HACKER DRIVE CREST HILL, FL 60403

Contact name: BRIAN NEUMANN

Contact address: 1850 CATON FARM RD CREST HILL, FL 60403

Contact phone #: OFFICE 815-744-7841 or CELL 630-742-9401

Contact email: BNEUMANN@FIELDSNURSERY.COM

### II. Parkway Tree Planting Bid

I have read the scope provided in this bid document along with all associated appendices and agree to perform all of the work identified to successfully complete the planting of 100 parkway trees for the not to exceed amount of:

Tree planting unit cost bid in words (total cost carried forward from schedule of prices):

THIRTY FOUR THOUSAND TWO HUNDRED FIFTY DOLLARS AND  
ZERO CENTS

Tree planting unit cost bid in figures (total cost carried forward from schedule of prices):

\$ 34,250.00

I BRIAN NEUMANN verify that I am authorized to  
(print name)

provide the above pricing on behalf of THE FIELDS ON CATON FARM, INC.  
(company name)

And will hold the above pricing for a period of 90 days from the date of the bid opening.

  
Signature

8/10/23  
date

## Contractor's Certification

In compliance with P.A. 85-1295-Illinois Revised Statute, Chapter 31, Section 33E-11, and applicable local ordinances.

Print Name:

Contractor THE FIELDS ON CATON FARM, Inc. Corporation THE FIELDS ON CATON FARM, Inc.  
Individual \_\_\_\_\_ Partnership \_\_\_\_\_

As part of his/her bid on the above sole-referenced Contract, hereby certifies that the Contractor is not barred from bidding on the above referenced contract as a result of a violation of either Section 33E-3 Bid-rigging or 33E-4 Bid-stating of Article 33E of the Illinois Criminal Code of 1961, as amended.

Date: 08/10/23

Contractor By: [Signature]

Title: Brian Neumann - President

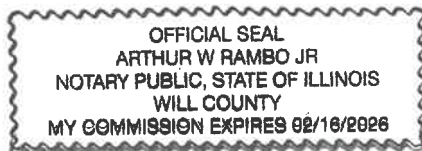
(State of Illinois) SS County of Will

I, the undersigned, a notary public in and for the State and County aforesaid, hereby certify that

Brian Neumann - President appeared before me this day in person and, being first duly sworn an oath, acknowledged that he/she executed the foregoing certification as his/her free act and deed.

Dated: 08/10/23

Notary Public: [Signature]



### List of Subcontractors and Suppliers

The sub-contractors and suppliers listed below will be involved in this contract work in the assignments listed. We understand that any deviation from this list must be requested and approved in writing ten (10) days before the start of the work that is involved.

**Failure to complete this list may result in rejection of bid**

Legal name, current telephone number and address of all subcontractors must be included.

#### Sub-Contractors

#### Work Assignment

NONE	

#### Suppliers

#### Material

THE FIELDS ON CATON FARM, Inc.	Nurseay STOCK OWN
	Nurseay

## Contractor Bid Agreement

To: The Village of North Aurora  
25 E. State Street  
North Aurora, IL 60542

The undersigned bidder, in compliance with your advertisement for bids for work as specified, and related documents prepared by or at the direction of the Village of North Aurora, Owner, and having examined the locations and being familiar with all conditions surrounding the Work, including availability of labor and material, does hereby proposed to furnish materials, labor, equipment and services and pay for same and shall perform all work required for the completion of the Project, in accordance with the contract documents and at the price stated.

Bidder certifies this bid to be for the project described in the Instruction to Bidders document and to be in accordance with plans, specifications and contract documents, including the invitation for bids.

In no event shall any delays or extensions of time be construed as cause or justification for payment of extra compensation to the contractor. Any claims for an increase of the contract time shall be made in writing to the Village within seven (7) days of the cause.

Signed: 

Print Name: BRIAN NEUMANN

Title: PRESIDENT

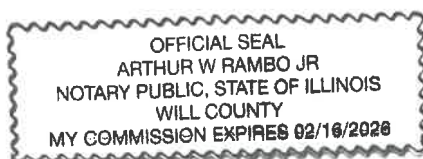
Date: 08/10/23

(State of Illinois) SS County of WILL

I, the undersigned, a notary public in and for the State and County aforesaid, hereby certify that BRIAN NEUMANN - PRESIDENT appeared before me this day in person and, being first duly sworn an oath, acknowledged that he/she executed the foregoing certification as his/her free act and deed.

Dated: 08/10/23

Notary Public: 



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**VILLAGE OF NORTH AURORA  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR  
**FROM:** NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR  
**SUBJECT:** PETITION #23-03: FIRE STATION 1 PUD (23 N. LINCOLNWAY)  
**AGENDA:** AUGUST 21, 2023 REGULAR VILLAGE BOARD MEETING

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**ITEM**

An Ordinance Approving a Map Amendment and a Special Use for a Planned Unit Development for 1.7 Acres of Property to be Known as The North Aurora Fire Protection District Station 1. There are four requests for approval being made to the Village as part of Petition #23-03:

**1. *Map Amendment***

The subject property is currently located in the Village's O-R Office and Research District and the R-2 Single Family Residence District. The petitioner is requesting a Map Amendment to rezone the properties to the B-3 Central Business District. It is anticipated that a majority of the Block One area will be eventually rezoned to the B-3 Central Business District zoning classification.

**2. *Special Use –Planned Unit Development***

The Planned Unit Development will grant a special use for a "Government Office or Facility (Non-Village)." It will also grant the following code exceptions:

- Reducing the 50-foot landscape buffer (Section 17.14.010.C.3.A) to 20 feet along Lincolnway (IL 31).
- Reducing the rear yard abutting residential (Section 17.8.3) setback from 40 feet to 35 feet.
- Approving the accessory structure location (Section 17.12.3.B) for the generator and covered patio as shown on the plans.
- Approving the maximum building height of 40 feet (Section 17.8.3).
- Reducing the required number of parking spaces from 81 to 38 (Section 17.13.13).
- Approving the parking lot layout and landscaping as shown on the plans (Section 17.14.8 & 17.14.9).

**3. *Site Plan Approval***

Per Section 17.4.4.B of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

#### **4. Final Plat Approval**

The property currently is divided into several lots. A plat of subdivision would be approved to consolidate the lots and dedicate any needed utility easements. The new lot would be 1.7 acres.

A public hearing was held before the Plan Commission at their August 1, 2023 meeting. The Plan Commission unanimously recommended approval of Petition #23-03, subject to five (5) added staff conditions and one (1) added Commission condition. Two (2) additional conditions have been added to the final ordinance to address future development and construction staging. The conditions are:

1. The landscape plan shall be updated to add a densely planted compact hedge not less than five feet in height between the parking lot and the alley on the east side. The plan shall also be reviewed for the vision triangle.
2. A photometric plan shall be approved by the Village prior to building permit issuance.
3. All dumpsters located on the subject property shall be screened per Section 17.14.11.A of the Zoning Ordinance. The generator shall be screened with a combination of fencing/wall and landscaping per Section 17.12.3.D.
4. All ground-mounted and rooftop mechanicals shall be properly screened per the requirements of the Zoning Ordinance.
5. All signage shall adhere to the requirements of the Sign Ordinance.
6. Investigate pavement striping and hashing at the new apparatus egress apron on Lincolnway (IL 31) to prevent vehicle queuing and improve driver awareness.
7. The Subject Property may be incorporated harmoniously into a PUD for the entirety of Block One when the rest of Block One is ready for redevelopment at the discretion of the village, provided that any amendment to this PUD and consolidation into a future Block One PUD shall not substantially change or interfere with the use of the Subject Property as approved hereby.
8. All off-site construction staging, parking, soil stockpiling, construction traffic, or other construction related impacts shall be reviewed and approved by the Village. The Village reserves all rights to any adjacent Village owned land. The Developer may utilize adjacent Village owned land at the sole discretion of the Village.

Staff solicited feedback from the Village Board at the August 7, 2023 Committee of the Whole meeting. The Board had generally positive feedback with some questions on the architecture.





**VILLAGE OF NORTH AURORA  
KANE COUNTY, ILLINOIS**

**Ordinance No. \_\_\_\_\_**

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**APPROVING A MAP AMENDMENT AND A SPECIAL USE FOR A PLANNED UNIT  
DEVELOPMENT FOR 1.7 ACRES OF PROPERTY TO BE KNOWN AS THE NORTH  
AURORA FIRE PROTECTION DISTRICT STATION 1  
IN THE VILLAGE OF NORTH AURORA**

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**Adopted by the  
Board of Trustees and President  
of the Village of North Aurora  
this \_\_\_\_ day of \_\_\_\_\_, 2023**

**Published in Pamphlet Form  
by authority of the Board of Trustees of the  
Village of North Aurora, Kane County, Illinois,  
this \_\_\_\_ day of \_\_\_\_\_, 2023  
by \_\_\_\_\_.**

**Signed \_\_\_\_\_**

**ORDINANCE NO. \_\_\_\_\_**

**APPROVING A MAP AMENDMENT AND A SPECIAL USE FOR A PLANNED UNIT  
DEVELOPMENT FOR 1.7 ACRES OF PROPERTY TO BE KNOWN AS THE NORTH  
AURORA FIRE PROTECTION DISTRICT STATION 1  
IN THE VILLAGE OF NORTH AURORA**

**WHEREAS**, a petition for a Special Use as a Planned Unit Development for certain real estate described herein (the “Petition”) has been filed with the Village of North Aurora, an Illinois municipal corporation (“Village”) by the North Aurora Fire Protection District, (“Developer”) with the consent of the owners, the Village of North Aurora (“Owners”) for the real estate described below; and

**WHEREAS**, the real estate to which the Petition applies includes parcels of land at the corner of Lincolnway (IL 31) and Oak Street that are legally described in the document attached hereto and incorporated herein as Exhibit A (which parcels in the aggregate are the “Subject Property”) and are currently zoned O-R Office and Research District and the R-2 Single Family Residence District; and

**WHEREAS**, the North Aurora Plan Commission (“Plan Commission”) has held public hearings on the Petition for Map Amendment and Petition for a Special Use – Planned Unit Development for the new fire station to be known as Fire Station 1 and site plan review in accordance with State and local laws, including the notice requirements for the public hearings, as described in the Plan Commission draft minutes and application material attached as Exhibit F; and

**WHEREAS**, the North Aurora Village Board (“Village Board”) has long planned for the redevelopment of Block One, including the Subject Property, and has determined that moving Fire Station 1 to the Subject Property and incorporating it harmoniously into the redevelopment plan for Block One is in the best interests of the Village of North Aurora; and

**WHEREAS**, the Village Board has received and reviewed the favorable recommendation of the Plan Commission with certain conditions in keeping with all the factors required to be considered for map amendments and special use/PUDs, has adopted the findings of the Plan Commission, and has determined that granting the map amendment and special use/PUD requests is warranted and in the best interests of the Village.

**NOW, THEREFORE**, be it ordained by the President and Trustee of the Village of North Aurora, Kane County, Illinois, as follows:

## **SECTION 1: MAP AMENDMENT**

That the Village of North Aurora Zoning Ordinance (the “Zoning Ordinance”) as amended from time to time, and as set forth in the Zoning District Map as described therein and on file in the office of the Village Clerk, is hereby amended by granting for the Fire Station 1 Parcels the following the zoning classification of B-3, Central Business District.

## **SECTION 2: DEVELOPMENT OF SUBJECT PROPERTY**

Development of the Subject Property shall be undertaken with the redevelopment of all of Block One in mind and harmoniously with the entirety of Block One in conformity with all applicable ordinances of the Village as now in effect, including the provisions for B-3, Central Business District zoning, except as otherwise provided or specifically varied herein and in accordance with the additional procedures, definitions, uses, and restrictions contained herein.

### **A. ZONING AND LAND USE REQUIREMENTS**

Except to the extent of the express and specific deviations contained in this Ordinance and the attachments hereto, the Subject Property shall be developed in compliance with the setbacks; yards distance requirements, parking spaces, and other terms and conditions of the B-3, Central Business District and other applicable zoning, subdivision, building and other provisions of the North Aurora Code as the same exists on the effective date hereof.

(1) Use. The Subject Property is approved as a planned unit developed (PUD) for “Government Office or Facility (Non-Village)” use with the deviations and exceptions approved by and subject to the terms and conditions of this Ordinance.

(2) Deviations. The following deviations and exceptions to B-3, Central Business District zoning, the generally applicable provisions of the North Aurora Zoning Code, and the Subdivision Control Code are hereby approved for the Subject Property:

(a) Reducing the 50 foot landscape buffer (Section 17.14.010.C.3.A) to 20 feet along Lincolnway (IL 31).

(b) Reducing the rear yard abutting residential (Section 17.8.3) setback from 40 feet to 35 feet.

(c) Approving the accessory structure location (Section 17.12.3.B) for the generator and covered patio as shown on the plans approved hereinbelow.

(d) Approving the maximum building height of 40 feet (Section 17.8.3).

(e) Reducing the required number of parking spaces from 81 to 38 (Section 17.13.13).

(f) Approving the parking lot layout and landscaping as shown on the plans approved hereinbelow (Section 17.14.8 & 17.14.9).

(3) Conditions. The following conditions of the special use/PUD are hereby imposed:

(a) The preliminary landscape plan approved hereinbelow shall be updated to add a densely planted compact hedge not less than five feet in height between the parking lot and the alley on the east side. The plan shall also be reviewed and subject to further requirements to maintain a safe vision triangle.

(b) A photometric plan shall be approved by the Village prior to building permit issuance, subject to the applicable Code requirements.

(c) All dumpsters located on the subject property shall be screened per Section 17.14.11.A of the Zoning Ordinance. The generator shall be screened with a combination of fencing/wall and landscaping per Section 17.12.3.D.

(d) All ground-mounted and rooftop mechanicals shall be properly screened per the requirements of the Zoning Ordinance.

(e) All signage shall adhere to the requirements of the Sign Ordinance.

(f) Investigate pavement striping and hashing at the new apparatus egress apron on Lincolnway (IL 31) to prevent vehicle queuing and improve driver awareness.

(g) The Subject Property may be incorporated harmoniously into a PUD for the entirety of Block One when the rest of Block One is ready for redevelopment at the discretion of the village, provided that any amendment to this PUD and consolidation into a future Block One PUD shall not substantially change or interfere with the use of the Subject Property as approved hereby.

(h) All off-site construction staging, parking, soil stockpiling, construction traffic, or other construction related impacts shall be reviewed and approved by the Village. The Village reserves all rights to any adjacent Village owned land. The Developer may utilize adjacent Village owned land at the sole discretion of the Village.

**B. BUILDING & CIVIL PLANS, LANDSCAPE PLANS, ELEVATIONS, AND PLAT OF SUBDIVISION**

The Building & Civil Plans and Landscape Plan for the Subject Property, and other supporting and explanatory development documents are attached hereto, marked as Exhibits as hereinafter shown, and are incorporated herein. Such Exhibits have been reviewed by the Plan Commission and are hereby approved by the Village Board. This approval shall constitute Site Plan approval as required by Village Ordinances for the following plans:

(1) The Building & Civil Plans for the Subject Property prepared by Dewberry Architects Inc and dated 6-29-23 is attached hereto and incorporated herein as Exhibit B (“Building & Civil Plans”).

(2) The Landscape Plan for the Subject Property prepared by Dewberry Architects Inc and dated 6-29-23 is attached hereto and incorporated herein as Exhibit C (“Landscape Plans”)

(3) The Building Elevations and Renderings for the Subject Property prepared by Dewberry Architects Inc and dated 6-29-23 is attached hereto and incorporated herein as Exhibit D (“Building Elevations”)

(4) The North Aurora Fire Station 1 Consolidation Final Plat of Subdivision for the Subject Property prepared by Compass Surveying, Ltd. And dated 6-16-23 is attached hereto and incorporated herein as Exhibit E (“Final Plat”)

**C. DEVELOPMENT PLANS**

Exhibits B through E inclusive, are sometimes referred to collectively herein as the “Development Plans”. The Development Plans are approved by the Village in their entirety and any provisions or requirement contained in any ordinance, regulation, directive or procedure of the Village exclusive of this Ordinance or in conflict with any aspect or element of the Development Plans shall be deemed varied hereby so as to conform with and permit the development, use, maintenance and operation of the Subject Property in substantial conformance with the Development Plans described herein. In all other respects, and to the extent they do not conflict with the Development Plans or any provision of this Ordinance, the Zoning Ordinance and other ordinances of the Village, as the same exists and the effective date hereof shall apply to, and be complied with, in the development, use, maintenance and operation of the development of the Subject Property.

**SECTION 3: FINAL PLAT**

A. FINAL PLAT APPROVAL

Developer shall be entitled to approval of a final plat of subdivision and final engineering plans for the Subject Property so long as such final plat, final engineering plans and other submissions substantially conform to Development Plans herein approved. The Community Development Director has the authority to approve any final plans that are in substantial conformance with the Development plans as confirmed by the Village Engineer for technical provisions. The final platting and development of the Subject Property may be done in Phases.

Developer hereby releases and discharges the Village, its officers, other officials, agents and employees, past, present and future, from any liability, losses, judgments, costs, fees, including reasonable attorney's fees, and expenses arising out of or in connection with the Village's good faith failure to approve final plans within the time limits hereafter provided. Without limiting the foregoing release, however, Developer does not relinquish its rights to receive approval of such final plans, including a final plat of subdivision and final engineering plans, and to such extent Developer retains the right to legal or equitable action against the Village for declaratory judgment, injunctive relief and mandamus with respect thereto.

The Village shall approve or disapprove the final Development Plans in keeping with the provisions of this Ordinance. Changes to the Development Plans shall approved as provided in Section 4 of this Ordinance, and the Developer shall cooperate with the Community Development Director and Village Engineer in the creation of an Engineer's Estimate Opinion of Probable Cost in keeping with the approved Development Plans.

B. FINAL PLAT REQUIREMENTS

The final plat and final engineering plans shall be prepared and submitted in accordance with the Village's Subdivision Regulations, except as specifically amended or otherwise provided herein.

**SECTION 4: CHANGES TO THE PLANNED UNIT DEVELOPMENT**

The Subject Property shall be developed in compliance with this Ordinance. Technical and minor changes may be approved by the Community Development Director with the advice and recommendation of the Village Engineer and/or Fire Chief of the North Aurora and Countryside Fire Protection District as appropriate. Technical changes shall include any change to the engineering plans and specifications, and any change to the building plans, which is determined by the Community Development Director (i) in substantial compliance with the Development Plans attached hereto; (ii) in compliance with the Village ordinances, except as specifically varied herein; and (iii) in compliance with good engineering practice. Any other changes that are not of a technical or minor nature must be approved in accordance with the procedures and provisions set forth in the North Aurora Zoning Ordinance.

## **SECTION 5: ON-SITE EASEMENTS AND IMPROVEMENTS**

### **A. GRANT OF EASEMENTS**

At the time of recordation of the final plat for the Subject Property, Developer shall grant to the Village, at no cost to the Village, on-site easements necessary for the provision of public improvements, including but not limited to easements for sanitary sewer, water main, electric utility, storm sewer, storm water detention and retention, and drainage facilities of sufficient capacity and elevation to provide free flowing and unobstructed outfall of storm water from areas tributary to the Subject Property, as depicted on the Development Plans or as required by the Village Ordinance. Except for such time to effectuate the reconnection of any public utility system, there shall be no disruption or discontinuation of the operation of any public utility system, or storm or surface water drainage system by virtue of establishing new easements and vacation of any of existing easements.

### **B. ABROGATION OF UNUSED EASEMENTS**

Subject to the requirements of this Section and at the time of recordation of the final plat for the Subject Property, the Village shall vacate or fully cooperate with Developer in causing the vacation of any easements currently located upon portions of the Subject Property that are no longer of use or required by the Village, if any (“Vacated Easements”). During the development of the Subject Property, if Developer determines that any other existing utility easements and/or lines require relocation to facilitate development of the Subject Property in accordance with the applicable approved plans, the Village shall fully cooperate with the Developer in causing the vacation and relocation of such additional existing easements. If any easement granted to the Village as a part of the development of the Subject Property is subsequently determined to be in error or located in a manner inconsistent with the intended development of the Subject Property as reflected on any of the approved plans or in this Ordinance, the Village shall fully cooperate with Developer in vacating and relocating such easement and utility facilities located therein, which costs shall be borne by the Developer having responsibility therefor. Notwithstanding the foregoing, and as a condition precedent to any vacation of any easement, the responsible Developer shall pay for the cost of design and relocation of any such easement and the public utilities located therein.

## **SECTION 6: GUARANTY FOR PUBLIC IMPROVEMENTS**

After approval of the final plat and prior to signature by the President, Developer shall present a corporate surety bond or letter of credit to guarantee completion of water distribution lines, sanitary sewer lines, storm water sewer lines, detention and retention facilities, and other applicable subdivision improvements identified in the Development Plans to be dedicated to the Village or other governmental body (“Public Improvements”) for the development so platted as required by this Ordinance (guaranteeing completion and payment of the Public Improvements),

herein sometimes collectively referred to as the “Guarantee for Completion”, naming the Village as beneficiary or obligee, as required and in keeping with the Village Code requirements.

#### **SECTION 7: BUILDING CODE AND SUBDIVISION CONTROL ORDINANCE**

Developer shall comply in all respects with the generally applicable provisions of Village of North Aurora Subdivision provisions, Building Code provisions, and other provisions of the North Aurora Municipal pertaining to the development and construction, except as amended by the provisions of this Ordinance.

#### **SECTION 8: COMPLIANCE WITH STATE STATUTES**

In the event that any one or more provisions of this Ordinance do not comply with any one or more provisions of the Illinois Compiled, the Village and Developer, and all of their respective successors and assigns, agree to cooperate to comply with said provisions which shall include, but not limited to, the passage of resolutions and ordinances to accomplish such compliance.

#### **SECTION 9: CONFLICT IN REGULATIONS AND ORDINANCES**

The provisions of this Ordinance shall supersede the provisions of any ordinance, code, or regulation of the Village which may be in conflict with the provisions of this Ordinance. However, all ordinances which are not inconsistent with or contrary to this Ordinance shall be applicable to the Subject Property.

#### **SECTION 10: INCORPORATION OF EXHIBITS**

All exhibits attached to this Ordinance are hereby incorporated herein and made a part of the substance hereof.

#### **SECTION 11: EFFECTIVE DATE**

This Ordinance shall become effective from and after its passage and approval in accordance with law.



Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois  
this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_  
day of \_\_\_\_\_, 2023, A.D.

Jason Christiansen \_\_\_\_\_

Laura Curtis \_\_\_\_\_

Mark Guethle \_\_\_\_\_

Michael Lowery \_\_\_\_\_

Carolyn Bird Salazar \_\_\_\_\_

Todd Niedzwiedz \_\_\_\_\_

Approved and signed by me as President of the Board of Trustees of the Village of North  
Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

\_\_\_\_\_  
Mark Gaffino, Village President

ATTEST:

\_\_\_\_\_  
Jessi Watkins, Village Clerk

**Exhibit A**  
Fire Station 1

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876 AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001044, AND ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE SOUTH 80 DEGREES 43 MINUTES 37 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID LOT 29, A DISTANCE OF 4.40 FEET TO A LINE PARALLEL WITH AND 4.40 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES TO, THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1 FOR THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 21 MINUTES 04 SECONDS EAST ALONG SAID PARALLEL LINE, 376.72 FEET TO A POINT THAT IS 12.40 FEET NORTHERLY OF THE SOUTHERLY LINE OF SAID LOT 17; THENCE SOUTH 76 DEGREES 55 MINUTES 50 SECONDS WEST, 185.86 FEET TO THE INTERSECTION OF THE SOUTHERLY LINE OF SAID LOT 17 AND THE EASTERLY LINE OF ILLINOIS ROUTE 31 PER DOCUMENT 2010K023505; THENCE NORTH 80 DEGREES 45 MINUTES 22 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 17, A DISTANCE OF 189.87 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 17, SAID SOUTHEASTERLY CORNER BEING ON THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1; THENCE NORTH 09 DEGREES 21 MINUTES 04 SECONDS WEST ALONG SAID WESTERLY LINE, 389.12 FEET TO THE POINT OF BEGINNING;

ALL IN KANE COUNTY, ILLINOIS.

**Exhibit B**

Building & Civil Plans

**Exhibit C**

Landscape Plan

**Exhibit D**

Building Elevations and Renderings

**Exhibit E**

Final Plat of Subdivision

**Exhibit F**

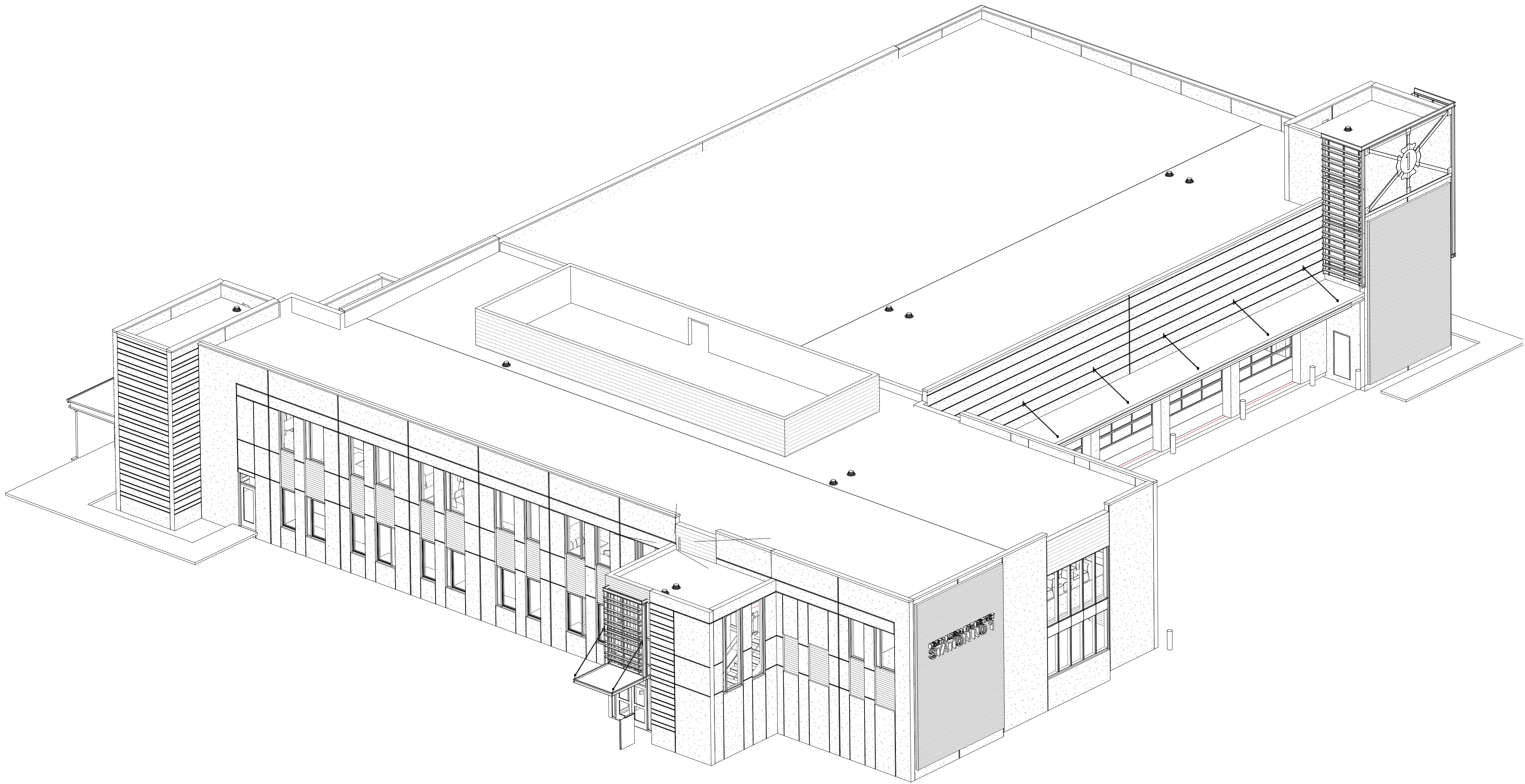
Plan Commission Draft Minutes and Application Material



# NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60542

ISSUED FOR BIDDING AND PERMIT  
06/29/2023



## ARCHITECTURAL

Dewberry Architects Inc.

132 North York Street  
Suite 2C  
Elmhurst, IL 60126-3079

847.695.5840  
847.841.6579 fax



## INTERIOR DESIGN

Dewberry Architects Inc.

132 North York Street  
Suite 2C  
Elmhurst, IL 60126

847.695.5840  
847.695.6579 fax



## CIVIL

Eriksson Engineering  
Associates, Ltd.  
145 Commerce Drive  
Grayslake, IL 60030

847.223.4804  
847.223.4864 fax

## LANDSCAPE

Shope Design Associates, Inc.

126 S. Main Street  
Oswego, IL 60543

630.551.3355  
630.551.3639 fax



## STRUCTURAL

Dewberry Engineers Inc.

401 S.W. Water Street  
Suite #701  
Peoria, IL 61602

309.282.8000  
309.282.8001 fax



## MEPFPT

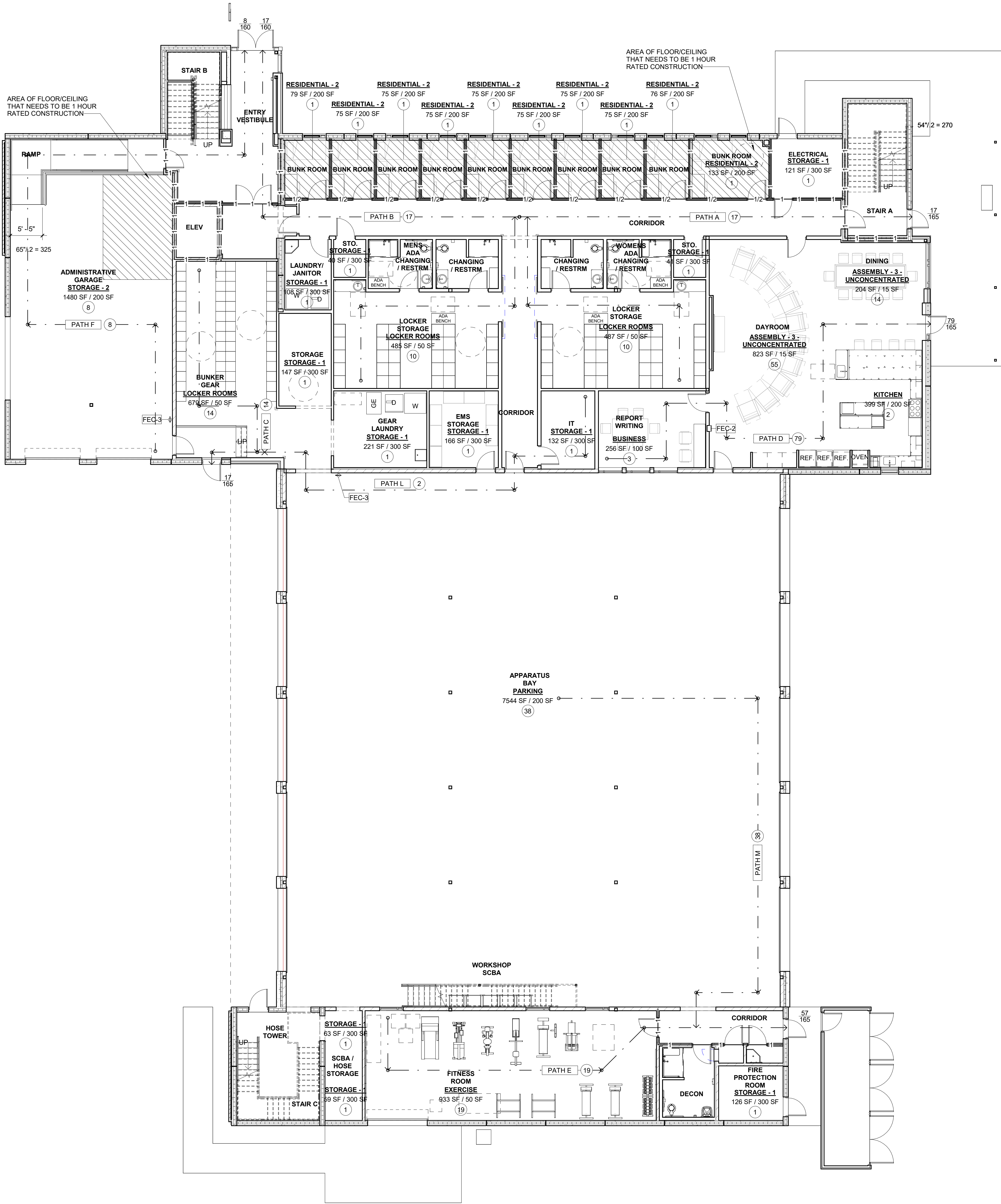
Dewberry Engineers Inc.

401 S.W. Water Street  
Suite #701  
Peoria, IL 61602

309.282.8000  
309.282.8001 fax



F  
E  
D  
C  
B  
A



#### CEILING PLAN GENERAL NOTES

1. ALL BUNK ROOMS TO HAVE 1 HR FIRE RATED CEILINGS, FC 1147

#### CODE PLAN LEGEND

- Area Name** → OCCUPANCY USE TYPE  
150 SF → AREA OF SPACE/AREA PER OCCUPANT  
999 → OCCUPANT LOAD
- 100 → NUMBER OF OCCUPANTS GOING THRU AN EGRESS DOOR OR THRU AN EGRESS STAIR  
999 → MAX. NUMBER OF OCCUPANTS ALLOWED PER CODE THRU AN EGRESS DOOR / EGRESS STAIR
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- UL DESIGN NO. U906 FOR MASONRY WALL  
- UL DESIGN NO. U419 FOR STUD WALL  
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- 2-2 → 2-HR FIRE BARRIER  
- UL DESIGN NO. U906 FOR MASONRY WALL  
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- FEC-1 → FIRE EXTINGUISHER CABINET - FULLY RECESSED  
FEC-2 → FIRE EXTINGUISHER CABINET - SEMI RECESSED  
FEC-3 → FIRE EXTINGUISHER - WALL MOUNTED
- OUTLINE OF ADA REQUIRED MANEUVERING CLEARANCE
- ARA → AREA OF RESCUE ASSISTANCE

Egress Path Schedule	
PATH NAME	PATH LENGTH
PATH A	30'-8 1/2"
PATH B	119'-1"
PATH C	124'-10 1/2"
PATH D	49'-4"
PATH E	89'-1"
PATH F	79'-0 1/2"
PATH G	125'-10 1/2"
PATH H	55'-2 1/2"
PATH I	75'-1"
PATH J	90'-3 1/2"
PATH K	82'-5 1/2"
PATH L	76'-2"
PATH M	99'-5 1/2"

#### BUILDING CODE SYNOPSIS

##### APPLICABLE CODES

BUILDING: 2009 INTERNATIONAL BUILDING CODE, W/ LOCAL AMENDMENTS  
VILLAGE OF NORTH AURORA ZONING CODE

ACCESSIBILITY: ADA & 2018 ILLINOIS ACCESSIBILITY CODE  
PLUMBING: 2014 ILLINOIS STATE PLUMBING CODE, W/ LOCAL AMENDMENTS  
LIFE SAFETY: NFPA 101, 2009 EDITION  
FIRE PREVENTION: BOCA NATIONAL FIRE PREVENTION CODE 2009  
FIRE PREVENTION: NFPA 13, 2009 EDITION  
MECHANICAL: 2009 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS  
ELECTRICAL: 2008 NATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS  
ENERGY: 2018 INTERNATIONAL ENERGY CONSERVATION CODE & ASHRAE STANDARD 90.1-2010

USE GROUP CLASSIFICATION: BUSINESS B, ASSEMBLY A-3, STORAGE S-2(GARAGE), RESIDENTIAL R-2(DORMITORY)

##### CONSTRUCTION TYPE IIB NON-SEPERATED MIXED USE

ALLOWABLE HEIGHT (PER TABLE 503) 2 STORIES, 55 FT

ALLOWABLE AREA (PER TABLE 503) 9,500 SF PER FLOOR

INCREASES F = 712' (bldg. perm. fronts on a public way or open space min 20' wide)  
P = 712' (perimeter of entire building)  
W = 30' (width of public way or open space in accordance with 506.2.1)

TOTAL 45,125 SF PER FLOOR

PROPOSED BUILDING - SEE BUILDING DATA MATRIX (G-101)

PROPOSED HEIGHT 39'-3"  
PROPOSED GROSS AREA 26,918 SF  
FIRST FLOOR 18,023 SF  
SECOND FLOOR 8,895 SF

FIRE SUPPRESSION: AUTOMATIC FIRE SUPPRESSION SYSTEM THROUGHOUT

CONSTRUCTION TYPE: TYPE IIB - UNPROTECTED

##### FIRE RESISTANCE RATINGS:

STRUCTURAL FRAME	0 HOUR
BEARING WALLS	0 HOUR
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NONBEARING WALL & PARTITIONS	0 HOUR (TABLE 602)
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION*	0 HOUR
ROOF CONSTRUCTION*	0 HOUR
SHAFT ENCLOSURE	1 HOUR

##### RATED ASSEMBLIES:

ALL RATED PARTITIONS & SHAFT ASSEMBLIES:	U.L. DESIGN #U906
CMU	U.L. DESIGN #U415 & NER 258 (FOR SHAFT CEILINGS)
SHAFT WALL	U.L. DESIGN #U419
GYPSUM BOARD WALLS	U.L. DESIGN #FC1147
FLOOR / CEILING SYSTEM	

OCCUPANT LOAD: 416 OCCUPANTS

(TABLE 1004.1.1) REFER TO OCCUPANCY SCHEDULE FOR ADD. INFORMATION  
FIRST FLOOR = 165 OCCUPANTS  
SECOND FLOOR = 251 OCCUPANTS

##### EGRESS:

NUMBER OF EXITS REQUIRED:	(IBC TABLE 1019.1)	EXITS PROVIDED
FIRST FLOOR =	2 EXITS	4 EXITS
REQUIRED EXIT WIDTH:	(IBC 1005.1)	SEE CODE COMPLIANCE PLAN G101 FOR DOORS, CORRIDORS, AND EXIT STAIR WIDTHS.
STAIRWAYS=	.37' OCCUPANT	
DOORS, RAMPS, CORRIDORS	.27'OCCUPANT	
MAX. TRAVEL DISTANCE:	(IBC TABLE 1016.1)	
FULLY SPRINKLERED:	250 FT	
MAX. DEAD END DISTANCE:	(IBC 1017.3)	
GROUP A OCC. =	50 FT	
MAX. ROOM CAPACITY FOR INSINUING DOORS:	(IBC 1008.1.2)	
	49 OCCUPANTS	
ROOF ACCESS:	INTERIOR STAIR ACCESS NOT REQUIRED	
EMERGENCY LIGHTING:	(IFC 1006) EXIT AND EGRESS LIGHTING REQUIRED	

PLUMBING SUMMARY: (ILLINOIS PLUMBING CODE Section 890.810, Appendix A - Table B)

BUILDING TYPE: ASSEMBLY, STORAGE AND BUSINESS SPACES

OCCUPANCY-(PER ILLINOIS PLUMBING CODE Section 890.810.2.A.ii) AS FOLLOWS:

OFFICE BUILDING (1/200 SF)	
-EXERCISE ROOMS= 925 SF	
-LOCKER ROOMS= 1,889 SF	
-BUSINESS USE= 1,859 SF	
TOTAL 4,673 SF/200=	24 OCC
STORAGE/SHIPPING (1/400 SF)	
-STORAGE= 11,434 SF/400=	29 OCC
ASSEMBLY SPACES (1/50 SF)	
-ASSEMBLY 3,360/50=	68 OCC
DORMITORY (1/ROOM)	
-BUNK ROOMS= 10	10 OCC
TOTAL	131 OCC

REQUIRED NUMBER OF FIXTURES (Per Appendix A - Table B) - OFFICE BUILDING / PUBLIC BUILDING (BASED ON 103 OCCUPANTS): MALE OCCUPANTS = 65 OCC FEMALE OCCUPANTS = 66 OCC

WATER CLOSETS:	3	4
URINALS:	1	4
LAVATORIES:	4	
DRINKING FOUNTAINS:	1/75 OCCUPANTS	
OTHER FIXTURES:	1 PER FLOOR	
NUMBER OF FIXTURES PROVIDED	MALE OCCUPANTS = 51 OCC	FEMALE OCCUPANTS = 52 OCC
WATER CLOSETS:	5	5
URINALS:	1	
LAVATORIES:	6	8
SHOWERS:	3	
DRINKING FOUNTAINS:	2 (PROVIDED)	
OTHER FIXTURES:	3 SERVICE SINKS	



Dewberry Architects Inc.

132 North York Street  
Suite 3C  
Evanston, IL 60126-3079  
847.695.5840  
ILL. DESIGN FIRM REG.  
#184000358-001

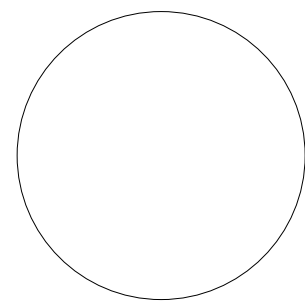
Dewberry Engineers Inc.

401 SW Water Street  
Suite 101  
Peoria, IL 61602  
309.262.8001  
ILL. DESIGN FIRM REG.  
#184000507-0006

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60142  
ISSUED FOR BIDDING AND PERMIT

SEAL



KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY MR/JGSHII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023  
TITLE

FIRST FLOOR  
CODE  
COMPLIANCE  
PLAN

PROJECT NO. 50158591

G-111

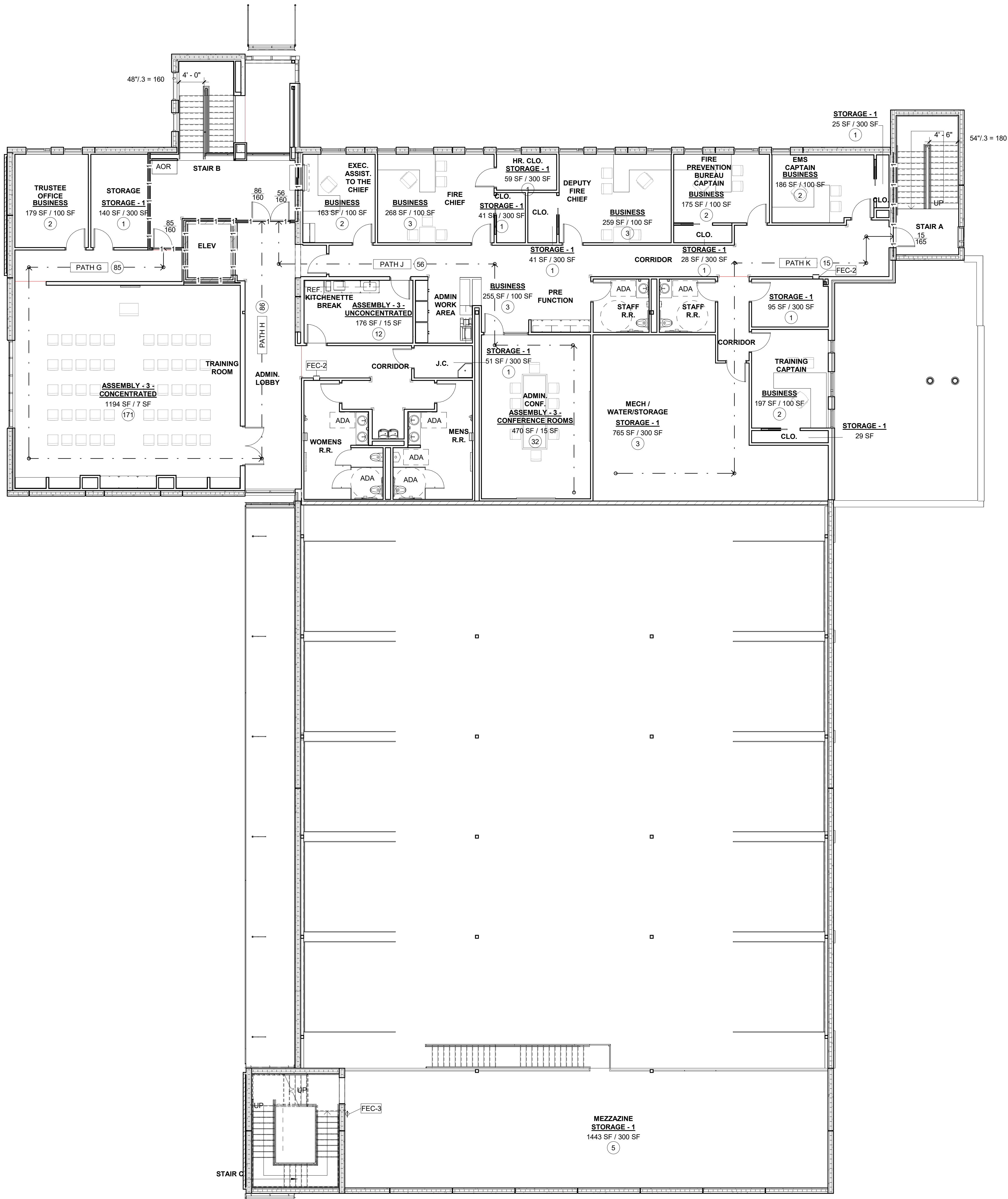
SHEET NO.

#### A1 FIRST FLOOR CODE COMPLIANCE PLAN

Scale: 1/8" = 1'-0"



F  
E  
D  
C  
B  
A

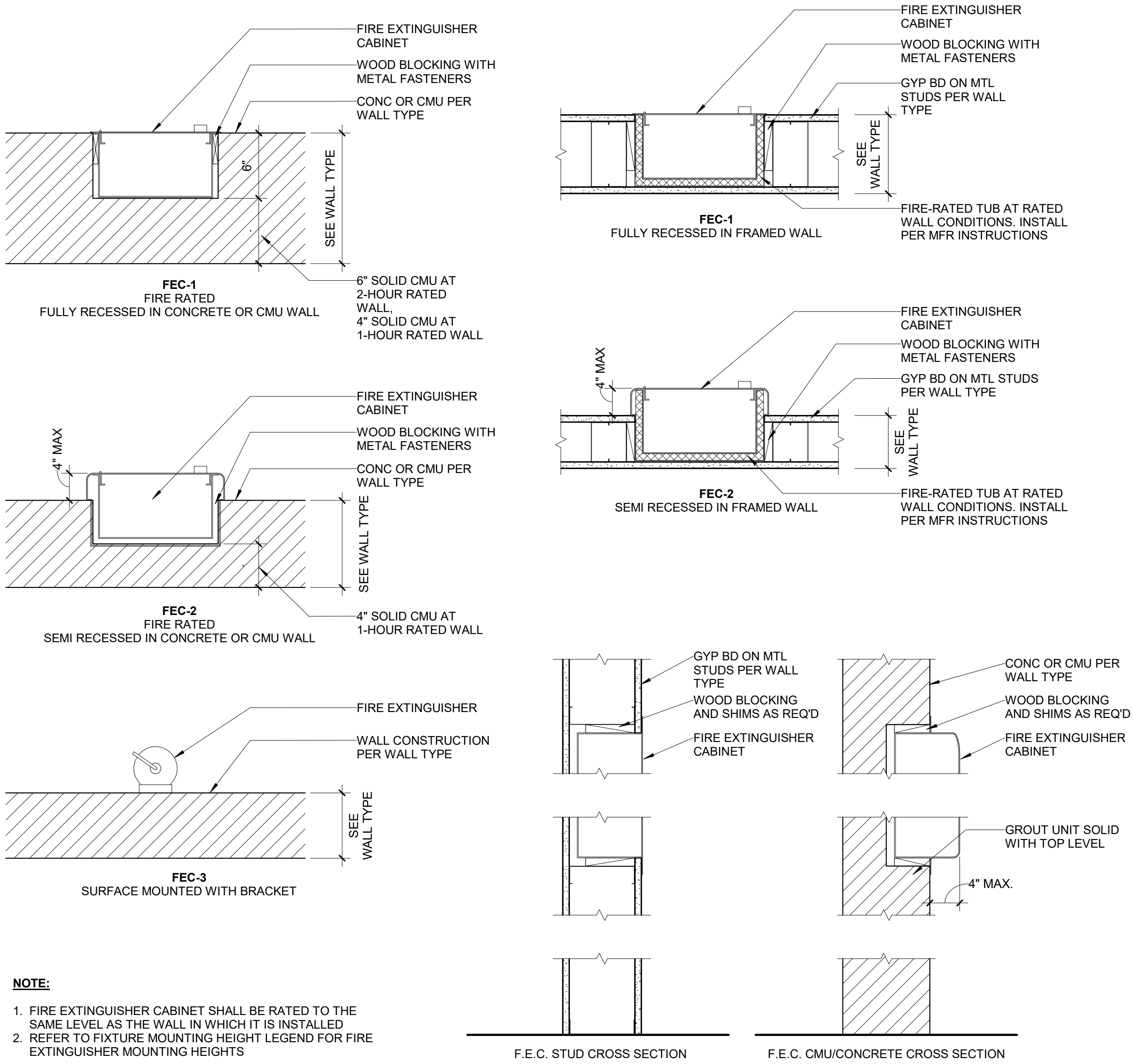


CODE PLAN LEGEND

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999 — OCCUPANT LOAD
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FEC-2 — FIRE EXTINGUISHER CABINET - SEMI RECESSED  
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- OUTLINE OF ADA REQUIRED MANEUVERING CLEARANCE
- ARA — AREA OF RESCUE ASSISTANCE

Egress Path Schedule	
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PATH I	75'-1"
PATH J	90'-3 1/2"
PATH K	82'-5 1/2"
PATH L	76'-2"
PATH M	99'-5 1/2"

FIRE EXTINGUISHER DETAIL



- NOTE:**
- FIRE EXTINGUISHER CABINET SHALL BE RATED TO THE SAME LEVEL AS THE WALL IN WHICH IT IS INSTALLED
  - REFER TO FIXTURE MOUNTING HEIGHT LEGEND FOR FIRE EXTINGUISHER MOUNTING HEIGHTS



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401 SW Water Street  
Suite 701  
Peoria, IL 61602  
309.282.8000  
IL DESIGN FIRM REG. #184005007-0006

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60154  
ISSUED FOR BIDDING AND PERMIT

SEAL

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY MR/JGSHII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023

TITLE

SECOND FLOOR  
CODE  
COMPLIANCE  
PLAN

PROJECT NO. 50158591

G-121

SHEET NO.

A1 SECOND FLOOR CODE COMPLIANCE PLAN

Scale: 1/8" = 1'-0"

# NORTH AURORA FIRE PROTECTION DISTRICT

## STATION NO. 1

### 23 N Lincolnway Street

### North Aurora, IL 60542



#### SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By Compass  
Surveying For Dewberry Architects on December 12 2022.

#### PROJECT BENCHMARKS

Site Benchmark #1:  
North-Northeast Bold On Fire Hydrant At The Northeast  
Corner of Route 31 and Oak Street.

Elevation: 684.45

Site Benchmark #2:  
Southwest Tag Bolt On Fire Hydrant At The Southeast Corner  
of Subject Property.

Elevation: 674.90

#### J.U.L.I.E.

Note: The exact location of all utilities shall be verified by  
the contractor prior to construction activities. For utility  
locations call: J.U.L.I.E. 1 (800) 892-0123

#### CIVIL SHEET INDEX

C000	CIVIL COVER SHEET
C001	EXISTING CONDITIONS
C100	SITE DEMOLITION PLAN
C200	SITE GEOMETRY PLAN
C300	SITE UTILITY PLAN
C400	SITE GRADING AND PAVING PLAN
C500	SITE EROSION AND CONTROL PLAN
C600	SITE WORK DETAILS
C601	SITE WORK DETAILS
C602	SITE WORK DETAILS
C603	FOX METRO DETAILS
C604	FOX METRO DETAILS
C605	FOX METRO DETAILS



Dewberry Architects Inc.

132 North York Street  
Suite 2C  
Evanston, IL 60126-3079  
847.695.5840

Dewberry Engineers Inc.

401 SW Water Street  
Suite 701  
Peoria, IL 61602  
309.282.8000  
ILLINOIS DESIGN FIRM REG.  
#184005007-0006

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60542  
95% REVIEW SET

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE
5	ISSUE FOR BIDDING AND PERMIT	06/29/23
4	ISSUE FOR 95% REVIEW	06/15/23
3	ISSUE FOR 100% DD	05/11/23
2	ISSUE FOR 50% DD	04/14/23
1	ISSUE FOR SCHEMATIC DESIGN	03/22/23

DRAWN BY CMS

APPROVED BY BJA

CHECKED BY BJA

DATE 06/29/2023

TITLE

CIVIL COVER  
SHEET

PROJECT NO. 50168591

C000

SHEET NO.



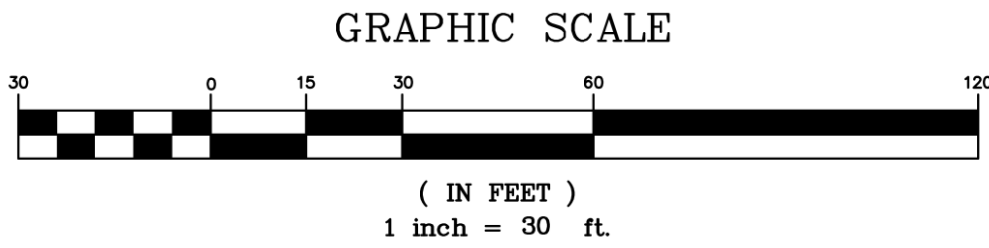
LEGAL DESCRIPTION

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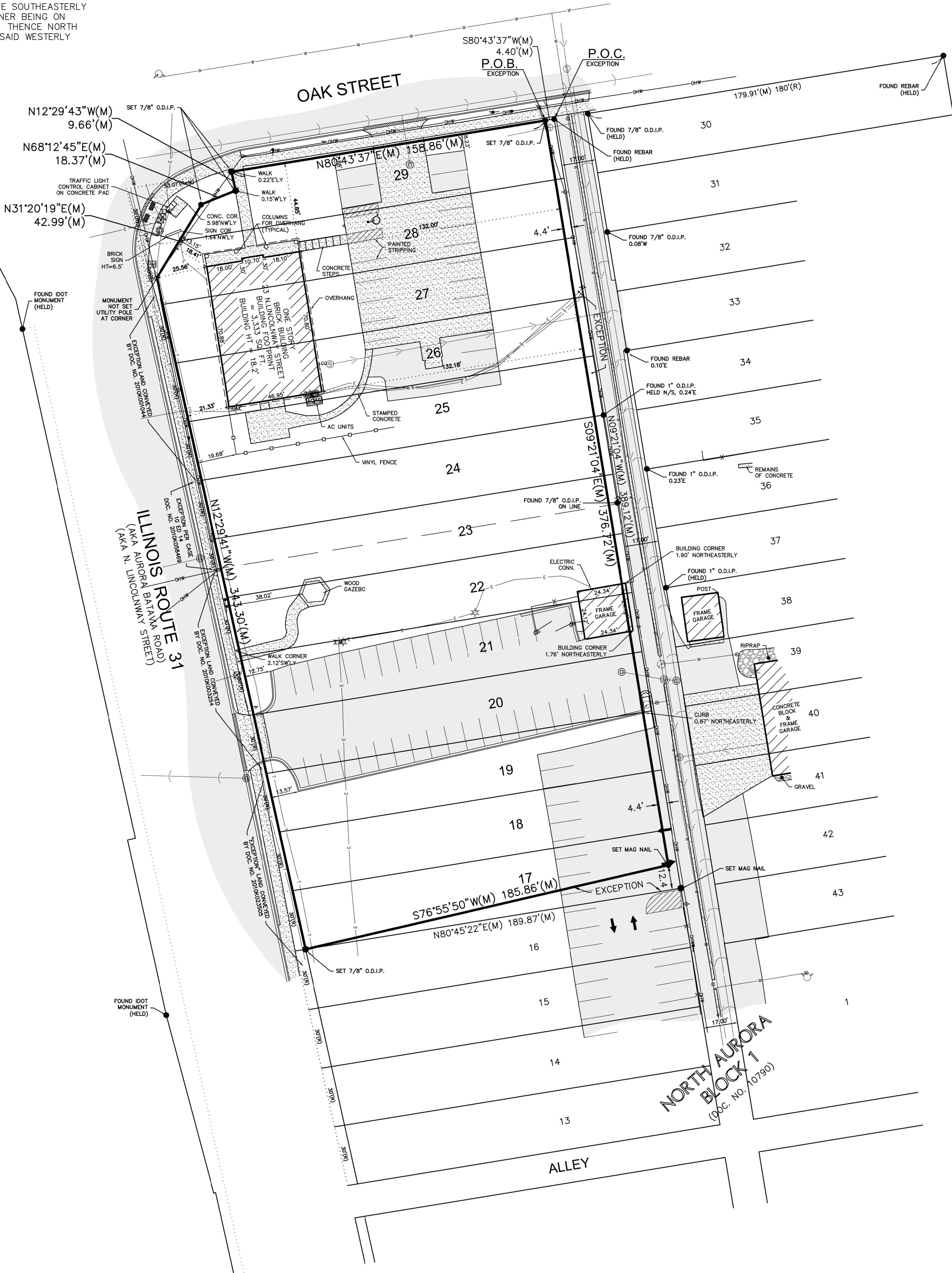
ALL IN KANE COUNTY, ILLINOIS.

BOUNDARY AND TOPOGRAPHIC SURVEY



AREA SUMMARY  
(TO HEAVY LINES)  
74,062 SQUARE FEET  
OR  
1.700 ACRES  
(BASED ON MEASURED VALUES)

MONROE STREET  
(AKA RIVER STREET)



UTILITY CONTACTS

CABLE  
COMCAST - MARTHA GIERAS  
224-229-5862

MARTHA\_GIERAS@COMCAST.COM

ELECTRIC  
COMED  
630-576-7094

GAS  
NICOR GAS  
GASMAPS@NICOR.COM

COMMUNICATIONS  
AT&T  
011629@ATT.COM

NCI-VERIZON  
ASG.INVESTIGATIONSTEAM@ASGINC.US  
CC: INVESTIGATIONS@VERIZON.COM

METRO FIBERNET, LLC  
812-213-1050  
811DESIGN@METRONET.COM

WATER / SANITARY / STORM  
VILLAGE OF NORTH AURORA - BRANDON  
TONARELLI  
331-385-6432  
BTONARELLI@NORTHAURORA.ORG

BENCHMARKS

REFERENCE BENCHMARK:  
NGS DATA MONUMENT MFD018

THE STATION IS LOCATED IN NORTH AURORA 1.5 KM (0.95 MI) NORTH OF THE STATE HWY BRIDGE OVER 1-88(EAST-WEST TOLLWAY) ABOUT 250 M (802.2 FT) WEST OF THE WEST BANK OF THE FOX RIVER ON THE WEST SIDE OF HWY 31 (LINCOLN WAY) IN THE HWY RIGHT OF WAY. IT IS 135 M (442.9 FT) NORTH OF THE CENTERLINE OF THE INTERSECTION OF LINCOLN WAY AND OAK STREET, DIRECTLY ACROSS THE HWY(WEST) FROM AN 18 FT(5.5 M) WOODEN FLAGPOLE AT RESIDENCE NUMBER 123.13 M (40.7 FT) SOUTH OF THE CENTERLINE OF A DRIVE AT RESIDENCE NUMBER 130.8 M (42.9 FT) WEST OF THE CENTERLINE OF STATE HWY 31 4.2 M (13.8 FT) SOUTH OF A FIRE HYDRANT, AND 1 M (3.3 FT) EAST OF A FENCE.

DATUM: NAVD83  
ELEVATION = 688.37

SITE BENCHMARKS:

SITE BENCHMARK #1  
NORTH-NORTHEAST BOLD ON FIRE HYDRANT AT THE NORTHEAST CORNER OF ROUTE 31 AND OAK STREET  
ELEVATION = 684.45

SITE BENCHMARK #2  
SOUTHWEST TAG BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF SUBJECT PROPERTY  
ELEVATION = 674.90

LEGEND

- FOUND 7/8" O.D.I.P. (HELD LOCATION)
- CONCRETE MONUMENT
- + CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ▽ FLARED END SECTION
- ⊙ TRANSFORMER PAD
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC MARKER
- ⊙ ELECTRIC METER
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/LIGHT
- ⊙ UTILITY POLE W/TSF
- ⊙ GUY POLE
- ⊙ OVERHEAD TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ LIGHT POLE
- ⊙ HAND HOLE
- ⊙ VALVE VAULT
- ⊙ FIRE HYDRANT
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ SIAMASE WATER CONNECTION
- ⊙ WATER METER
- ⊙ VALVE BOX
- ⊙ B/BOX
- ⊙ SPRINKLER CONTROL VALVE
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE NETWORK INTERFACE
- ⊙ TELEPHONE MARKER
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TELEVISION PEDESTAL
- ⊙ GAS METER
- ⊙ GAS VALVE
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- ⊙ DOWN SPOUT
- ⊙ BORING HOLE
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- ⊙ GATE POST
- ⊙ BOLLARD POLE
- ⊙ SIGN
- ⊙ FLAG POLE
- ⊙ MAILBOX
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- ⊙ STORM SEWER
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- ⊙ GAS MAIN
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- ⊙ CONIFEROUS TREE W/APPROX. DIAMETER
- ⊙ DECIDUOUS TREE W/APPROX. DIAMETER
- ⊙ MS=MULTI-STEM (DRIP LINE SHOWN IS APPROXIMATE)
- ⊙ TREE LINE
- ⊙ BITUMINOUS PAVEMENT
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- ⊙ DEPRESSED CURB
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- ⊙ STONE SURFACE
- ⊙ DETECTABLE TACTILE WARNING SURFACE
- ⊙ BRICK PAVERS
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ METAL FENCE
- ⊙ METAL GUARDRAIL
- ⊙ OVERHEAD TRAFFIC ARM

ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
TF = TOP OF FOUNDATION  
FF = FINISHED FLOOR  
FES = FLARED END SECTION  
VSP = VITRIFIED CLAY PIPE  
DIP = DUCTILE IRON PIPE  
PVC = POLYVINYL CHLORIDE  
RCP = REINFORCED CONCRETE PIPE  
CMP = CORRUGATED METAL PIPE  
(R) = RECORD BEARING OR DISTANCE  
(M) = MEASURED BEARING OR DISTANCE  
(C) = CALCULATED BEARING OR DISTANCE  
(D) = DEED BEARING OR DISTANCE  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST  
A = ARC LENGTH  
R = RADIUS  
CH = CHORD  
CB = CHORD BEARING  
B.S.L. = BUILDING SETBACK LINE  
U.E. = UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND

— LIMITS OF LAND PER  
— LEGAL DESCRIPTION  
— ADJACENT LAND  
— PARCEL LINE  
— EASEMENT LINE  
— CENTERLINE  
— BUILDING SETBACK LINE  
— SECTION LINE

CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON NOVEMBER 29, 2022. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD.  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184.002778  
LICENSE EXPIRES 4/30/25

DANIEL W. WALTER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2024

J:\Pdata\2022 Projects\22.0327\22.0327 BNDY Topo.dwg

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.



Know what's below.  
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COMPASS  
SURVEYING LTD.

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502

PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

NORTH AURORA FIRE STATION 1  
23 NORTH LINCOLNWAY STREET  
NORTH AURORA, IL

CLIENT

DEWBERRY ARCHITECTS, INC.  
3401 ARLINGTON BLVD.  
FAIRFAX VA 22031

DATE: 12-09-22

PC TK

DRAWN BY BT

CHECKED BY DW

BOOK 653 PG 9-11

NO.

REVISIONS

DATE

BY

1. ADD ADDITIONAL TOPOGRAPHY 06-05-23 BT

2. PER IN HOUSE REVIEW 06-16-23 RHM

3. REVISED PER NEW LEGAL DESCRIPTION & BOUNDARY 06-20-23 RHM



BOUNDARY  
AND TOPOGRAPHIC SURVEY

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
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P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT  
BC = BACK OF CURB  
BDC = BACK OF DEPRESSED  
FL = FLOW LINE  
C = CONCRETE  
P = PAVEMENT  
G = GRAVEL  
EW = EDGE OF WALK  
TW = TOP OF WALL  
TP = TOP OF PIPE  
IE = INVERT ELEVATION  
PL = PROPERTY LINE  
DS = DOWN SPOUT  
SF = SQUARE FEET  
SL = SHORE LINE  
TSF = TRANSFORMER  
B = PAVERS

LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- ✚ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
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LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

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**COMPASS SURVEYING LTD**  
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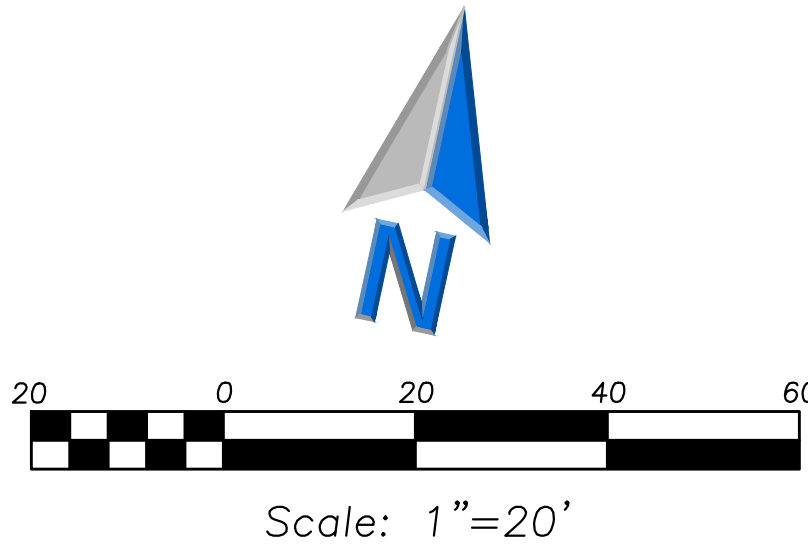
PROJECT  
**NORTH AURORA FIRE STATION 1**  
23 NORTH LINCOLNWAY STREET  
NORTH AURORA, IL  
CLIENT  
**DEWBERRY ARCHITECTS, INC.**  
3401 ARLINGTON BLVD.  
FAIRFAX VA 22031

NO.	REVISIONS	DATE	BY
1.	ADD ADDITIONAL TOPOGRAPHY	06-05-23	BT
2.	PER IN HOUSE REVIEW	06-16-23	RHM
3.	REVISED PER NEW LEGAL DESCRIPTION & BOUNDARY	06-20-23	RHM

**UTILITY STATEMENT**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

**811**  
Know what's below.  
Call before you dig.

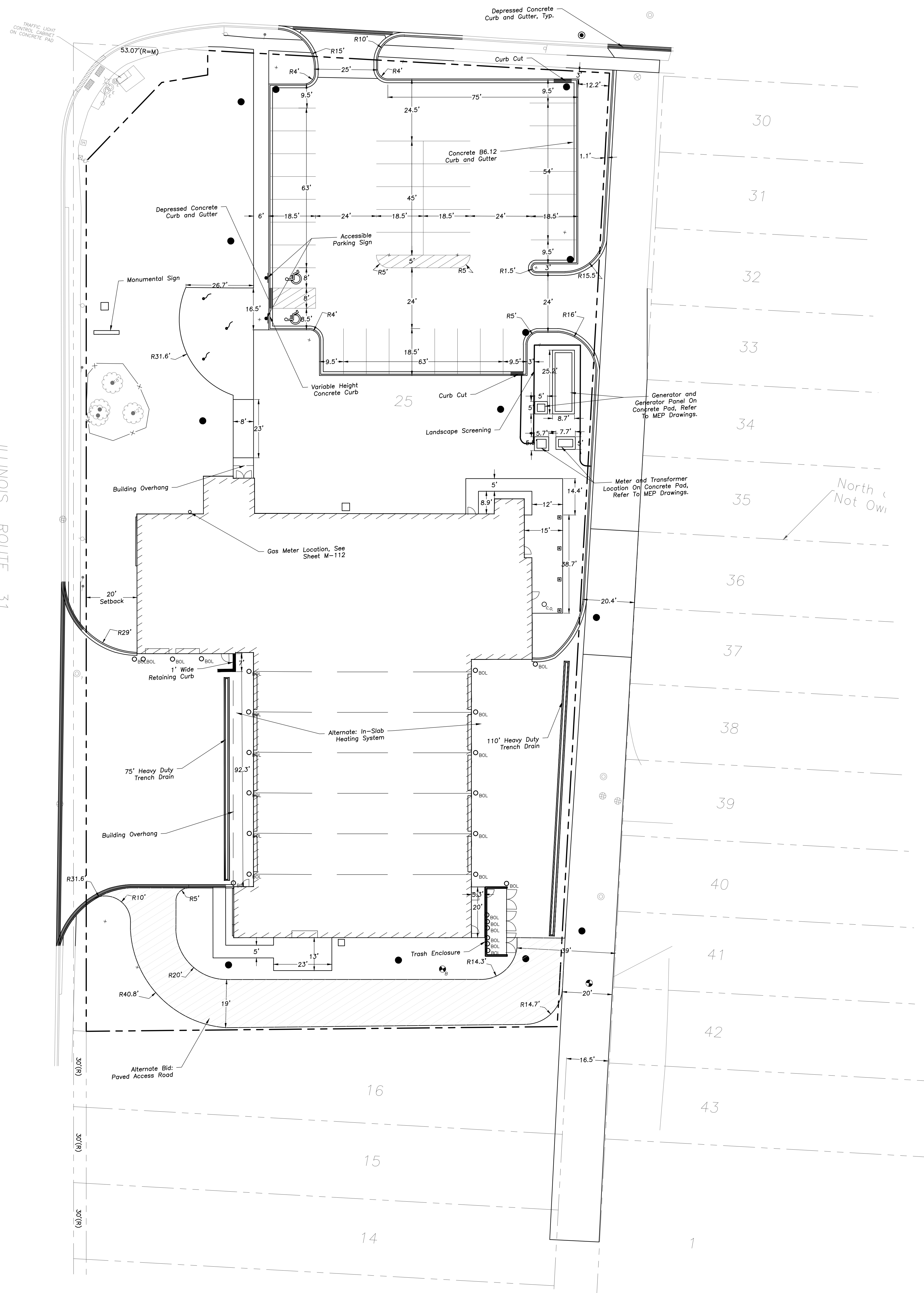




F  
E  
D  
C  
B  
A

ILLINOIS ROUTE 31  
(AKA AURORA BATAVA ROAD)  
(AKA N. LINCOLNWAY STREET)

OAK STREET



LEGEND

EXISTING	PROPOSED

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of North Aurora A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Store All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Firm and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
- Adherence To The Specifications Of Fox Metro Reclamation District Are Required.

GEOMETRY LEGEND

	Alternate Bid: Paved Access Road
--	----------------------------------

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats for Lotex Paints. All Cross Hatch Striping Shall Be 42" At 2'-0" Centers.
- All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2/11, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60542  
95% REVIEW SET

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE
5	ISSUE FOR BIDDING AND PERMIT	06/29/23
4	ISSUE FOR 95% REVIEW	06/15/23
3	ISSUE FOR 100% DD	05/11/23
2	ISSUE FOR 50% DD	04/14/23
1	ISSUE FOR SCHEMATIC DESIGN	03/22/23

DRAWN BY	CMS
APPROVED BY	BJA
CHECKED BY	BJA
DATE	06/29/2023

TITLE

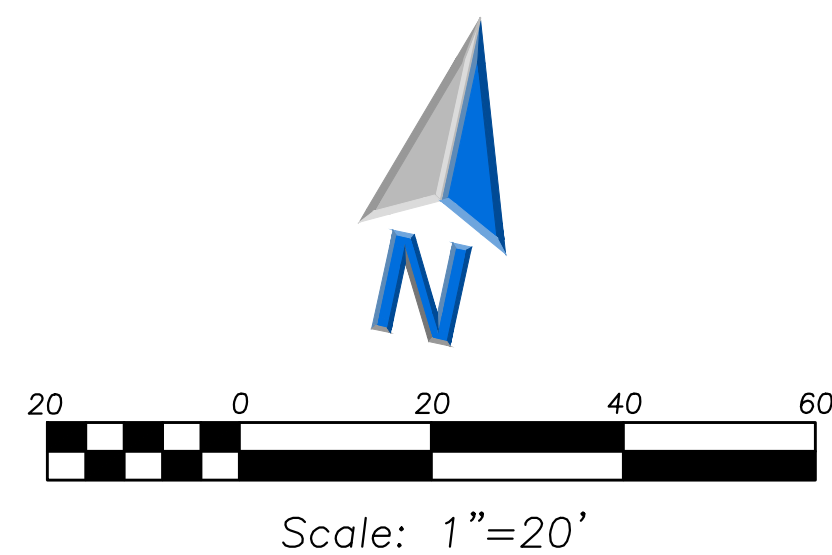
SITE GEOMETRY  
PLAN

PROJECT NO. 50158591

C200

SHEET NO.





EXISTING		PROPOSED
	Manhole	
	Catch Basin	
	Inlet	
	Area Drain	
	Clean out	
	Flared End Section	
	Storm Sewer	
	Sanitary Sewer	
	Combined Sewer	
	Water Main	
	Gas Line	
	Overhead Wires	
	Electric Cable (Buried)	
	Telephone Line	
	Fire Hydrant	
	Valve Vault	
	Bulbore Box	
	Downspout	
	Bollard	
	Gas Valve	
	Gas Meter	
	Electric Meter	
	ConEd Manhole	
	Hand Hole	
	Light Pole	
	Light Pole w/ Mast Arm	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Sign	
	Fence	
	Accessible Parking Stall	
	Curb & Gutter	
	Depressed Curb	
	Curb Elevation	
	Gutter Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Retaining Wall Elevation	
	Swale	
	Contour Line	
	Deciduous Tree	
	Coniferous Tree	
	Brushline	
	Tree Protection Fencing of Dig Line	

### UTILITY NOTES

1. **Utility Service Lines as Shown Hereon are Approximate.** Coordinate The Exact Locations With The Plumbing Contractor, in Coordination With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
2. **Refer to Plumbing Drawings for Continuation of All Utilities** Within the Building.
3. **Field Verify Inlet & Locations of Existing Utility Mains** Prior to Installing Any On-Site Utilities or Structures. All Sewer Inlets and Utility Inlets Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Coordinate Engineer Prior to Installation if Discrepancy Exists With These Drawings.
4. **Coordinate the Relocation of Any Utilities Encountered And/Or Relocation of Any New Utilities** Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
5. **All Water Main and Services Shall Be Installed at a Minimum Depth of 48" Below Top of Finished Ground** Elevation to Top of Main.
6. **Protection of water supplies shall as be described in** Section 05150, **Water Supply**, and **Section 05150, Sewerage Works** for Section 411-2.01 of the **Standard Specifications for Water and Sewer Main Construction** in the 2013 edition.
7. **Clean Out All Existing and Proposed Storm Inlets and Catch Basins** at the Completion of Construction.
8. **Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.**
9. **The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.**
10. **Rebuild Existing Structures and Adjust Riser Elevations to Match Proposed Ground Elevations.**

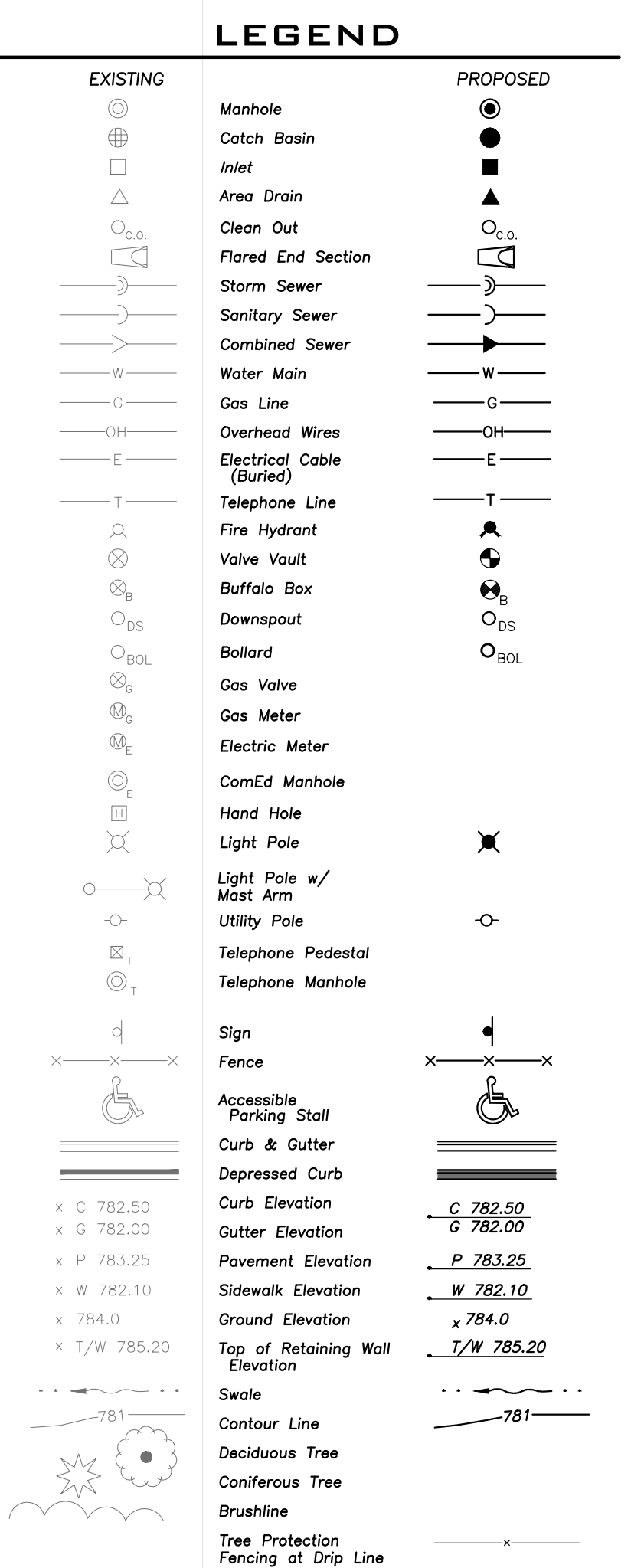
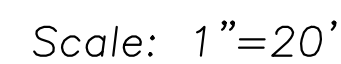
## STRUCTURE NOTES

1. All Catch Basins To be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
2. All Catch Basins to be installed in Landscaped Areas Shall Have Neenah R2430-D Frame & Grate or Approved Equal. For Concrete Structures Install a Minimum of 4" Grade Rings. For All Other Structures Install a Minimum of 6" Grade Rings. The Following Minimum Height of Grade Rings:
  - 4" Diameter Structure - 4"
  - 5" Diameter Structure - 5"
  - 6" Diameter Structure - 8"
3. All Catch Basins to be Installed Along Curb and Gutter (or Edge) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
4. All Catch Basins to be Installed Along Depressed Curb and Gutter (Dep B-61.12) Shall Have East Jordan Iron Works B-612 Catch Basin Install Frame and Grate or Approved Equal.
5. Where Structures are Shown Along the Curbside, Unless Otherwise Indicated Otherwise, the Minimum Height of the Structure is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
6. All Manholes Shall Have Neenah R1713-B Frame & Closed End Cast Iron Ring with "Storm" or "Sanitary" Imprinted as Appropriate.
7. For All Structures Indicated to be Adjusted, Remove and Replace with the Correct Structure, Section, Barrel Sections, or Flat Slab Top as Necessary.
8. All Sanitary Manholes Shall Include a Chimney Seal.

## GENERAL NOTES

3. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Drawings Has Been Determined By The Engineer. This Information and Is Given For The Convenience Of The Contractor. The Engineer Assumes No Responsibility For The Accuracy Of This Information, And Is Not Assume Responsibility In The Event That During Construction, Undiscovered Utilities Are Encountered, And That The Actual Location Of Those As Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately In The Event That Surface Features Are Different Than Those Shown On The Drawings.
4. Notify The Engineer Immediately In The Event That Discrepancies Between The Drawings and Existing Field Conditions.
5. Contractor Shall Provide Private Utility Locating Services For The Project Area.
6. Notify The Owner, Engineer and The Village of North Aurora, A Minimum of 48 Hours In Advance Of Performing Any Work.
7. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of The Work As Shown Herein Shall Be Returned To The Original Condition, To The Satisfaction Of The Owner at No Additional Cost To The Owner. It Is The Responsibility Of The Contractor To Obtain All Required Area Was Not Disturbed By Construction Operations.
8. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) To Stake All Site Work. The Contractor Shall Accompany The Drawings To Establish Horizontal Control. Horizontal Control Points Not Provided.
9. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Associates, Inc.
10. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction, The Contractor Shall Verify All Media Shall Verify All Dimensions and Locations Of Features Shown On The Drawings. The Contractor Shall Obtain Site Plan, and Coordinate All Dimensions and Locations of Features Shown On The Drawings. If Contradict Data Or Other Information Shall Contact The Engineer Immediately.
11. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Illinois Surveying and Mapping Act, Which Shall Include As A Minimum All Retention Basins and Best Management Practices (BMP) Features, Including But Not Limited To, Structure Locations, Sizes, Rim and Invert Elevations, Final Designated Volume Calculations For The Basin(s), Watermain and Valve Locations.
12. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition And Adopted Amendments Shall Apply To All Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
13. Adherence To The Specifications Of FDOT Reclamation









## GENERAL NOTES

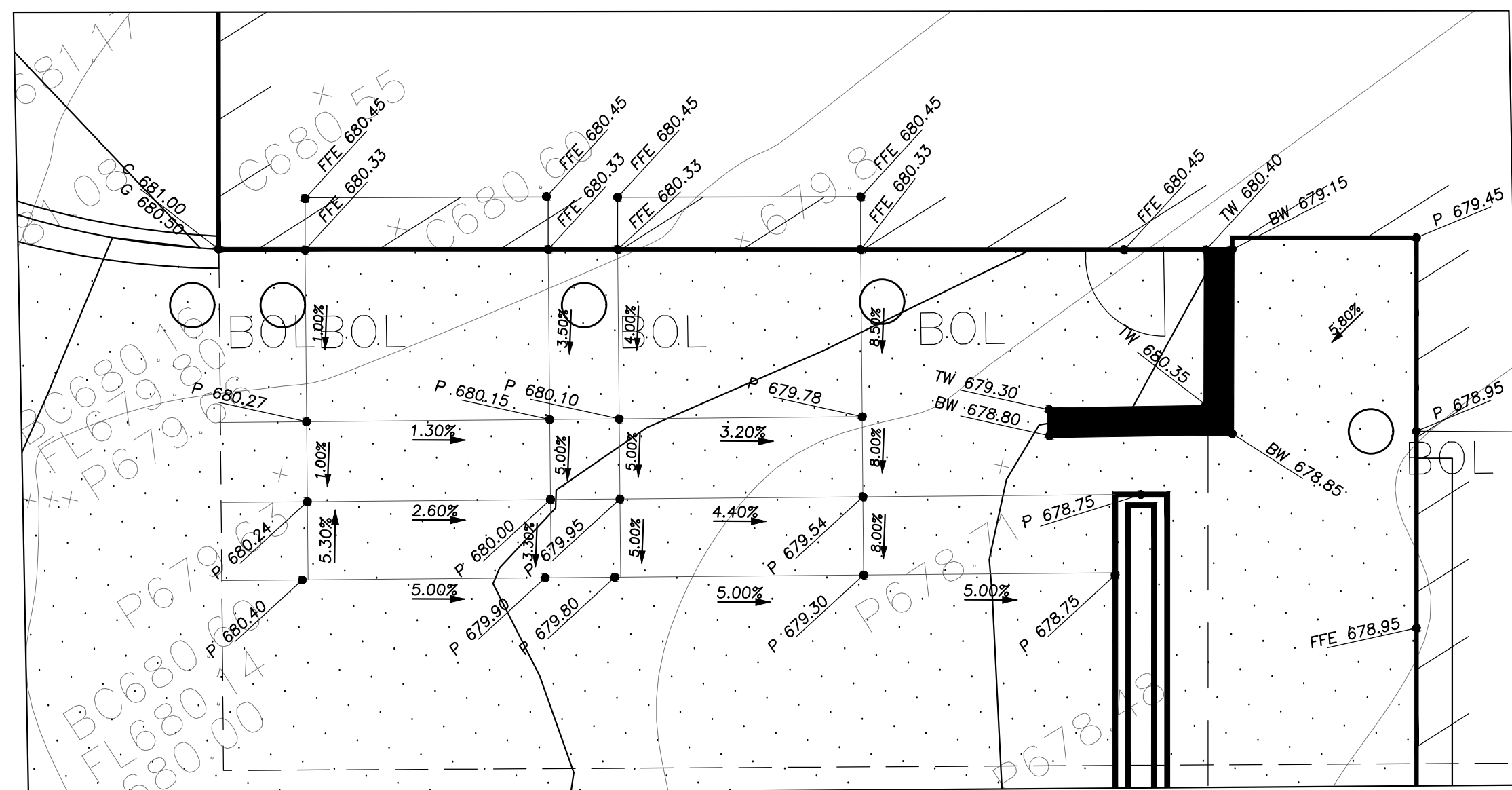
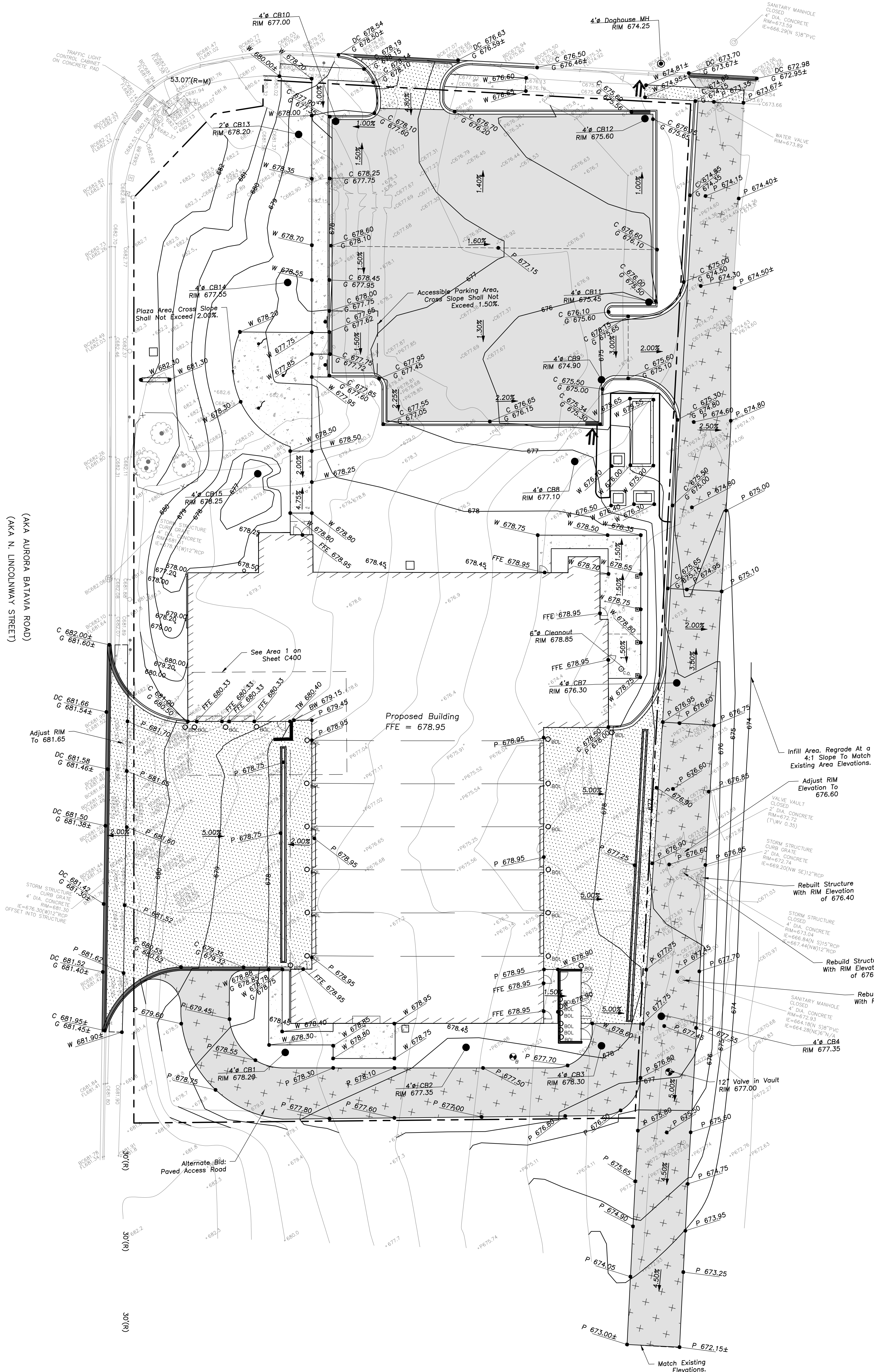
1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Drawings, Have Been Determined By The Contractor. This Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Any Responsibility For The Accuracy of The Existing Construction, Utilities Other Than Those Shown May Be Located On and Under The Property and The Drawings Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Conditions Differ From Those Shown On The Drawings.
2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services For All Other Projects And:
4. Notify The Owner, Engineer and The Village of North Aurora A Minimum of 48 Hours In Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Activities Shall Not Be Left In A Disturbed Condition. The Soil Shall Be Restored To Original Condition To The Satisfaction of The Owner of No Additional Cost To The Owner. It is the Responsibility of The Contractor To Obtain All Required Areas Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Locations, And To Record All Construction Activities. Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Associates, Inc.
8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings, For Construction Or Recording Purposes, The User of This Media Shall Verify All Dimensions And Locations Of Features On The Construction Drawings Against The Architectural Site Plan, and Coordinate All Dimensions and Locations of Features. If Confusion Exists, The User Of This Media Shall Contact The Engineer Immediately.
9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Illinois Surveying Act, For Record And Construction Latest Edition, And All Addenda Thereof, Shall Govern The Location And Paving Work Under This Contract Unless Noted Otherwise.

## GRADING NOTES

1. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Proposed or Existing Pavement.
2. All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 inches (Min.) to 12 inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Refer to Architectural Drawings for Locations and Patterns of Excavation and Control Joints in Concrete Pavement and Sidewalks.
4. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Slope for Access Spaces Shall Be 5.0%.
5. Longitudinal Sidewalk Slope Shall Be 4.9% .Contact Engineer if Conflicts Exist.
6. Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.
7. Conditions May Require Contractor to Excavate Clay Borrow Basins to Provide Suitable Material for Building Pad Preparation or Site Paving. Borrow Pit Shall Not Be Located in Proposed Landscape Areas. Contractor Shall Submit Borrow Pit to Local Proposed Grading, or Existing Grading in Otherwise Undisturbed Areas, and May Use Suitable Material to Backfill. Review Soil Studies Prior to Excavation.

### PAVING & SURFACE LEGEND

- |   |  |
|---|--|
|  | <b>Asphalt Pavement Section</b><br>1 1/2" Hot Mix Asphalt/Mix D, IL-9.5, N50<br>2 1/2" Hot Mix Asphalt, IL-19.0, N50<br>Prime Coat (0.25 gal/sq yd)<br>8" Aggregate Base Course, Type B, Crushed, CA-6<br>Non-Woven Geotextile Fabric, 5 oz/sy         |
|  | <b>Concrete Firetruck Section</b><br>6" Portland Cement Concrete<br>6"x6" W2.9xW2.9 Welded Wire Fabric<br>10" Aggregate Base Course, Type B, Crushed   |
|  | <b>Concrete Sidewalk Section</b><br>6" Portland Cement Concrete<br>6"x6" W1.4xW1.4 Welded Wire Fabric<br>2" Aggregate Base Course, Type B, Crushed   |
|  | <b>Heavy-Duty Asphalt Pavement Section</b><br>1 1/2" Hot Mix Asphalt/Mix D, IL-9.5, N50<br>3 1/2" Hot Mix Asphalt, IL-19.0, N50<br>Prime Coat (0.25 gal/sq yd)<br>8" Aggregate Base Course, Type B, Crushed, CA-6<br>Non-Woven Geotextile Fabric, 6 oz |



**AREA 1**  
Scale: 1"=5'



6/29/2023 5:25:25 PM

A

B

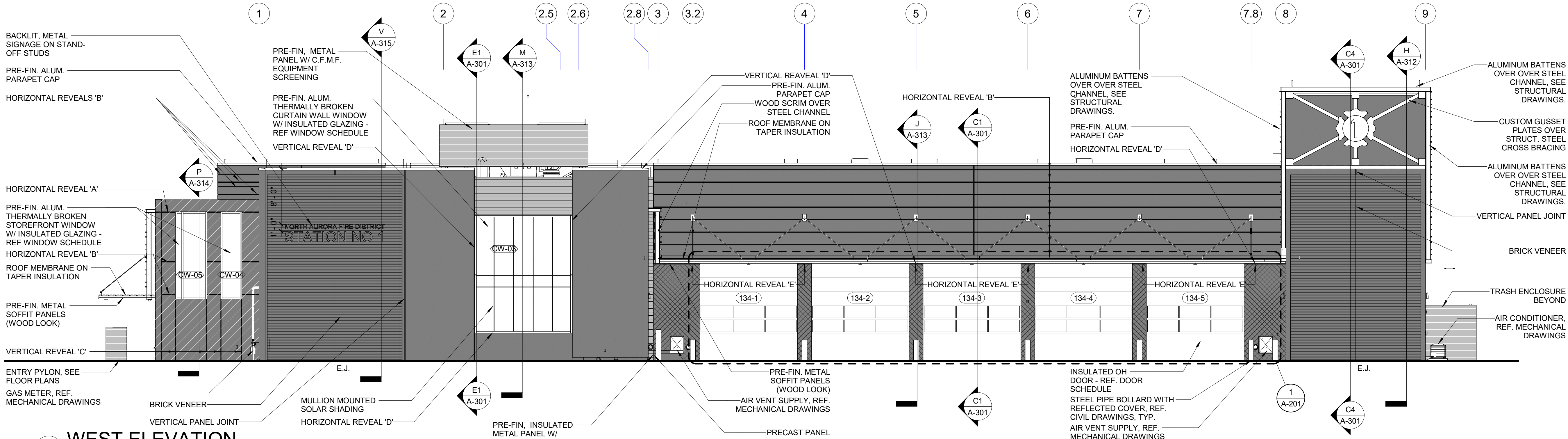
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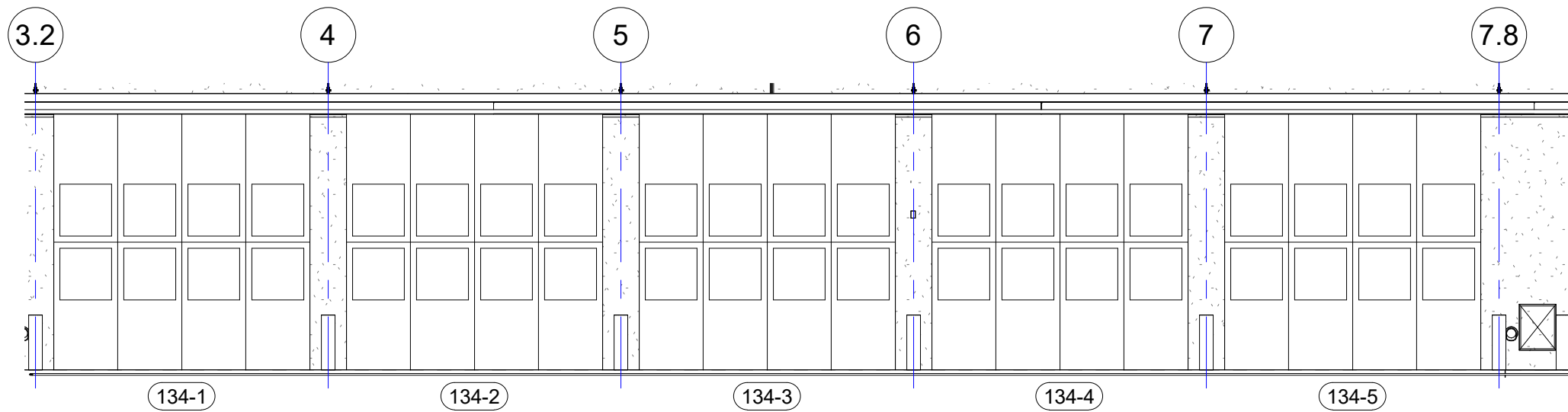
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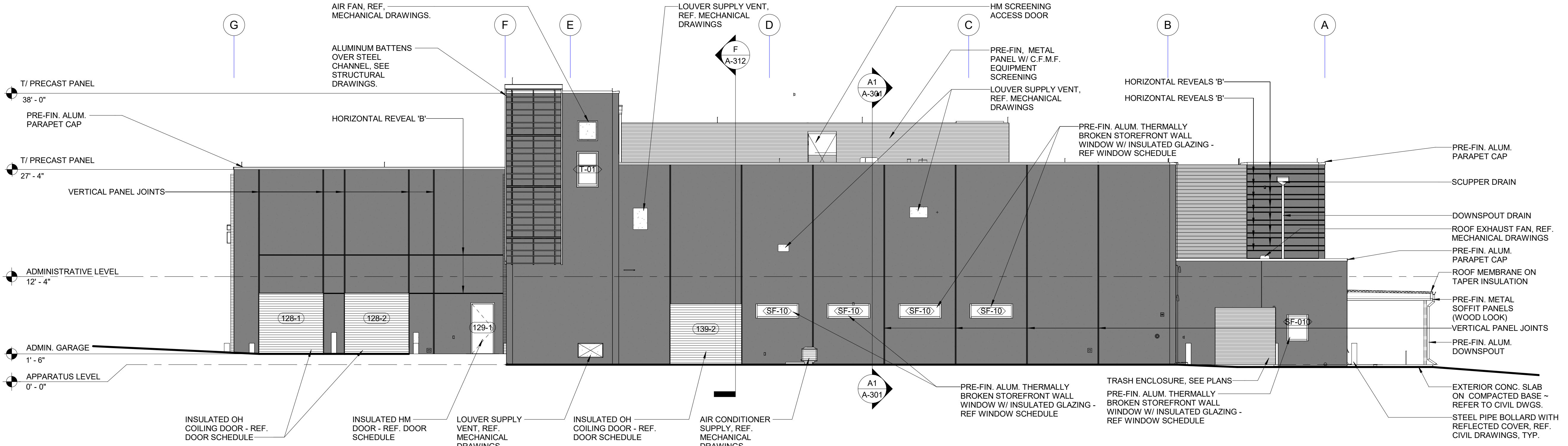
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Scale: 1/8" = 1'-0" A1/A-111



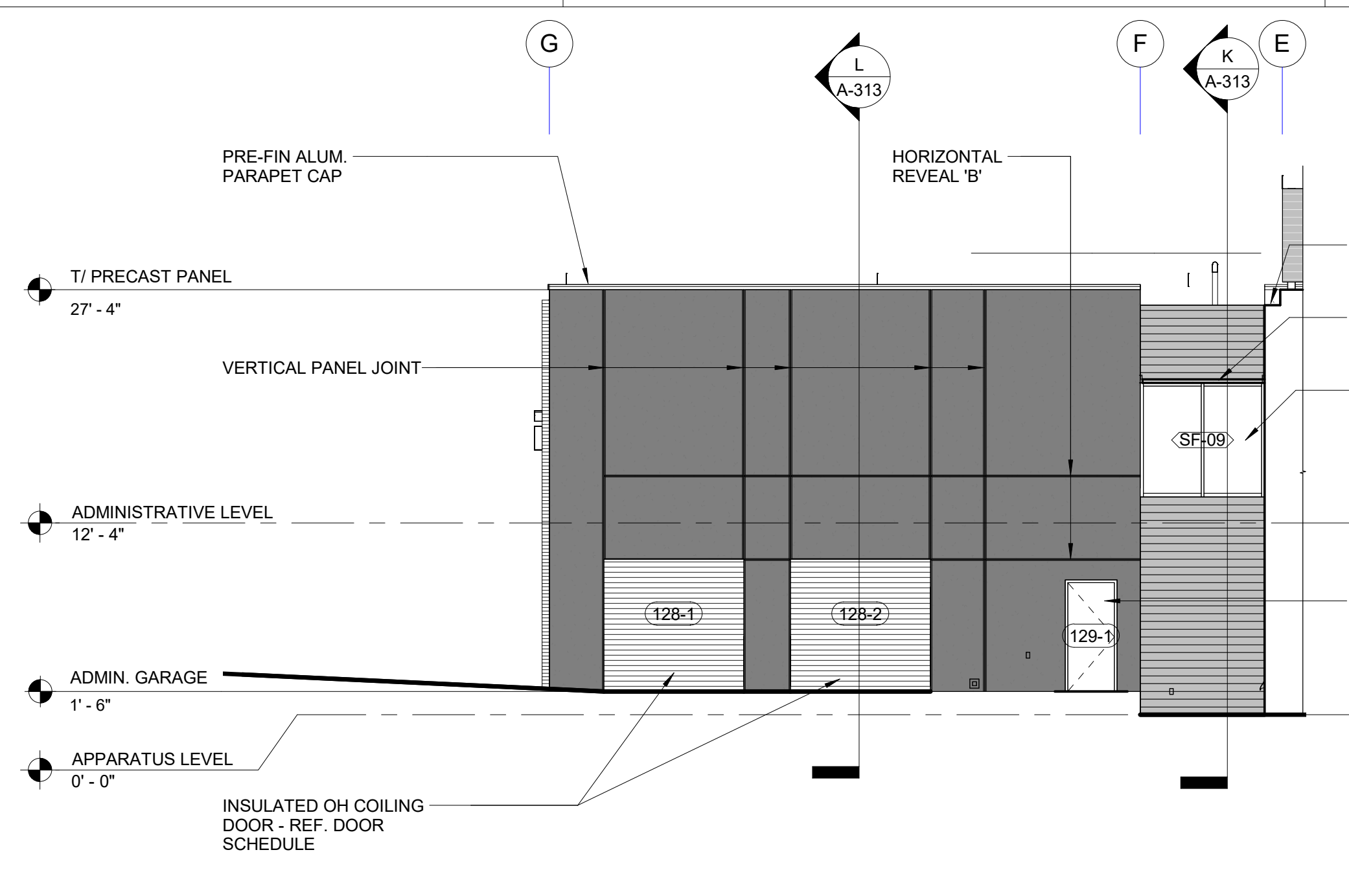
**1 WEST APP BAY - ALTERNATE 4**  
Scale: 1/8" = 1'-0"



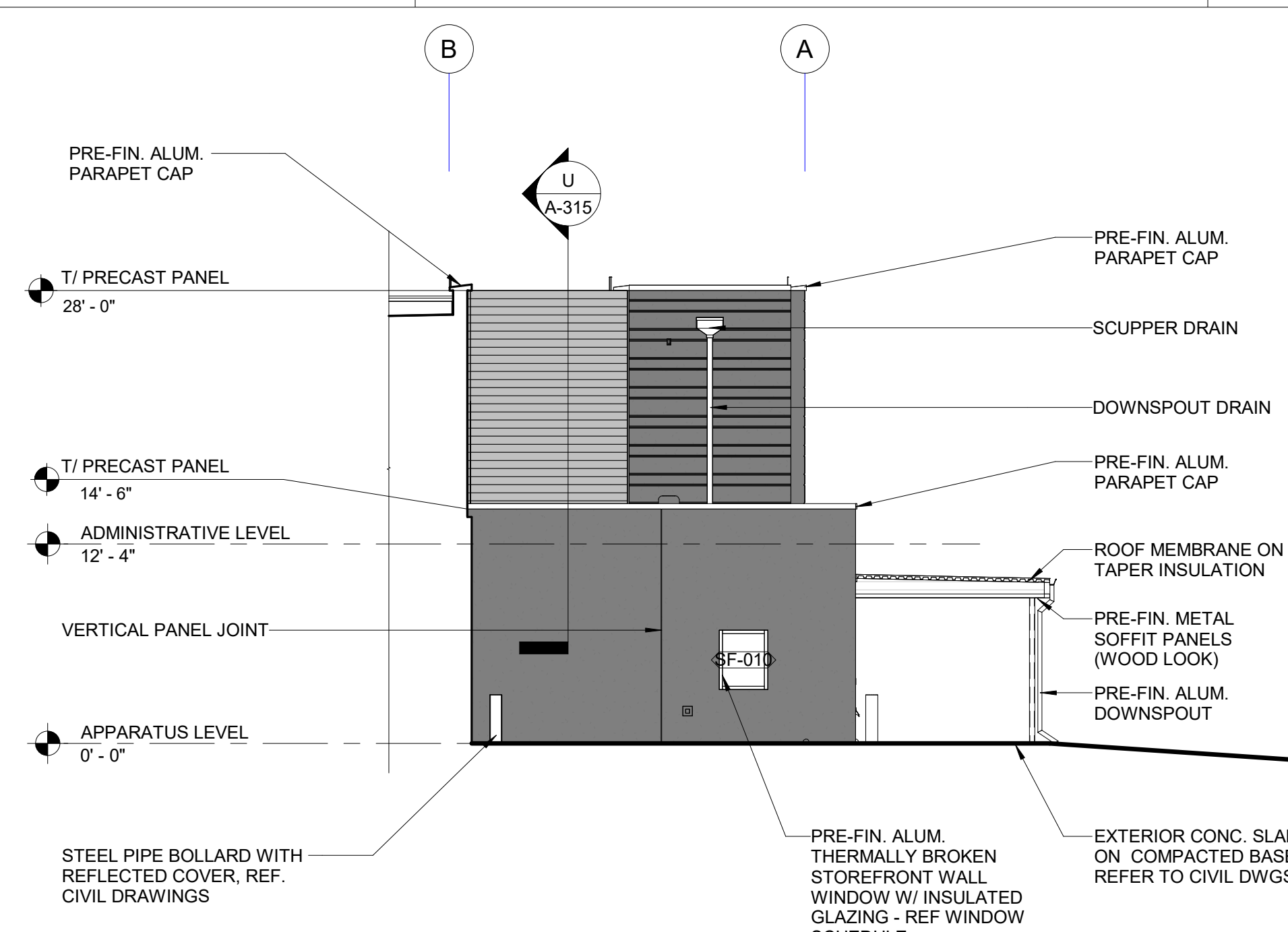
**C1 SOUTH ELEVATION**  
Scale: 1/8" = 1'-0" A1/A-111



**E1 PARTIAL SOUTH ELEVATION**  
Scale: 1/8" = 1'-0" A1/A-111



**E3 PARTIAL SOUTH ELEVATION**  
Scale: 1/8" = 1'-0" A1/A-111



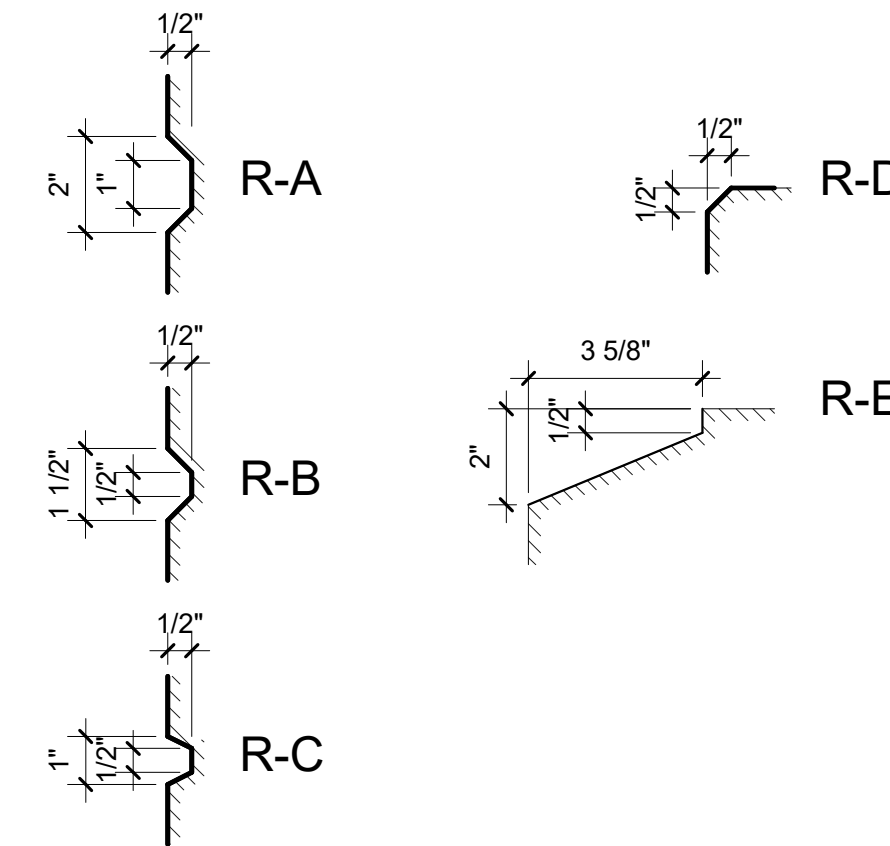
## EXTERIOR MATERIAL LEGEND

MP-1	UNINSULATED 4" METAL PANEL OVER METAL STUD -FINISH: -CHARCOAL GREY
MP-2	4" METAL PANEL OVER STUD -FINISH: -CHARCOAL GREY
MP-3	4" METAL PANEL OVER STUD -FINISH: - COLONIAL RED
ICP-1	INSULATED CONCRETE PRECAST PANELS -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH
ICP-2	INSULATED CONCRETE PRECAST PANELS -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH -LIGHT ABRASIVE BLAST
CPP-1	CONCRETE PRECAST PANELS -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH
BRV-1	BRICK VENEER -FINISH: -BLACK BRICK -BLACK MORTAR

-TROWEL FINISH PANEL BACK  
-GROUT PATCH AND GRIND SMOOTH OF BRACING  
AND LIFTING INSERTS IN ALL EXPOSED INTERIOR  
SURFACES OF=

APP BAY= FULL HEIGHT  
ADMIN GARAGE= UP TO ADMINISTRATIVE  
LEVEL  
HOSE TOWER= FULL HEIGHT  
STAIR A= FULL HEIGHT  
BUNKER GEAR= UP TO ADMINISTRATIVE  
LEVEL

## REVEAL LEGEND



Dewberry Architects Inc.

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Dewberry Engineers Inc.

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309.262.8000  
IL DESIGN FIRM REG.  
#184000507-0006

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60142  
ISSUED FOR BIDDING AND PERMIT

SEAL

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY JGSIII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023  
TITLE

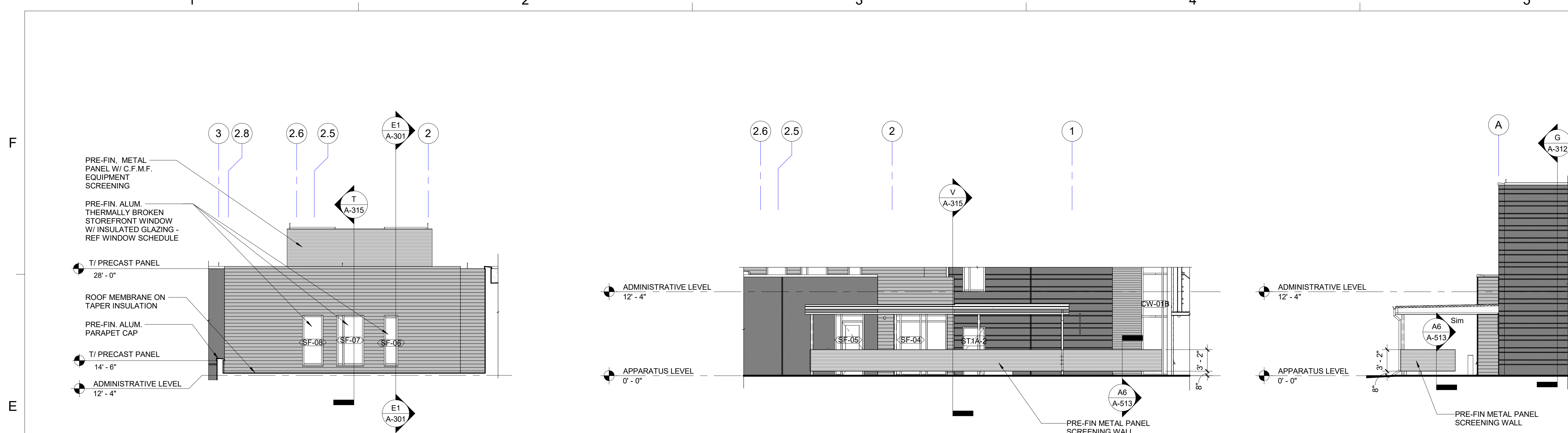
EXTERIOR  
ELEVATIONS

PROJECT NO. 50158591

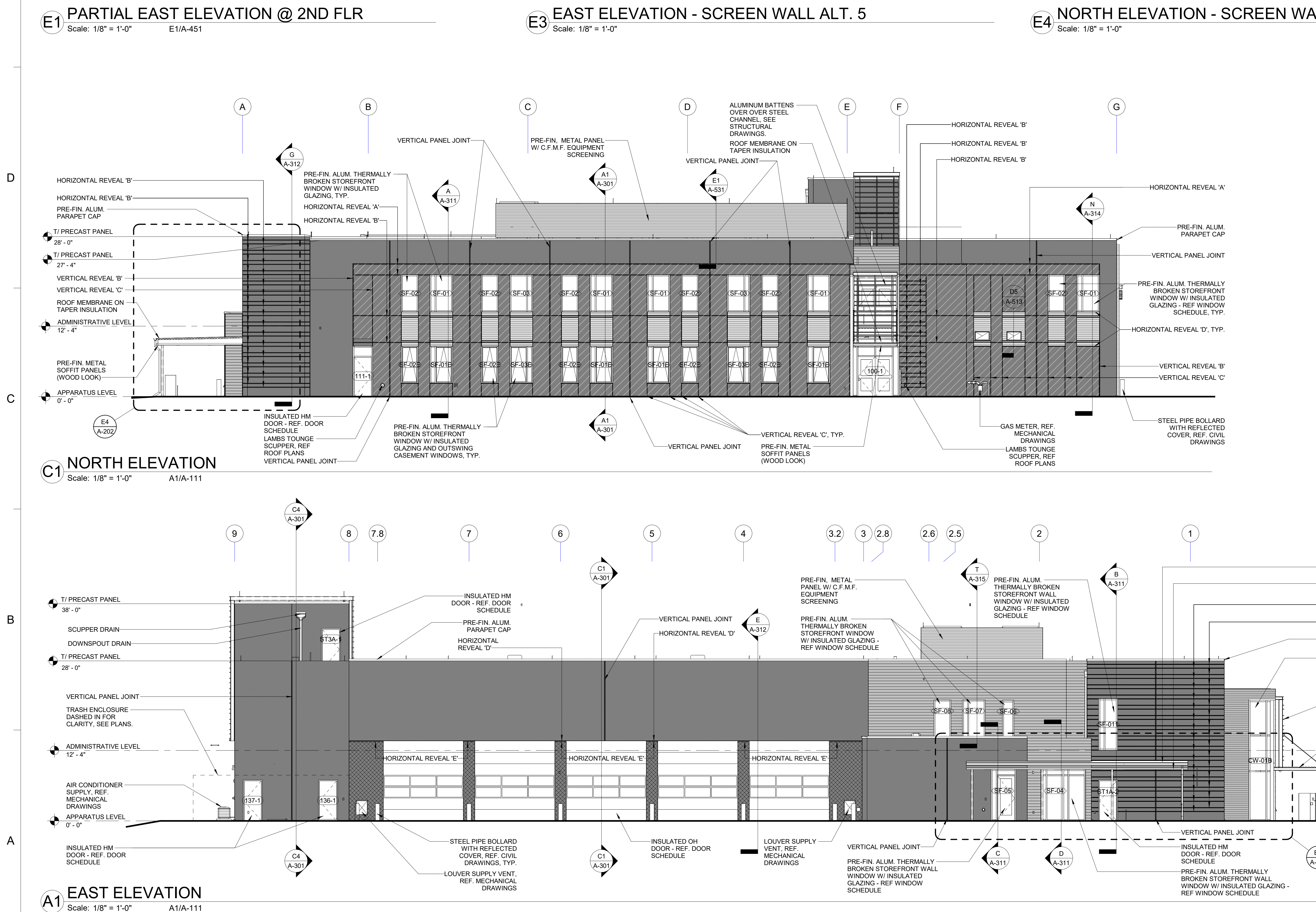
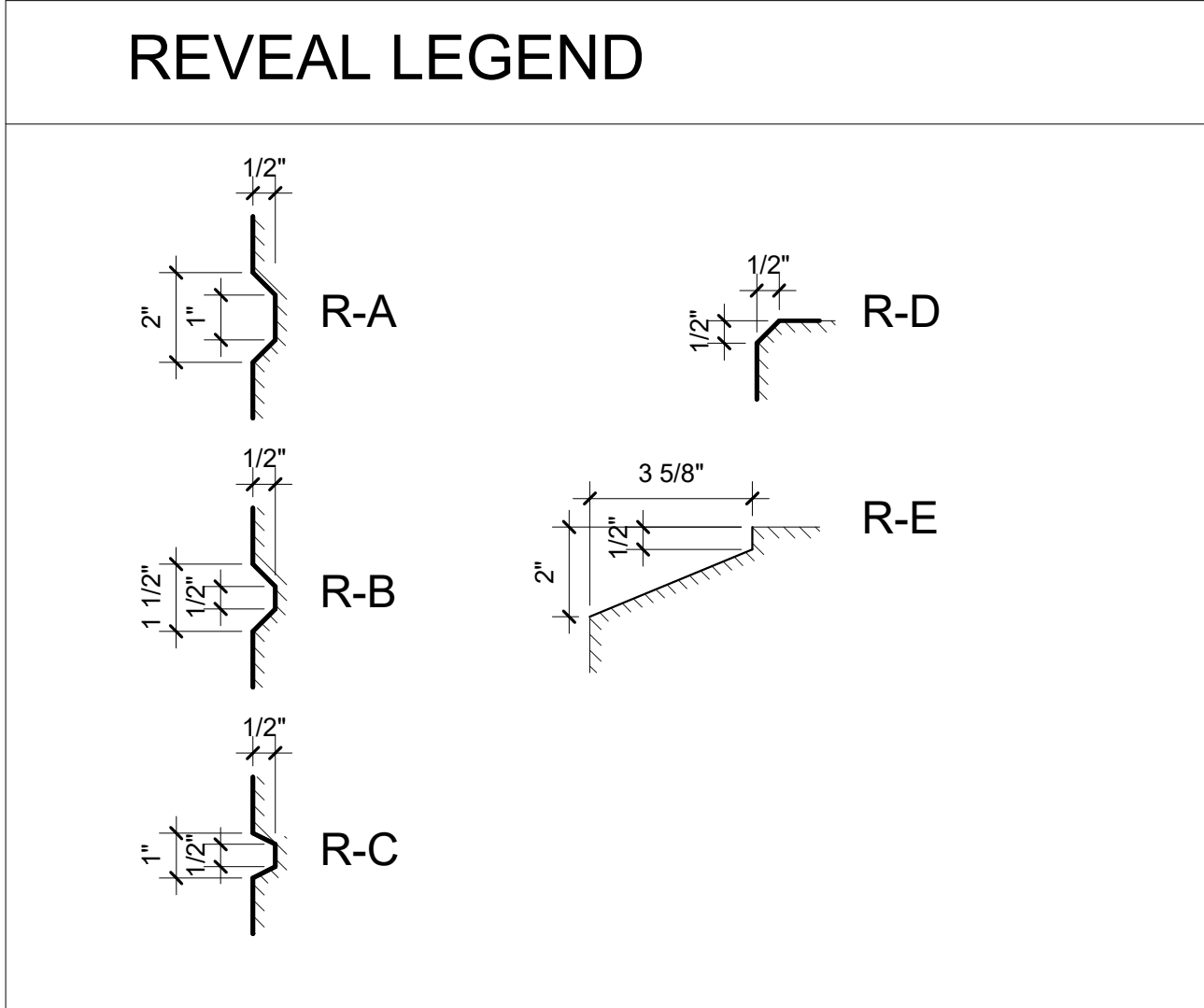
A-201

SHEET NO.





EXTERIOR MATERIAL LEGEND		
MP-1	UNINSULATED 4" METAL PANEL OVER METAL STUD	-FINISH: -CHARCOAL GREY
MP-2	4" METAL PANEL OVER STUD	-FINISH: -CHARCOAL GREY
MP-3	4" METAL PANEL OVER STUD	-FINISH: - COLONIAL RED
ICP-1	INSULATED CONCRETE PRECAST PANELS	-FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH
ICP-2	INSULATED CONCRETE PRECAST PANELS	-FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH -LIGHT ABRASIVE BLAST
CPP-1	CONCRETE PRECAST PANELS	-FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH
BRV-1	BRICK VENEER	-FINISH: -BLACK BRICK -BLACK MORTAR
-TROWEL FINISH PANEL BACK -GROUT PATCH AND GRIND SMOOTH OF BRACING AND LIFTING INSERTS IN ALL EXPOSED INTERIOR SURFACES OF=		
APP BAY=		FULL HEIGHT
ADMIN GARAGE=		UP TO ADMINISTRATIVE LEVEL
HOSE TOWER=		FULL HEIGHT
STAIR A=		FULL HEIGHT
BUNKER GEAR=		UP TO ADMINISTRATIVE LEVEL



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NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60142

ISSUED FOR BIDDING AND PERMIT

SEAL

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY JGSIII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023

TITLE

EXTERIOR ELEVATIONS

PROJECT NO. 50158591

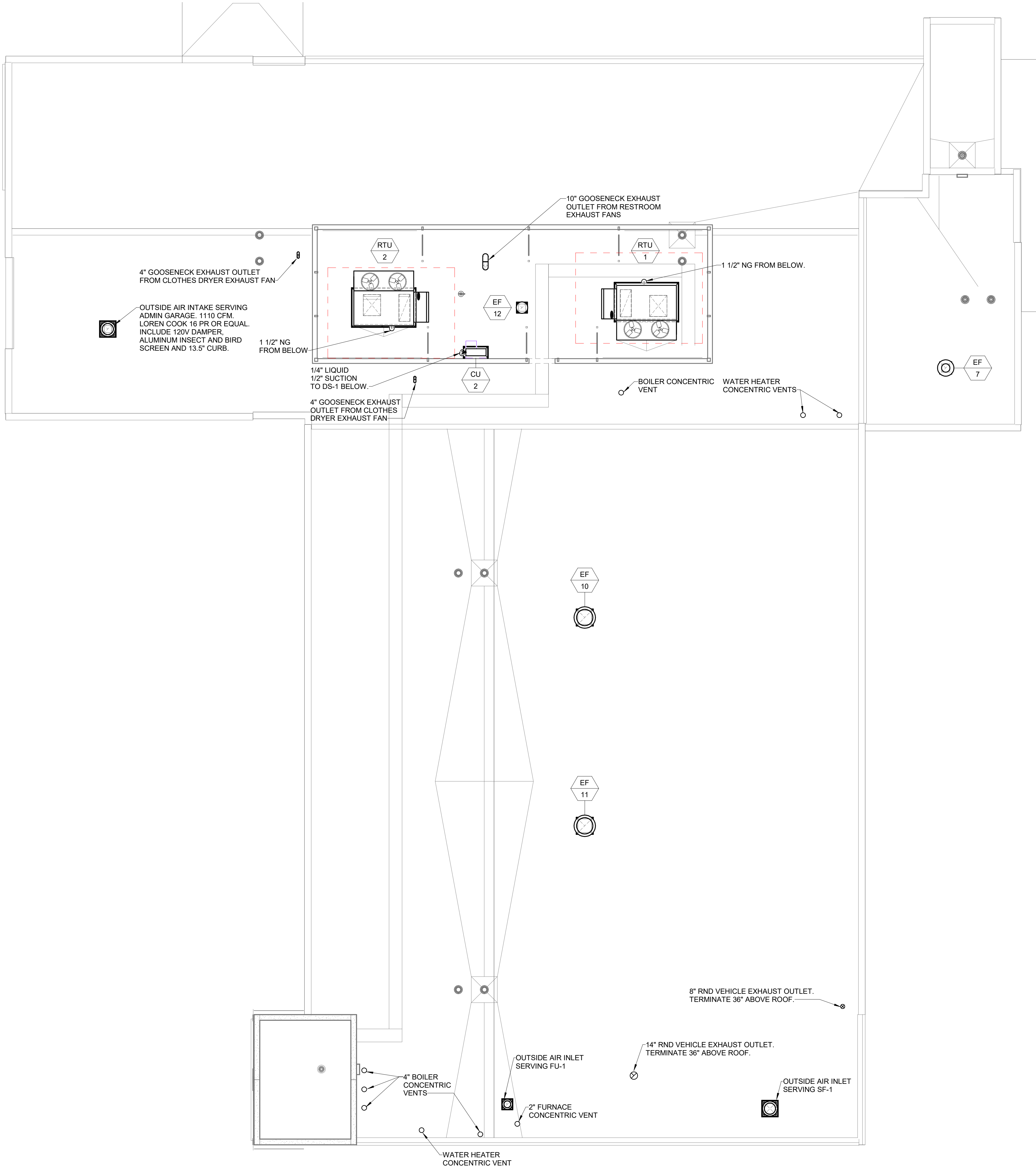
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SHEET NO.



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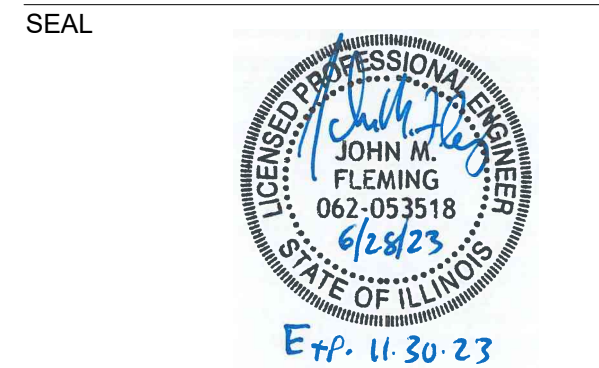
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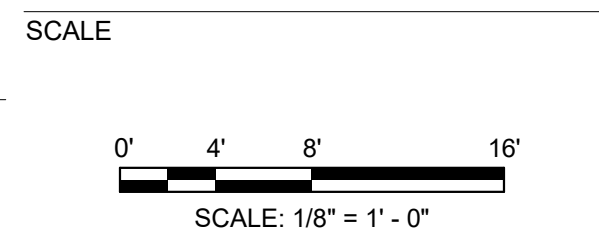
Dewberry Architects Inc.  
132 North York Street  
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Evanston, IL 60126-3079  
847.695.3840  
IL DESIGN FIRM REG.  
#184000358-001

Dewberry Engineers Inc.  
401 SW Water Street  
Suite 701  
Peoria, Illinois 61602  
309.282.8000  
IL DESIGN FIRM REG.  
#184000357-0005

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
23 N Lincolnway  
North Aurora, IL 60142  
ISSUED FOR BIDDING AND PERMIT



KEY PLAN



REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ TEV  
APPROVED BY \_\_\_\_\_ JMF  
CHECKED BY \_\_\_\_\_ JMF  
DATE \_\_\_\_\_ 06/29/2023

TITLE  
MECHANICAL  
ROOF FLOOR  
PLAN

PROJECT NO. 50158591

M-131

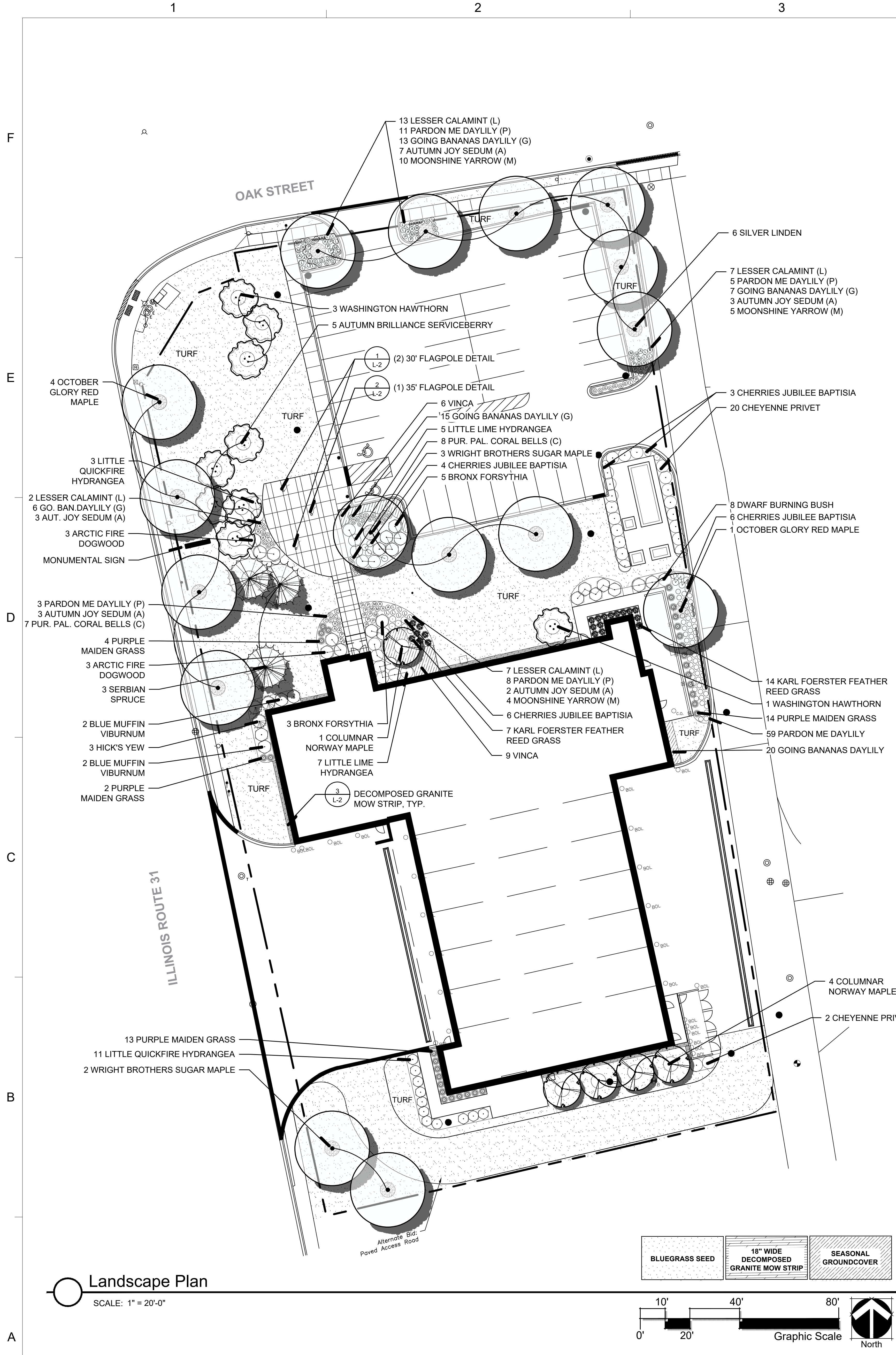
SHEET NO.



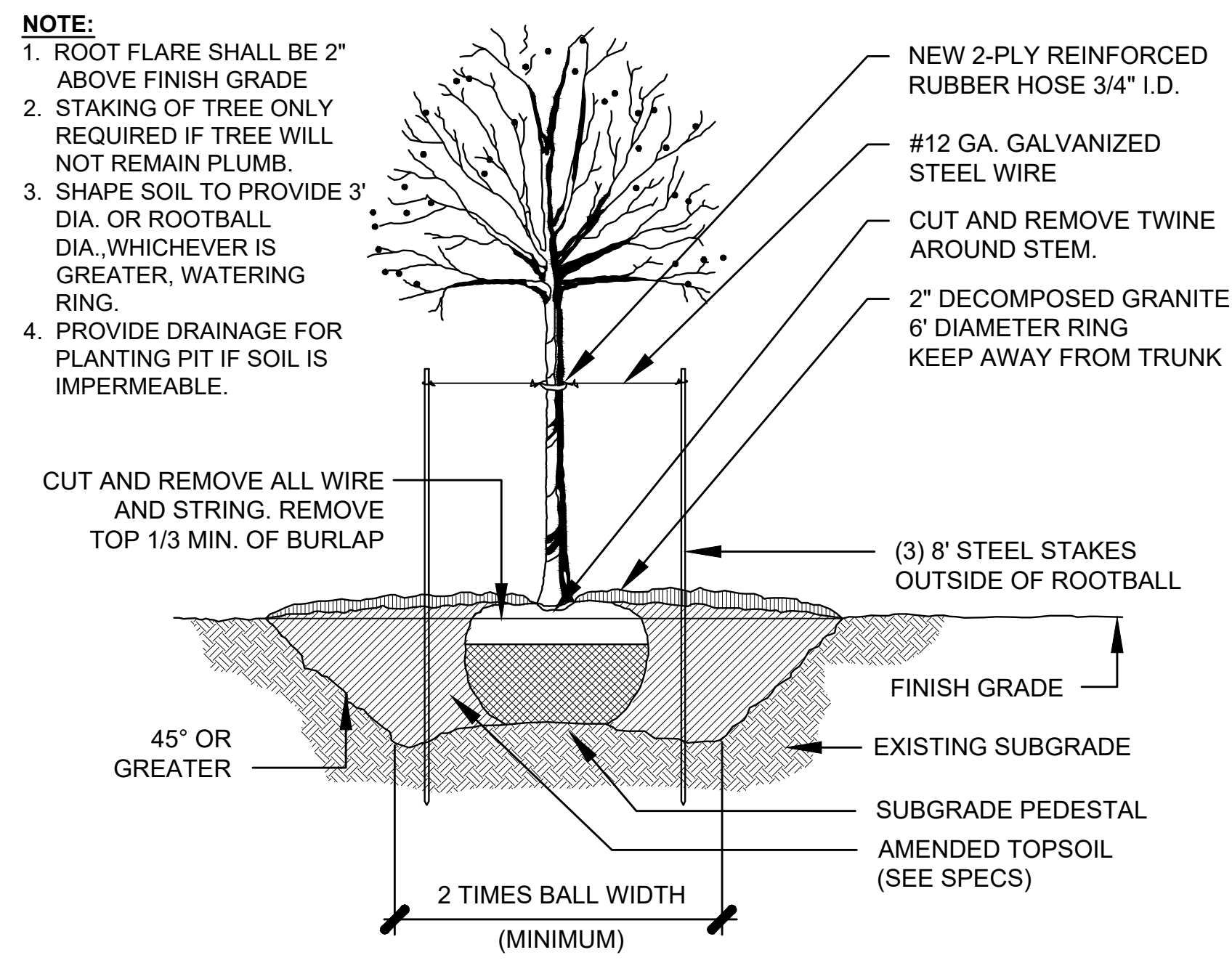


NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
SITE PLAN

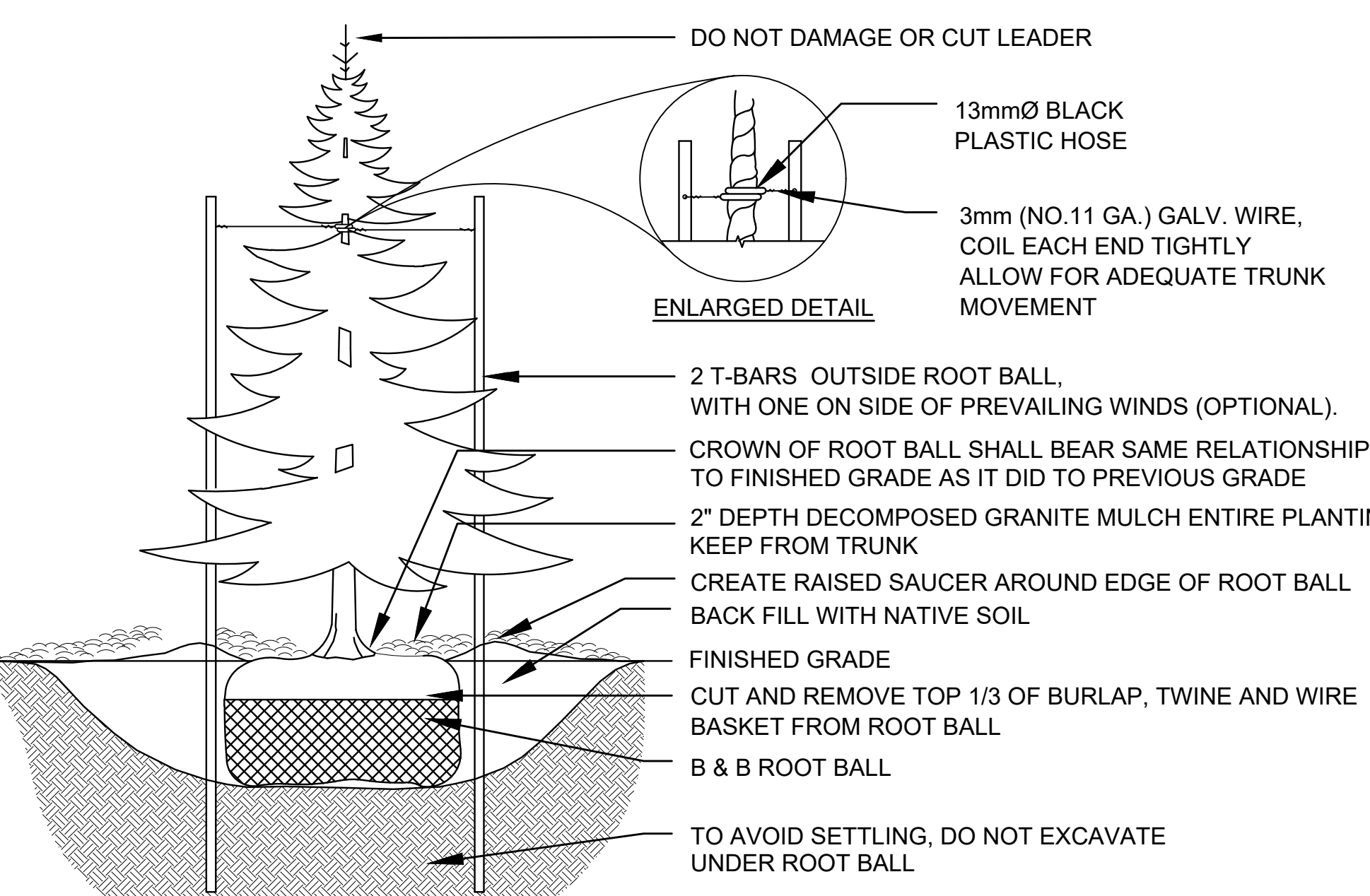




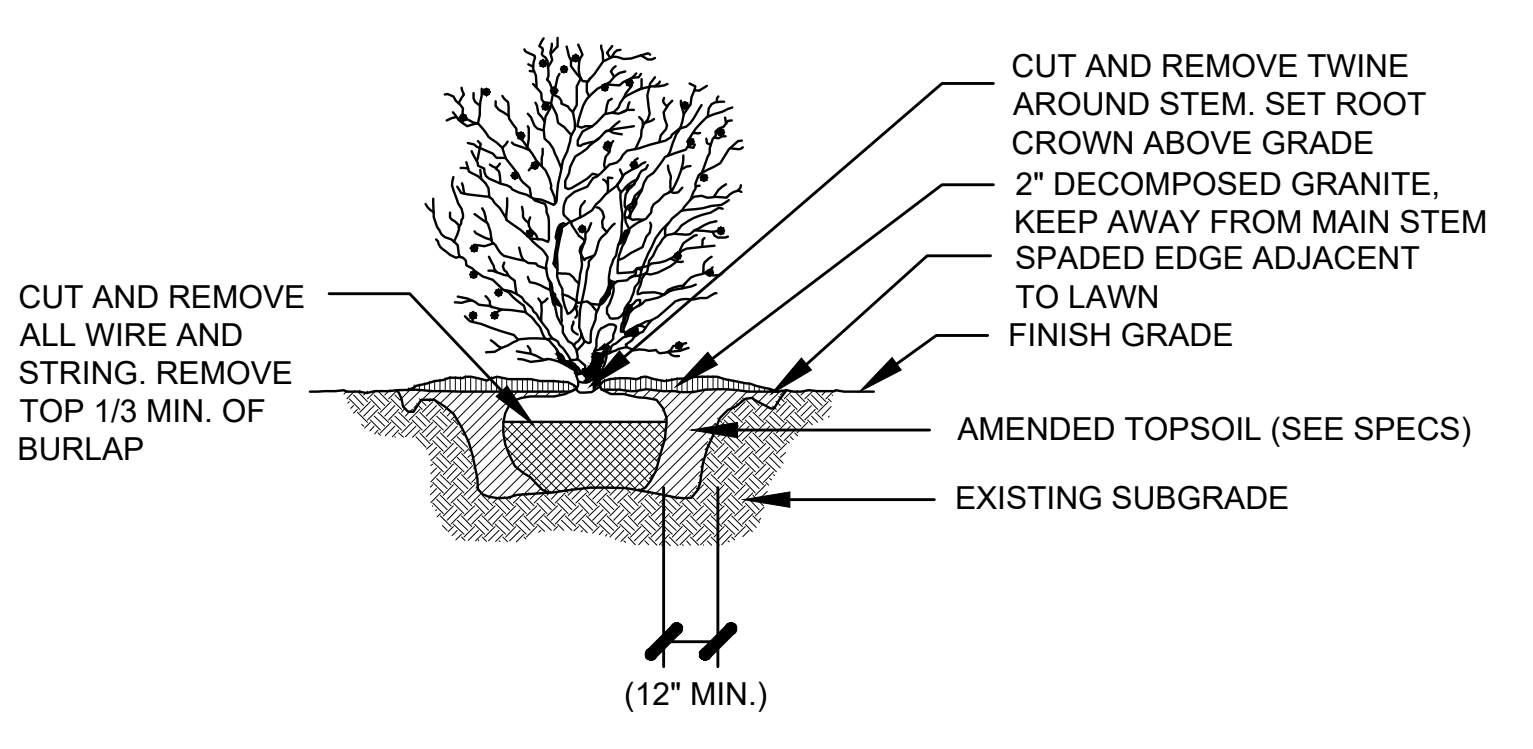
Landscape Plan  
SCALE: 1" = 20'-0"



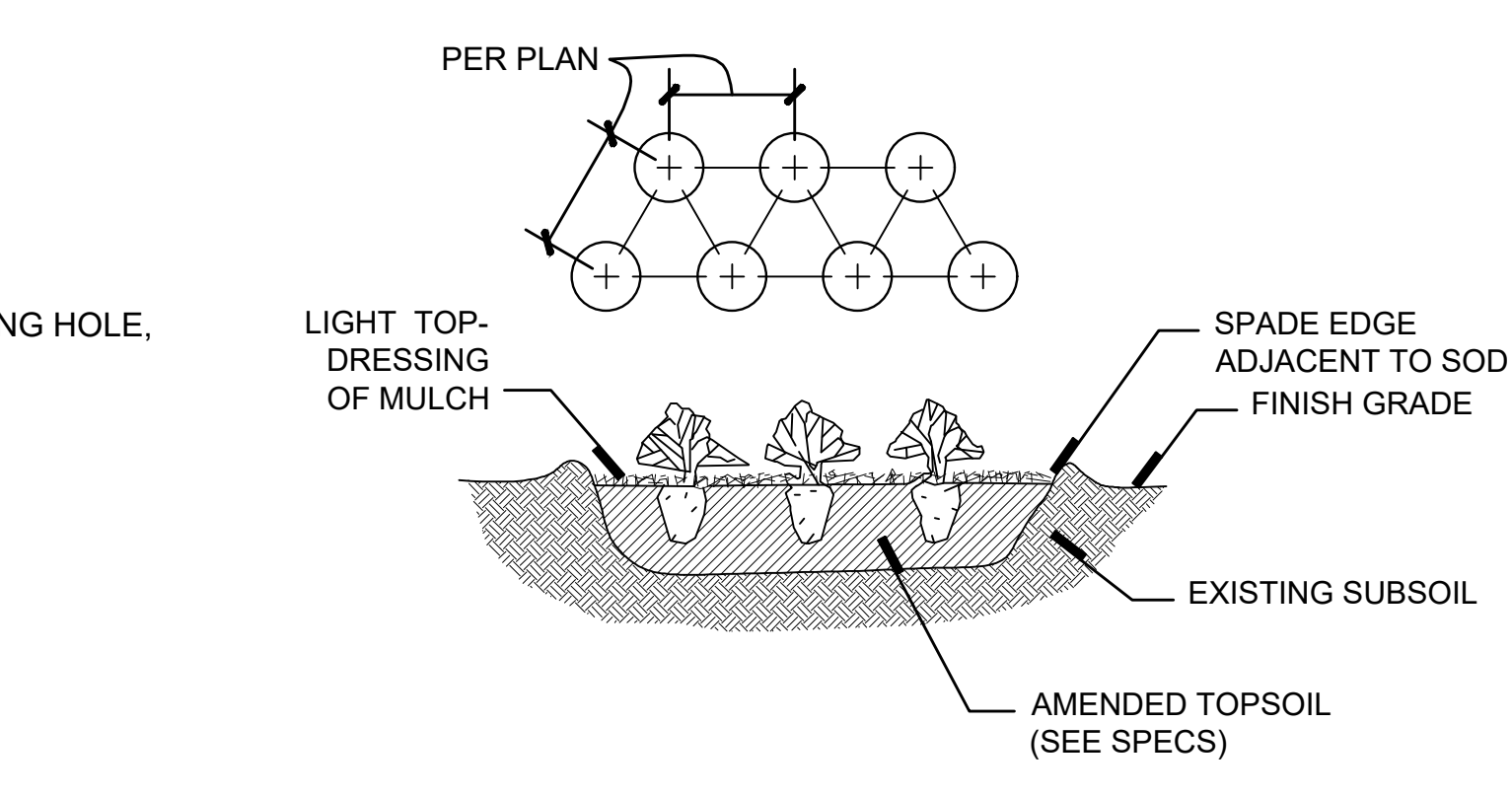
1 Canopy Tree Detail  
SCALE: NTS



2 Evergreen Tree Detail  
SCALE: NTS



3 Shrub Detail  
SCALE: NTS



4 Groundcover / Perennial Detail  
SCALE: NTS

MATERIALS LIST

Description	SIZE	EST. QTY.
<b>Canopy Trees</b>		
Silver Linden	2.5" cal.	6
Columnar Norway Maple	2.5" cal.	5
October Glory Red Maple	2.5" cal.	5
Wright Brothers Sugar Maple	2.5" cal.	5
<b>Evergreen Trees</b>		
Serbian Spruce	6' ht.	3
<b>Ornamental Trees</b>		
Autumn Brilliance Serviceberry	6' ht.	5
Washington Hawthorn	6' ht.	4
<b>Shrubs</b>		
Dwarf Burning Bush	36" ht.	8
Arctic Fire Dogwood	36" ht.	6
Bronx Forsythia	18" ht.	8
Little Lime Hydrangea	18" ht.	12
Little Quickfire Hydrangea	18" ht.	14
Cheyenne Privet	36" ht.	24
Blue Muffin Viburnum	36" ht.	4
Hick's Yew	36" ht.	3
<b>Perennials &amp; Groundcovers</b>		
Cherries Jubilee Baptisia	1 gal.	19
Lesser Calamint	1 gal.	33
Purple Palace Coral Bells	1 gal.	15
Going Bananas Daylily	1 gal.	61
Pardon Me Daylily	1 gal.	106
Autumn Joy Sedum	1 gal.	18
Vinca, 12" O.C.	flat/24	15
Moonshine Yarrow	1 gal.	19
<b>Ornamental Grasses</b>		
Karl Foerster Feather Reed Grass	1 gal.	21
Purple Maiden Grass	1 gal.	28
<b>Turf and Mow Strips</b>		
Kentucky Bluegrass Seed & Blanket	0.47 acre	
Decomposed Granite Mow Strip	260 s.f.	

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Schaepe Design Associates, Inc.  
1111 N. Lincolnway  
Peoria, IL 61602  
309.282.8000  
ILL. DESIGN FIRM REG.  
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NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60142

ISSUED FOR BIDDING AND PERMIT

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE: 1" = 20'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
7	ISSUED FOR BID AND PERMIT	06-29-2023
6	ISSUED FOR 95% REVIEW	06-15-2023
5	REVISED PER CLIENT COMMENTS	06-09-2023
4	REVISED PER CLIENT COMMENTS	06-02-2023
3	ISSUED FOR 100% DD	05-11-2023
2	REVISED PER CLIENT COMMENTS	04-28-2023
1	ISSUED FOR 50% DD	04-14-2023

DRAWN BY: CK  
APPROVED BY: MW  
CHECKED BY: MS  
DATE: 04/14/2023  
TITLE: Landscape Plan Materials List & Planting Details

PROJECT NO. 50158591

L-1

SHEET NO.



F

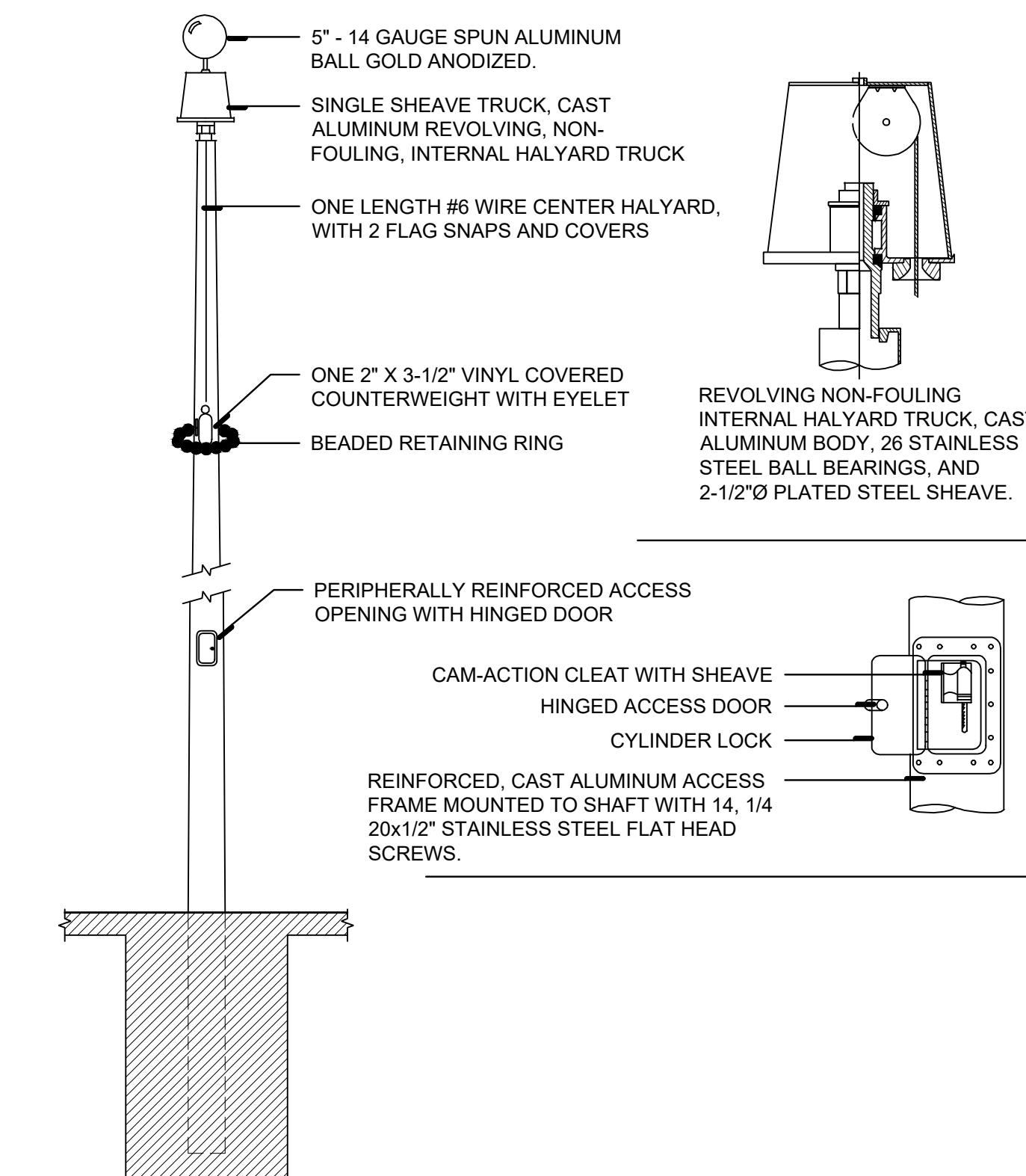
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D

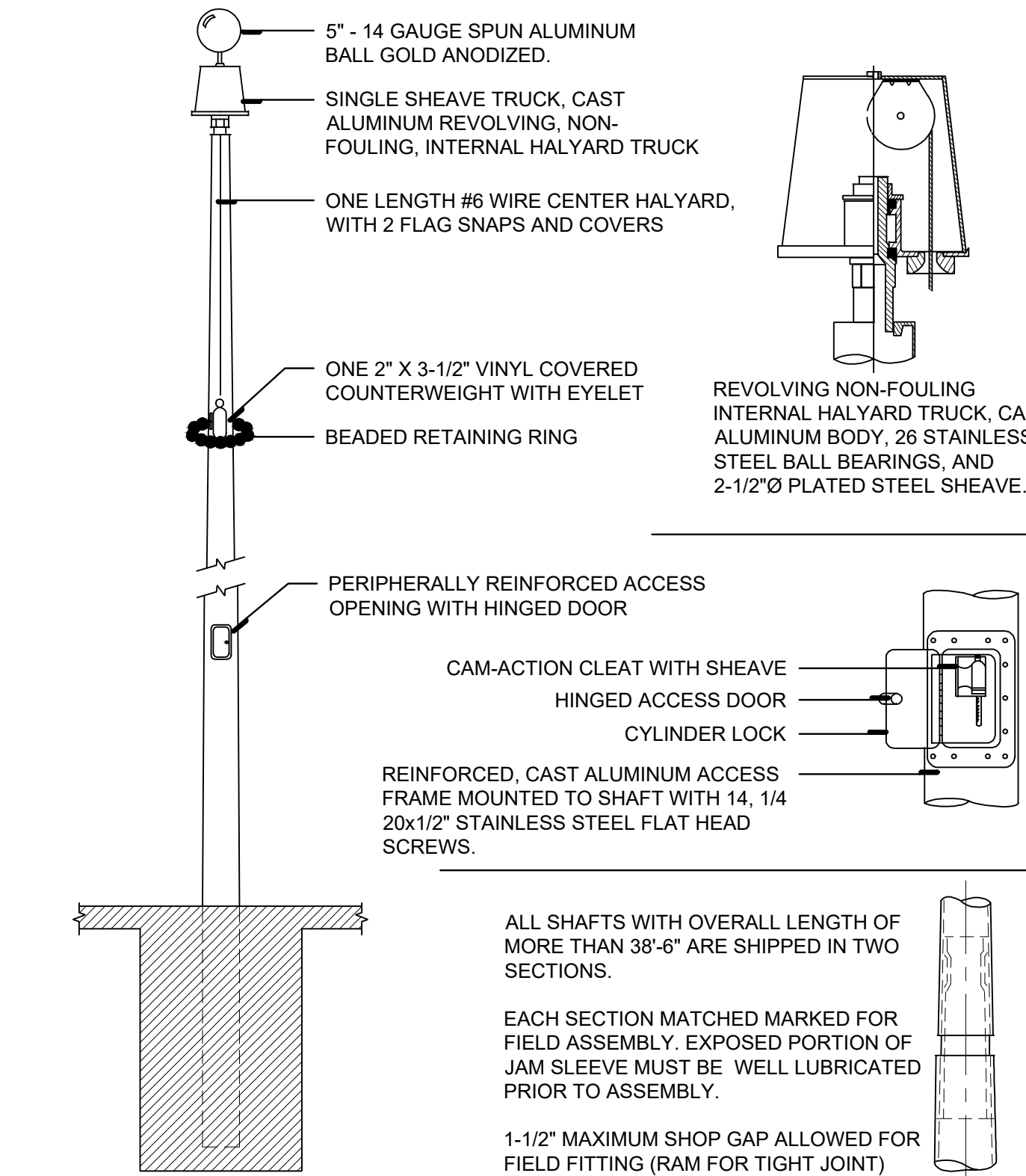
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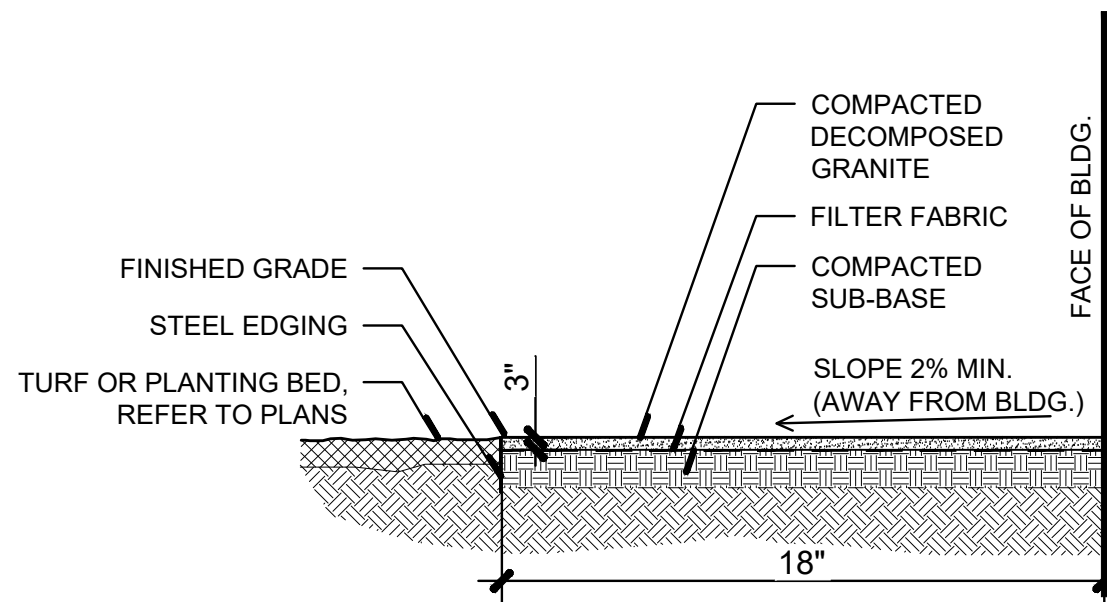
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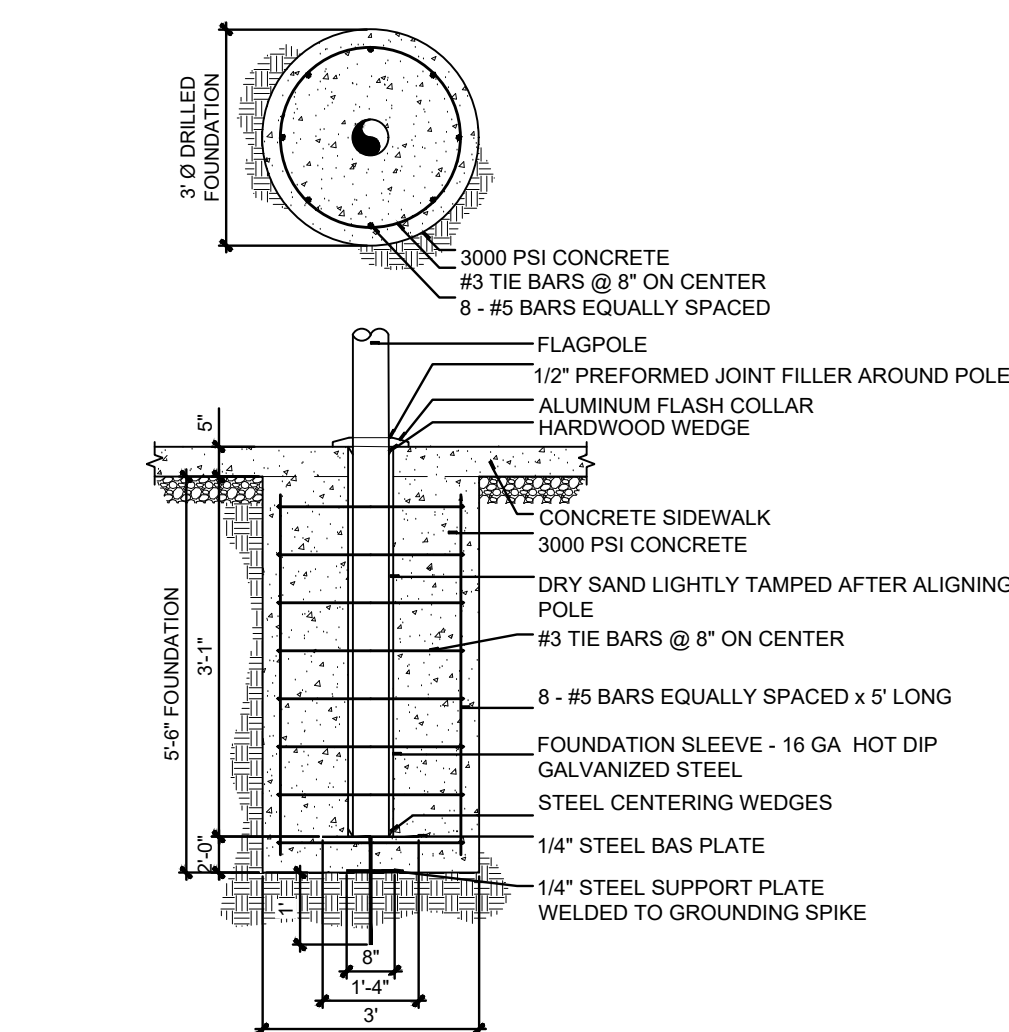
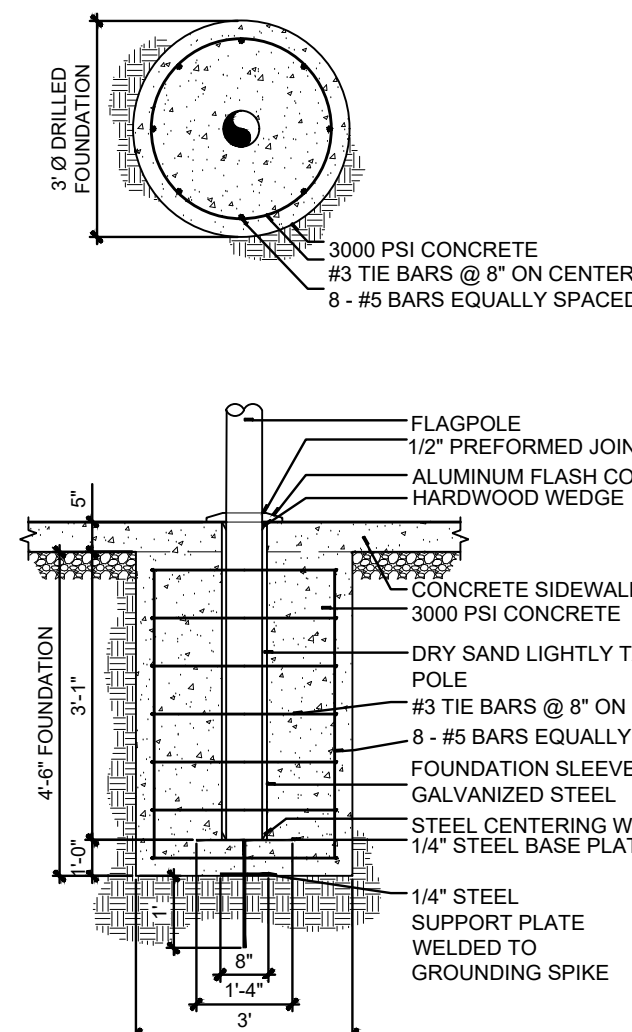
30' FLAGPOLE DETAIL  
SCALE: NTS



35' FLAGPOLE DETAIL  
SCALE: NTS



DECOMPOSED GRANITE MOW STRIP  
SCALE: NTS



## LANDSCAPE SPECIFICATIONS

### PART 1 - GENERAL

#### 1.01 DESCRIPTION

- Provide turf, trees, shrubs, and groundcovers as shown and specified. The work includes:
  - Soil preparation.
  - Fertilizing.
  - Seeding.
  - Soil.
  - Trees, shrubs, and groundcovers.
  - Mulch and planting accessories.
  - Maintenance and guarantee.
  - Cleaning up work area.
  - Amended topsoil.

#### 1.02 QUALITY ASSURANCE

- Comply with applicable local regulations.
- Plant names indicated comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.
- Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock." A plant shall be dimensioned as it stands in its natural position.
- All plants shall be nursery grown in the central/northern Illinois region and/or within a 100 mile radius of the project and under climatic conditions similar to those in the locality of the project for a minimum of 2 years.
- Plants are subject to inspection by the Landscape Architect at the job site or nursery. The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging and to reject unacceptable material at anytime during the process.

#### 1.03 SUBMITTALS

- Seed: Submit seed vendor's certification for required grass seed mixture, indicating percentage by weight, and percentages of purity, germination, and weed seed for each grass species.
- Plants: If plants will not be installed in accordance with provided plans due to availability or conditions a substitution list with genus, species, variety, size and/or quantity of plants to be substituted shall be submitted for review by the Landscape Architect.
- Mulch
- Straw Blanket
- Decomposed Granite, 1 lb.

#### 1.04 DELIVERY, STORAGE, AND HANDLING

- Seed: Deliver seed and fertilizer materials in original unopened containers, showing weight, analysis, and name of manufacturer. Store in a manner to prevent wetting and deterioration.
- Deliver fertilizer materials in original, unopened, and undamaged containers showing weight, analysis, and name of manufacturer. Store in a manner to prevent wetting and deterioration.
- Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray evergreen plants and deciduous plants in foliage with and approved "Anti-Desiccant" before digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival; the certificate shall be filed with the Landscape Architect. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plants daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches or bark.
- Cover plants transported on open vehicles with a protective covering to prevent windburn and desiccation.

#### 1.05 PROJECT CONDITIONS

- A. It shall be the contractors responsibility to protect and locate all above and below ground utilities as required by law. The contractor shall contact utility companies at least 48 hours prior to any work.
- B. Work notification: Notify Landscape Architect at least 2 working days prior to start of planting or seeding operations.
- C. Confirm that the quality and depth of topsoil is satisfactory prior to beginning fine grading.
- D. Fine grading must be approved by Landscape Architect prior to start of seeding.
- E. Perform turf work only after planting and other work affecting ground surface has been completed.
- F. Install seed under favorable weather conditions unless approved by the Owner's Representative. The conditions of the guarantee apply regardless of the date of installation. The generally accepted times for seeding are:  
Spring - April 1st to May 31st  
Fall - August 15th to September 15th
- G. A complete list of plants, including a schedule of sizes, approximate quantities, and other requirements is shown on the drawings for the convenience of the Owner. Verify and supply the quantities required to complete the work as shown.

#### 1.06 GUARANTEE

- Guarantee all work for two years following the date of Final Completion.
- At the end of the guarantee period, reseed areas with specified materials, which fail to provide a uniform stand of grass until all affected areas are accepted by the Landscape Architect.
- Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the Landscape Architect, are in an unhealthy or unsightly condition. Guarantee all replacement plants for 2 additional years after installation. Replacement plants, which are dead or unacceptable within 2 years of their installation, may be replaced with ungaranteed plants, or removed, at the discretion of the Owner. Reimburse the Owner 50% of the price of each removed plant, which is not replaced.
- Guarantee shall not include damage or loss of trees, plants, or groundcovers caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, winter kill caused by extreme cold and severe winter conditions not typical of planting area, browsing or other damage caused from rodents or other animals; or acts of vandalism.
- If within two years of final completion, settlement occurs, make all adjustments without extra cost to the Owner including the complete restoration of all damaged planting, paving, or other improvements of any kind.

### PART 2 - PRODUCTS

#### 2.01 MATERIALS

- Seed Fertilizer:
  - Granular, non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.
  - Starter fertilizer with an approximate analysis of 6N, (24P20S, 24K20), or similar approved composition.
  - Post emergent fertilizer with an approximate analysis of 30-5-5.

- Plant Fertilizer:
  - Provide a granular commercial fertilizer with an analysis of 10-10-10
- Seed:
  - Turf Seed: Provide fresh, clean, new crop turf-type lawn seed complying with the tolerance for purity and germination established by the Association of Official Seed Analysts (AOSA) of North America. Seed shall be obtained from a reputable supplier (approved by Landscape Architect) within a 200-mile radius of the local transition zone and/or northerly regions of the project site and shall be free from Pta annua, bent grass and noxious weeds. Provide pure live seed (PLS) of grass species, proportions and maximum percentage of weed seed, as specified.
  - Turf Seed Mixture: 6 lbs./ 1000 sq. ft.  
**Seed Blend Mixture:**  
Kentucky Bluegrass (blend of 3 types) 50% (131 lbs./ac.)  
Fine Fescue 30% (78 lbs./ac.)  
Perennial Ryegrass (blend of 2 types) 20% (52 lbs./ac.)
- Plants: Provide plants typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, plants free from defects, such as, broken, frost cracks, abrasions of the bark, plant disease, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces.

- Dig balled and burlapped plants with firm, natural balls of earth. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock." Cracked or mushroomed balls are not acceptable. Tree shade transplanting is not acceptable.
- Provide shade and evergreen tree species with a single main trunk unless otherwise specified or accepted.
- Provide plants matched in form when arranged in groups.
- Provide evergreen trees branched to the ground unless otherwise specified or accepted.
- Provide shrubs and small plants meeting the requirements for spread and height indicated in the plant list.
  - The measurements for height shall be taken from the ground level to the average height of the top of the plant and not the longest branch.

- Topsoil
  - Topsoil shall be defined as a friable, loamy mixture surface soil. It shall not be extremely acid or alkaline nor contain toxic substances harmful to plant growth, and shall be of uniform color and texture.
  - Topsoil shall be free from large roots, sticks, weeds, brush, subsoil, clay lumps, or stones larger than one (1") inch in diameter, or other filler and extraneous matter undesirable to plant growth.

- Topsoil must be inspected by the owner at the source of supply or as delivered. Topsoil shall meet the approval of the owner prior to use. Any topsoil placed without approval may be subject to removal at the discretion of the owner.
- Drainage fill: AASHTO M43 (3/8" to 3/4") clean uniformly graded stone or gravel.
- Filter fabric: Dupont "Typer" or other approved non-woven porous polypropylene fabric.
- Erosion control blanket shall be 575 BN as manufactured by North American Green or approved equal 100% biodegradable jute mesh. Erosion control blanket shall be installed per manufacturer's recommendation in all areas identified on the drawings.
- Decomposed Granite: Reddish-brown crushed granite aggregate 3/8" maximum gradation.
- Steel Edging: 3/16" thickness x 4" depth steel landscape bed edging with anchoring stakes. Color to be black or brown.

#### 2.02 ACCESSORIES

- Amended Topsoil for Planting Beds: A mixture of 60% topsoil and 40% mushroom compost, which have been thoroughly incorporated.
- Mulch: 6 month old, well rotted, double shredded hardwood, cedar or cypress bark must not larger than 4" in length and 1/2" in width, free of woodchips and sawdust.
- Stakes for Guying: Hardwood, 2" x 4" x 36" long, or steel stakes.
- Guying Wires: Double strand No. 12 gauge galvanized wire.
  - Turnbuckles: Galvanized steel of size and gauge required to provide tensile strength equal to that of the wire. Turnbuckle openings shall be at least 3" diameter.
- Guying Hoses: Two-ply, reinforced garden hose not less than 3/4" inside diameter.
- Tree Wrap: Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe kraft paper weighing not less than 30 lbs. per ream.
- Twine: Two-ply nursery jute material.
- Sand: Coarse "torpedo" sand.

### PART 3 - EXECUTION

#### 3.01 INSPECTION

- Examine finish surfaces grades, topsoil quality, depth, and conditions of installations. Do not start planting work until unsatisfactory conditions are corrected.
- Saturate and fill tree and shrub pits with water to test drainage before planting. Provide gravel drains at pits, when planting pits are more than half full of water after 24 hours.

#### 3.02 PREPARATION

- All planting techniques and methods shall be consistent with the latest edition of American Standard for Nursery Stock (ANSI 200.1), and as detailed on these drawings.
- Loosen topsoil of lawn areas to minimum depth of 6". Remove stones over 1" in any dimension and sticks, roots, rubbish, and extraneous matter.
- Grade lawn areas to smooth, free draining and even surface with a loose, uniformly fine texture. Roll and rake; remove ridges and fill depressions as required to drain.
- Restore prepared areas to specified condition if eroded, settled, or otherwise disturbed after fine grading and prior to seeding or sodding.

#### 3.03 FERTILIZATION

- Evergreen material: Plant evergreen materials between September 2 and November 1 or in spring before new growth begins. If project requirements require planting at other times, spray plant with anti-desiccant prior to planting operations.
- Deciduous material: Plant deciduous materials in a dormant condition. If deciduous trees are planted in-leaf, spray with an anti-desiccant prior to planting operations.
- Locate plants as indicated and approved in the field by the Landscape Architect.
- Excavate all clay and gravel in medians and planting beds to 24" depth. Backfill with amended topsoil.
- Excavate circular plant pits with sloped sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Scarify the bottom of the pit to a depth of 4".

#### 3.04 SEED INSTALLATION

- Turf Grass:
  - Seed immediately after preparation of bed.
  - Seed indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.
  - Perform seeding operations when the soil is dry, when winds do not exceed 10 miles per hour velocity and soil temperatures are above 55 degrees Fahrenheit.
- Slow grass seed at the specified rate using the following method:
  - Conventional Seeding:
    - Apply seed with a drop or rotary type distributor. Install seed evenly by sowing equal quantities in both directions, at right angles to each other.
  - After seeding, rake soil surface lightly to incorporate seed. Roll with light lawn roller.

- For all seeded broadcast areas, provide erosion control excelsior blanket within 24 hours of installation. Install per manufacturer's specification.
- Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased, but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four weeks after germination or until grass has become sufficiently established to warrant watering on an "as needed" basis.

#### 3.05 PLANT INSTALLATION (See landscape details for additional information)

- Trees and shrubs:
  - Set plant material in the planting pit to proper grade and alignment. Set plants upright and plumb. Set root flare of plant material 2" above the adjacent finish grade. Remove excess soil as needed from rootball above root flare. Remove burlap from top 1/3 of root ball. Remove all treated burlap (green). Cut and remove or roll and fold down upper half of wire basket, dependent upon tree size. Do not fill around trunks or stems.
  - After balled or burlapped plants are set, backfill fill all voids, tamping soil to avoid any air pockets.
  - Mix approved commercial fertilizer at 10 lbs. per cubic yard of backfill.
  - Water plants immediately after planting to eliminate all voids, thoroughly soak the plant rootball.
  - Remove all tags, wires, twine, and wrap from trees and shrubs immediately after planting.
- Groundcovers:
  - Where groundcovers are specified on the plans, rototill entire plant bed to 12" depth using amended topsoil. Incorporate commercial 10-10-10 fertilizer into prepared soil mixture at an approximate rate of 1 lb. per square yard.
  - Space groundcover plants according to dimensions on the drawings. Adjust spacing as necessary to evenly fill planting bed with indicated number of plants. Plant to within 1/8" of the trunk of trees and shrubs, or to the edge of the plant ball, whichever is closest. Plant to within 12" of bed edge.
  - Apply commercial pre-emergent herbicide (Preen or equal) per manufacturer's directions to entire groundcover bed.
- Mulching:
  - Mulch tree and shrub planting pits and shrub beds with required mulching material 3" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
  - Do not mulch within 3" radius of tree trunk.
- Wrapping:
  - Inspect trees for injury to trunks, evidence of insect infestations, and improper pruning before wrapping.
  - Wrap trunks of trees spirally from bottom to top with specified tree wrap and secure in place.
    - Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
  - Secure tree wrap in place with twine wound spirally downward in opposite direction, lead around the tree in at least 3 places in addition to the top and bottom.
  - Wrap should be removed within 1 year of installation and all twine removed to avoid damage to trunk.

### EROSION CONTROL

#### PART 1 - GENERAL

- Guying:
  - When specified, guy all trees immediately after lawn seeding or sodding operations and prior to acceptance. When high winds or other conditions, which may effect tree survival or appearance, occur, the Landscape Architect may require immediate guying.
  - Guy deciduous trees over 3" caliper. Guy evergreen trees over 8" tall.
- Pruning:
  - Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud at a distance of not less than 1/2 the diameter of the supporting branch. Make cut on an angle. All pruning to be in compliance with ANSI A300 Pruning Standards and International Society of Arboriculture.
  - Prune branches of deciduous stock, after planting, to preserve the natural character appropriate to the particular plant requirements. In general, remove no more than 1/2 of the leaf bearing buds. Remove or cut back dead, broken, and damaged branches and asymmetrical growth of new wood.
  - Multiple leader plants: Preserve the leader which will best promote the symmetry of the plant. Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud at a distance of not less than 1/2 the diameter of the supporting branch. Make a cut on angle.
  - Prune evergreens only to remove broken or damaged branches.

#### 3.06 UNDERDRAIN INSTALLATION

- Install minimum 4" layer of drainage fill over compacted earth base for bedding drainage pipe.
- Lay drainage with perforations down, joints closed, and firmly bedded in drainage fill material. Provide full bearing for each pipe section. Provide continuous slope in the direction of flow.
- Install underdrain drainage 30" below finished grade.

#### 3.07 MAINTENANCE

- Maintain lawn areas and plantings to ensure proper watering and mowing as required for sixty (60) days minimum, after Final Acceptance.
- Maintain lawn areas including watering, spot seeding, mowing, application of herbicides, fungicides, insecticides, and reseeding until a full, uniform stand of grass free of weeds, undesirable grass species, disease, and insects is achieved and receives Final Acceptance.
- Water seed thoroughly as required to establish proper rooting.
  - Repair and rework all areas that have washed out or are eroded. Replace undesirable or dead areas with new seed.
  - Mow lawn areas as soon as top growth reached a 3" height. Cut back to 2" height. Repeat mowing as required to maintain specified height. Not more than 30% of grass leaf shall be removed at any single mowing.
- Remove soil puffs following turf establishment.
- Maintenance shall include pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants free of insects, weeds and diseases.
  - Re-set settled plants to proper grade and position. Restore planting sack and adjacent material and remove dead material in accordance with pruning section.
  - Tighten and repair, or remove, guy wires and stakes as required.
  - Water trees, plants, and groundcover beds within the first 24 hours of initial planting, and not less than twice per week until Final Completion.

#### 3.08 FINAL ACCEPTANCE, INSPECTION AND COMPLETION

- Final Acceptance of all work will be made by the Landscape Architect upon written request by the Contractor. At that time if all work is satisfactory, that will constitute Final Acceptance and the beginning of the sixty (60) day period of maintenance.
- Seeded areas will be inspected at completion of installation and accepted subject to compliance with specified materials and installation requirements.
  - Seeded areas will be acceptable provided all requirements, including maintenance, have been complied with, and dense, even-colored, viable lawn is established free of weeds, undesirable grass species, disease, and insects.
- No seeded areas shall have bare spots or unacceptable cover totaling more than 2% of the individual areas, in areas requested to be inspected.
- Inspection of all work shall be made after the sixty (60) day period of maintenance, upon written request of Contractor. At that time, if all work is satisfactory, that will constitute Final Completion.
- Plants that have died or are in unhealthy or badly impaired condition upon inspection shall be treated or replaced at no additional cost to Owner.
- Replace rejected plants in the season that is most favorable for resetting kinds of plants required, if possible within two weeks of inspection.
- Final Acceptance of all work shall constitute the beginning of the one (1) year guarantee period.
- Contractor's responsibility for maintenance (exclusive of replacement within guarantee period) shall terminate on date of Final Completion.

#### 3.9 CLEANING

- Perform cleaning during installation of the work and upon completion of the work. Remove from sites all excess materials, soil, debris, and equipment. Repair damage resulting from planting operations.
- Leave all surfaces broom clean at the end of all work days. The contractor shall also be responsible for all damage caused by clean up activities and for the daily removal of all trash and debris from work area to the satisfaction of the Landscape Architect.

#### END OF SECTION

### EROSION CONTROL

#### PART 1 - GENERAL

- DESCRIPTION  
A. This section includes installation of North American Green 8S-75 (or equivalent) erosion control blanket and straw mulch.
- QUALITY ASSURANCE  
A. Qualifications of workers: provide at least one person who shall present at all times during execution of this portion of the work, who shall be thoroughly familiar with this type of work and the type of materials being used. Said person shall also direct all work performed under this section.
- Standards: all materials used during this portion of the work shall meet or exceed applicable federal, state, county, and local laws and regulations.
- SUBMITTALS  
A. Materials: Prior to delivery of all materials to the site, submit to the Landscape Architect a complete list of all materials to be used during this portion of the work. Include complete data on source, quantity, and quality. This submittal will in no way be construed as permitting substitution for specific items described on the Plan set or in these Specifications unless approved in writing by the Landscape Architect.

- Equipment: Prior to commencement of any work, submit to the Owner a written description of all mechanical equipment and its intended use during the execution of the work.
- After the work is complete, submit to the Landscape Architect "as built" plans including a listing of all species installed and quantities installed. Mark in red ink on the original planting plan any field changes or deviations from the original plans.

#### PART 1 - EXECUTION

##### 2.1 METHOD - EROSION CONTROL BLANKETS

- Refer to the Plans or Notes for location of erosion blanket treatment areas.
- Install seed prior to applying erosion control blankets per the native seeding specification.
- If installation occurs between July 15th and November 1st, install cover crop and hold native seed mix until the recommended optimum seeding dates. The preferred cover crop shall be Avena sativa (Seed Out).
- Any day that seeding is performed the seeded area must be covered with appropriate erosion control measures. Anchor erosion control blanket at top of slope as shown on plans or as recommended by manufacturer. Install parallel to channel flow or in a diagonal cross slope pattern in short stretches where practical, and as recommended by manufacturer.
- Erosion control blanket shall be in full intimate contact with the topsoil but not stretched to the point where the integrity of its performance is jeopardized.
- Secure erosion control blanket with staples as recommended by the manufacturer.
- Overlap erosion control blanket shingle-style not less than two inches in the direction of the current and install staples over seams every 36".

##### 2.2 METHOD - CRIMPED STRAW MULCH

- Install straw mulch in all seeded areas requiring erosion control that are not to be protected by erosion control blanket per the Plans.
- Apply seed prior to installing straw mulch per Specifications.
- Straw mulch shall be applied by a mechanical means suitable for blowing straw at a rate of 1.5:2 tons per acre.
- Immediately proceeding blown straw application, the straw shall be crimped using an implement designed to punch mulch into the soil effectively.

#### END OF SECTION

### SEED BED PREPARATION AND REGRADING

#### PART 1 - GENERAL

- DESCRIPTION  
A. This section includes preparation of soil prior to seeding and/or removal of erosion rills and disturbance in the areas of the site existing as disturbed/unvegetated soil or eroded slopes.
- QUALITY ASSURANCE  
A. Qualifications of workers: provide at least one person who shall be present at all times during execution of this portion of the work, who shall be thoroughly familiar with this type of work and the type of materials being used. Said person shall also direct all work performed under this section.
- Standards: all materials used during this portion of the work shall meet or exceed applicable federal, state, county and local laws and regulations.
- SUBMITTALS  
A. Equipment: prior to commencement of any work, submit to the Owner a written description of mechanical equipment and its intended use during the execution of the work.

#### PART 2 - EXECUTION

##### 2.1 METHOD - SOIL PREP AND REGRADING

- SHALLOW SLOPE, UNVEGETATED - In areas existing in an unvegetated state at the inception of installation activities on the site and possessing a slope of <5:1, soil shall be dragged with a disc, harrow, landscape rake, or box grader so that soil is tilled to a minimum depth of 4". For unvegetated areas with a slope greater than 10:1, ensure that the disc tracks or furrows run parallel to the contour so as not encourage rilling.
- SEVERE SLOPE, VEGETATED - In areas existing in a vegetated state at the inception of installation activities, possessing a slope of 5:1, and having significant soil loss due to erosion rill formation, soil shall be returned to original contour using a harrow, landscape rake, or box grader. In areas where soil loss is extreme, friable topsoil (available on-site) shall be imported by the Contractor at the direction of the Landscape Architect.
- Topsoil shall be free of stones, lumps, plants, roots, and other debris over 2" in any dimension. Topsoil must also be free of plants or plant parts of quick grass, reed canary grass, Canada thistle, or others as specified by the Landscape Architect.
- Soils shall not be compacted. A 150# person walking on soil should leave a 1" depression. Soils shall have a measured compaction following regrading no greater than 5 psi, based on Lamy or Cone penetrometer measurements at the time of seeding or planting unless otherwise stated on the Plans or the Specifications. If 10% or more of penetrometer readings are greater than 5 psi, disc, rotavate, and/or chisel plow said areas as necessary to reduce compaction.
- Re-check soil compaction as described above after tillage. Repeat treatment as necessary until 90% or more of planting area meets the standard.

##### 2.2 CLEAN-UP, REMOVAL, AND REPAIR

- Clean-up: Contractor shall keep work areas free of debris. After the work is complete, clean up any remaining materials, debris, trash, etc. Avoid driving or walking over areas to minimize disturbance.
- Remove: after work has been completed remove any tools, equipment, empty containers, and all other debris generated by the Contractor.
- Repair: repair any damage caused by the Contractor during completion of the work described in this section.

#### END OF SECTION

**Dewberry**

Dewberry Architects Inc.

132 North York Street  
Suite 2C  
Evanston, IL 60126-3079  
847.895.5840

Dewberry Engineers Inc.

401 SW Water Street  
Suite 701  
Piscataway, IL 61002  
309.282.8000  
IL DESIGN FIRM REG.  
#184055007-0006

Schaefer Design Associates, Inc.

200 N. Wacker Drive  
Suite 1000  
Chicago, IL 60601  
312.511.1234  
www.schaeferdesign.com

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60154

ISSUED FOR BIDDING AND PERMIT

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR BID	06/29/2023
2	AND PERMIT	
3	ISSUED FOR 95% REVIEW	06/15/2023
4	ISSUED FOR 100% DD	05/11/2023
5	ISSUED FOR 50% DD	04/14/2023
DRAWN BY	CK	
APPROVED BY	MW	
CHECKED BY	MS	
DATE	04/14/2023	
TITLE		

Details and  
Specifications

PROJECT NO. 50158591

L-2

SHEET NO.





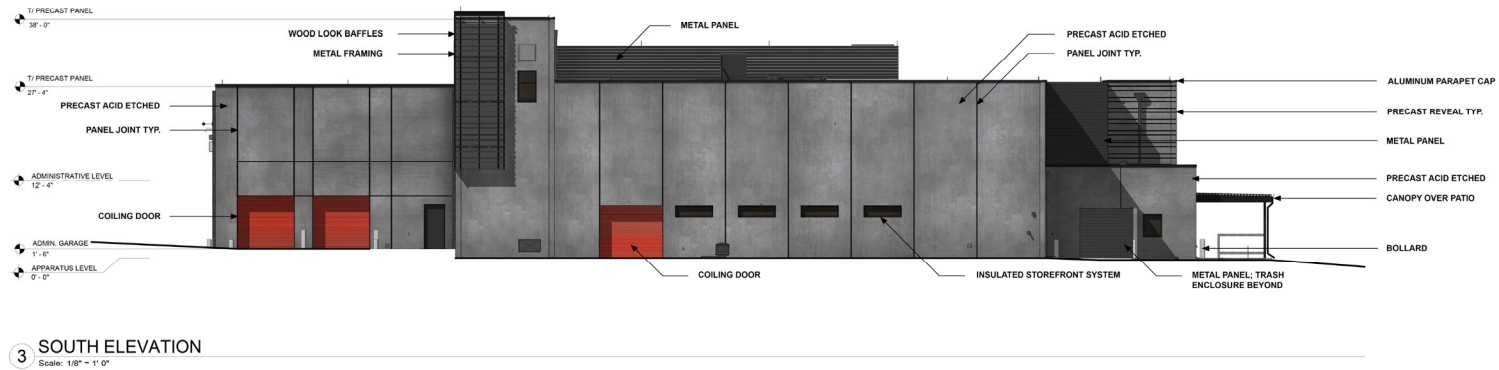
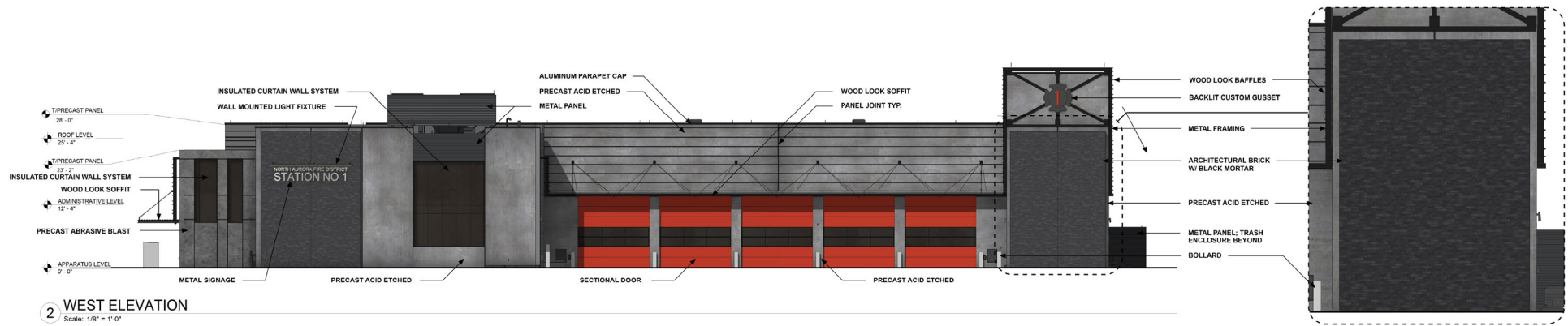
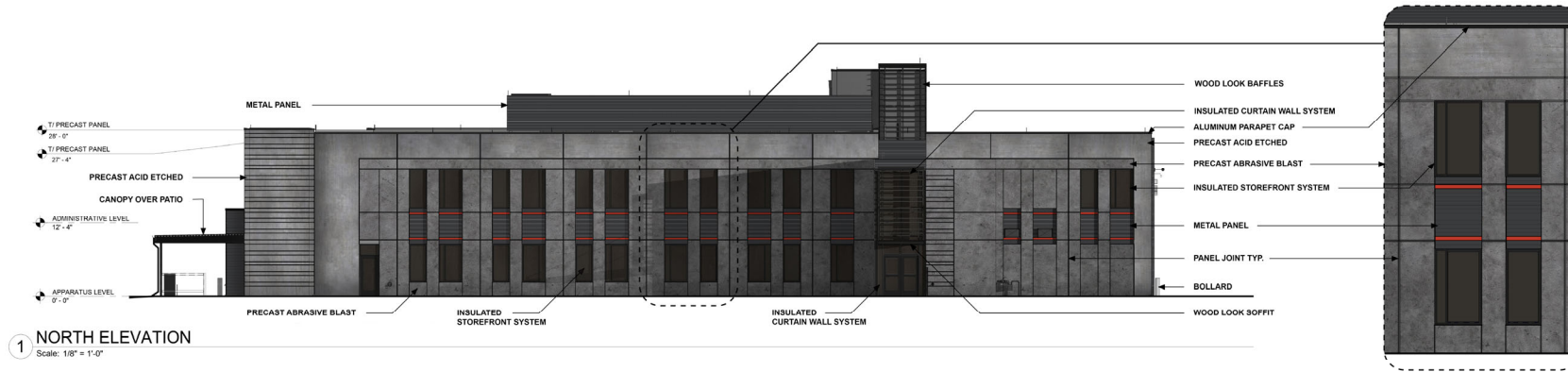




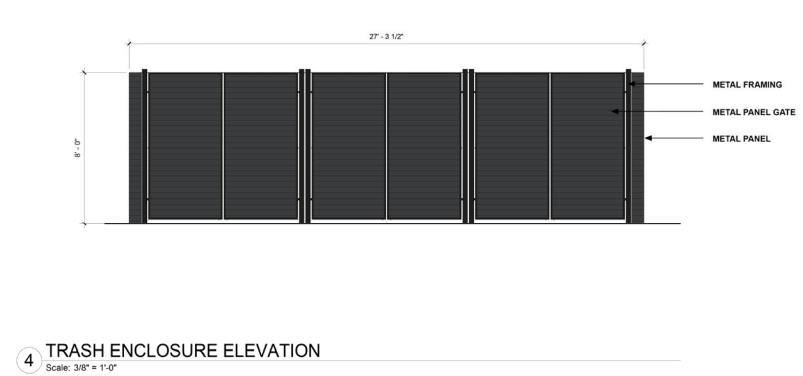
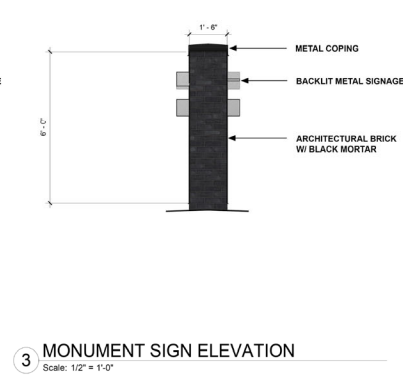
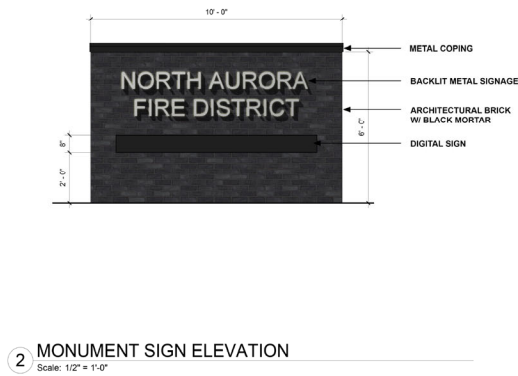
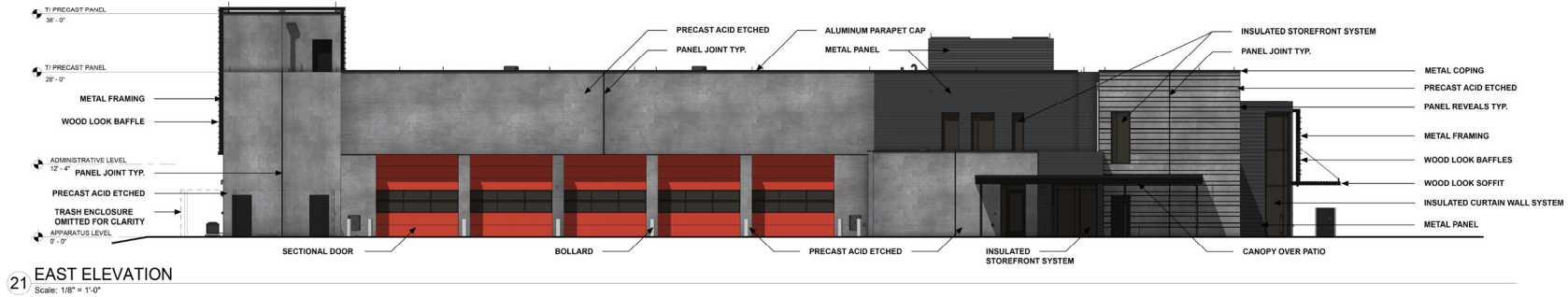
NORTH AURORA  
FIRE DISTRICT







NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
EXTERIOR ELEVATIONS



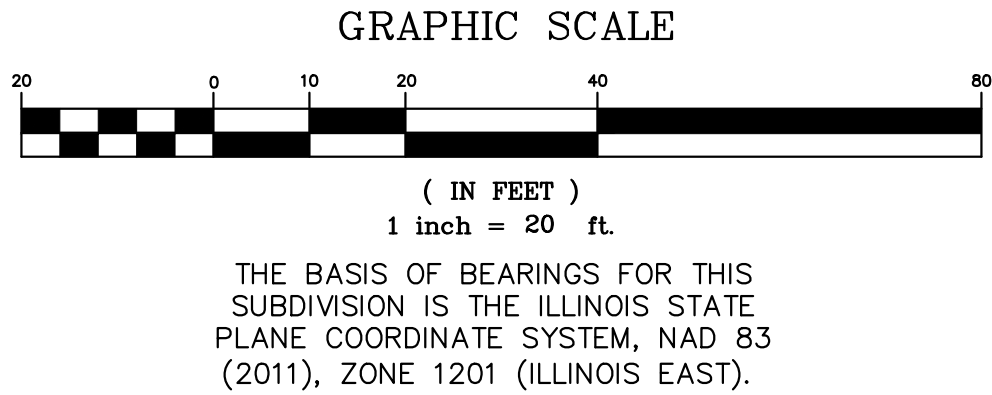
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EXTERIOR ELEVATIONS



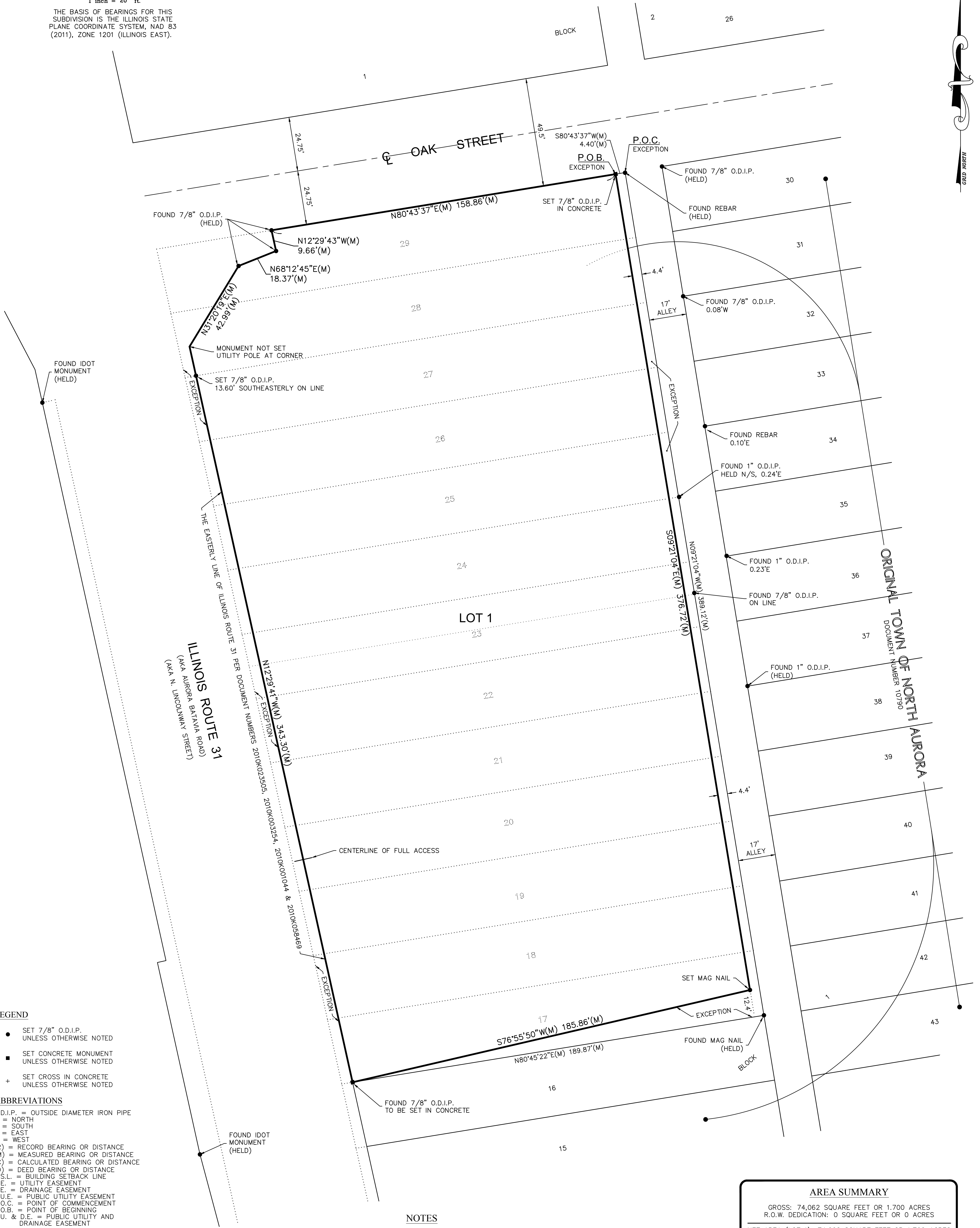
FINAL PLAT OF SUBDIVISION

NORTH AURORA FIRE STATION 1 CONSOLIDATION

P.I.N. 15-04-206-017  
P.I.N. 15-04-206-018  
P.I.N. 15-04-206-019  
P.I.N. 15-04-206-020  
P.I.N. 15-04-206-021  
P.I.N. 15-04-206-022  
P.I.N. 15-04-206-023



PART OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS



FINAL PLAT OF SUBDIVISION

NORTH AURORA FIRE STATION 1 CONSOLIDATION

PART OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 38 NORTH, RANGE  
8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

SPACE FOR I.D.O.T. STAMP

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS  
DEPARTMENT OF TRANSPORTATION WITH RESPECT TO  
ROADWAY ACCESS PURSUANT OF CH. 2 OF "AN ACT TO  
REVISE THE LAW IN RELATION TO PLATS," AS AMENDED.  
A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN  
THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS  
DRIVEWAYS TO STATE HIGHWAYS" WILL, BE REQUIRED BY  
THE DEPARTMENT.

JOSE RIOS, P.E.  
REGION ONE ENGINEER

OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND  
DESCRIBED IN THE FORGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE  
SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR USES  
AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND  
ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID  
AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION  
LIES ENTIRELY WITHIN THE LIMITS OF WEST AURORA SCHOOL DISTRICT 129 AND  
WAUBONSEE COLLEGE 516.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(OWNER)

\_\_\_\_\_  
(ADDRESS)

NOTARY CERTIFICATE

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY  
AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO  
ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE  
FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND  
ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAN AND ACCOMPANYING  
INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS OR  
THEIR FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 20\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

PLAN COMMISSION APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF NORTH AURORA  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

PLAN COMMISSION,  
VILLAGE OF NORTH AURORA

\_\_\_\_\_  
(CHAIRPERSON)

VILLAGE ENGINEER APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY \_\_\_\_\_ OF \_\_\_\_\_  
THE NORTH AURORA VILLAGE

ENGINEER, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

\_\_\_\_\_  
[NAME OF THE FIRM]

\_\_\_\_\_  
[SIGNATURE OF ENGINEER]

VILLAGE COMMUNITY DEVELOPMENT DIRECTOR

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE NORTH AURORA VILLAGE COMMUNITY DEVELOPMENT  
DIRECTOR, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

COMMUNITY DEVELOPMENT DIRECTOR  
VILLAGE OF NORTH AURORA

\_\_\_\_\_  
(COMMUNITY DEVELOPMENT DIRECTOR)

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE VILLAGE OF NORTH AURORA BOARD AT THEIR MEETING THIS  
\_\_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

BOARD OF TRUSTEES, VILLAGE OF NORTH AURORA, ILLINOIS

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT AND/OR FORFEITED TAXES,  
NO REDEEMABLE TAX SALES, AND NO UNPAID SPECIAL ASSESSMENTS AGAINST  
ANY OF THE REAL ESTATE DESCRIBED AND PLATTED HEREON.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

\_\_\_\_\_  
KANE COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S  
OFFICE OF KANE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., AND RECORDED IN PLAT ENVELOPE  
NO. \_\_\_\_\_.

\_\_\_\_\_  
(COUNTY RECORDER)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

I, DANIEL W. WALTER, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585,  
HEREBY CERTIFY THAT I HAVE SURVEYED, SUBDIVIDED, AND PLATTED THE  
FOLLOWING DESCRIBED PROPERTY, CONSISTING OF 1.700 ACRES:

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF  
NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF  
SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876  
AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART  
CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001444, AND  
ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS  
DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS  
FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE  
SOUTH 80 DEGREES 43 MINUTES 37 SECONDS WEST ALONG THE NORTHERLY  
LINE OF SAID LOT 29, A DISTANCE OF 4.40 FEET TO A LINE PARALLEL WITH  
AND 4.40 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES TO, THE  
WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1 FOR THE POINT OF BEGINNING;  
THENCE SOUTH 09 DEGREES 21 MINUTES 04 SECONDS EAST ALONG SAID  
PARALLEL LINE, 376.72 FEET TO A POINT THAT IS 12.40 FEET NORTH OF THE  
SOUTHERLY LINE OF SAID LOT 17; THENCE SOUTH 76 DEGREES 55 MINUTES 50  
SECONDS WEST, 185.86 FEET TO THE INTERSECTION OF THE SOUTHERLY LINE  
OF SAID LOT 17 AND THE EASTERLY LINE OF ILLINOIS ROUTE 31 PER  
DOCUMENT 2010K023505; THENCE NORTH 80 DEGREES 45 MINUTES 22  
SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 17, A DISTANCE OF  
189.87 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 17, SAID  
SOUTHEASTERLY CORNER BEING ON THE WESTERLY LINE OF THE ALLEY IN SAID  
BLOCK 1; THENCE NORTH 09 DEGREES 21 MINUTES 04 SECONDS WEST ALONG  
SAID WESTERLY LINE, 389.12 FEET TO THE POINT OF BEGINNING;

ALL IN KANE COUNTY, ILLINOIS.

AS SHOWN BY THE PLAT HEREON DRAWN WHICH IS A CORRECT AND ACCURATE  
REPRESENTATION OF SAID SURVEY AND SUBDIVISION. PERMANENT MONUMENTS  
AND IRON PIPES HAVE BEEN SET IN ACCORDANCE WITH THE VILLAGE OF  
NORTH AURORA SUBDIVISION ORDINANCE AND ALL DISTANCES ARE SHOWN IN  
FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS  
ENACTED BY THE VILLAGE BOARD OF TRUSTEES RELATIVE TO PLATS AND  
SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT  
AND THIS SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO  
BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE  
FLOOD INSURANCE RATE MAP, MAP NUMBER 17089C0340H, HAVING A REVISED  
DATE OF AUGUST 3, 2009.

DATED AT AURORA, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2025

BY: \_\_\_\_\_  
DANIEL W. WALTER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2024

SURVEYOR'S AUTHORIZATION TO RECORD

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

I HEREBY DESIGNATE THE VILLAGE OF NORTH AURORA, AND/OR  
REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH  
HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO  
SAID PLAT.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT  
AURORA, KANE COUNTY, ILLINOIS.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2025

BY: \_\_\_\_\_  
DANIEL W. WALTER  
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**VILLAGE OF NORTH AURORA  
PLAN COMMISSION MEETING MINUTES  
AUGUST 1, 2023**

**CALL TO ORDER**

Commissioner Tom Lenkart called the meeting to order.

**ROLL CALL**

**In attendance:** Commissioners Doug Botkin, Scott Branson, Tom Lenkart, Alex Negro, and Richard Newell

**Not in attendance:** Chairman Mike Brackett, Commissioners Aaron Anderson, Mark Bozik, and Anna Tuohy.

**Staff in attendance:** Community Development Director Nathan Darga and Planner David Hansen

**Also in attendance:** Village Attorney Kevin Drendel

**APPROVAL OF MINUTES**

**1. Approval of Plan Commission Minutes dated June 6, 2023**

Motion for approval was made by Commissioner Lenkart and seconded by Commissioner Newell All in favor. **Motion approved.**

**PUBLIC HEARING**

Motion to open the public hearing was made Commissioner Botkin and seconded by Commissioner Newell. All in favor. **Motion approved.**

1. **Petition #23-03:** The petitioner, North Aurora Fire Protection District, requests the following actions for the properties generally located at the corner of Oak Street and Lincolnway (IL 31), in North Aurora, Illinois:
  - a) Map Amendment to establish the B-3, Central Business Zoning District
  - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
  - c) Preliminary Final Plat of Subdivision
  - d) Site Plan Approval

Community Development Director Nathan Darga introduced Petition 23-03. Darga stated the North Aurora Fire Protection District is looking to build their new Fire Station 1 at the southeast corner of Lincolnway and Oak Street. Darga provided a brief PowerPoint presentation showing the current site of the existing Station 1 and the new proposed site. The Fire District is looking to relocate on property the Village currently owns.

Darga shared there are four requests with this project this evening, which includes a Map Amendment to change the existing zoning that is a combination of O-R (Office and Research

District) and R-2 (Single-Family Residence District) to B-3 (Central Business District), a Special Use Planned Unit Development with code exceptions, Site Plan Approval and approval of a Final Plat of Subdivision. Darga mentioned the site plan details will be shared in greater depth when the Fire District presents their PowerPoint.

Darga went through the code exceptions for the project. The first exception is for a 50-foot landscape buffer for Lincolnway. Darga explained the property is only 150 feet deep and the Fire District is looking to reduce the buffer to 20 feet. The second exception is regarding the rear yard abutting residential as the code requires 40-foot setback to residential while the project is proposing a 35-foot setback. Darga shared this setback applies since the lots to the east will remain residential at this point in time, since this project only impacting part of Block one, but it is anticipated the entire Block One area will someday become B-3. The third exception is regarding the building height. The Fire District is proposing a maximum height of 40 feet while the code allows a height limit of 35 feet. The fourth exception is regarding the number of parking spaces. A government facility requires 81 spaces per zoning code while the Fire District is proposing 38 parking spaces. The Fire District said the reduced amount of parking spaces would still meet their needs. The fifth exception is regarding parking lot landscaping. The Fire District is requesting not to provide parking lot islands so the parking lot can be used to stage equipment and for training purposes. Darga mentioned staff has some conditions and recommendations in the report that can be discussed later in the meeting.

Commissioner Lenkart swore in all public hearing speakers.

Nathan Custer introduced the project and is an architect from Dewberry representing the Fire District. Dewberry has done over 75 public safety projects over last decade. Custer shared fire stations are typically 50–60-year life cycle buildings. Custer provided a history of the department and its location on the current site. Custer shared the critical success factors for the design, which include aid emergency response time, preserve and build relationships, firefighter health and well-being for mental and physical wellness, good steward of resources, future-proof the building for technology, support family atmosphere, maintain facility and grounds, be a good neighbor for the PUD and set the trend for the area. Custer said the color palette that is used is to not overwhelm residential areas and to jive with building types in the area for the future.

Custer said the design element were used to create a lower development and landscape buffer for the corner of Oak and Lincolnway and built up the building density as the site goes south. This would create zones for public access, semi-public area, and operational access space. Custer said site plan landscaping focuses on mature landscape where appropriate and provides good sightlines for the Fire District to pull out onto Route 31. Custer added the wellness area is located between the building and parking lot along with a plaza on the corner, which has public access. Custer said height, depth, and width of areas is important and the goal is to maximize square footage that is cost effective. Custer also added energy analysis based on the sun's positioning is a passive design strategy to reduce warming and enhance cooling. This is also taken into consideration for types of elevations and materials used for the project.

Custer mentioned the first floor is the apparatus level and the second floor is the administrative level. The apparatus level is setup for operations, which include fire truck storage, fitness space, bunk rooms, day room, kitchen and locker rooms. The bunk rooms all face out to landscaped green

space. The other garage, on the apparatus level, is for the chief and deputy chief vehicles. The second-floor administrative level includes administrative offices, conference space, private restrooms, and a training/community room.

Custer mentioned there are samples here tonight showing the different materials, colors, and tinting's. The materials for the site include precast concrete due to the plethora of local resources and also promotes efficient cost savings. The exterior colors include red, black, and gray which is well known in fire service industry. Custer said the colors are monochromatic, but the textures and sheens will elevate the look and feel of building. Custer showed 3-D renderings of the site plan for the north and west elevations. The presentation also showed the new plat of subdivision being proposed.

Commissioner Botkin commented that the function and living space is the number one priority for this type of building. Commissioner Botkin said the building exteriors with the gray and rectangular makes the building appear like a distribution warehouse to him. Commissioner Botkin said he understands the look and other stations in the country have similar facades and its tough balancing function and cost, but the exterior lacks character and the design doesn't look like the other station in town and that this building is setting the tone for this area on Route 31.

Commissioner Newell asked if all the equipment will fit in the new building. Fire Chief Mike Klemencic said the Fire District and Village are in works of a land swap where Village will take over all Fire District's current property on block. The Fire District will use the barn and station until this new Station is built and then everything will be moved into it. The new station will allow the equipment, which is currently stored in 4 buildings (barn, two garages, and main fire station) to be all under one roof. Commissioner Newell asked if this new building will be able to accommodate future expansion and equipment. Chief Klemencic the Fire District currently has a Hazmat team, technical rescue, and water rescue, which this new building will accommodate for future growth and should be able to for the next 50-75 years. Commissioner Newell asked what traffic control devices will need to be activated at the intersections at Oak/31 and 31/56. Chief Klemencic said the goal was to place the apparatus pull out area near the center of the block as much as possible to prevent traffic back up in northbound lanes. The Fire District doesn't anticipate it being an issue but there is additional technology that could be utilized to set lights off at both intersections should there be any issues.

Darga shared the trucks would enter through the alley and pull in the back of the apparatus bay area and when there is an emergency, they would exit out front onto Route 31. Darga said the exit is set right between the two turn lanes to prevent pulling out into a que of vehicles. Commissioner Newell asked if one vehicle makes a run will any storage equipment need to be moved in the bay areas. Chief Klemencic said they are maintaining full pull through with all vehicles (fire trucks, ambulances, small suvs) and that the pavement is large enough to pull through and then back in if needed without any vehicles having to go out onto Route 31 to back in.

Commissioner Branson asked if this is the only site the Fire District looked at for the new Station 1. Chief Klemencic said a time travel study was done early on and Randall Road is dividing factor for Station 1 and Station 2. Station 1 covers mostly Randall Road to Mitchell Road and the Fire District tries to maintain a 4 min response Village wide. Current location of Station 1 is 1.4 miles to east boundary and 1.4 miles to Randall Road. The Fire District did look into relocating to east



side however 75% of call volume is west of river. The location on Block One had multiple site options, but the closer the sites were to State Street the more the response time increased. Chief Klemencic said the proposed site improves response times and allows for safer maneuvers around the block and intersections that are currently present. Commissioner Branson shared that function is the number one priority, but the look of the building will set the trend of the area and the Fire District should see if it can be modified slightly to add more character. Commissioner Branson mentioned landscaping is nice, but vision at intersections is important and should be taken into consideration. Custer added screening and softening landscapes are in the plan to make the site look pleasing and also setup opportunities for development in the area for the future.

Commissioner Negro shared the building looks great and worked for a fire service in the area for nine years and said he would be excited to work in North Aurora. This facility looks beautiful and have no questions at this time.

Commissioner Lenkart asked about traffic management on Route 31 and if white pavement marking hash marks can be painted onto the state road to prevent queuing. Custer said there is an opportunity to do that, and it is outside the direct scope of the project, but we have seen single hatch or double hatched patterns in front of main apron for other projects. Custer added the hatching also helps people from stopping there and provides continual awareness, so people recognize a fire house is present. Custer said an IDOT permit was required for the project and can see what IDOT would allow. Darga said this is typically included as part of the IDOT permit as part of project.

Commissioner Lenkart asked about the sun/visibility and if the doors facing west will add glare especially in the summertime. Custer said the rendering shows the shadow line and an 8-foot canopy that extends out from the west façade facing doors. Custer said the canopy is there for a couple of reasons such as preventing ice and snow build up by the doors and shading the area since the fire doors are 14 feet high. The depth of the apron between the building and Route 31 will also help with glare since it will allow firefighters to fully pull out of the building before going onto Route 31. Commissioner Lenkart asked what the neighborhood response is for area.

Commissioner Lenkart asked what the plan for the site to the south is. Darga said the rest of the block is currently zoned R-2, but it is anticipated the rest of the block will become B-3 in the future. The Village would work with a developer on a mixed-use concept with commercial and residential once the Fire District is in their new building and the Village owns their current site. The comprehensive plan calls for mixed-use with commercial by the corner for 31/56 and residential by the corner of Monroe/56. Currently, there is no developer, engineering or plans besides the comprehensive plan. When it is developed, it would be another PUD and go through the same process as we are going through tonight.

Commissioner Lenkart asked about the landscaping screening on the right side. Darga said the staff conditions includes screening around the generator and the landscape hedge along parking lot and alley on northeast side adjacent to residential. Commissioner Lenkart asked about the 75% of the calls west of the river and how that is calculated. Chief Klemencic said Station 2 does not have full staffed meds, but in next five years we hope that will be full-time staffed. Chief Klemencic shared 50% of calls are between Randall Rd and the river, 25% on east side of river and 25% west of Randall Rd for Station 1.

Commissioner Newell asked when does the construction scheduled to begin. Chief Klemencic said the plan is demo will begin in late August and break ground in September. Commissioner Branson asked how old the Station 1 and Station 2 buildings are. Chief Klemencic said Station 1 was built in 1963 and has had some additions over time and Station 2 was built in 2007.

Stacy McReynolds (36 Monroe St) thanked the Fire District for being great neighbors for over 25 years. McReynolds had a question regarding the alley way access. Chief Klemencic said the intention is widen the alleyway onto the new site, which would make it more useable and durable than it currently is. McReynolds also asked what is happening to the power lines in the area. Chief Klemencic said there are twelve (12) poles on the property and the Fire District is in conversation with utility companies to remove and potentially bury them. The main reason to bury them is to build our building without disruption to overhead powerlines, for safety purposes, and also ensure homeowners aren't impacted by outages. McReynolds asked how long the project will take. Chief Klemencic said the goal is to break ground in September and finish by next September.

Sally Smith (28 Monroe St) thanked the Fire District for being great neighbors although a little noisy at times. Smith said the building looks great, but the aesthetics of the building could be prettier. Smith asked what is going to happen to where the existing fire station is. Darga said the existing fire station will be owned by the Village once the new fire station is built and the Village will demo the structures. Darga continued that the comprehensive plan calls for mixed-use and the Village will establish a new PUD for the site and go through the same process again for that site. Smith asked what is happening to the 40 Monroe St building. Darga said the Village is in process of purchasing the site and once it is closed on, the structure will be demolished. Smith shared her concerns of redeveloping the block and the impact it will have on existing homeowners. Smith said she supports the Fire District new station but does not support losing her home to development in the future.

Motion to close the public hearing was made by Commissioner Newell and seconded by Commissioner Botkin. All in favor. **Motion approved.**

## **NEW BUSINESS**

1. **Petition #23-03:** The petitioner, North Aurora Fire Protection District, requests the following actions for the properties generally located at the corner of Oak Street and Lincolnway (IL 31), in North Aurora, Illinois:
  - a) Map Amendment to establish the B-3, Central Business Zoning District
  - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
  - c) Preliminary Final Plat of Subdivision
  - d) Site Plan Approval

Darga reiterated the four requests on the agenda tonight. Darga also mentioned staff's conditions for approval include a landscape plan should include densely compact hedges between the parking lot and alley on the east side and be reviewed for vision triangle concerns, a photometric plan to be approved, dumpsters and generator to be screened per code, mechanicals and rooftop units to

be screened per code, and signage to meet the sign ordinance standards. Darga said the plans to date appear to meet all the codes, but don't have all the details yet.

Motion for approval of a Map Amendment to establish the B-3, Central Business Zoning District was made by Commissioner Botkin and seconded by Commissioner Newell. All in favor. **Motion approved.**

Motion for approval of a Special Use – Planned Unit Development with deviations to the Zoning Ordinance with staff's five (5) conditions and one (1) added condition to look into pavement striping and hashing at the new apparatus egress apron on Lincolnway (IL 31) to prevent vehicle queuing and improve driver awareness was made by Commissioner Lenkart and seconded by Commissioner Negro. All in favor. **Motion approved.**

Motion for approval of a Preliminary Final Plat of Subdivision was made by Commissioner Newell and seconded by Commissioner Botkin. All in favor. **Motion approved.**

Motion for Site Plan Approval was made by Commissioner Botkin and seconded by Commissioner Newell. All in favor. **Motion approved.**

**OLD BUSINESS** – None

#### **PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES**

Community Development Director Nathan Darga introduced himself and mentioned he's been with the Village for about four weeks. Darga mentioned there is a good possibility for a September Plan Commission meeting for a special use for a banquet hall.

Commissioner Branson asked about the status of Dairy Barn. Hansen mentioned the Oswego location appears to be closed permanently so it's looking like their project in the Village is not moving forward. Commissioner Botkin asked about the status of Fortunato. Hansen said there has been some material supply issues, which have prolonged the project. Commissioner Botkin asked if the Village can reach out to the business owner and see if they can provide an update or project timeline since there hasn't been much work completed for the project over the past year.

Commissioner Lenkart asked when the dispensary is moving to its new location. Darga shared the exterior of the site is complete and they are working on receiving the interior buildout permit. Commissioner Lenkart asked about Woodman's pavement markings near their canopy and when that will be completed. Hansen said since it is an added condition of the special use, the Village will remind the contractor/business of the requirement prior to completion of the project. Commissioner Lenkart asked about the River Front Ram dealership. Darga mentioned it was approved by the Village Board in July and the plans have been submitted and are under review. Commissioner Newell added a comment regarding the residents on the Block One. Commissioner Newell asked that the Village be sensitive and inclusive of the residents so their lives aren't disrupted in any way more than absolutely necessary.

#### **ADJOURNMENT**

Motion to adjourn made by Commissioner Botkin and seconded by Commissioner Newell. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins  
Village Clerk

DRAFT

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION  
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR**

**GENERAL INFORMATION**

**Meeting Date:** August 1, 2023

**Petition Number:** #23-03

**Petitioner:** North Aurora Fire Protection District

**Location:** 1 N. Lincolnway (portion of) and 23 N. Lincolnway

**Property Index Numbers:** 15-04-206-017, -018, -019, -020, -021, -022, -023

**Development Size:** 1.7 acres



**Requests:** 1) Map Amendment to establish the B-3 Central Business District 2) Special Use - Planned Unit Development with deviations and use exceptions to the Zoning Ordinance 3) Site Plan Approval 4) Preliminary Final Plat of Subdivision

**Current Zoning:** O-R Office and Research District and the R-2 Single Family Residence District

**Current Land Use:** Vacant Medical Building/Vacant Land

**Comprehensive Plan Designation:** ‘Village Center/Mixed Use’

**PROPOSAL**

The North Aurora Fire Protection District is proposing to build a two story, 26,918 square foot fire station on the corner of Oak Street and Lincolnway (IL 31). The front of the building would face Oak Street and the five (5) bay doors would face Lincolnway. There would be a parking lot in front of the building accessed from Oak Street and the existing alley to the east. The fire trucks would pull through the building from the alley and exit onto Lincolnway. The corner of Oak and Lincolnway would have a landscaped area with a patio / flagpole by the entryway to the building. The building would be constructed of precast concrete panels with decorative brick veneer in selected locations. Decorative metal panels would be used in the office areas of the front façade.

**BACKGROUND**

The North Aurora Fire Protection District owns and operates Fire Station #1 on their 1.65-acre property located on the northeast corner of Monroe Street and State Street. The Village of North Aurora owns vacant land to the west and to the north of Fire Station #1. Both the Fire District and Village properties are located on “Block One”, the block of parcels located between Oak Street, State Street, Monroe Street and Lincolnway. The Village and Fire District have historically discussed the idea of swapping land on Block One so the Fire District could build a new Fire Station #1 directly on Lincolnway and the Village would be able to better accommodate future development and other public purposes on Block One. On December 2, 2022, the Village Board approved the Land Swap

Agreement with the Fire District. The Agreement was negotiated between the Village and the Fire District for the exchange of properties on Block One to accommodate the construction of a new Fire Station #1. In return, the Village would acquire the current Fire Station #1 site.

### **REQUESTED ACTIONS**

#### ***Map Amendment to establish the B-3 Central Business District***

The subject property is currently located in the Village's O-R Office and Research District and the R-2 Single Family Residence District. The petitioner is requesting a Map Amendment to rezone the properties to the B-3 Central Business District. The Government Office or Facility (Non-Village) use (a.k.a. fire station) is classified as a special use in the B-3 Central Business District, but is prohibited in the current O-R and R-2 zoning designation.

The contiguous zoning districts are as follows:

- **North:** R-3 General Residence District
- **South:** R-2 Single Family Residence District
- **East:** R-2 Single Family Residence District
- **West:** R-2 Single Family Residence District and B-2 General Business District

It is anticipated that a majority of the Block One area will be eventually rezoned to the B-3 Central Business District zoning classification as most of the commercial properties located on Lincolnway between State Street and I-88 are in the B-3 Central Business District.

#### **Comprehensive Plan**

The proposed development area is included as part of a subarea listed in the Comprehensive Plan's Commercial and Industrial Areas Plan: *Key objectives in this area include curb cut reduction, the burying of utilities, mixed use development, civic spaces, and enhanced access to the Fox River.*

The proposed development area is also included in the Comprehensive Plan's IL Route 31 Village Center Subarea Plan: *There are several opportunities for mixed-use development in the Village Center, the most significant of which is Block 1 given the demolition of the Activity Center and potential relocation of Fire Station #1. With a bridge access the Fox River, connections north and south, as well as access to regional trails, this area has potential to be an attractive location for mixed-use development.*

#### ***Special Use –Planned Unit Development with code exceptions***

The Village, or any person having a right of ownership of any property in the Village, may apply for consideration of such property as a planned unit development. A planned unit development may be authorized as a special use in all zoning districts. Unless specifically approved by the ordinance granting or amending the planned unit development as a special use, the requirements of the underlying district shall apply. The ordinance granting or amending the planned unit development as a special use may depart from the normally applicable standards and other requirements of the Zoning Ordinance.

The Planned Unit Development will grant a special use for a "Government Office or Facility (Non-Village). This use is listed as a special use in the B-3 District. This is the appropriate classification for the Fire District facility.

The following table illustrates the proposed bulk and setback regulations and the bulk and setback regulations required of the B-3, Central Business District:

<b>Bulk Regulations</b>	<b>Proposed</b>	<b>B-3 District Standard</b>
Lot Area, Minimum	1.7 acres (Fire Station 1 Sub)	3,000 sq. ft.
Lot Width, Minimum	158.86 ft. (Along Oak St) 343.3 ft. (Along Lincoln Way)	None
Building Height, Maximum	<b>39'3"</b>	35' or 3 stories
Floor Area Ratio (FAR), Maximum	0.36	3.0
<b>Yard (Setback) Regulations</b>	<b>Proposed</b>	<b>B-3 District Standard</b>
Front Yard (Oak St)	170'	15'
Corner Side Yard (Lincolnway)	20'	15'
Rear Yard Abutting Residential (south side)	<b>35'</b>	40'
Interior Side Yard (Alley)	18' to bldg. 6' to covered patio	None

There are several code exceptions being requested in this PUD. They are mainly due to the necessity of working within the existing confines of the lot. The right of way lines for Oak Street, Lincolnway, and the alley are set. The strict application of the setbacks and landscape buffers would make the site undevelopable. The following is a list of the requested code exceptions:

1. 50 Foot Landscape Buffer (Section 17.14.010.C.3.A) – A 50' landscape buffer is required by code along major roads like Lincolnway. This would take almost a third of the property. As proposed, the building is 20' at its closet point to the western property line.
2. Rear Yard Abutting Residential (Section 17.8.3) – The rear yard faces Village owned property. That property is currently zoned R-2 Single Family Residential. It is planned that this would eventually be zoned B-3 Central Business District. However, for the current application, the setback would be the 40' abutting residential designation. The fire station is proposed at 35' from the rear property line.
3. Accessory Structure location (Section 17.12.3.B) – The generator is located by the alley on the north side of the building. This is technically the front yard. The generator is proposed to be screened with landscaping. The covered patio is also on the alley side. However, the B-3 District does not have a setback for the interior side yard.
4. Building Height (17.8.3) – The building is proposed to be approximately 40' tall at its tallest point. The B-3 District height limit is 35'. The tallest point is the tower for the elevator shaft.
5. Required Parking Spaces (17.13.13) – The required parking spaces for a government facility is 3 spaces per 1,000 square feet of gross floor area. That would require 81 parking spaces for this project. The petitioner is proposing 36 parking spaces plus 2 handicapped spaces. This is more than they have at their current facility.

6. Parking Lot Landscaping (17.14.8 & 17.14.9) – The parking lot landscaping shall be as shown on the landscape plan. The petitioner is requesting to not have landscape islands so that they can use the parking lot to stage equipment for training and maintenance. They are also requesting reductions in the perimeter landscaping yards. Staff is requesting that the east side of the parking lot facing the alley be planted with a densely planted compact hedge not less than five feet in height.

### ***Site Plan Approval***

Per Section 17.4.4(B) of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
  - a. Allow for the effective use of the proposed development.
  - b. Allow for the efficient use of the land.
  - c. Ensure compatibility with development on adjacent property.
  - d. Respond to off-site utility and service conditions, and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
  - e. Protect the public health, safety, convenience, comfort, and general welfare.
  - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
  - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
  - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
  - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
  - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
  - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
  - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
  - a. Provide adequate and safe access to the site.
  - b. Minimize potentially dangerous traffic movements.



- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
  - d. Minimize curb cuts.
- 4. The design of off-street parking lots or garages to:
  - a. Minimize adverse impacts on adjacent properties.
  - b. Promote logical and safe parking and internal circulation.
- 5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
  - a. Create a logical transition to adjoining lots and developments.
  - b. Screen incompatible, negative, or unsightly uses.
  - c. Minimize the visual impact of the development on adjacent sites and roadways.
  - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
  - e. Promote and enhance the appearance and image of the Village.
- 6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
- 7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

### ***Preliminary Final Plat of Subdivision***

A Plat of Subdivision, known as the Final Plat of Subdivision North Aurora Fire Station 1 Consolidation, is being proposed. This will consolidate the existing lots and dedicate four (4) additional feet to the alley to the east. The new lot will be 1.7 acres.

### **FINDINGS**

The Community Development Department finds that the information presented in Petition #23-03 **meets** the Standards for Map Amendments, Specials Uses, Site Plan Review and Planned Unit Developments as set forth in the Zoning Ordinance. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #23-03, subject to the following conditions:

- 1. The landscape plan shall be updated to add a densely planted compact hedge not less than five feet in height between the parking lot and the alley on the east side. The plan shall also be reviewed for the vision triangle.
- 2. A photometric plan shall be approved by the Village prior to building permit issuance.

3. All dumpsters located on the subject property shall be screened per Section 17.14.11.A of the Zoning Ordinance. The generator shall be screened with a combination of fencing/wall and landscaping per Section 17.12.3.D.
4. All ground-mounted and rooftop mechanicals shall be properly screened per the requirements of the Zoning Ordinance.
5. All signage shall adhere to the requirements of the Sign Ordinance.

## APPLICATION FOR MAP AMENDMENT

VILLAGE OF NORTH AURORA  
25 East State Street  
North Aurora, IL 60542

PETITION NO. \_\_\_\_\_

FILE NAME \_\_\_\_\_

DATE STAMP

### I. APPLICANT AND OWNER DATA

Name of Applicant\* North Aurora Fire Protection District

Address of Applicant 2 Monroe St, North Aurora, IL 60542

Telephone Numbers 630-897-9698

Name of Owner(s)\* Mike Klemenic, Fire Chief

Telephone Number 630-897-9698

Email Address mklemencic@nafpd.org

If Applicant is other than owner, attach letter of authorization from Owner.

Title of Record to the real estate was acquired by Owner on \_\_\_\_\_

### II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 23 N. Lincolnway, North Aurora, IL 60542

(Indicate location if no common address)

Legal Description: See Attachment

Parcel Size 1.700 acres

Present Use Vacant

(Business, manufacturing, residential, etc.)

Present Zoning District OR District and R-2 District

(Zoning Ordinance Classification)

\*In the event that the applicant or owner is a trustee of a land trust or a beneficiary or beneficiaries of a land trust, a statement identifying each beneficiary of such land trust by name and address and defining his/her interest therein shall be attached hereto. Such statement shall be verified by the trustee or by a beneficiary.

### III PROPOSED MAP AMENDMENT

Proposed Zoning District B-3 District (Zoning Ordinance Classification)

Has the present applicant previously sought to rezone the property or any part thereof? No  
If so, when? N/A

To what zoning district classification? N/A

What type of improvement to the Property is planned? Fire Station

\_\_\_\_\_  
\_\_\_\_\_

What will be the actual use of such improvement(s)? Fire Station

What are the existing uses of the property within the general area of the Property in question?  
Residential and Fire Station

### IV CHECKLIST FOR ATTACHMENTS

The following items are attached hereto and made a part hereof:

1. Legal Description (may be included in items 2 or 5 below)
2. Two (2) copies of an Illinois Land Surveyor's plat of survey showing the nearest dedicated east-west and north-south streets, the right-of-way width and the distance of each street from the property in question.
3. Five (5) copies of a plot plan, 8 1/2" x 11" or 8 1/2 x 14" showing proposed construction if any.
4. A written certified list containing the names of registered owners, their mailing addresses and tax parcel numbers, of all properties within 250 feet of the property for which the amendment is requested.
5. A copy of owner's title insurance policy commitment or deed for the subject property.
6. Filing fee in the amount of \$300.00; if paid by check make payable to the 'Village of North Aurora'. Please note, an escrow deposit will also be required per Village Code.
7. Letter of authorization letter from owner, if applicable.
8. Disclosure of beneficiaries of land trust, if applicable.

Completed forms for the following must accompany application, if applicable:

9. Visit the Illinois Department of Natural Resources' website [www.dnr.state.il.us](http://www.dnr.state.il.us) and initiate a consultation using DNR's EcoCat online application
10. Visit the Kane DuPage Soil and Water Conservation District's website

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent

7-13-23

Date



Owner

7-13-23

Date

**MAP AMENDMENT STANDARDS**  
**APPLICATION FOR MAP AMENDMENT**

Please provide a typed response to each of the following standards:

1. Is the proposed amendment consistent with the existing use and zoning of nearby property?
2. Does the proposed amendment diminish the existing zoning of the subject property?
3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?
4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?
5. Is the proposed amendment not feasible for development as it is presently zoned?
6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located?
7. Is there evidence of community need for the use proposed by the applicant?
8. Is the proposed amendment consistent with the comprehensive plan?
9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?
10. Does the proposed amendment avoid creating nonconformities?
11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?
12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted.

Following are the names and addresses of all property owners within 250 feet of the property in questions for which the special use being is being requested.

**TAX PARCEL NO.**

**PROPERTY OWNER**

**MAILING ADDRESS**

_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
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_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

I, Mike Klemencic, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

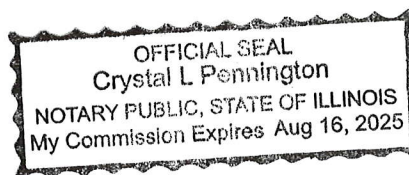
Mike Klemencic  
Applicant Signature

7-10-2023  
Date

**SUBSCRIBED AND SWORN TO**

Before me this 10 day of July, 20 23.

Crystal L Pennington  
Notary Public



Tax Parcel No	Property Owner	Mailing Address
15-04-205-013	ALVAREZ, ANTHONY & GARCIA, ISABELLA A	111 W STATE ST NORTH AURORA, IL, 60542-1641
15-04-205-012	SCAFIDI, ANTOINETTE M SELF DCLRN OF TR, TRUSTEE	3 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-011	TOVAR, LEONARDO & BRANDI	5 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-010	MCCARTY, SHANNON & HOLZRICHTER, HANNAH	7 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-009	MARTENS, BRADLEY S & MICHAEL D	9 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-008	BUBAN, KATRINA A & JEFFREY M	11 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-007	APPENZELLER, RICHARD P	15 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-006	CURLEY, MICHELLE	17 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-005	KHAMISSI, FARSI & SOBI, SHAH ZADEH KHAMISSI	19 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-004	LEMAIRE, DAVID G	21 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-003	VOGT, SKYLAR	23 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-047	JOINER, MERLE A JR & CURNUTT-JOINER, BRANDY J	110 OAK ST NORTH AURORA, IL, 60542-1109
15-04-205-043	MARTIN, D E & SHIRLEY % DONALD E MARTIN	108 OAK ST NORTH AURORA, IL, 60542
15-04-205-032	PATEL, DIPTI J & JIGNESH	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-205-041	4 BARRERA PROPERTIES LLC PASCUAL & MA E ROCHA DE BARRERA	1180 TRASK ST AURORA, IL, 60505-1944
15-04-205-040	MICHELS, DAVID & LINDA	42 S JUNIPER DR NORTH AURORA, IL, 60542-159C
15-04-205-036	MICHELS, DAVID & LINDA	42 S JUNIPER DR NORTH AURORA, IL, 60542-159C
15-04-205-035	SOLER, GUALBERTO & MARY V	12 NO LINCOLNWAY NORTH AURORA, IL, 60542
15-04-205-044	PETERSON, DAVID J & CYNTHIA	16 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-205-046	EZZO, SAMUEL A SAM EZZO	35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223
15-04-205-042	LEMUS, JOSE & MARIA C	20 N LINCOLNWAY NORTH AURORA, IL, 60542-1636
15-04-205-039	KEUP, RANDY J	22 N LINCOLNWAY NORTH AURORA, IL, 60542-1636
15-04-205-038	GESFORD, STEPHANIE	35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223
15-04-205-045	NOVICKI, SCOTT E & JACQUELINE R REVOC TRS SCOTT & JACQUELINE NOVICKI, CO-TRUSTEES	610 HICKORY CT NORTH AURORA, IL, 60542
15-04-201-023	K B PROPERTIES OF ILLINOIS SERIES 1 AURORA DEUTRIX	2124 OGDEN AVE STE 303 AURORA, IL, 60504-7542
15-04-201-033	DG PARTNERS IL LLC	11006 PEBBLE GARDEN LN AUSTIN, TX, 78739
15-04-201-030	MESSENGER PUBLIC LIBRARY DISTRICT ADMINISTRATOR	113 OAK ST NORTH AURORA, IL, 60542-1682
15-04-203-008	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-009	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-007	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-006	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-005	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-202-022	PBWINC6 LLC PAUL WATNES	0N045 ALEXANDER DR GENEVA, IL, 60134-6002
15-04-202-021	UNWIN, RAZENA	11 OAK ST NORTH AURORA, IL, 60542-1122
15-04-202-020	K & M REALTY LLC	74 SHAW RD BELMONT, MA, 02478-4522
15-04-202-026	LOWRIE, EDMUND G & CONDIFF, SARAH	29W513 FORESTVIEW DR WARRENVILLE, IL, 60555-2101
15-04-202-025	THAMM, DUANE JR	122 MONROE ST NORTH AURORA, IL, 60542-1121
15-04-202-033	BEDOYA-KAYSER, SHIRLEY	2 S CALUMET AVE AURORA, IL, 60506-4702
15-04-202-036	TRUST # 10-3-8784 BARBARA STELLARD-SECONDI	726 SAILFISH DR FORT WALTON BEACH, FL, 32548-6010
15-04-202-034	RODRIGUEZ, DORA C	109 N LINCOLNWAY NORTH AURORA, IL, 60542-1101
15-04-202-028	SMITH, ROGER L & HINES KAY L	107 1/2 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-202-014	MATHEWS, MICHAEL R	105 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-202-035	HODAY, RONALD J	103 N LINCOLNWAY NORTH AURORA, IL, 60542-1123
15-04-202-016	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-202-032	MENDOZA, JAIME	2200 LIGHT RD APT 103 OSWEGO, IL, 60543-8552
15-04-202-018	BURNS, JUDY A	13 OAK ST NORTH AURORA, IL, 60542-1122
15-04-206-017	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-169C
15-04-206-018	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-169C
15-04-206-019	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-023	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-020	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-021	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-022	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-022	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-015	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-014	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-013	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-012	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-011	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-010	SMITH, RICHARD G & L SALLY TAPIO	38745 US HIGHWAY 41 CHASSELL, MI, 49916-9248
15-04-206-009	MCREYNOLDS, MICHAEL & STACY	36 MONROE ST NORTH AURORA, IL, 60542
15-04-206-008	ACCESSION PROPERTIES LLC	112 SYRIL DR GENEVA, IL, 60134-1957
15-04-254-001	HARPER, DANNEY	110 W STATE ST NORTH AURORA, IL, 60542-1642
15-04-254-002	MCDUFFEE, DAVID A & KEVIN C	3 S ADAMS ST NORTH AURORA, IL, 60542
15-04-254-003	FIRST NATIONAL BANK DEKALB IL, TRUST: 1949	7 S ADAMS ST NORTH AURORA, IL, 60542
15-04-254-004	KADZIK, DANIEL L & CYNTHIA KRUSE	11 S ADAMS ST NORTH AURORA, IL, 60542-1625
15-04-254-005	KADZIK, DANIEL L & CYNTHIA KRUSE	11 S ADAMS ST NORTH AURORA, IL, 60542-1625
15-04-254-024	BALDWIN 820 REALTY LLC	4007 MERRICK RD SEAFORD, NY, 11783-2831
15-04-254-019	RIO, DOLORES A	PO BOX 183 NORTH AURORA, IL, 60542
15-04-254-022	STRONG, JOHN E & LAURA M	19 WALNUT CIR SUGAR GROVE, IL, 60554
15-04-254-020	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-254-021	MKH REAL ESTATE LLC	14 S LINCOLNWAY NORTH AURORA, IL, 60542-1637
15-04-276-009	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-255-035	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-255-043	NORTH AURORA VILLAGE OF	25 EAST STATE STREET NORTH AURORA, IL, 60542-1684
15-04-255-005	11 SOUTH LINCOLNWAY LLC	11 S LINCOLNWAY NORTH AURORA, IL, 60542
15-04-255-004	PARK, BILL M & MARGARET	9 S LINCOLNWAY NORTH AURORA, IL, 60542
15-04-255-003	SONJA, JANAK & MANSI LLC	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-255-040	SONJA, JANAK & MANSI LLC	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-255-002	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-255-044	HARNER FAMILY PROPERTIES INC JOANNE R BINKLEY	10 W STATE ST NORTH AURORA, IL, 60542-162C



# MEMORANDUM

**DATE:** July 10, 2023

**TO:** Village of North Aurora Board of Trustees

**FROM:** Jonathan Tallman, AIA, GGP, GPCP, NCARB

**SUBJECT:** Village of North Aurora Application for Map Amendment

## Message

The purpose of this memo is to provide responses to statements 1-12 in the Application for Map Amendment stating that the map amendment use will conform to the Village's standards.

1. Is the proposed amendment consistent with the existing use and zoning of nearby property

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 8-1 states that in district B-3, a "Planned Unit Development" is considered a special use. The proposed fire station will be adjacent to zoning district R-2 single family homes. Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 7-1 states that a "Planned Unit Development" is considered a considered a special use. There are no permitted or special uses specifically for fire stations in any of the residential districts.

2. Does the proposed amendment diminish the existing zoning of the subject property?

Currently, the site is split into 2 separate districts, both OR and R-2. By combining the two districts it allows more design options of the subject property. In short, it would not diminish the existing zoning of the subject property but strengthen it.

3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?

The proposed amendment would allow the Village of North Aurora to benefit from a new fire station that will better fit the needs of the community.

4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?

The proposed amendment would allow the North Aurora Fire Protection District the ability to build a new facility on the subject property. Doing so would allow the Village of North Aurora to benefit from a new fire station that will better fit the needs of the community.

5. Is the proposed amendment not feasible for development as it is presently zoned?

We tried multiple site test fits and we feel as the property sits currently, the size required for a new fire station that would meet the needs of the village would not fit on the site provided without combining the districts.

6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located

The medical clinic on the North end of the site has been recently vacated but a Google Street View search shows the home South of the medical clinic was removed sometime between September 2009 and April 2012 and the school the parking lot on the South end of the site was serving was removed sometime between October 2012 and September 2013.

7. Is there evidence of community need for the use proposed by the applicant?

Dewberry was recently hired by the North Aurora Fire Protection District to do an assessment of station 1 to determine the options required to update to current ADA, safety, efficiency, and technology standards and concluded that the issues with station #1 were too costly to recommend renovation. The evidence shows that the community has a need for a fire station that will better fit its needs.

8. Is the proposed amendment consistent with the comprehensive plan?

The proposed amendment that would allow the placement of the Fire Protection District Station No. 1 on this site aligns with several of the objectives outlined under the Village of North Aurora's goal of supporting high-quality public facilities and services that can bolster quality of life and strengthen civic pride and identity.

9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?

We feel the proposed amendment would help the village attain goals set forth by itself in the comprehensive plan, and in turn, benefit the residents of the village.

10. Does the proposed amendment avoid creating nonconformities?

Since the proposal would consolidate two separate districts into one, it would be removing a non-conformity.

11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?

Per the Villages Comprehensive Plan, the amendment would be a positive step in developing block one and the route 31 corridor

12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted?

The existing public facilities of the subject property are adequate and capable of being provided prior to the development.

**CC:**

NAME	✓	ORGANIZATION	PHONE	EMAIL
Chief Klemencic	✓	North Aurora Fire District	630-897-9698	mklemencic@nafd.org

# Current Zoning





# Proposed Zoning



## APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA  
Board of Trustees  
25 East State Street  
North Aurora, IL 60542

PETITION NO. \_\_\_\_\_

FILE NAME \_\_\_\_\_

DATE STAMP

### I. APPLICANT AND OWNER DATA

Name of Applicant North Aurora Fire Protection District

Applicant Address 2 Monroe St, North Aurora, IL 60542

Applicant Telephone # 630-897-9698

Email Address mklemencic@nafpd.org

Property Owner(s) Mike Klemenic, Fire Chief

Owner Address 2 Monroe St, North Aurora, IL 60542

Owner Telephone # 630-897-9698

### II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 23 N. Lincolnway, North Aurora, IL 60542  
(indicate location if no common address)

Legal Description: See Attachment

Parcel Size 1.700 acres

Present Use Vacant  
(business, manufacturing, residential, etc.)

Present Zoning District OR District and R-2 District  
(Zoning Ordinance Classification)

### III. PROPOSED SPECIAL USE

Proposed Special Use B-3 District

(Zoning Ordinance Classification)

Code Section that authorizes Special Use Under title 17, table 8-1 of the Village code

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? N/A to what district? N/A

Describe briefly the type of use and improvement proposed Fire Station

What are the existing uses of property within the general area of the Property in question? \_\_\_\_\_

Vacant

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) \_\_\_\_\_

Due to the central location of the site and the direct access to Illinois route 31 this particular site will allow the North Aurora Fire protection District quicker response times to better serve the Village of North Aurora

**Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:**

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

#### **IV CHECKLIST FOR ATTACHMENTS**

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website [www.dnr.state.il.us](http://www.dnr.state.il.us) and initiate a consultation using DNR's [EcoCat](#) online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website [www.kanedupageswcd.org](http://www.kanedupageswcd.org) for a Land Use Opinion Application



The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent

7-13-23

Date



Owner

7-13-23

Date

Following are the names and addresses of all property owners within 250 feet of the property in questions for which the special use being is being requested.

**TAX PARCEL NO.**

**PROPERTY OWNER**

**MAILING ADDRESS**

_____	_____	_____
_____	_____	_____
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_____	_____	_____

I, Mike Klemencic, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

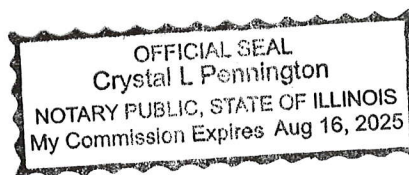
Mike Klemencic  
Applicant Signature

7-10-2023  
Date

**SUBSCRIBED AND SWORN TO**

Before me this 10 day of July, 20 23.

Crystal L Pennington  
Notary Public



Tax Parcel No	Property Owner	Mailing Address
15-04-205-013	ALVAREZ, ANTHONY & GARCIA, ISABELLA A	111 W STATE ST NORTH AURORA, IL, 60542-1641
15-04-205-012	SCAFIDI, ANTOINETTE M SELF DCLRN OF TR, TRUSTEE	3 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-011	TOVAR, LEONARDO & BRANDI	5 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-010	MCCARTY, SHANNON & HOLZRICHTER, HANNAH	7 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-009	MARTENS, BRADLEY S & MICHAEL D	9 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-008	BUBAN, KATRINA A & JEFFREY M	11 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-007	APPENZELLER, RICHARD P	15 N ADAMS ST NORTH AURORA, IL, 60542
15-04-205-006	CURLEY, MICHELLE	17 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-005	KHAMISSI, FARSI & SOBI, SHAH ZADEH KHAMISSI	19 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-004	LEMAIRE, DAVID G	21 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-003	VOGT, SKYLAR	23 N ADAMS ST NORTH AURORA, IL, 60542-1623
15-04-205-047	JOINER, MERLE A JR & CURNUTT-JOINER, BRANDY J	110 OAK ST NORTH AURORA, IL, 60542-1109
15-04-205-043	MARTIN, D E & SHIRLEY % DONALD E MARTIN	108 OAK ST NORTH AURORA, IL, 60542
15-04-205-032	PATEL, DIPTI J & JIGNESH	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-205-041	4 BARRERA PROPERTIES LLC PASCUAL & MA E ROCHA DE BARRERA	1180 TRASK ST AURORA, IL, 60505-1944
15-04-205-040	MICHELS, DAVID & LINDA	42 S JUNIPER DR NORTH AURORA, IL, 60542-159C
15-04-205-036	MICHELS, DAVID & LINDA	42 S JUNIPER DR NORTH AURORA, IL, 60542-159C
15-04-205-035	SOLER, GUALBERTO & MARY V	12 NO LINCOLNWAY NORTH AURORA, IL, 60542
15-04-205-044	PETERSON, DAVID J & CYNTHIA	16 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-205-046	EZZO, SAMUEL A SAM EZZO	35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223
15-04-205-042	LEMUS, JOSE & MARIA C	20 N LINCOLNWAY NORTH AURORA, IL, 60542-1636
15-04-205-039	KEUP, RANDY J	22 N LINCOLNWAY NORTH AURORA, IL, 60542-1636
15-04-205-038	GESFORD, STEPHANIE	35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223
15-04-205-045	NOVICKI, SCOTT E & JACQUELINE R REVOC TRS SCOTT & JACQUELINE NOVICKI, CO-TRUSTEES	610 HICKORY CT NORTH AURORA, IL, 60542
15-04-201-023	K B PROPERTIES OF ILLINOIS SERIES 1 AURORA DEUTRIX	2124 OGDEN AVE STE 303 AURORA, IL, 60504-7542
15-04-201-033	DG PARTNERS IL LLC	11006 PEBBLE GARDEN LN AUSTIN, TX, 78739
15-04-201-030	MESSENGER PUBLIC LIBRARY DISTRICT ADMINISTRATOR	113 OAK ST NORTH AURORA, IL, 60542-1682
15-04-203-008	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-009	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-007	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-006	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-203-005	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-202-022	PBWINC6 LLC PAUL WATNES	0N045 ALEXANDER DR GENEVA, IL, 60134-6002
15-04-202-021	UNWIN, RAZENA	11 OAK ST NORTH AURORA, IL, 60542-1122
15-04-202-020	K & M REALTY LLC	74 SHAW RD BELMONT, MA, 02478-4522
15-04-202-026	LOWRIE, EDMUND G & CONDIFF, SARAH	29W513 FORESTVIEW DR WARRENVILLE, IL, 60555-2101
15-04-202-025	THAMM, DUANE JR	122 MONROE ST NORTH AURORA, IL, 60542-1121
15-04-202-033	BEDOYA-KAYSER, SHIRLEY	2 S CALUMET AVE AURORA, IL, 60506-4702
15-04-202-036	TRUST # 10-3-8784 BARBARA STELLARD-SECONDI	726 SAILFISH DR FORT WALTON BEACH, FL, 32548-6010
15-04-202-034	RODRIGUEZ, DORA C	109 N LINCOLNWAY NORTH AURORA, IL, 60542-1101
15-04-202-028	SMITH, ROGER L & HINES KAY L	107 1/2 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-202-014	MATHEWS, MICHAEL R	105 N LINCOLNWAY NORTH AURORA, IL, 60542
15-04-202-035	HODAY, RONALD J	103 N LINCOLNWAY NORTH AURORA, IL, 60542-1123
15-04-202-016	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-202-032	MENDOZA, JAIME	2200 LIGHT RD APT 103 OSWEGO, IL, 60543-8552
15-04-202-018	BURNS, JUDY A	13 OAK ST NORTH AURORA, IL, 60542-1122
15-04-206-017	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-169C
15-04-206-018	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-169C
15-04-206-019	VILLAGE OF NORTH AURORA	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-023	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-020	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-021	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-022	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-022	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-015	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-014	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-013	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-012	NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF	2 MONROE ST NORTH AURORA, IL, 60542-1666
15-04-206-011	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-206-010	SMITH, RICHARD G & L SALLY TAPIO	38745 US HIGHWAY 41 CHASSELL, MI, 49916-9248
15-04-206-009	MCREYNOLDS, MICHAEL & STACY	36 MONROE ST NORTH AURORA, IL, 60542
15-04-206-008	ACCESSION PROPERTIES LLC	112 SYRIL DR GENEVA, IL, 60134-1957
15-04-254-001	HARPER, DANNEY	110 W STATE ST NORTH AURORA, IL, 60542-1642
15-04-254-002	MCDUFFEE, DAVID A & KEVIN C	3 S ADAMS ST NORTH AURORA, IL, 60542
15-04-254-003	FIRST NATIONAL BANK DEKALB IL, TRUST: 1949	7 S ADAMS ST NORTH AURORA, IL, 60542
15-04-254-004	KADZIK, DANIEL L & CYNTHIA KRUSE	11 S ADAMS ST NORTH AURORA, IL, 60542-1625
15-04-254-005	KADZIK, DANIEL L & CYNTHIA KRUSE	11 S ADAMS ST NORTH AURORA, IL, 60542-1625
15-04-254-024	BALDWIN 820 REALTY LLC	4007 MERRICK RD SEAFORD, NY, 11783-2831
15-04-254-019	RIO, DOLORES A	PO BOX 183 NORTH AURORA, IL, 60542
15-04-254-022	STRONG, JOHN E & LAURA M	19 WALNUT CIR SUGAR GROVE, IL, 60554
15-04-254-020	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-254-021	MKH REAL ESTATE LLC	14 S LINCOLNWAY NORTH AURORA, IL, 60542-1637
15-04-276-009	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-255-035	FOX VALLEY PARK DISTRICT	101 W ILLINOIS AVE AURORA, IL, 60506-5989
15-04-255-043	NORTH AURORA VILLAGE OF	25 EAST STATE STREET NORTH AURORA, IL, 60542-1684
15-04-255-005	11 SOUTH LINCOLNWAY LLC	11 S LINCOLNWAY NORTH AURORA, IL, 60542
15-04-255-004	PARK, BILL M & MARGARET	9 S LINCOLNWAY NORTH AURORA, IL, 60542
15-04-255-003	SONJA, JANAK & MANSI LLC	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-255-040	SONJA, JANAK & MANSI LLC	9419 MICHAEL CT MORTON GROVE, IL, 60053
15-04-255-002	NORTH AURORA VILLAGE OF	25 E STATE ST NORTH AURORA, IL, 60542-1684
15-04-255-044	HARNER FAMILY PROPERTIES INC JOANNE R BINKLEY	10 W STATE ST NORTH AURORA, IL, 60542-162C



Dewberry Architects Inc. | 847.695.5840  
132 North York Street, Suite 2C | 847.695.6579 fax  
Elmhurst, IL 60126-3070 | www.dewberry.com

July 10, 2023

Village of North Aurora  
Attn: Board of Trustees  
North Aurora Village Hall  
25 East State Street  
North Aurora, IL 60542

North Aurora Fire Protection District Station No. 1

To the Village Board of Trustees,

I am writing this letter on behalf of the North Aurora Fire Protection District for an application of special use to propose a new Fire Station at 23 N. Lincolnway, North Aurora, IL, 60542. The present building on this location is vacant and the current zoning of the site is zoned O-R Office Research and R-2 Single Family Residence districts. We propose the special use of B-3 Central Business District under the authorization of title 17, Table 8-1 of the North Aurora Village code or ordinances. This proposed fire station will be manned and operated 24 hours a day and 7 days a week by the personnel of the existing North Aurora Fire Protection District Station No. 1. The fire station is proposed to be a 5-apparatus bay station with administration offices including a training room and fitness room. The materiality of the proposed fire station is a contemporary precast structure with architectural finishes and brick feature walls along with a wood look entry and app bay canopy inspired by the Village of North Aurora's historical roots with the lumber industry and a hose tower inspired by the historical open bell tower of previous North Aurora Fire Stations. If you have any further questions or request any other information, please reach out to me and I will be happy to provide you with any assistance.

Sincerely,

Jonathan Tallman, AIA, NCARB, GPCP, GGP  
Associate Principal  
jtallman@dewberry.com  
847.841.0612

## MEMORANDUM

**DATE:** July 10, 2023

**TO:** Village of North Aurora Board of Trustees

**FROM:** Jonathan Tallman, AIA, GGP, GPCP, NCARB

**SUBJECT:** Village of North Aurora Special Use Application

### Message

The purpose of this memo is to provide responses to statements 1, 4, 5, 6, 7 and 9 in the Special Use Application stating that the proposed special use will conform to the Village's standards.

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 8-1 states that in district B-3, a "Planned Unit Development" is considered a special use.

4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

The proposed placement of the Fire Protection District Station No. 1 on this site aligns with several of the objectives outlined under the Village of North Aurora's goal of supporting high-quality public facilities and services that can bolster quality of life and strengthen civic pride and identity.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.

The proposed fire station will be designed by Dewberry Architects, a licensed and established architecture firm. The Fire station will be located on the site with apparatus bays aligned to exit directly onto route 31 to offer the best response times from this site. The operation and maintenance of the proposed fire station will be done by the firefighters of the existing North Aurora Fire Protection District Station.

6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.

The proposed Fire Station will be replacing the existing fire station No. 1 in a prominent location along the route 31 corridor. The design of the facility increases the Civic presence along Rt. 31 and more visible community room. The fire stations location will maintain property values in the immediate neighborhood.

7. The proposed special use is compatible with development on adjacent or neighboring property.

The proposed fire station will be adjacent to zoning district R-2 single family homes. Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 7-1 states that a "Planned Unit Development" is considered a special use in all residential districts. There are no permitted or special uses specifically for fire stations in any of the residential districts.

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 13-1 states we are required to provide 3 parking stalls per 1,000 SF gross floor area for a government (Non-Village) Office or Facility. The gross floor area of the proposed fire station is 26,918 square feet, meaning we would be required to provide 90 parking stalls. We are requesting a parking reduction that better fits with how the North Aurora Fire Protection District operates. On any given day, the district will have staff to fill 10 beds max., 6 offices, and 1 mechanic's bay. At shift time, that number will increase by an additional 10 staff. Reference table below:

Staff for beds	10 max.
Shift change staff	10 max.
Offices for staff	6
Mechanic staff	1
ADA Parking Req.	2
<b><u>TOTAL</u></b>	<b><u>29 Parking Spaces needed</u></b>

**The proposed Fire Station provides 37 parking stalls**

### Attachments

1. **Attachment A Title (Memorandum from Eriksson Engineering):** Statements 8 &10
2. **Attachment B Title (Memorandum from NAFPD)** Statements 2 & 3

### CC:

NAME	✓	ORGANIZATION	PHONE	EMAIL
Chief Klemencic	✓	North Aurora Fire District	630-897-9698	mklemencic@nafd.org

# Memorandum



TO: Village of North Aurora Board of Trustees  
FROM: Ben Ahring, P.E.  
CC: Chief Klemencic – North Aurora Fire District  
Jonathan Tallman – Dewberry  
DATE: July 13, 2023  
RE: Village of North Aurora Special Use Application

The purpose of this memo is to provide responses to statements 8 and 10 in the Special Use Application stating that the proposed special use will conform to the Village's standards.

8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.

*Response: Locating the apparatus bay egress onto Rte 31 mid-block reduces the interaction between vehicles waiting to turn at the stoplights and the fire department vehicles. Having a second access from the back of the apparatus bay reduces the need for fire department vehicles to back up on Rte 31 into the apparatus bay. The parking lot access is moved away from the intersection. These factors lead to adequate and safer access to the site.*

10. The proposed special use is served by adequate utilities, drainage road access, and public safety, and other necessary facilities.

*Response: The existing municipal infrastructure has the capacity to meet the proposed fire station's demands.*





# North Aurora Fire Protection District

2 N. Monroe Street

North Aurora, IL 60542

[www.nafd.org](http://www.nafd.org)

Office: (630) 897-9698

Fax: (630) 897-3050

Mike Klemencic, Fire Chief

July 3<sup>rd</sup>, 2023

To whom it may concern,

The purpose of this memo is to provide information to support that the proposed special use is necessary, will not create excessive additional impacts, and will be beneficial to the economic welfare of the community.

The North Aurora Fire Protection District was established in 1908, consisting of a Fire Chief and twenty-two volunteers. Voluntary or "Paid-on call" staff filled the ranks for nearly a century until 1993 when the first fulltime member was hired. Currently we have twenty-six full-time firefighters, fifteen part-time firefighters and respond to around 2600 emergencies a year.

The North Aurora Fire Protection District has two fire stations. Station #1 was built in its current location on Monroe Street in 1963. Due to continued growth within the Village, station #2 was opened in 2007. Station #1 was built to accommodate a small voluntary force responding to a couple of hundred emergencies a year protecting a community of 2500 people.

Since station #1's opening in 1963, the staff size and operational needs of the fire district have evolved and increased exponentially requiring several remodels and renovations to accommodate the ever-changing needs of the community and the firefighters serving out of that station. After nearly 60 years of transformation and progress station #1 is no longer able to fit the needs of this community and the men and women who protect it.

Dewberry Architects Inc. was selected by the North Aurora Fire Protection District to conduct a facility and space needs assessment of station #1 to determine the available options to increase space and catch up to current standards of safety, efficiency, and technology. After a thorough assessment of station #1 Dewberry Architects Inc. concluded that the issues found at station #1 are too costly to recommend renovation of the existing facility.

"The current fire station #1 facilities are undersized or have prohibitive layouts for effective use of the facility which limits the optimal workflow of the firefighters and administrative staff. The fire station also has aged building HVAC, plumbing and electrical systems nearing the end of their useful life and will require replacement and upgrades to meet today's current standards. To achieve the long-term operational goals of the North Aurora Fire Protection District, Dewberry is recommending the demolition of the existing fire station #1 and replacement. This recommendation is based on our assessment of the existing conditions of the facility, potential cost of repair, the required demolition, and additions to allow for the needed functional changes in how the firefighters use the facility and meet today's and future firefighter safety, health, and wellness standards."

Dewberry's professional assessment of the facility determined that the following issues would prove too costly to move forward with a renovation and addition of the existing facility.

1. ADA compliancy issues for renovations.
2. Constructability of required modifications to Apparatus Bay
  - a. New apparatus equipment heights will not allow equipment to fit through the door openings

3. Underground plumbing issues worsening over time
4. Structural difficulty to modify pre-engineered structure (living side)
5. Current energy code issues make it difficult and expensive to modify existing facilities with the amount of space changes that would be needed in station #1.
6. Site topography and drainage challenges causing water infiltration.
7. Poor parking lot condition.
8. Reconfigure layout of offices, lobby, and conference rooms.
9. Repair and paint of existing gypsum wallboards, CMU walls and ceiling tiles.
10. Replace and update flooring. (Including old asbestos tiles)
11. Replace all perimeter sealant at openings.
12. Replace damaged doors and frames.
13. Extensive repair work needed on the exterior envelope.
14. Renovations to the telecommunication infrastructure.
15. Renovations to the existing alarm system.
16. Upgrades to the lighting systems.
17. Upgrades to the existing Electrical, Mechanical and Plumbing systems.

Our initial plan was to rebuild on our current site. However, we engaged in conversations with the Village to possibly swap land on the same block or adjacent to it. These conversations lead to options that have proven beneficial to both the Fire District and the Village of North Aurora. The goal is to build a firehouse that will allow us to better serve the community now and for future generations and support the economic development of the Village.

When considering station location, the number one concern and guiding factor is response times to the various locations within the District. Our studies show that in order to maintain our response times to the east side of river we need to stay on the current block or adjacent to it. Additionally, we found that by positioning ourselves with direct access to Route 31 we could shave 15-30 seconds off our response times to nearly 75% of our calls which occur west of the Fox River.

We believe that the proposed location for a new North Aurora Fire Station allows for quick access to the east side of the Fox River, quicker responses to the west side of the Fox River, and presents an attractive space for the remainder of the block to be developed.

We at the North Aurora Fire Department feel truly blessed and honored to service this community and wholeheartedly appreciate the citizens we serve and our relationship with the Village. Please don't hesitate to reach out if you have any additional questions or concerns.

Respectfully,

*Mike Klemencic*

Fire Chief – Mike Klemencic  
North Aurora Fire Protection District  
[mklemencic@nafd.org](mailto:mklemencic@nafd.org)  
630-897-9698

---

## VILLAGE OF NORTH AURORA BOARD REPORT

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**CC:** STEVE BOSCO, VILLAGE ADMINISTRATOR  
**FROM:** MIKE TOTH, BUSINESS AND ADMINISTRATIVE SERVICES MANAGER  
**SUBJECT:** TRANSFER OF VILLAGE PROPERTY TO THE FIRE DISTRICT  
**AGENDA:** AUGUST 21, 2023 REGULAR VILLAGE BOARD MEETING

---

### ITEM

Resolution authorizing the transfer of property from the Village of North Aurora to the North Aurora Fire District

### DISCUSSION

The Village owns 1 N. Lincolnway and 23 N. Lincolnway, both located on the east side of Lincolnway between Oak Street and State Street ("Village Parcel"). As part of the land swap agreement ("Transfer Agreement") with the North Aurora Fire Protection District, the Village agreed to transfer 1.7 acres to the Fire District for the development of their proposed Fire Station #1. The 1.7 acres consists of the 23 N. Lincolnway property and a northern portion of the 1 N. Lincolnway property. Through the passage of this resolution, the Village would be approving the transfer of the 1.7 acres of land to the Fire District pursuant to the Transfer Agreement. The Fire District passed a resolution authorizing transfer of their 2 Monroe Street property ("Fire District Parcel") to the Village on July 19, 2023. Staff notes the following terms included in the Transfer Agreement, pertinent to the land transfer timing:



- Possession of the Village Parcel will transfer immediately on transfer of title to the Fire District.
- The Village will provide \$1,276,000 for the acquisition of the Fire District Parcel.
- Possession of the Fire District Parcel will transfer to the Village only upon completion of construction and occupancy of the improvements to be constructed by the Fire District on the Village Parcel.

STATE OF ILLINOIS       )  
                                  )  
COUNTY OF KANE        )       SS

**SECRETARY'S CERTIFICATE**

I, GERRY AUCHSTETTER, the duly qualified Secretary of the Board of Trustees of the North Aurora Fire Protection District, Kane County, Illinois, do hereby certify that the attached hereto is a true and correct copy of a Resolution entitled:

**RESOLUTION NO. 2023 - 01**

**A RESOLUTION AUTHORIZING THE INTERGOVERNMENTAL TRANSFER OF REAL ESTATE TO AND FROM THE NORTH AURORA FIRE PROTECTION DISTRICT  
AND THE VILLAGE OF NORTH AURORA**

which Resolution was adopted by the Board of Trustees of the Fire Protection District at a public meeting held on the 19th day of July, 2023.

**IN WITNESS WHEREOF**, I have hereunto set my hand this 19<sup>th</sup> day of July, 2023.

  
\_\_\_\_\_  
Secretary, Board of Trustees  
North Aurora Fire Protection District

**RESOLUTION NO. 2023 - 01**

**A RESOLUTION AUTHORIZING THE INTERGOVERNMENTAL TRANSFER OF REAL ESTATE TO AND FROM THE NORTH AURORA FIRE PROTECTION DISTRICT TO AND THE VILLAGE OF NORTH AURORA**

**WHEREAS**, the North Aurora Fire Protection District, Kane County, Illinois, ("District") is an Illinois fire protection district, duly organized and existing under and by virtue of the laws of the State of Illinois; and

**WHEREAS**, District is the owner of the property (the "District Property") legally described on Exhibit A attached hereto and made a part hereof; and

**WHEREAS**, the Village of North Aurora, Kane County, Illinois, (the "Village"), an Illinois municipal corporation duly organized and existing under and by virtue of the laws of the State of Illinois; is the owner of property ("Village Property") legally described in Exhibit B attached hereto and made a part hereof; and

**WHEREAS**, the Board of Trustees of the District has determined that the District Property is no longer necessary for District purposes and the Village has determined that the District Property is suitable for municipal purposes and the parties desire to transfer the aforesaid District Property to the Village pursuant to the authority conferred by the Local Government Property Transfer Act, 50 ILCS 605/1 *et seq.*; and

**WHEREAS**, the Village Board has determined that the Village Property is no longer necessary for Village purposes and the District has determined that the Village Property is suitable for District purposes and the parties desire to transfer the aforesaid Property to the District pursuant to the authority conferred by the Local Government Property Transfer Act, 50 ILCS 605/1 *et seq.*; and

**WHEREAS**, through an Intergovernmental Real Estate Sales Contract dated December 6, 2022 (and amended on May 17, 2023) between the District and Village (and attached hereto as Exhibit C), the Board of Trustees has indicated its desire to transfer the District Property to the Village in order for the Village to use, occupy and improve, and the Village Board has expressed its interest to transfer the Village Property to the District,



in order to construct a new headquarters fire station.

**NOW, THEREFORE, BE IT RESOLVED** BY THE BOARD OF THE TRUSTEES OF THE NORTH AURORA FIRE PROTECTION DISTRICT, KANE COUNTY, ILLINOIS, AS FOLLOWS:

**Section One:** That the North Aurora Fire Protection District Board ("the Board") finds the above recitals to be true and correct and the recitals are hereby incorporated into these findings as if written out in full.

**Section Two:** That the President and Secretary hereby authorize the Fire Chief and the District attorneys to execute, attest, and deliver any and all necessary documents, deeds and all other necessary instruments conveying the above-described District Property to the Village of North Aurora and the above-described Village Property from the Village of North Aurora and to take all necessary action to complete the transfer of the respective Property to the Village in accordance with the Real Estate Sales Contract attached hereto as **Exhibit C.**

**Section Three:** This Resolution shall be in full force and effect from and after its passage, into law. This Resolution shall be recorded with the Kane County Recorder of Deeds contemporaneously with the date of the real estate closing.

**PASSED** this 19th day of July, 2023, by the following roll call vote:

AYES: Kevin Fatten, Gerald Auchstetter, Gerry Freese, Chuck Kuhn

NAYS: \_\_\_\_\_

ABSENT: Richard Brackett

  
\_\_\_\_\_  
President, Board of Trustees  
North Aurora Fire Protection District

ATTEST:

  
\_\_\_\_\_  
Secretary, Board of Trustees  
North Aurora Fire Protection District

## **EXHIBIT A**

### **District Property Description**

LOTS 1, 2, 3, 4, 5, 6, 38, 39, 40, 41, 42, 43, 44, 45, AND 46 AND THE VACATED ALLEY LYING SOUTH OF AND ADJOINING LOT 46 IN BLOCK 1 OF NORTH AURORA, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PINs: 15-04-206-012; 15-04-206-013; 15-04-206-014; 15-04-206-015

## **EXHIBIT B**

### **Village Property Description**

#### **LEGAL DESCRIPTION**

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876 AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001044, AND ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE SOUTH 80 DEGREES 43 MINUTES 37 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID LOT 29, A DISTANCE OF 4.40 FEET TO A LINE PARALLEL WITH AND 4.40 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES TO, THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1 FOR THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 21 MINUTES 04 SECONDS EAST ALONG SAID PARALLEL LINE, 376.72 FEET TO A POINT THAT IS 12.40 FEET NORTHERLY OF THE SOUTHERLY LINE OF SAID LOT 17; THENCE SOUTH 76 DEGREES 55 MINUTES 50 SECONDS WEST, 185.86 FEET TO THE INTERSECTION OF THE SOUTHERLY LINE OF SAID LOT 17 AND THE EASTERLY LINE OF ILLINOIS ROUTE 31 PER DOCUMENT 2010K023505; THENCE NORTH 80 DEGREES 45 MINUTES 22 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 17, A DISTANCE OF 189.87 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 17, SAID SOUTHEASTERLY CORNER BEING ON THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1; THENCE NORTH 09 DEGREES 21 MINUTES 04 SECONDS WEST ALONG SAID WESTERLY LINE, 389.12 FEET TO THE POINT OF BEGINNING;

ALL IN KANE COUNTY, ILLINOIS.

PINs: 15-04-206-017; 15-04-206-018; 15-04-206-019; 15-04-206-020; 15-04-206-021; 15-04-206-023

**EXHIBIT C**  
**Intergovernmental Agreement**



**VILLAGE OF NORTH AURORA  
KANE COUNTY, ILLINOIS**

**Resolution No. \_\_\_\_\_**

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**RESOLUTION AUTHORIZING THE TRANSFER OF PROPERTY  
FROM THE VILLAGE OF NORTH AURORA  
TO THE NORTH AURORA FIRE DISTRICT**

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**Adopted by the  
Board of Trustees and President  
of the Village of North Aurora  
this \_\_\_\_ day of \_\_\_\_\_, 2023**

**Published in Pamphlet Form  
by authority of the Board of Trustees of the  
Village of North Aurora, Kane County, Illinois,  
this \_\_\_\_ day of \_\_\_\_\_, 2023**

**by \_\_\_\_\_.**

**Signed \_\_\_\_\_**

**A RESOLUTION AUTHORIZING THE TRANSFER OF PROPERTY  
FROM THE VILLAGE OF NORTH AURORA  
TO THE NORTH AURORA FIRE DISTRICT**

**WHEREAS**, the North Aurora Fire District (the “Fire District”) is an Illinois fire district with overlapping jurisdictional boundaries with the Village of North Aurora (the “Village”); and

**WHEREAS**, the Village owns certain real estate located at the northwest corner of Oak Street and Lincolnway in the Village of North Aurora legally described on the document attached hereto and incorporated herein by reference as Exhibit A (the “Village Property”);

**WHEREAS**, the Fire District has passed and approved an ordinance dated June 21, 2023, declaring that it is necessary or convenient for the Fire District to use, occupy, and improve the Village Property for public purposes and requesting that the Village transfer the Village Property to the Fire District, all in accordance with the provisions of the Illinois Local Government Property Transfer Act, 50 ILCS 605/0.01, *et seq.* (the “Property Transfer Act”); and

**WHEREAS**, the President and Trustees of the Village desire to transfer the Village Property to the Fire District, pursuant to the authority conferred by the Property Transfer Act subject to the terms of an agreement for the simultaneous transfer of property from the Fire District pursuant to the terms and conditions contained in the Agreement for Transfer of Property Between the Village of North Aurora & North Aurora Fire Protection District in North Aurora, Kane County, Illinois by and between the Fire District and the Village dated December 8, 2022, and amended pursuant to Ordinance No. 2023-05-15-02 Approving an Amendment to the Land Swap Agreement with the Fire District dated May 15, 2023 (the “Transfer Agreement”).

**NOW, THEREFORE, BE IT RESOLVED** by the Village Council of the Village of North Aurora, Kane and DuPage Counties, Illinois, as follows:

**SECTION 1:** Recitals. The foregoing recitals are hereby incorporated into this Resolution as findings of the Mayor and Village Council.

**SECTION 2:** The President and Trustees of the Village hereby (a) approve transfer of the Village Property to the Fire District pursuant to the Transfer Agreement, (b) authorize and direct the President to execute and the Village Clerk to attest the Transfer Agreement, (c) authorize and direct the preparation and signing of a Deed to transfer the title to the Village Property to the Fire District, by the Village Administrator or his designee and (d) authorize the Director of Community Development or his authorized designee(s) to take all other necessary and appropriate actions, in conjunction with the necessary and appropriate actions of the Fire District, to transfer all of the Village’s rights and title in the Village Property to the Fire District, and to acquire the property being transferred from the Fire District.

**SECTION 3:** Effective Date. This Resolution will be in full force and effect from and after its passage by a vote of two thirds of the members of the Village Board now holding office and approval.



Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Jason Christiansen \_\_\_\_\_

Laura Curtis \_\_\_\_\_

Mark Guethle \_\_\_\_\_

Michael Lowery \_\_\_\_\_

Todd Niedzwiedz \_\_\_\_\_

Carolyn Salazar \_\_\_\_\_

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

\_\_\_\_\_  
Mark Gaffino, Village President

ATTEST:

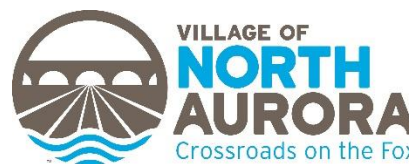
\_\_\_\_\_  
Jessi Watkins, Village Clerk

**EXHIBIT A**  
**The Village Parcel**

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876 AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001044, AND ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS:

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# Memorandum



**To:** Steve Bosco  
**From:** David Arndt, IT Manager  
**Date:** 8/10/2023  
**Re:** Document Management and SharePoint Implementation

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In 2022 the Village started a three-phase project to modernize our office technology. The first phase implemented Office 365, the most current version of Microsoft Office. This project was completed in December 2022. Included with this version of Office was extensive cloud storage space and a front-end product named SharePoint. SharePoint is a robust document management system with searching and archiving and retention standards. The front facing portion of SharePoint is a friendly web-based intranet. Files can be organized by department or purpose. Staff can invite third party consultants, vendors, developers, even the public to share and review files. Security is very extensive and granular.

The second phase of the project is to move all our current digital documents from on-premise file servers to the cloud-based storage. All files will be ingested into a document management system (DMS) where they will be identified, rated, assigned ownership, security, and a review/expiration date. All files will be searchable by title and content when possible.

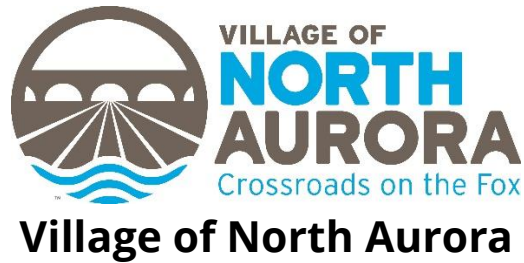
The final phase will be digitizing our physical paper files and building plans and moving them to our cloud based DMS.

As part of phase I, Village staff met with consultants to determine the best course of action to migrate away from on-site file servers and move to a dynamic cloud-based system. Office 365 was identified at this point to be the desired DMS. As part of the Office 365 licensing the Village receives terabytes of cloud storage, SharePoint, OneDrive, and Teams. SharePoint will be the DMS, OneDrive will become the individual employee's personal storage folder, Teams will become a project collaboration tool. Additionally, SharePoint integration is fully supported by our other enterprise level applications such as SpringBrook and CityView.

Using the recommendations from the consultants Village Staff budgeted \$60,000 for this phase of the project and released an RFP in July. Staff received 12 proposals. The

prices ranged from \$40,400 to \$1.27 million. Staff reviewed the proposals and selected the 4<sup>th</sup> lowest cost proposal submitted by Heartland Business System (HBS) out of Lisle, Illinois. The first three were incomplete or not as extensive as the selected proposal. Overall HBS has an excellent reputation within the Illinois municipal environment. Their references were very strong. HBS also showed extensive knowledge for this specific project regarding a municipal environment and specifically understanding CJIS requirements. HBS will provide an extensive review of our current file environment, review file structures, compatibility, internal links. Provide temporary servers to phase the migration to the cloud to ensure zero data loss and minimal downtime. HBS will create intranet sites for each Village department and division of the Police. They will also create an overall DMS to allow searching Village wide for files. We will also receive a public portal where citizens and staff can submit forms and have workflows to ensure proper resolution and transparency.

Village staff recommends selecting Hartland Business System's proposal in the amount of \$54,745.84 to implement a document management system, SharePoint intranet and migrate our current digital files.



## REQUEST FOR PROPOSAL

### SHAREPOINT IMPLEMENTATION SERVICES

Village of North Aurora

#### **Purpose of the RFP:**

The Village of North Aurora is requesting from qualified vendors to provide the implementation services of an enterprise intranet solution based on Microsoft SharePoint and OneDrive. This RFP is designed to solicit responses from vendors in order to assist the Village in delivering a SharePoint/OneDrive infrastructure, security, and assessment of current on-premise file structure and assistance with migration from a on-premise to cloud based file system. Additionally, the Village intends to utilize SharePoint as a Village wide document management system. Migration of all files from on-premise to SharePoint must be incorporated into the document management system.

#### **About the Village of North Aurora**

The Village was incorporated in 1905 and operates under a president-trustee form of government. The Village Board consists of a Village President and six Village Trustees who are elected at-large for overlapping terms of four years. Elections are staggered with three trustees elected every two years. The Village Clerk and Village President are elected every four years. Municipal elections occur in odd numbered years.

The Village of North Aurora has a current population of 18,261 as of 2020 and is located in the heart of Chicago's western suburbs in southeast Kane County. Only 40 minutes west of the City of Chicago, residents of North Aurora enjoy direct access to I-88, Route 31, Route 25, Route 56 (Butterfield Road), Randall Road, and Orchard Road. The proximity of these major suburban routes makes for easy traveling around town and into Chicago's metropolitan center. North Aurora is a family-friendly community that is located along the scenic Fox River which provides many recreational opportunities. The Village offers numerous opportunities for residential growth and economic development.

#### **Project Background**

The Village of North Aurora began utilizing Microsoft's cloud-based products in 2020 with the migration to a hosted Azure Exchange server. The next phase in this project was the implementation of Office 365, which was completed in January of 2023. The final phase is to migrate from an on-premise file server to Microsoft's SharePoint/OneDrive solution. The Village currently has (95) Exchange EO, (56) G3, and (25)G1 licensees.

#### **Description**



The Village of North Aurora currently has two physical file servers housing roughly 1.4 TB General Data and 600 GB of user data. The data is accessible via network shares and mapped drives. The current environment does not have many desired capabilities, including but not limited to document versioning, collaboration, search capabilities, workflow, and self-service, and does not provide a platform for creating individual sites or for sharing information between departments, other government agencies, external consultants, or with the public.

## DEFINITIONS

The words (A) "Village", (B) "Department", (C) "Contractor, Firm, Vendor ", (D) "DMS", or (E) CJIS "Criminal Justice Information Systems" as used in this RFP, shall be understood to refer respectively to (A) the Village of North Aurora, Illinois; (B) the several departments therein; (C) the person, firm or corporation with whom the contract is made by said Village or the agent or legal representative who may be appointed to represent such person, firm or corporation in the signing and performance of said contract, and (D) Document Management System.

## GOALS

The Village of North Aurora has identified the following goals:

- Create SharePoint sites for each Village department and divisions of the Police Department
- Central repository for document management system
  - Searchable by meta and/or content
- Establish processes for employees to add documents to the DMS
  - Directly created
  - Scanned from document scanners
  - Received from external sources
- Establish templates for new internal SharePoint and Team sites
- Create an internal help desk system
- Establish a system to create and manage forms for internal and external use
  - Dynamic workflows
  - Customizable
  - Searchable and archive ready PDF
- Create a portal for the public to submit forms and documents
- Review and establish default security settings
- Train IT staff

## RFP QUESTIONS AND PRE-BID MEETINGS

All questions concerning this solicitation must be submitted via email to the designated Village contact. The official responses to questions or requests for interpretation to this solicitation will be posted on the RFP section of the Village's website (<https://northaurora.org/government/rfp-rfq-bidding/>). The deadline for submission of questions or deviations shall be 4:30 PM (CST) on 06/16/2023. Any information resulting from questions that causes a material change in the solicitation will be posted on the RFP section of the Village's website as an addendum. Proposal close date is 2:00 PM (CST) on 06/23/2023. Late submissions will not be considered. The Village will not be responsible for late submissions of any kind.

## PROJECT

### **Assess current environment**

- Review current on-premise file structures
- Review current on-premise file versions and extensions and identify possible conflicts and recommend resolution.
- Review current SharePoint and OneDrive licensing and determine if additional licensing or storage is required

### **Create Migration Plan**

- Work with Village Staff to create a migration plan
- Work with Village Staff to establish a timeline

### **Create initial SharePoint sites**

- Create default template for Village SharePoint and Teams Sites
- Establish Document Management system
- Create SharePoint sites for each Village Department and Police Division
- Create OneDrive for each Village Employee
- Create a public facing portal for document and form submittals

### **Migration**

- Migrate all identified department files to Document Management and SharePoint sites
- Migrate select users to OneDrive
- Train IT staff on how to migrate remaining user to OneDrive

### **Create processes**

- Create process to ingest digital files into Document Management System
  - Created by end users
  - Scanned documents
  - Documents received by external sources
  - Create process for identifying obsolete documents
- Create process to delete or archive user OneDrive
- Create process to delete or archive SharePoint and/or Team site
- Create process to create custom forms for internal or external use
  - Establish workflow logic
  - Forms will be saved as archivable and searchable pdf

### **Train IT Staff**

- SharePoint template creating and editing
- Migrating remaining users to OneDrive
- Using Document Management System

- Edit or update Document Management System backend

### **Notice to Proposers**

Failure to carefully read, understand and comply with all requirements in this RFP may cause the proposal to be considered nonresponsive, rejected by the Village, or legally obligate the proposer to more than it intended. Information obtained by the proposer from any officer, agent or employee of the Village shall not affect the risks or obligations assumed by the proposer or relieve the proposer from fulfilling any of the RFP conditions or any subsequent contract conditions. Attempts by or on behalf of a prospective or existing proposer to contact or to influence any member of the selection team, any member of the Board of Trustees, or any employee of the Village with regard to the acceptance of a proposal may lead to elimination of that proposer from further consideration. Only the format described in the RFP and the attachments included with this RFP will be accepted as compliant for the submitted proposal. Failure to completely fill out all required attachments may result in rejection of the proposals.

### **Conditions**

Implementation pricing must be submitted on a deliverable and “milestone” basis. Vendors are to provide all work effort and assumptions used to calculate the fixed fee for each deliverable and milestone. The scope of the project will be defined by the statement of work and detailed functional requirements included as Attachment 7 (Cost). All firms submitting proposals are encouraged to submit the most competitive proposal possible as the failure to do so may lead to elimination prior to software demonstrations.

All proposals and any subsequent clarification or response to the Village’s questions shall be valid for a minimum of 120 days.

### **Village of North Aurora Rights Reserved**

The VILLAGE reserves the right to select the proposal(s) which in its sole judgment best meets the needs of the VILLAGE. The lowest proposed cost will not be the sole criterion for recommending the contract award. The VILLAGE is not bound to accept the lowest priced proposal or any of the response proposals submitted.

The VILLAGE reserves the right to award multiple contracts from this RFP.

The VILLAGE reserves the right to reject any or all proposals if the proposal is nonresponsive, fails to include requested information required in this RFP, or if the proposal is incomplete, or otherwise does not comply with RFP requirements. VILLAGE also reserves the right to waive technicalities, irregularities and informalities when such waiver is determined by the VILLAGE to be in the VILLAGE’s best interest.

The VILLAGE may modify this RFP by issuance of one or more written addenda. Addenda will be posted here: <https://northaurora.org/government/rfp-rfq-bidding/>

The VILLAGE reserves the right to interview and meet with select proposers at any time to gather additional information. Furthermore, the VILLAGE reserves the right to remove or add functionality (i.e., modules, components, and/or services) until the final contract is executed.

This RFP does not commit the VILLAGE to award a contract. This RFP contains no contractual proposal of any kind, and any proposal submitted will be regarded as a proposal by the proposer and not as an acceptance by the proposer of any offer by the VILLAGE. No contractual relationship will exist except pursuant to a written contract document signed by the authorized official of the VILLAGE and by the successful proposer chosen by the VILLAGE. All proposals submitted in response to this RFP become the property of the VILLAGE and may constitute public records, and as such, may be subject to public review and disclosure at the determination of the VILLAGE.

The VILLAGE shall not be liable for any pre-contractual expenses incurred by prospective vendors, including but not limited to costs incurred in the preparation or submission of SharePoint Implementation Services proposals (see page 7 of 25, Village of North Aurora REQUEST FOR PROPOSAL). The VILLAGE shall be held harmless and free from any and all liability, claims, or expenses whatsoever incurred by, or on behalf of, any person or organization responding to this RFP.

The VILLAGE shall not be under any requirement to complete the evaluation for this RFP by any specific date and reserves the right to suspend or postpone the evaluation process should the need arise due to budget constraints, time constraints or other factors as directed by the VILLAGE.

The VILLAGE reserves the right to negotiate and award only a portion of the requirements; to negotiate and award separate or multiple contracts for the elements covered by this RFP in any combination it may deem appropriate, at its sole discretion to add new considerations, information or requirements at any stage of the procurement process, including during negotiations with proposers; and reject proposal of any proposer that has previously failed to perform properly or in a timely manner contracts of a similar nature, or of a proposer that, in the opinion of the VILLAGE, is not in a position or is not sufficiently qualified to perform the contract.

The VILLAGE reserves the right to modify any deadlines set forth in this RFP, and to cancel, revise, or reissue this RFP.

## **DETAILED SUBMITTAL REQUIREMENTS**

### **SCOPE OF SERVICES**

This section of the proposal should include a general discussion of the Proposer's overall understanding of the project and the scope of work proposed including the following:

Company Background

Three References for similar sized and scoped projects

Microsoft Certification(s)

### **CHANGE MANAGEMENT**

Any additional work identified during the project that is deemed necessary, but outside the original scope of work, must be recorded as a change order and approved by the Village Project Manager before work is started.

### **SUBCONTRACTING**

All proposed subcontracting must be detailed in the firm's proposal. No subcontracting will be allowed without the express written consent of the Village of North Aurora.

## **CONTENTS OF PROPSOAL**

Proposals must include, but need not be limited to, the content identified below and should be organized according to the following sections. All pages should be numbered. Marketing information will not be accepted in lieu of direct response to all requirements and questions.

### **SECTION 1 - EXECUTIVE SUMMARY AND INTRODUCTORY MATERIALS**

The introductory material should include a title page with the RFP name, name of the proposer, address, telephone number, the date, a Letter of Transmittal, and a Table of Contents. The executive summary should be limited to a brief narrative (less than 3 pages) summarizing the proposal.

### **SECTION 2 – TABLE OF CONTENTS**

### **SECTION 3 – STATE OF QUALIFICATIONS**

A statement of qualifications shall summarize key elements of the proposal and highlight your firm's qualifications as they relate to this project and these services requested. The statement of qualifications should demonstrate to the Village that your firm fully understands the scope of services, has industry knowledge, and possesses the qualifications to provide the services requested.

### **SECTION 4 – ORGANIZATIONAL INFORMATION**

Identify key personnel from your firm, including specific personnel that would be assigned to this project, if any. All prime contractor and subcontractor relationships and responsibilities must be detailed. Identify the Village's primary point(s) of contact for service requests if your firm is retained for this project. Identify how many potential different people will the Village have to contact for service.

### **SECTION 5 - VENDOR REQUIREMENTS/REFERENCES**

Responses will only be accepted from firms who are certified Microsoft Partners. Respondents shall have at least three (3) years' experience in SharePoint design and migration.

Provide at least three (3) references for which your firm has performed similar services. Provide a brief synopsis of the services performed and contact information. References shall include the name of the company, the name and contact info for company lead person and a brief description of the services rendered along with the date(s) of service.

All work performed remotely must be conducted by individuals physically located within the continental United States.

Individuals who will be accessing police data must pass a background check and complete CJIS Security Awareness training provided by the North Aurora Police department or possess valid CJIS Certification <https://www.fbi.gov/services/cjis>.

### **SECTION 6 – PROJECT APPROACH/METHODOLOGY**

What is your firm's process leading to service delivery? How much time does it take your firm to mobilize and deploy after a request is received? Provide a description of the equipment, software, and personnel your firm possesses that can adequately address this project.

### **SECTION 7 – COST OF PROPOSAL**



Provide a cost breakdown of the proposed solution (hardware, software, licensing, services, hosting, support, training, etc.), showing the cost for each part of the scope of work and any additional costs. This information shall be followed by narrative which shall describe and justify the proposed costs, and include an estimate of staff allocations, estimated hours, rates per assigned staff and an estimate of total billable hours. Also identify any assumptions you have built into your costs (e.g., Village performance of any work elements, availability, etc.). The cost proposal must provide a guarantee that no additional fees beyond those proposed will be charged to the Village of North Aurora without the Village's prior written consent. The Village cannot accept contract clauses that include payment terms within 30 days of the invoice issuance. The Village cannot accept contract clauses where the Village would be required to pay any late fees, interest charges or penalties.

## **SECTION 8 – ACKNOWLEDGEMENTS, ADDITIONS AND EXCEPTIONS**

- a) Acknowledge your ability to meet or not meet all the requirements as stated in the scope of work.
- b) Compile and include all other information you deem pertinent, but not specifically requested elsewhere (5 pages maximum).
- c) Indicate any exceptions to the terms and conditions of this request for proposal, or any qualifications/clarifications regarding the proposal response.

## **SECTION 9 – CERTIFICATE OF INSURANCE**

Proof of insurance is not required to be submitted with your proposal but will be required prior to the Village's award of the contract.

### **TIMELINE**

Event	Date
Release of RFP	06/02/2023
Deadline to submit inquiries	06/16/2023 @ 4:30 PM
Proposal due date	06/23/2023 @ 2:00 PM
Contract submission to Village Board for approval	TBD

### **PAYMENT AND DELIVERABLES**

The Village requires a payment schedule based on defined and measurable deliverables as outlined below. Under no circumstances will payments be made in advance of work performed.

Deliverable	Payments
Scope of Work and all Project Plans Delivered (Contract Execution).	20% of Total Cost
Hardware and Software Installation, System Configuration, Service and Data Migration, Operational Testing and Acceptance Testing Successfully Completed.	30% of Total Cost
100% of file server data and selected users have been migrated to new system and tested with 100% functionality.	30% of Total Cost

Reliable Performance for 45 Days after Complete Migration (Performance or availability of the solution must continue at the baseline established at conclusion of Acceptance Testing. No significant loss in performance, availability or reliability should occur).	20% of Total Cost
--	-------------------

No payment for extra services (items not included in the total cost) shall be made unless such services and their costs have been previously authorized in writing and approved by the Village.

## INSTRUCTIONS AND QUESTIONS

Village representative from whom the proposer will receive instructions:

David J. Arndt

Information Technology Manager

Administration Department

25 E. State Street

North Aurora, IL 60542

Email: [darndt@northaurora.org](mailto:darndt@northaurora.org)

Questions regarding this Request for Proposals should be directed only to the person designated above. All questions need to be submitted as described under RFP INSTRUCTIONS AND QUESTIONS

## SUBMISSIONS

Proposals may be emailed to David Arndt IT Manager at [darndt@northaurora.org](mailto:darndt@northaurora.org). The subject line of the email shall read "SharePoint Migration Document Management Proposal"

Or Sealed proposals can be dropped off or mailed\* to

"SharePoint	Migration	Document	Management	Proposal"
Attn:		David		Arndt
North	Aurora		Village	Hall
25	E.		State	Street
North Aurora, IL 60542.				

\*Proposals must be received prior to 2:00PM CST 06/09/2023.

## RFP AMENDMENTS

The Village reserves the right to change the RFP schedule or issue amendments to the RFP at any time. In the event the Village amends the RFP, the Village will extend the Proposal Due Date commensurately. The Village also reserves the right to cancel or reissue the RFP.

## WITHDRAWAL OF PROPOSAL

Firms may withdraw their proposals, without prejudice, prior to the date and time specified for proposal submission, by sending a written request or email to David Arndt, Information Technology Manager.

#### **RESERVATIONS**

The Village reserves the right to reject any or all proposals, to waive technicalities or formalities, and to accept any proposal deemed to be in the best interest of the Village. Where two or more firms are deemed equal, the Village reserves the right to make the award to one of the two firms.

#### **ERRORS AND OMISSIONS**

Proposer and/or the Contractor shall not be allowed to take advantage of any errors in or omissions from the Request for Proposals. Full instructions will be given if such error or omission is discovered and timely called to the attention of the Village.

#### **RFP NOT CONTRACTUAL**

Nothing contained in this Request for Proposals (RFP) shall create any contractual relationship between the proposer and the Village. The Village accepts no financial responsibility for costs incurred by any proposer regarding this RFP. Each proposal prepared in response to this RFP shall be done at the sole cost and expense of each proposing firm and with the express understanding that no claims against the Village for reimbursement will be accepted.

#### **TAXES**

The Village of North Aurora is a tax-exempt entity



**CONTRACT FOR: SHAREPOINT IMPLEMENTATION SERVICES**

**THIS AGREEMENT**, made and concluded this 21 day of September 2023, between the Village of North Aurora, an Illinois municipal corporation (hereinafter referred to as "Village") and Heartland Business System an Business (hereinafter referred to as "Contractor") for .

**WHEREAS**, the Village advertised for proposals for SHAREPOINT IMPLEMENTATION services (hereinafter "(Services)") and provided proposal specifications for such services, a copy of which is attached hereto and incorporated herein by reference as Exhibit "A" ("Proposal Specifications"); and

**WHEREAS**, Contractor submitted a proposal for the Services in the amount of Fifty-four thousand seven hundred forty-five dollars and eighty-four cents. (\$54,745.84) Dollars in response to the request for proposals advertised by the Village, a copy of which proposal is attached hereto and incorporated herein by reference as Exhibit "B" (the "Proposal"); and

**WHEREAS**, the Contractor's proposal was determined to be the lowest responsible proposal and was accepted by the Village Board of Trustees at the regularly scheduled meeting on <date>.

**NOW THEREFORE**, in consideration of Fifty-four thousand seven hundred forty-five dollars and eighty-four cents (\$54,745.84) Dollars to be paid by the Village



to the Contractor as follows \_\_\_\_\_, the parties hereto agree and covenant as follows:

1. The Village and the Contractor agree the Proposal Specifications attached hereto and incorporated herein are essential documents to this Contract and are made a part thereof.

2. The Contractor shall fulfill all the Services in keeping with the Proposal Specifications and the Proposal and shall furnish all labor and equipment necessary to perform the Services in a professional and workman like manner.

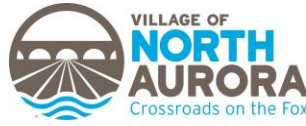
3. The Contractor shall be solely responsible for its own employees, subcontractors and agents and for the performance of the Services and shall indemnify and hold the Village harmless from and against any claims or causes of action asserted by its employees, subcontractors and agents or claims, causes of action, liabilities or damages resulting or related to the performance of the Services.

4. If there is any conflict between the Proposal Specifications and the Proposal, the Proposal Specifications shall control.

5. If not previously provided, the Contractor shall supply a Certificate or other proof of Insurance in acceptable form to the Village as a condition to the Village's obligations under this Contract in compliance with the Proposal Specifications.

6. If required pursuant to Village ordinance or the Proposal Specifications, the Contractor shall supply a payment and performance bond and surety in form acceptable to the Village before performing the Services.





7. The Contractor acknowledges and agrees that, if the Illinois Prevailing Wage Act applies, the Contractor shall be responsible for such compliance and shall hold the Village and indemnify the Village from and against and claims or liabilities arising from a failure to comply.

8. Either party may terminate this Agreement upon thirty (30) days written notice by registered mail, or by personal delivery of notice, to the other party.

9. This instrument contains the entire agreement between the parties, and those statements, promises, or inducements made by either party or agent of either party that are not contained in this written agreement shall not be valid or binding.

10. In any claims for breach of this contract, the prevailing party shall be entitled to recovery all of its reasonable costs, including reasonable attorney fees.

11. Any litigation brought in regard to this Contract shall be brought in the Sixteenth Judicial Circuit, Kane County, Illinois.

12. This Agreement shall not be altered or modified in any way except in writing and signed by both parties.

[signatures to follow]

**IN WITNESS WHEREOF**, the said parties have executed these presents on the date above mentioned.

**Village of North Aurora**

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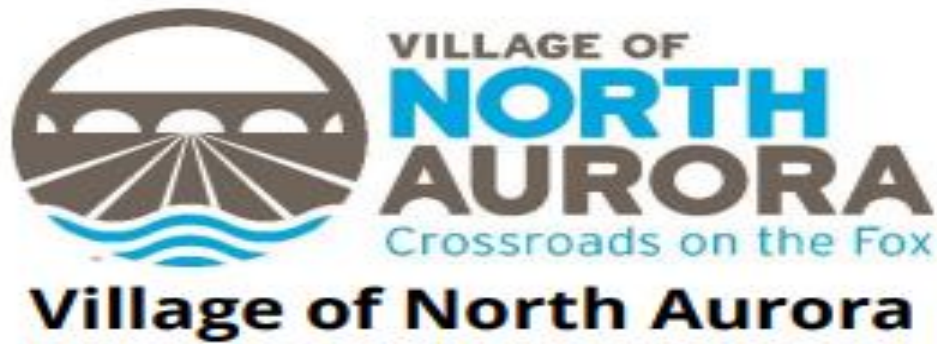


By: Mark Gaffino, Village President

**[Contractor]**

---

By: [Name, Office]



AND



**REQUEST FOR PROPOSAL  
SHAREPOINT IMPLEMENTATION SERVICES**

Date: June 23<sup>rd</sup> 2023



June 23<sup>rd</sup>, 2023

Mr. David J. Arndt  
Information Technology Manager  
Village of North Aurora - Administration Department  
25 E. State Street North Aurora, IL 60542  
Email: [darndt@northaurora.org](mailto:darndt@northaurora.org)

Dear Mr. Arndt,

Heartland Business Systems appreciate this opportunity to respond to the Village of North Aurora SharePoint Implementation Services. We understand your desire to partner with a leading manufacturer of enterprise systems and a trusted expert with a successful track record supporting business like yours. We also understand your requirement of working with a partner experienced and credentialed with-in the Microsoft Solutions Space.

Heartland has enjoyed significant growth over the last 25 years with \$200 million dollars in annual sales and over 150 certified engineers, project managers, and solutions architects employed. It is one of the largest technology resellers and service providers in the Midwest, with over 2000 clients. It is Heartland's commitment to its company mission, "to implement hardware, software technologies and solution services that will improve the profitability of every customer we serve", that is the cornerstone to its success. Exceptional customer satisfaction ratings are coveted by Heartland's team.

We are excited by the prospect of earning your business and truly thank you for your consideration of our proposal.

Respectfully,

Mike Carroll  
Sr. Solutions Consultant  
Heartland Business Systems  
Phone: 608.444.7994  
[mcarroll@hbs.net](mailto:mcarroll@hbs.net)



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## State of Qualifications

Heartland Business Systems values the invitation to respond to Village of North Aurora Request for Proposal. Heartland Business Systems is part of the Heartland Technology Group Family of Services. We've been in business for 30 years, with our headquarters in Wisconsin. Today, we have grown to 10 regional offices across the Midwest, with an extensive focus on public sector / government work. One of our main differentiators is providing more local IT engineering resources than our competitors in Illinois. We are also proud of the additional "HBS Business Productivity Team" differentiators outlined below, after the References Section.

### HBS Key Differentiators

HBS, a **Microsoft Gold Partner** offers expertise across the Microsoft Modern Work platform, namely Exchange, M365 Security, SharePoint, Microsoft Teams, OneDrive for Business, Groups, and Planner. Additionally, we can consult on your development needs, workflow automation business objectives, and advise on your long-term roadmap. From assessments to migrations to new adoptions, the HBS team has seen, implemented, and supported it all! We pride ourselves on drinking our own champagne, so your struggles were probably our struggles in the past. We've been there, done that, or helped a client work their way out of it. Our team brings a meticulous attention to detail, great project planning, creativity, expertise, and a healthy dose of fun to each customer engagement. Not only do we want to partner with you to deliver a successful project; we want to build a lasting, meaningful relationship that brings a smile to our customer's faces.



## **Organizational Information**

Heartland has enjoyed significant growth over the last 25 years and currently employs over 500 employees across Illinois, Wisconsin, Iowa, Nebraska, Michigan, and Minnesota. It is Heartland's commitment to its company mission, "to implement hardware and software technologies that will improve the profitability of every customer we serve", that is the cornerstone to its success.

### **HEARTLAND BUSINESS SYSTEM OVERVIEW**

From the very beginning, the mission of Heartland Business Systems has been to implement microcomputer hardware and software technologies that will improve the profitability of the business customer we serve. Technology is the key to success for every business. You need instant access to information to make the very best business decisions. At Heartland Business Systems, our capabilities and expertise make us uniquely qualified to put you in touch with the very latest in technology. It takes experience to design the right program to meet your needs – not just for today, but for the future. It takes leadership to put that plan in place. At Heartland Business Systems, we pledge to provide you with unsurpassed customer service to help increase your productivity, efficiency, and profitability.

### **INDUSTRY ACCOMPLISHMENTS INCLUDE:**

- Certified Microsoft Gold Partner
- Cisco Central Partner of the Year
- Excellence in HP Customer Satisfaction Award
- HP Gold Partner
- Cisco "Customer Satisfaction" Award – 26 consecutive quarters
- Inc. HirePower #1 in Wisconsin - #9 in the US for Business Products and Services
- HBS Recognized for Most Strategic Partner in Cisco Enterprise & Cloud 2019
- Cisco Gold Partner in All Regions HBS Supports
- 25+ years of sustained growth
- CRN VAR 500 Solution Provider



## Management

### Project Management

Due to the number of projects within this overall digital transformation, HBS will provide a senior project lead to act as the Project Manager to manage plans, timelines, and budget for all efforts provided by HBS. This single point of contact will have expertise and experience across the multiple featured solutions and will understand how to manage all team members involved to keep budget spend under control and ensure the overall program plan remains focused and effective. As part of project management, regular status reporting will be provided, including a summary of progress on deliverable completion versus spending for each deliverable will be provided for approval.

## Project Team

### HBS Team Member Contacts

Mike Carroll (Account Management Executive), Kelly Grosskreutz (Business Productivity Practice & Project Manager), Cindy Lucas (Sr Productivity Analyst), Jodie Strutz (Modern Workplace Analyst) and Travis Nabbefeld (Microsoft Development Engineer) are the key HBS Team members responsible for the content of this RFP response.



## Kelly Grosskreutz

### Core Skills

Business Analysis	SharePoint Online
Project Management	Microsoft Teams
Organizational Change Mgmt & Communications	IT Governance

### Professional Experience

- SharePoint implementation experience across a global organization; fluent in collaborating across time zones, regions, and cultures
- Facilitate SharePoint Deployment Planning architecture design sessions to map out O365 adoption, including Groups, Teams, and OneDrive for Business.
- Project Manager for multiple CRM on prem to cloud data migrations; leading business process transformations fueled by CRM





## Cindy Lucas

### Core Skills

Document Management	InfoPath
Records Retention	SharePoint Training
SharePoint Online & On-prem	Business Process Management
OneDrive for Business	

### Professional Experience

- Migrating SharePoint 2010 sites to SharePoint Online
- Streamlining and automating simple to complex business workflows
- Working with Office 365 including Microsoft Teams and expanding into CRM and Dynamics 365



## Jodie Strutz

### Core Skills

Business Process Consulting	OneDrive for Business
SharePoint On Prem & Online	Document Management
Microsoft Teams	

### Professional Experience

- Application support: SharePoint 2007, 2010 and SPO; D365 and Citrix at Global Personal Care Company
- Lead OneDrive for Business rollout at Fortune 500 Company
- O365 implementations, including discovery, planning, training and migrations.
- Numerous Microsoft Teams Rapid Implementations during the rush to enable remote work in Spring 2020





## Travis Nabbefeld

### Core Skills

On-Premises to Microsoft  
365 Migrations

Tenant to Tenant Migrations

Power Apps

Power Automate

SharePoint Online

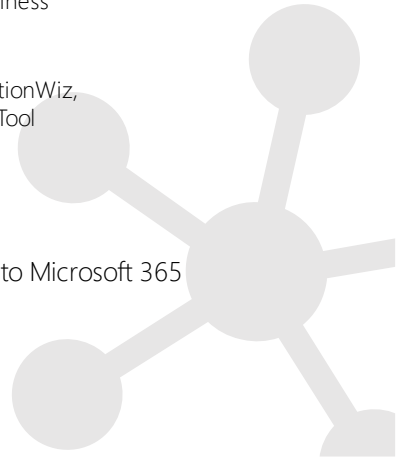
OneDrive for Business

Microsoft Teams

ShareGate, MigrationWiz,  
Quest Migration Tool

### Professional Experience

- Building custom apps and solutions utilizing Power Apps and Power Automate
- Migrating SharePoint On -Premises, File Share, Google Workspace, and Dropbox to Microsoft 365
- Performing Tenant to Tenant Microsoft 365 migrations







## IL Municipality References

Microsoft Exchange/AD & 365 Migration		SharePoint Migration	
Company Name	City of Wood Dale	Company Name	Palatine Park District
Contact	Nick Kace	Contact	Dan Mangum
Title	Director of IT	Title	Director of IT
Email	nkace@wooddale.com	Email	dmangum@palatineparks.org
Company Name	Village of Bolingbrook	Company Name	Village of Plainfield
Contact	James Farrell	Contact	James Kastrantas
Title	Director of IT	Title	IT Operations Manager
Email	jfarrell@bolingbrook.com	Email	jkastrantas@goplainfield.com
Company Name	Village of Plainfield	Company Name	Forest Preserve of Will County
Contact	James Kastrantas	Contact	Denise Steffen
Title	IT Operations Manager	Title	Director of IT
Email	jkastrantas@goplainfield.com	Email	dsteffen@fpdwc.org
Company Name	Village of Tinley Park	Company Name	Village of Tinley Park
Contact	Anthony Ardolino	Contact	Anthony Ardolino
Title	Director of IT	Title	Director of IT
Email	aardolino@tinleypark.org	Email	aardolino@tinleypark.org



# Statement of Work

PROJECT APPROACH/METHODOLOGY

**Village of North Aurora**

**M365 COLLABORATION  
MODERNIZATION  
PROGRAM**

June 21<sup>st</sup>, 2023

## HBS Contact Information:

**Mike Carroll**

Heartland Business Systems  
5400 Patton Drive  
Lisle, IL 60532  
Phone: (608) 444-7994  
[mcarroll@hbs.net](mailto:mcarroll@hbs.net)

**Kelly Grosskreutz**

Heartland Business Systems  
1700 Stephen Street  
Little Chute, WI 54140  
Phone: (920) 687-4658  
[kgrosskreutz@hbs.net](mailto:kgrosskreutz@hbs.net)



## Project Overview

This Statement of Work (“SOW”) reflects the services and material to be provided by Heartland Business Systems, LLC, hereinafter referred to as “HBS” for Village of North Aurora, hereinafter referred to as “Customer”.

Village of North Aurora has contacted Heartland Business Systems, LLC (HBS) to assist in the migration of existing content within their File Share servers to OneDrive and SharePoint Online and implementing a basic SharePoint intranet.

The objectives of the project are:

- Migrate Police Department content to Office 365
- Implement Basic Village Intranet to Office 365
- Migrate all home drives to OneDrive
- Implement a solution for FOIA and Community Sign Request Form Creation

## Project Scope

HBS will provide the following services and material, herein referred to as “Scope”:

This project is expected to take 16 weeks to complete from the project kick-off. In the event that an extension to the project timeline is required, the parties shall utilize the Change Order process.

### In Scope

The effort defined in this proposal will initially deliver the following:

#### Phase I: OneDrive user content migration (3 servers to be available for migration efforts)

- Configure migration scripts for up to 3 servers
- Configure SQL database for managing migrations
- Conduct complete file scan of existing personal drives (2 locations identified to scan)
- Review findings of scans with client
- Make decisions about what content will move
- Discuss high-level communication plan
- Setup batch migration configuration templates/scripts
- Migrate personal drives (~82 users, ~167,000 files) to OneDrive (including conversion of old file types) in 2 waves

#### Phase II: Basic Village Intranet

- Up to four (4) planning and review meetings throughout the project to identify the content to be included and review work completed
- Set up of the SharePoint Online with the main features listed in the ‘Project Overview’ and the content identified in meetings for the following areas:
  - Main Communication Hub site
  - Up to 2 additional sites

Note: A site is defined as single site, including a landing page, up to 5 supporting pages and up to two additional lists or libraries.

- Create high level security strategy and work with you to apply security to the above sites
- Create a theme and a logo to the site based on standard organizational colors



- Site Owner training/hands on working session covering
  - Document management
  - High level page editing
  - Security
- 8 hours of Intranet Quick Start solution support to work with you as you start to populate document libraries, calendars, and page content.

#### **Phase III: Migrate file shares (2 servers) to SharePoint Online (~661,000 files)**

- Conduct complete file scan of existing department drives (2 locations identified to scan)
- Review findings of scans with client
- Design what the SharePoint Online site structure will look like
- Make decisions about what content will move
- Discuss high level migration communication plan outline
- Setup batch migration configuration templates/scripts for SharePoint emails
- Create destination SharePoint site/library and set basic permissions (up to 17 sites)
- Migrate department drives to SharePoint (including conversion of old file types) in 8 waves

#### **Phase IV: FOIA and Community Sign Request Form Creation**

- Hold discovery sessions to gather requirements
- Build Community Sign Form in MS Forms with simple formatting
- Build FOIA Form in MS Forms with simple formatting

#### **Out of Scope**

Any work or material not specifically identified in this document is not included in this Agreement, including but not limited to:

- End user training materials
- Delivery of end user training
- Communication email templates
- Custom branding
- Workflows for FOIA and Community Sign Request Forms
- Migration of current FOIA and Community Sign completed forms into SharePoint

#### **Additional Requirements and Conditions**

- Discovery meeting findings may produce recommendations that warrant additional scope. In the event this is discovered, a change of scope will be presented to the customer for approval.
- HBS and Customer will both ensure that adequate resources, for which each respective party is responsible, are available when needed throughout the duration of this engagement. The timely completion of this engagement will depend on the availability of the necessary Customer personnel.
- The timely completion of this engagement will also depend on the availability and delivery of the product(s) associated with this SOW from other vendors.



- Any potential dependencies discovered prior to or during implementation will be communicated to Customer and HBS to determine impact to the timing, scope and pricing for the project, and the parties shall utilize the Change Order process as necessary.
- File migration estimates are calculated with the following assumptions in mind. If any of these assumptions is altered during the project, a change request may be required to account for the additional hours needed.
  - One batch consists of 30,000 files or less.
  - The migration-time-period will be at least an unbroken 12-hour span.
  - One wave consists of running one batch on each of the available migration servers during the migration-time-period.
  - The number of migration servers specified in this document must all remain available through the duration of the project.
  - Waves will be run at full capacity during the designated migration-time-periods.
- All meetings will be held remotely.

## **Customer Responsibilities**

### *Site and System(s) Readiness*

The items listed below shall be the responsibility of the customer:

- Customer will provide 3 servers that will be used for migration and meet these guidelines:
  - Should not be hosting any critical business processes.
  - Should be able to be restarted frequently without causing service outages.
  - Network bandwidth will sustain max throughput for migrations.
- Customer will provide the following access to allow for scanning and migration:
  - User account(s) with SharePoint Online Admin permissions to SharePoint online Tenant
    - One account will be needed *per migration server* – totaling 3 accounts
  - Local administrator and remote access to the migration server(s)
    - Only one local administrator account is needed
- Number of sites to be created and users to migrate have been estimated based on the information FPDWC has given HBS.
- Migration file error resolution is expected to be handled by the content owners. Assistance from HBS in resolving migration file errors will be counted toward support hours.
- Email templates should be provided to HBS in their final format.

### *Working Conditions and Access*

The items listed below shall apply to the extent applicable:

- Customer will provide a Single Point of Contact with decision making ability to interface with HBS. This person is responsible for signing off on Scope of Work and Change Order documents throughout the project.
- Customer will provide Subject Matter Experts (SMEs) when required by project personnel and/or project activities. If delays in the project timeline are a result of delayed access to SME personnel or any other Customer delays, Customer may be subject to additional charges.





- Customer will provide HBS with access, including all password and logins, to required existing network or system assets listed in the scope.
- Customer will provide HBS with proper access and workspace areas at Customer locations that includes internet, physical and remote access to in scope infrastructure or systems.
- Customer will allow the HBS engineer to connect their computer to Customer network in order to perform their duties. HBS will allow Customer to examine said notebook for current anti-virus software, if needed.
- Customer will allow HBS unescorted access to computer rooms, equipment closets and the general facility. If unescorted access is not available, Customer shall assign access levels appropriately and coordinate escorts.
- Customer will provide adequate access and credentials required for the assessment of all components or systems listed in the scope.
- Customer will provide remote access prior to, and throughout, the project if required.
- Customer will have working Internet access available where the work will be performed.
- Customer is responsible for resolving problems outside the SOW that are beyond the control of HBS. These shall include but not be limited to software/firmware bugs, vendor engineering support cases, hardware failures, telecommunication circuits, server issues, desktop issues, the acts or omissions of any third party, or any other occurrence not caused by HBS. HBS can assist with these out-of-scope issues through the Change Order process or on a time and materials basis.

#### *Testing, Notification and Change Control*

- Customer will provide advanced notification of any network outages or changes during the implementation period.
- Customer will assist with the creation of and perform user acceptance testing and post-migration end-point validations.
- HBS and Customer will provide 48-hour notification of any schedule changes.
- Customer will assist with the design, testing and validation of the project Deliverables.
- Customer and HBS agree that work shall progress when Customer staff is not available to participate.



## Deliverables

The following are the deliverables HBS will provide to Customer (herein referred to as “Deliverables”) for this Project:

Any change to the Deliverables listed below will require a Change Order.

#	Deliverable
1	<b>Phase I: OneDrive user content migration (3 servers to be available for migration efforts)</b>
2	Configured 3 servers for migration
3	Configured SQL database for managing migrations
4	Personal files scan report
5	High level communication plan outline
6	<b>Phase II: Basic Village Intranet</b>
7	Up to 4 Planning and Review meetings
8	Up to 3 SharePoint sites
9	1 half day Training event for site owners
10	Up to 8 hours of support
11	<b>Phase III: Migrate file shares (2 servers) to SharePoint Online (~661,000 files)</b>
12	Scan report
13	High level communication plan outline
14	SharePoint Site Map – First Draft
15	<b>Phase IV: FOIA and Community Sign Request Form Creation</b>
16	Community Sign Form in MS Forms
17	FOIA Form in MS Forms

## Estimated Hours

This is an estimate of hours and, by its nature, is a “best guess,” based on industry standards and best practices, HBS’ experience, and Customer’s needs as communicated thus far. HBS used input from its most experienced team members to generate this estimate. The pricing is set forth on the attached Quote.

#	Task	Est Effort (hrs)
	<b>Phase I: OneDrive user content migration (3 servers to be available for migration efforts)</b>	<b>76</b>
1	Configure migration scripts for up to 3 servers	20
2	Configure SQL database for managing migrations	10
3	Conduct complete file scan of existing personal drives (2 locations identified to scan)	14
4	Review findings of scans with client	2



5	Discuss high level migration communication plan	4
6	Migrate personal drives to OneDrive (including conversion of old file types) in 2 waves	13
7	Project Management	13
	<b>Phase II: Basic Village Intranet</b>	<b>40</b>
8	Intranet Quick Start solution implementation / configuration	24
9	Site owner training / hands on working sessions	4
10	Intranet Quick Start solution support	8
11	Project Management	4
	<b>Phase III: Migrate file shares (2 servers) to SharePoint Online (~661,000 files)</b>	<b>130</b>
12	Conduct complete file scan of existing personal drives (2 locations identified to scan)	14
13	Review findings of scans with client	2
14	Design what the SharePoint Online site structure will look like	24
15	Make decisions about what content will move	6
16	Discuss high level migration communication plan	10
17	Setup batch migration configuration templates/scripts	5
18	Create destination SharePoint site/library and set basic permissions (up to 17 sites)	2
19	Migrate department drives to SharePoint (including conversion of old file types) in 8 waves	45
20	Project Management	22
	<b>Phase IV: FOIA and Community Sign Request Form Creation</b>	<b>26</b>
20	Discovery sessions	14
21	Build Community Sign Form in MS Forms	4
22	Build FOIA Form in MS Forms	4
23	Project Management	4
	Total	272



## Post Support and Training

HBS believes that training is just one component of a successful implementation. We encourage clients to take a holistic view at technology adoption that addresses creating end user awareness/excitement for the upcoming change, then investing in training and education for end users (tailored to what topics will be most beneficial to each user in her/his specific role), and finally encouraging clients to think about ways to reinforce change behaviors after the technology has launched. [Appendix A – Sample Organization Change Management Plan](#)

### Training Delivery

Training for Team Owners is a staple of any HBS-implemented Office 365 project. Team Owners are the individuals who will be identified as the key individuals to assign access to new members (and remove access from others as roles/positions change). HBS can also provide non-power-user training to all end users – an example of a typical Teams 101 training session can be found on YouTube at this link: [HBS-recorded Teams 101 Training](#)

HBS is well-versed in conducting training to a remote audience. For groups of 10 or less, a single HBS teammate is assigned to deliver training. However, when audience size grows past 10 users, we may assign a second teammate to assist with any troubleshooting during the session to allow the key training to continue without distraction to the overall group.

Training agendas are customized to each client; however, sessions are typically timed to fit between 45 minutes – 120 minutes, depending on the audience. Shorter sessions are ideal for the general user audience, longer sessions are more appropriate for power users/Team Owner training sessions.

## Project Completion

Project will be complete when all Deliverables have been provided to Customer.

Customer will have seven (7) business days to review the Deliverables for the project. If HBS does not receive a written notice of rejection describing the basis for rejection within this period, the Deliverables will be considered accepted.

After the completion of the project, support may be obtained by contacting the HBS Account Manager. Support will be billed at an agreed upon rate for services rendered.

## Change Management

Additional products and services beyond the In-Scope deliverables listed above are considered out of scope and require a Change Order executed by the parties before any such work can be performed. Any additions, deletions, or modifications to the Agreement, regardless of change to project value, require a Change Order.

### Terms

Binding Agreement. This SOW describes the professional services and/or products, and results to be provided by HBS. Upon execution, this SOW shall be contractually binding on the parties. The HBS Standard Terms and Conditions are also made part of this Agreement.



Order of Precedence. Any ambiguity or inconsistency between or among the statements of this SOW and the Standard Terms and Conditions shall be resolved by giving priority and precedence in the following order:

- Statement of Work
- Standard Terms and Conditions

Work Hours. All professional services work will be completed during the normal business hours of 8:00 am – 5:00 pm Monday - Friday Central Time. Any work occurring after 5:00 pm or before 8:00 am or on weekends is subject to a bill rate of 1.5 times the normal rate, unless the parties agree otherwise in writing.

General. No other promises have been made related to this SOW except for those stated in this SOW. This SOW supersedes all other agreements or promises related to this project and SOW. HBS shall not be responsible for any delay caused by the Customer or its vendors or contractors, equipment or shipping delays, or any other occurrence not caused by HBS.

Confidentiality. Each party may have access to confidential information concerning the methodologies, pricing, and business practices of the other. Neither party shall make any use of such information of the other party except in connection with the exercise of its rights and responsibilities under this SOW.





## Cost of Proposal



### M365 COLLABORATION MODERNIZATION PROGRAM

Prepared For:  
**Village of North Aurora**  
David Arndt  
25 East State Street  
North Aurora, IL 60542

P: 630-897-8228 X267  
E: darndt@northaurora.org

Prepared By:  
**Chicago Illinois Office**  
Mike Carroll  
5400 Patton Drive Suite 4B  
Lisle, IL 60532

P: 608-444-7994  
E: mcarroll@hbs.net

### Quote #277318 v3

Date Issued:  
**06.23.2023**  
Expires:  
**07.28.2023**

Services	Price	Qty	Ext. Price
HBS-TM-LABOR <b>HBS Actual Hourly Labor Rate - See Attached SoW</b>	\$195.00	272	\$53,040.00
Subtotal			<b>\$53,040.00</b>

Azure CSP(Recurring)	Price	Qty	Ext. Price
<i>The Microsoft Azure monthly costs in this quote are based on estimated consumption and Microsoft pricing to date (subject to change). Final costs will be invoiced monthly by HBS based on your actual consumption.</i>			
CSP-DIRECT-AZURE-PLAN <b>Microsoft Azure Direct CSP</b> Microsoft Azure Direct CSP  For the following: <ul style="list-style-type: none"><li>• 3 Virtual machines for migration purposes</li><li>• 1 database for processing migrations</li><li>• Disk Space</li><li>• VPN Gateway</li><li>• Anticipated Traffic</li></ul>	\$1,705.84	1	\$1,705.84
Upon signing this quote, you are allowing HBS to assign admin permissions to the appropriate resource(s) in order to support and manage your Azure subscription. This can be changed at any time. HBS has identified the following resource(s) be added to the subscription: <ul style="list-style-type: none"><li>• HBS Contact(s): Kelly Grosskreutz, Ben Stickney, Cindy Lucas</li><li>• Customer Contact(s): David Arndt</li></ul>			
Subtotal			<b>\$1,705.84</b>

Quote Summary	Amount
Services	\$53,040.00
Azure CSP(Recurring)	\$1,705.84
Total:	<b>\$54,745.84</b>

This quote may not include applicable sales tax, shipping, handling and/or delivery charges. Final applicable sales tax, shipping, handling and/or delivery charges are calculated and applied at invoice. The above prices are for hardware/software only, and do not include delivery, setup or installation by Heartland ("HBS") unless otherwise noted. Installation by HBS is available at our regular hourly rates, or pursuant to a prepaid HBS/ITX Agreement. This configuration is presented for convenience only. HBS is not responsible for typographical or other errors/omissions regarding prices or other information. Prices and configurations are subject to change without notice. HBS may modify or cancel this quote if the pricing is impacted by a tariff. A 15% restocking fee will be charged on any returned part. Customer is responsible for all costs associated with return of product and a \$25.00 processing fee. No returns are accepted by HBS without prior written approval. This quote expressly limits acceptance to the terms of this quote, and HBS disclaims any additional terms. By providing your "E-Signature," you acknowledge that your electronic signature is the legal equivalent of your manual signature, and you warrant that you have express authority to execute this agreement and legally bind your organization to this proposal and all attached documents. Any purchase that the customer makes from HBS is governed by HBS' Standard Terms and Conditions ("ST&Cs") located at <http://www.hbs.net/standard-terms-and-conditions>, which are incorporated herein by reference. The ST&Cs are subject to change. When a new order is placed, the ST&Cs on the above-stated website at that time shall apply. If customer has signed HBS' ST&Cs version 2018.v2.0 or later, or the parties have executed a current master services agreement, the signed agreement shall supersede the version on the website. Any order(s) that exceeds the credit limit assigned by HBS shall require upfront payment from customer in an amount determined by HBS. HBS shall make this determination at the time of the order, unless customer has previously submitted the required onboarding paperwork. In such event, HBS shall make this determination at the time of quoting. QT.2021.v1.0



## Appendix A: Organizational Change Management Plan

Intranet Rollout Organizational Change Mgmt Plan					
Awareness   Desire	Audience	Sent From	Type	Timing	Notes
Request to Participate in Intranet Focus Group	Focus Group	Project Sponsor	Email + Meeting Notice	6 weeks prior to go-live	Special invitation to provide feedback on Intranet before it goes live!
Coming Soon   Get Ready	All Employees	Project Sponsor	Email	4 weeks prior to go-live	Craft message to target key engagement feedback, if applicable Launch naming contest for the new site!
Intranet coming soon!	All Employees	Project Sponsor	PPT on monitors in hallways, breakrooms, etc	1 week prior to go-live	Include screenshots of new site
Lunch & Learn Sessions	All Employees	Project Sponsor	Live Session	Week before and week of go-live	Lunch provided; VC for remote sites
Naming Contest	All Employees	Project Sponsor	Email + SharePoint	1 week prior to go-live	Winner revealed during launch / Lunch & Learn
Knowledge   Ability					
Site Launch Communication	All Employees	CEO or Senior ELT member	Email	Go-Live!	Include URL, note about becoming new home page and project team recognition
Site Tips & Tricks	All Employees	Intranet Owner	Email + SharePoint News	1 week post go-live and beyond	Include tips on how to do a People Search, where to find key links, how to stay up to date on news, etc
Reinforcement					
Feedback Request	All Employees	Intranet Owner	Email, SharePoint News > Link to Survey	1 week post go-live	Link to Feedback survey; keep the message short and sweet!
Success Story Sharing	All Employees	Post as News Article	SharePoint News	1 week post go-live and beyond	Compiled from feedback gathered in survey; anecdotal feedback from hallway conversations
Department Roadshow: Collect Organizational Feedback	All Departments	Intranet Owner	Video Meeting	1 week post go-live and beyond	Show check and adjust opportunities based on feedback



## **HEARTLAND BUSINESS SYSTEMS, LLC LIST OF EXCEPTIONS**

Heartland Business Systems, LLC's Standard Terms and Conditions ("Standard Terms and Conditions") are incorporated herein by reference and made a part of any agreement between the parties. In the event of any direct conflict between the Standard Terms and Conditions and any other provision, the Standard Terms and Conditions shall control. Unless the parties mutually agree otherwise in a Statement of Work, except as stated in the following sentence, Buyer shall be deemed to have irrevocably accepted the products and services sold hereunder if Buyer has not given to Seller a written notice of rejection and any other necessary documentation in order to establish that the product or service is defective, within ten business days after delivery. Product returns, cancellations and order changes are only allowed pursuant to the manufacturer's policies. Under Payment and Deliverables, the reliable performance period shall also be changed to ten business days. Buyer agrees and acknowledges that in order to provide a high level of service, Seller may store Buyer's information in the public, private or hybrid cloud (collectively the "Cloud"). This information may include but is not limited to drawings, pictures, equipment layouts, passwords, backups, or configuration files. Buyer agrees and acknowledges that the Cloud is a separate and independent network, which is not controlled by Seller, and that Seller shall have no liability whatsoever, under any circumstances, for any damages arising out of or relating to the use of the Cloud, including but not limited to the loss of any information. In addition, Seller shall have no liability for the accuracy of any data uploaded by Buyer or any other users. If Buyer is dissatisfied with any Cloud services, Buyer's sole and exclusive remedy is to discontinue use of such services.

# Village of North Aurora

## Memorandum



**To:** President and Village Board of Trustees

**From:** Jason Paprocki, Finance Director  
Mandy Flatt, Finance and Human Resources Manager

**CC:** Steven Bosco, Village Administrator

**Date:** August 21, 2023

**RE:** Revisions to Human Resources Manual

At the July 17 and August 1, 2023 Committee of the Whole meetings, staff proposed various updates to the Village's Human Resources Manual. The items identified relate to law changes and keeping the Village competitive in the current market. The Village Board proposed an update to section 6.3 related to lunch periods. Staff originally presented an additional fifteen (15) minute paid break to be combined with the thirty (30) minute unpaid lunch period, for a total lunch period of forty-five (45) minutes. The Village Board proposed an additional thirty (30) minute paid break to be combined with the thirty (30) minute unpaid lunch, for a total lunch period of one hour. This change has been reflected in section 6.3.

In addition, staff presented proposed social media policy updates that will replace the current policy found in section 9.6 of the Human Resources Manual. Staff also proposed changes to the Village Administrator section of the Village Code to better align with the Human Resources Manual and the Village's budget process. Below is a summary of the updates being proposed in the Human Resources Manual. A copy of the proposed Human Resources Manual, updated social media policy, and Village Code revisions are attached.

1. **Section 2.9: Drug-Free Workplace:** Cannabis is a legal drug in the State of Illinois. We updated our policy to specifically list cannabis as an item employees shall not manufacture, distribute, dispense, possess, or be under the influence of on the premises of any Village building or facility, in Village owned vehicles, or during working hours. DOT requirements, however, have not changed and we included wording to indicate CDL policies for Public Works will be different than other non-union employees. Sworn officers are covered by General Orders pertaining to cannabis use.

In addition, we removed language regarding consumption of alcohol or being under the influence of alcohol for at least four (4) hours before reporting to work. Our policy now states that employees reporting for work (including returning from meal breaks) that are exhibiting the effects of being under the influence of drugs or alcohol will be sent home and may be subject to further discipline, including possible termination.

2. **Section 4.3: New Hire Rate:** Currently the Village Administrator can authorize hiring to the mid-point of a position's range. The proposed change would allow the Administrator

to hire at any point within the range. With the ever-changing hiring environment this provides flexibility to hire the most qualified applicant without delaying the process by waiting for the next Village Board meeting for approval.

3. **Section 4.8 Performance Evaluation and Salary Increases:** The proposed change removes the language stating step or salary increases shall always be based on employee's applicable anniversary date. We added language stating any step increases occurring outside of the annual performance evaluation process will be reviewed on a case by case basis and approved by the Village Administrator.
4. **Section 6.3 Lunch Periods:** Certain union employees who work the same number of hours are currently given two 15-minute breaks that they can combine with their 30-minute lunch. Our non-union employees would be given one 30-minute break that they would need to use in concurrence with their unpaid 30-minute lunch period to allow one hour total. In conjunction with our recent salary survey, we also identified that several other comparable communities offer longer lunch periods.
5. **Section 6.8 Flexible Hours and Remote Work:** The current policy allows the Village Administrator to approve differing work schedules that still effectively provide services to the community. The proposed change more clearly defines flexible hours and remote work for situations that are beneficial to both the Village and the employee in cases inside and outside of declared emergencies. During recent recruitments, we found this to be an important tool in hiring qualified people.
6. **Section 10.7 Service Recognition:** Removes the limit on spending as we are finding that \$750 is no longer sufficient to provide food and beverages.

Sections 2.12.060 and 2.12.070 of the Village Code related to the Village Administrator's duties are proposed as:

**2.12.060 - Powers and duties of village administrator for fiscal matters.**

- A. The village administrator shall submit to the corporate authorities an estimate of the money necessary to pay the expenses of the village during the next fiscal year, classification and detail of the purposes of such expenditures, the aggregate income of the preceding fiscal year and estimate of the income for the coming fiscal year, summary of the village's liabilities and such other information as is necessary and appropriate to assist the village board in adoption of the budget ordinance. The administrator shall schedule the first budget discussion by the corporate authorities ~~on the second regular committee of the whole meeting in April~~ **in accordance with the annual budget process calendar**. The administrator shall provide sound and responsible revenue and expense projections within the current budget year as well as subsequent periods as necessary to support financial ratios and capital plans.
- ~~H. The village administrator shall coordinate with and manage the scheduling, prioritization and funding of the services of the various outside consultants of the village and advise the corporate authorities of the status of work being done by outside consultants on a monthly basis.~~



**2.12.070 - Powers and duties of the village administrator for internal administration of the village.**

- A. The village administrator shall **be responsible for the selection and hiring of employees in accordance with the policies and procedures in the Village's Human Resources Manual** ~~follow the policies and procedures for hiring employees and recommend to the president and village board of trustees, with consultation with and advice from the department heads, the selection of all employees to be hired.~~ The administrator shall follow and enforce the policies and procedures for disciplining and discharging employees as set forth in the village personnel manual as it currently exists or as it may be changed from time to time. Notwithstanding the previous provisions to the contrary, the village administrator shall not interfere with or usurp the powers and duties of the police commission. All recommendations for employment shall be based upon merit, and all disciplinary actions and/or recommendations for termination shall be based upon relevant and material facts and documented evidence. All actions by the administrator in regard to the hiring and termination of employees shall be based upon the qualifications and/or disqualifications of prospective and current employees without regard to political belief or affiliation.

**Resolution No. \_\_\_\_\_**  
**Resolution to Approve Revisions to the Human Resources Manual**  
**for the Village of North Aurora**

**WHEREAS**, the Village of North Aurora adopted a revised Human Resources Manual on November 2, 2015 and was subsequently modified on December 19, 2016 March 6, 2017, December 18, 2017, October 15, 2018, August 19, 2019, and November 18, 2019; and

**WHEREAS**, the Village has determined that further revisions should be made that are in the Village's best interest to be made; and

**NOW, THEREFORE, BE IT RESOLVED** by the President and the Board of Trustees as follows:

1. The recitals set forth above are incorporated herein as the material findings of the President and the Board of Trustees.
2. The Human Resources Manual Revisions summarized in the document attached hereto and incorporated herein as Exhibit "A" are hereby approved by the corporate authorities.
3. This Resolution shall take immediate full force and effect from and after its passage and approval.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Jason Christiansen	_____	Laura Curtis	_____
Mark Guethle	_____	Michael Lowery	_____
Todd Niedzwiedz	_____	Carolyn Bird Salazar	_____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

\_\_\_\_\_  
Mark Gaffino, Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Village of North Aurora  
Human Resources Manual

Amended: August 21, 2023



# Village of North Aurora Human Resources Manual

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### **DISCLAIMERS**

This Employee Manual supersedes all previous employee manuals, memos, and policies, whether written or oral. This Manual has been prepared to provide you with an outline of the policies, procedures, and current employee benefits for the Village of North Aurora.

THIS MANUAL IS NOT A CONTRACT, SHOULD NOT BE CONSTRUED AS SUCH, AND DOES NOT CONFER CONTRACTUAL BENEFITS ON ANY EMPLOYEE.

THE CONTENTS ARE SUBJECT TO CHANGE, ADDITION, OR DELETION BY THE VILLAGE OF NORTH AURORA AT ANY TIME, WITH OR WITHOUT NOTICE.

Any changes to the Employee Manual will be communicated to you. If you have any questions about Village policies, please contact your Department Head or the Village Administrator.

UNLESS YOU HAVE EXECUTED A SEPARATE, WRITTEN AGREEMENT APPROVED BY THE VILLAGE BOARD OF TRUSTEES AND SIGNED BY THE VILLAGE PRESIDENT AND VILLAGE CLERK STATING OTHERWISE, YOUR EMPLOYMENT WITH THE VILLAGE OF NORTH AURORA IS “AT-WILL.”

This means that either you or the Village of North Aurora may terminate your employment at any time, with or without cause, for any reason not prohibited by law.

## **CHAPTER 1 INTRODUCTION**

### **1.1 Welcome and Introduction**

Welcome to the Village of North Aurora. As an employee of the Village, you are part of a team whose members are working together to provide quality service to the residents, businesses and community of North Aurora. As an organization, our primary goal is to provide outstanding service to the public and be a good steward of the resources that the organization possesses to provide these services. Each public contact is an opportunity for excellent performance by the employee. Employees shall be courteous to the public and tactful in their work duties, displaying patience and professionalism at all times. In performance of those work duties, employees must not express any prejudice concerning race, age, religion, politics, national origin, disability, creed, color, sex, sexual orientation, genetic information, ancestry, marital status, military discharge status, pregnancy, veteran status, citizenship status, sealed or expunged arrest records not resulting in conviction or any other characteristic protected by law to citizens, customers, vendors or their fellow employees. Employees are expected to be courteous, respectful and display professionalism at all time to their coworkers at all levels of the organization.

The Village takes pride in the abilities and accomplishments of its employees and recognizes that the well-being of its employees is essential to the maintenance of a high standard of operation. It is the Village's policy to compensate employees for the services they provide by paying wages and benefits that are competitive with the market. In return the Village expects its employee's to perform their duties to the best of their ability, to be dependable, and to abide by the policies of the Village.

### **1.2 Organization**

The Village of North Aurora has a President-Trustee form of government with a Village President and six (6) Trustees elected at-large. The Village President, with the advice and consent of the Village Board of Trustees, appoints a Village Administrator to manage the day-to-day operations of the Village. The organization of the Village is structured into various Departments including Administration, Community Development, Finance, Police and Public Works. Each Department is managed by a Department Head who directs the activities of the respective operating Department.

### **1.3 Administration of Manual**

This Manual establishes certain operating policies, procedures and personnel rules and is the final authority regarding all personnel matters of employees, except as otherwise provided by State law or provided as otherwise here within. The Village Administrator shall administer, or cause to be administered through his designee and the department heads, the provisions of this Manual. Nothing in this Manual precludes the establishment of Departmental policies and procedures by individual Departments consistent with this Manual. If a direct conflict occurs between this

Manual and Departmental policies or procedures this Manual shall take precedence.

This Manual is not an employment contract. This Manual does not establish a contract (express or implied) between the Village and any employee regarding terms and conditions of employment. The Manual is subject to change at any time, with or without notice to the employees, and is intended to serve as a guide.

#### **1.4 Precedence of Police Commission**

Certain sworn employees of the Police Department may be subject to the jurisdiction of the Police Commission. In case of a conflict between this Manual and any mandatory provision of any ordinance, state or rule of the Police Commission or provision of any valid collective bargaining agreement which may modify the jurisdiction of the Police Commission, the latter shall take precedence over this Manual.

#### **1.5 Precedence of Collective Bargaining Agreements**

Certain employees of the Village are part of a recognized collective bargaining unit. In case of a conflict between this Manual and any collective bargaining agreement between the Village and a recognized bargaining unit, the latter shall take precedence over this Manual. This Manual is not intended to alter or amend any of the contractual agreements between the Village and any collective bargaining unit.

#### **1.6 Disclaimer and “At-Will” Nature of Employment**

While the Village has made considerable effort to provide clear and accurate information, the contents of this Manual should not be understood to create any sort of employment contract, whether expressed or implied. Except as otherwise provided through state law, the North Aurora Police Commission or other such rules that may be established by collective bargaining agreements or other employment agreements, employment with the Village is “at-will.” This means that both the employee and the Village have the right to terminate the employment relationship at any time, for any reason not prohibited by law, or no reason, with or without notice. The at-will employment relationship cannot be modified, except by formal action of the Village Board or by a duly authorized and executed collective bargaining or other written employment agreement. This Manual, and the policies it contains, may be varied from, amended, supplemented or discontinued at any time, with or without notice. In the event that any provisions of this Manual conflict with the laws of the State of Illinois or the United States Government, the applicable state or federal provisions shall take precedence.

No supervisor, manager, or representative of the Village other than the Village Administrator or his designee has the authority to enter into any agreement or make any offer of employment with any individual for any specified period of time or to make any promises or commitments contrary to the foregoing.

### **1.7 Amendments**

This Manual is subject to revision and further development. Recommendations for modification shall be forwarded to the Village Administrator or designee. Revisions to the policies contained in this Manual must be approved by the Village Board. The Village Board may revise or revoke any portion or employee benefit of this Manual at any time without prior notice to employees.



## **CHAPTER 2 PERSONNEL POLICIES**

### **2.1 Equal Opportunity Statement**

The Village of North Aurora is an equal opportunity employer. In this regard, the Village policy is to provide equal employment and advancement opportunity without discriminating on the basis of actual or perceived race, color, religion, national origin, ancestry, age, marital status, sexual orientation, handicap, disability, political affiliation, unfavorable discharge from military service, pregnancy, creed, sex, genetic information, veteran status, citizenship status, sealed or expunged arrest records not resulting in conviction or any other characteristic protected by applicable federal, state or local laws. All employment-related decisions are based solely on legitimate, job-related factors such as skill, ability, past performance, and the needs of the Village and the public that it serves.

The Village assures equal employment opportunity in all of its employment practices including those pertaining to recruitment, hiring, placement, compensation, transfers, promotions, evaluations, benefits, training, reduction in force, recall, discipline, demotions and termination. Employment opportunities are open to all qualified individuals.

The Village does not allow any form of retaliation against individuals who file a charge of discrimination, participate in a discrimination proceeding or otherwise oppose an unlawful employment practice. To ensure the workplace is free of artificial barriers, violation of this policy will lead to discipline up to and including termination.

Throughout this Manual, the interchangeable use of masculine and feminine pronouns is in no way intended to exclude members of the opposite sex.

### **2.2 Americans with Disabilities Act (ADA)**

The Americans with Disabilities Act (ADA) as amended from time to time protects qualified individuals from discrimination on the basis of disability in hiring, promotion, discharge, pay, fringe benefits, job training, classification, referral and other aspects of employment. The Village is committed to providing equal opportunities for employees and job applicants with disabilities following all provisions of ADA. The Village will reasonably accommodate qualified individuals with known disabilities which allow them to perform the essential functions of a job without undue hardship to the Village and its public purposes. An individual who can be reasonably accommodated for a job, without undue hardship, will be given the same consideration for that position as any other applicant.

All employees are required to comply with safety standards. Applicants who pose a direct threat to the health or safety of other individuals in the workplace, which threat cannot be eliminated by reasonable accommodation, will not be hired. Current employees who pose a direct threat to the health or safety of the other individuals in the workplace will be placed on appropriate leave until

an organizational decision has been made in regard to the employee's immediate employment situation.

Individuals who believe that they have a disability or would like to request a reasonable accommodation must contact the Village Administrator. The ADA compliance officer is the Village Administrator. The ADA compliance officer shall acknowledge receipt of all grievances within ten (10) days. A thorough investigation will then be completed and a response provided within a reasonable time.

### Definitions

As used in the ADA policy above, the following terms have the indicated meanings:

- “Disability” refers to a physical or mental impairment that substantially limits one or more of the major life activities of an individual. An individual who has such an impairment, has a record of such an impairment, or is regarded as having such an impairment is a “disabled individual.”
- “Direct threat to safety” means a significant risk to the health or safety of others that cannot be eliminated by reasonable accommodation.
- A “qualified individual with a disability” means an individual with a disability who, with or without reasonable accommodation, can perform the essential functions of the employment position that the individual holds or has applied for.
- “Reasonable accommodation” means making existing facilities readily accessible to and usable by individuals with disabilities, job restructuring, part-time or modified work schedules, reassignment to a vacant position, acquisition or modification of equipment or devices, adjustment or modification of examinations, adjustment or modification of training materials, adjustment or modification of policies, and similar activities.
- “Undue hardship” means an action requiring significant difficulty or expense by the employer. The factors to be considered in determining an undue hardship include: (1) the nature and cost of the accommodation; (2) the overall financial resources of the facility at which the reasonable accommodation is to be made; (3) the number of persons employed at that facility; (4) the effect on expenses and resources or other impact upon that facility; (5) the overall financial resources of the Village; (6) the overall number of employees and facilities; (7) the operations of the particular facility as well as the entire Village ; and (8) the relationship of the particular facility to the Village. These are not all of the factors but merely examples.
- “Essential function of the job” refers to those activities of a job that are the core to performing said job for which the job exists that cannot be modified.

### **2.3 Anti-Harassment Policy**

The Village of North Aurora is committed to maintaining a healthy work environment in which people are treated with dignity, decency, and respect. This environment should be characterized by mutual trust and the absence of intimidation, oppression, and exploitation. Employees should be able to work and learn in a safe, yet stimulating atmosphere. The accomplishment of this goal

is essential to the Village's purposes. As such the Village will not tolerate harassment of Village employees by anyone including any official or office-holder, agent, supervisor, co-worker or vendor of the Village.

Harassment consists of unwelcome conduct, whether verbal, physical or visual, that is based upon a person's protected status such as race, color, religion, national origin, ancestry, age, marital status, sexual orientation, pregnancy, handicap, disability, political affiliation, unfavorable discharge from military service, creed, sex, genetic information, veteran status, citizenship status, sealed or expunged arrest records not resulting in conviction or other legally protected status. The Village will not tolerate harassing conduct that interferes with an individual's work performance, or that creates an intimidating, hostile, or offensive working environment.

No employee shall either explicitly or implicitly mock, deride, or belittle any other employee or conduct themselves in a manner that has the purpose or effect of interfering with an employee's work performance or creating an intimidating, hostile or offensive work environment. Examples of unacceptable conduct include, but are not limited to: inappropriate comments, kidding, teasing, visual displays, inappropriate emails, text messages or other forms of social media, physical or verbal abuse, insults, epithets, slurs, negative stereotyping, or intimidating acts that are based on a person's protected status; unwelcome physical touching, taunting intended to provoke and employee, display or circulation of derogatory written materials or pictures, whether posted and circulated in the workplace or electronically.

#### **2.4 Policy Prohibiting Sexual Harassment**

It is unlawful to harass a person because of that person's sex. Sexual harassment is defined as any unwelcome or repeated sexual advances, requests for sexual favors, and other physical, verbal or visual conduct based on acts of a sexual nature constitutes sexual harassment when (1) submission to the conduct is made, either explicitly or implicitly a term or condition of an individual's employment (2) submission to, or rejection of, such conduct is used as the basis for employment decisions affecting such individual, or (3) the conduct has the purpose of, or effect of, unreasonably interfering with an individual's work performance or creating an intimidating, hostile or offensive working environment.

Sexual harassment can occur between men and women, or between members of the same sex. This behavior is unacceptable in the workplace, itself, and in other work-related settings such as meetings, hearings, and Village-related or sponsored social events. Sexual harassment affects the victim, other Village employees and officials as well. Each incident contributes to a general atmosphere in which everyone suffers the consequences. This type of conduct has no legitimate business purpose.

Harassment applies to the conduct of a supervisor toward a subordinate, an employee toward another employee, a non-employee toward an employee or an employee toward an applicant for employment. Harassment can apply to conduct outside the workplace as well as on the work site.

Sexual harassment does not refer to behavior or occasional compliments of a socially acceptable nature. It refers to behavior that is unwelcome, that is personally offensive, and that interferes with work effectiveness. Sexual harassment can take a variety of forms ranging from subtle pressure for sexual activity or contact, to physical contact. At times, the offender may be unaware that their conduct is offensive or harassing to others. Sexual harassment may include but is not limited to:

1. Unwelcome flirting, repeated unwelcome requests for dates, sexual or suggestive comments, explicit sexual propositions, cyber-stalking;
2. Sexually suggestive jokes, sexual innuendos, gestures or sounds directed toward another;
3. Foul or obscene language, and other verbal forms of harassment such as threats or insults about sex, anatomy, or gender-specific traits, or other statements about other employees—even outside their presence—of a sexual nature;
4. Physical contact such as patting, pinching, or brushing against another person's body or other unwelcome physical contact, including but not limited to, touching, tickling, pinching, patting, brushing up against, hugging, cornering, kissing, fondling, forced sexual intercourse, or assault;
5. Preferential treatment of an employee, or a promise of preferential treatment to an employee, in exchange for dates or sexual conduct; or the denial, or threat of denial, of employment benefits or advancement for refusal to consent to sexual advances;
6. Open display, viewing, or distribution of pornographic material or Websites, or other pictures, posters, calendars, cartoons, pin-ups or slogans, and other communications that are sexually-oriented or show hostility toward an individual or group because of sex; suggestive or insulting sounds; leering; staring; whistling, catcalls, or smacking or kissing noises; obscene gestures, including sexually suggestive bodily gestures; and content in letters and notes, facsimiles, email, photos, text messages (including "sexting" or otherwise electronically sending messages with sexual content, including pictures or video), Internet postings (blogs, instant messages and social network Websites like Facebook, Twitter, and Instagram), jokes, etc., of a sexual nature printed or otherwise distributed to others;

## **2.5 Harassment and Discrimination Complaint Procedure**

Every employee is expected to avoid any behavior, or conduct, that could reasonably be interpreted as prohibited harassment under this policy. The Village encourages individuals who believe they are being harassed to firmly and promptly notify the offender that his behavior is unwelcome, offensive, inappropriate, or in poor taste. Regardless of whether an employee informs a coworker in this manner, employees are expected to come forward promptly and report any violations

pursuant to this policy before the alleged offending behavior becomes severe or pervasive. No employees, not even the highest-ranking people in the Village are exempt from the requirements of this policy.

The duty to report harassment arises whether an employee experiences or witnesses any conduct that he or she believes is inconsistent with this policy. Reports can be made either to the employee's immediate supervisor or to the Department Head. Employees may also report complaints directly to the Village Administrator. If the Village Administrator is the individual accused of harassment then the incident shall be reported to the Village President. The report may be made either orally or in writing, but employees are encouraged to make a written report. This policy does not require reporting harassment of discrimination to any individual who is creating the harassment or discrimination.

Each supervisor must immediately report to the Village Administrator any complaint or observation of conduct which may violate this policy. A supervisor's failure to make such report may result in discipline, up to and including termination.

It is critical in establishing a workplace free of harassment that an individual who experiences or witnesses an incident perceived as being harassing has access to a mechanism for reporting such incidents. At the same time, the purposes of this policy are not furthered where a complaint is found to be false and frivolous and made to accomplish some other end than stopping harassment. A complaint that is determined to be false and frivolous can result in a severe level of discipline or discharge. A false or frivolous complaint does not refer to complaints made in good faith that cannot be proven.

When a complaint has been received, the Village will initiate an investigation of the suspected harassment immediately upon receipt of the notification. All allegations, including anonymous reports, will be accepted and investigated regardless of how the matter comes to the attention of the Village. Care will be taken to protect the identity of the complaining party and of the accused party or parties, except as may be reasonably necessary to successfully complete the investigation. To the extent reasonably possible, confidentiality with respect to reports and investigations under this policy will be maintained.

The Village will take steps to ensure that the matter at issue is addressed and may put reasonable interim measures in place, such as a leave of absence or a transfer, while the investigation takes place. The Village will take further appropriate action once a report of conduct conflicting with this policy has been thoroughly investigated. That action may be a conclusion that a violation occurred, or that no violation of policy occurred or that the Village cannot conclude whether or not a violation occurred.

## CONSEQUENCES

If an investigation reveals that a violation of this policy or other inappropriate conduct has

occurred, then the Village will take appropriate corrective action, including discipline up to and including termination of employment, as is appropriate under the circumstances. The Village may discipline an employee for any inappropriate conduct discovered in investigating reports made under this policy.

Employees are encouraged to use the above complaint procedure(s) to report and resolve their complaints of harassment or retaliation to promote prompt resolution of any problems. However, employees may also file a charge of discrimination in writing with the Illinois Department of Human Rights and/or the Equal Employment Opportunity Commission at:

Illinois Department of Human Rights	Equal Employment Opportunity Commission
100 W. Randolph St., Suite 10-100	500 West Madison Street, Ste. 2800
Chicago, IL 60601	Chicago, Illinois 60661-2511
(312) 814-6200	(312) 353-2713

## **2.6 Anti-Retaliation and False Accusations**

The Village prohibits and will not condone any form of retaliation against any individual who makes a good faith complaint of harassment; assists or cooperates in an investigation of a complaint by someone else, whether internally or with an external agency; or files a charge of discrimination or harassment; or otherwise provides information in a proceeding, including in a court, administrative or legislative hearing, related to violations of discrimination or harassment laws. Examples of the types of retaliation that are prohibited include intimidation; discrimination; verbal or physical abuse; adverse actions with respect to pay, work assignments, and other terms of employment; termination of employment; or threats of any such actions. All employees who experience or witness any conduct they believe to be retaliatory should immediately follow the reporting procedures stated above. Retaliation is a serious violation of this policy. Any employee who engages in prohibited retaliation is subject to disciplinary action up to and including termination.

## **2.7 Whistleblower Act**

Pursuant to the Whistleblower Act (740 ILCS 174/15(a)), an employer may not retaliate against an employee who discloses information in a court, an administrative hearing, or before a legislative commission or committee, or in any other proceeding, where the employee has reasonable cause to believe that the information discloses a violation of a State or federal law, rule, or regulation. In addition, an employer may not retaliate against an employee for disclosing information to a government or law enforcement agency, where the employee has reasonable cause to believe that the information discloses a violation of a State or federal law, rule, or regulation. (740 ILCS 174/15(b)).

## **2.8 Reporting of Fraud, Theft and Unlawful or Unethical Activities**



Employees are encouraged to report suspected unlawful or unethical activities that they observe which are in violation of Village policies, rules or regulations, or are potential illegal activities including, but not limited to:

1. Fraud or theft of Village funds or property
2. Gross waste of funds or other Village assets
3. Deliberate mismanagement of contracts, grants and other agreements
4. Deliberate misstating or falsifying of Village financial and other records
5. Destruction of Village records without proper approval
6. Procurement and purchasing irregularities

An employee who seeks to report any suspected unlawful or unethical activity as described in this section is encouraged to report the activity to their immediate supervisor unless the activity involves their supervisor, then employees are encouraged to report the activity to either the Department Head or the Village Administrator, unless the allegation involves the Village Administrator, which then the employee is encouraged to report the activity to the Village President. Any allegation reported under this section shall be investigated by the Village Administrator, or the Village President, as appropriate.

Although employees are encouraged to report suspected violations in the manner as described above, employees may also choose to contact any of the following directly:

1. Village Administrator
2. Finance Director
3. Director of Public Works
4. Director of Community Development
5. Chief of Police
6. Current Village Auditor

To the extent possible and consistent with an effective investigation, every effort shall be made to keep the matter confidential until the investigation is completed, however, due to the nature of investigations, complete confidentiality cannot be guaranteed through the end of an investigation. Moreover, to the extent possible, the confidentiality of the reporting employee will be maintained. However, the individual's identity may have to be disclosed for the purposes of thoroughly conducting an investigation, to comply with legal reporting requirements or law enforcement efforts and to provide accused individuals their legal rights of defense.

In the event any claims or allegations brought by an employee under this section are subsequently found to be unfounded, the Village will not retaliate, reprimand, discharge, demote, discriminate against, or otherwise retaliate against the employee making such reports as long as the employee has acted in good faith and had reasonable cause to believe that an unlawful or unethical activity existed or was occurring. Any allegations which prove to be unsubstantiated and are proven to have been made maliciously and knowingly false will be viewed as a serious disciplinary offense.

## **2.9 Drug-Free Workplace**

The Village of North Aurora is committed to maintaining a work place that is free from drug and alcohol use. To promote this goal, employees are required to report to work in appropriate mental and physical condition to perform their jobs in a satisfactory manner. Employees of the Village are the most valuable resource through which the Village provides services. The health and safety of both the employees and the public is of paramount importance. Employees have a right to work in a drug and alcohol free environment and the public has a right to be free from the harmful effects of alcohol and drugs in the provision of public services.

This policy incorporates the Federal Motor Carrier Safety Administration (FMCSA) (Section 49 C.F.R. Part 40 and 382) requirements for drug and alcohol testing for Commercial Driver's License (CDL) holders and Federal Transit Administration (FTA) rules for employees performing safety-sensitive work.

All Village employees who are required to have a current CDL as a condition of employment, are subject to CDL related provisions of this policy. Employees performing safety-sensitive work on transit vehicles (such as maintenance mechanics and their Supervisors) are subject to the requirements of the Transit Administration Specific CDL and Transit provisions.

Village employees shall not manufacture distribute, dispense, possess or be under the influence of illicit drugs, unauthorized prescription drugs, alcohol, cannabis or controlled substances on the premises of any Village building or facility, in Village-owned vehicles or during working hours. . Compliance with this policy is a condition of employment. Violations of this policy extend to and include termination of employment and referral for prosecution consistent with applicable laws.

Any employee reporting to work (including returning to work from a meal break) , exhibiting the affects of being under the influence of drugs or alcohol will be sent home and may be subject to further discipline including, but not limited to, termination.

This policy does not apply to the lawful use of prescription drugs under the supervision of a licensed health care professional and within the limits of a valid prescription. An employee who has been prescribed drugs is required, however, to consult with their pharmacist about the prescribed medication's effect on the employee's ability to perform their job safely and to immediately disclose to his or her supervisor any medication-related work restrictions. While employees are required to disclose any medication-related work restrictions, employees are not required to disclose the type of drugs they have been prescribed or the underlying medical conditions or disabilities unless directed to do so by their physician, or if the non-disclosure of such would impact the ability of the employee's supervisor to make an informed decision regarding the ability of the employee to safely perform their job duties without impacting the safety of other employees or the general public.

The Village will conduct drug testing as part of its post-offer of employment procedures. A positive

cannabis test result will not be an automatic disqualifier for non-DOT/sworn personnel. It is also the policy of the Village to conduct drug/alcohol testing where it has reason to believe that an employee may be under the influence of alcohol, cannabis, illegal drugs or other controlled substances. Employees subject to Department of Transportation (DOT) testing shall be tested in accordance with DOT regulations in addition to the testing and discipline provisions of this policy. Refusal to submit to testing or supplying a tampered or false sample will result in disciplinary action up to and including termination of employment.

### **2.10 Employee Assistance and Rehabilitation Programs**

The Village provides an Employee Assistance Program (EAP) for employees needing treatment or rehabilitation as well as medical plan coverage as available. Employees who think they may have an alcohol or drug usage problem are urged to voluntarily seek confidential assistance from the EAP or other counseling/rehabilitation center. Depending on the nature of the problem employees may be allowed to use accumulated leave time including vacation, personal days, sick leave, compensatory time, or leave without pay if no leave is available. Such leave must be approved in advance and the employee may be required to complete the program successfully in order to remain in good employment standing.

### **2.11 Workplace Violence Policy**

The Village is committed to providing a safe environment for working and conducting Village business. The Village will not tolerate acts of violence or threats of violence committed by or against Village employees, contractors, guests or others on Village property, whether working or not working, on or off Village property. Violations of this policy will lead to disciplinary action, which may include dismissal, arrest and prosecution.

Any person who makes threats, exhibits threatening behavior, or engages in violent acts against Village employees shall be removed from the premises as quickly as safety permits, and shall remain off the premises pending the outcome of an investigation. The Village will initiate an appropriate investigation and response which may include suspension and/or termination of any business relationship, reassignment of job duties, suspension or termination of employment and/or criminal prosecution of the person or persons involved.

Employees are responsible for notifying a designated management representative of any behavior they have witnessed which is regarded as threatening or violent, and has occurred in the workplace, during activities related to Village employment, which may be at sites other than the workplace, or is job related. Employees are responsible for notifying management regardless of the nature of the relationship between the individual who initiated the threat or threatening behavior. In the event that a violent action is actually occurring, every effort should be made to contact the Police Department as quickly as possible.

All individuals who apply for or obtain a protective or restraining order which lists Village

locations as being protected areas must provide to their supervisor a copy of the petition and declarations used to seek the order, a copy of any temporary protective or restraining order which is granted, and a copy of any protective or restraining order which is made permanent. The supervisor shall immediately notify the Village Administrator and Police Chief with this information. The Village will maintain confidentiality of all complaints and information will be held in confidence and disclosed only on a need-to-know basis in order to investigate and resolve the complaint, or as required by law.

## **2.12 Weapons Policy**

To ensure that the Village maintains a workplace safe and free of violence and/or intimidation for all employees, the employer prohibits the possession or use of perilous weapons on employer property to the fullest extent allowed by law.

No employee is authorized to possess a firearm or weapon on any employer property or while engaged in employer business, except as permitted by and in strict accordance with applicable state law and in the case of the police department in accordance with an employee's job position.

Employees are prohibited from displaying, brandishing, discharging or otherwise using any and all dangerous weapons, including firearms. Making threats, engaging in acts of violence, or bullying, especially if a dangerous weapon is involved, will not be tolerated.

Any employee in violation of this policy will be subject to prompt disciplinary action, up to and including immediate termination.

"Employer property" is defined as all Village-owned or leased buildings and surrounding areas such as sidewalks, walkways, driveways and, to the extent permitted by law, parking lots under the Village's ownership or control. This policy applies to all Village-owned or leased vehicles and, to the extent permitted by law, all vehicles that come onto Village property. The Village does recognize Illinois' Firearm Concealed Carry Law, and nothing contained in this policy is intended to violate that law or interfere with or infringe on any individual's right under that law.

"Dangerous weapons" include, but are not limited to, firearms, explosives, knives and other weapons that might be considered dangerous or that could cause harm. Employees are responsible for making sure that any item possessed by the employee is not prohibited by this policy.

## **2.13 Pregnancy Accommodation Policy**

The Illinois Human Rights Act (IHRA) requires employers to reasonably accommodate qualified individuals who are pregnant and make a request for a reasonable accommodation. It is the policy of the Village to comply with all Federal and state laws concerning the employment of who are pregnant including pregnancy, childbirth, or medical or common conditions related to pregnancy or childbirth.

It is the Village's policy not to discriminate against qualified individuals who are pregnant in regard to application procedures, hiring, advancement, discharge, compensation, training, or other terms, conditions, and privileges of employment.

The Village Administrator is responsible for implementing this policy, including resolution of reasonable accommodation, safety, and undue hardship issues. Individuals who are pregnant (as defined below) and would like to request a reasonable accommodation because of pregnancy (including pregnancy, childbirth, or medical or common conditions related to pregnancy or childbirth) must contact the Village Administrator.

#### Definitions

As used in the Pregnancy policy above, terms shall have the same meanings as in the ADA policy. In addition:

- "Pregnancy" means pregnancy, childbirth, or medical or common conditions related to pregnancy or childbirth.

## **CHAPTER 3 EMPLOYMENT RECRUITMENT AND SELECTION**

### **3.1 Recruitment Policy**

The Village is committed to the principle of recruiting and selecting employees on the basis of demonstrated and potential ability to perform the functions of the position and in accordance with the Village's policy of equal opportunity. The Village will recruit candidates both internally and externally for vacant positions except as required by Statute. Applicants for certain positions may be subject to specific testing requirements as determined by the respective department.

### **3.2 Recruitment Procedures**

When a position becomes vacant the following general procedures will be followed to initiate the recruitment process for that position:

1. The Department Head will notify the Village Administrator that a position has become or will soon become vacant due to official notice.
2. After a review of the vacant position has been completed the Village Administrator may authorize the recruitment process to begin.
3. If necessary the job description for the position will be updated prior to recruitment.
4. Job recruitment ads may be posted both externally and internally in prominent locations at Village facilities, copies of all newspaper or association recruitment notices must be retained and sent to the Finance Department for retention per federal law.
5. Internal recruitment procedures will be maintained that guide the recruitment process.
6. All applications received for vacant positions must be retained at the Finance/Personnel files per EEO regulations. The Finance Department will provide support during the recruitment processes.
7. After completing the candidate recruitment process the Department Head will recommend to the Village Administrator a candidate for the position. Once approved by the Village Administrator a conditional offer of employment may be made subject to provisions of this chapter and other conditions of employment that may be determined to be in the best interest of the Village.

Recruitment for a vacant position may begin after formal notice of a resignation or retirement has been received, but prior to the formal termination of employment. In certain situations it may be in the best interests of the Village to have an overlap in active employment between a new employee in a position and an employee about to terminate their position. Upon approval of the Village Administrator and subject to budgetary restrictions and sufficient notice provided by the employee about to vacate their position an overlap of no more than three months is acceptable.

### **3.3 Background Investigation**

The Village shall in most cases require a background investigation on every prospective employee.



Such background investigation shall be done after a conditional offer of employment has been made. Background investigations will be based only on legitimate conviction information obtained from the Illinois State Police in evaluating the qualifications and character of an applicant. Decisions to hire or not hire an applicant based on information obtained shall be based on the offense, date of conviction and how it is related or relevant to the position for which the new hire is being considered.

Applicants may be requested to be fingerprinted as a prerequisite to employment. Driving records may also be investigated for those applicants that may drive a Village vehicle. Based on the nature of their position, applicants must possess or show the ability to obtain a valid Illinois driver's license. Other driving classifications such as a CDL may be required as a condition of employment. Information will be verified with the Secretary of State's Office.

### **3.4 Physical and Other Examinations/Tests**

As a condition of employment, applicants with a conditional offer of employment and continuing employees shall, upon request, submit to a physical examination by a physician or physicians selected and paid for by the Village. The purpose of the examination is to verify that the employee is physically able to perform the essential job functions for which they are hired based on the job description.

Included with this examination is a mandatory drug test that is a requirement of any conditional offers of employment.

Current employees may be requested to undergo a physical examination if in the opinion of the Department Head or Village Administrator the ability of the employee to safely perform the essential job functions is questioned due to observed accidents or perceived difficulty performing the job functions, excessive use of sick time or disability benefits or other circumstances that may warrant such an examination.

### **3.5 Reference Checks**

Reference checks shall in most cases be performed on applicants prior to a conditional offer of employment and may include inquiries on educational history, employment references and personal references. All references obtained on any applicants shall be documented on written forms and retained in the applicant files maintained by the Finance Department for at least one year in accordance with EEO regulations.

### **3.6 Citizenship Requirements**

Except as required by law for positions covered by the Police Commission, United States citizenship is not a prerequisite for employment with the Village. However, proof that an

employee is authorized to work in the United States is required as mandated by federal law. Every new employee must provide original documents verifying his or her right to work and, as required by federal law. Sign federal Form I-9.

### **3.7 Residency Requirements**

The Village does not have a requirement that employees live within the incorporated boundaries of North Aurora, or within a certain number of miles of the Village, with the following exceptions:

- Per the current collective bargaining agreements, Police Officers and Sergeants must reside within a twenty-five (25) mile radius of the Village.
- Deputy Chiefs, Police Chief and other police sworn positions that may be created from time-to-time must reside within a twenty-five (25) mile radius of the Village.
- All Public Works Laborers, Water Laborers, Foreman, Senior Water Operator, Public Works Superintendent, Water Superintendent and other Public Works positions that may be created from time-to-time must reside within a twenty-five (25) mile radius of the Village.

Employees upon hire that do not meet the requirements of this section will be given six (6) months to meet the requirements. An extension of time may be granted by the Village Administrator in his sole discretion.

### **3.8 Employment of Relatives**

Unless the Village Administrator determines that the best interests of the Village shall be served, the Village shall not consider an applicant for any employment if the applicant bears any of the following relationships to an elected official, appointed official or regular full or part-time employee: parent, sibling or child, all similar in-law relationships and spouse.

## **CHAPTER 4 EMPLOYEE CLASSIFICATION AND COMPENSATION**

### **4.1 Definitions of Employment Status and Terms**

The following classifications are used to describe the status of all employees which determine among other things eligibility for benefits:

1. Full-Time Employee: An employee who is normally scheduled to work forty (40) or more regularly scheduled hours per week.
2. Regular Part-Time Employee: An employee who is employed in a position which normally requires less than forty (40) hours per week, with no specific date upon which the employment ends.
3. Temporary Employee: An employee who is hired for a specific position for a specific period of time which may include periods of work of up to forty (40) hours per week. Temporary employees are typically scheduled for employment of less than one (1) year.
4. Seasonal Employee: An employee who works on an as-needed basis with no expectation of a consistent work schedule but subject to the needs of the Department.
5. Appointed Employee: An employee who is recommended for employment by the Village President with the consent of the Village Board.
6. Exempt Employee: An employee who is not entitled to overtime compensation for hours worked in excess of forty (40) in any given work week in accordance with the Fair Labor Standards Act (FLSA).
7. Non-Exempt Employee: An employee who is entitled to compensation at the rate of one and one half (1.5) times their regular hourly rate of pay for all hours worked in excess of forty (40) in any given work period as defined in this Policy and in accordance with FLSA.

Employees will be informed of their initial employment classification and status as an exempt or nonexempt employee at time of hire. If an employee changes positions during their employment as a result of a promotion, transfer, or otherwise, they will be informed of any change in their exemption status.

### **4.2 Compensation Plan and Amendments**

Approved as part of the annual Budget document, the Village maintains a classification and compensation system for all employees. This schedule is updated annually taking into account a variety of factors including comparable market data, cost of living, internal and external comparability and other factors. Annual wage adjustments to the compensation plan will take effect on June 1 at the beginning of the fiscal year for all employees.

If in the opinion of a Department Head an employee's actual job duties and responsibilities have changed significantly enough that the current position title and salary range require modification the Department Head may make a recommendation to the Village Administrator that a

reclassification be considered and approved by the Village Board. Reclassifications normally will be considered and incorporated during the annual budget process. However, a budget amendment to the compensation plan may take place during the fiscal year if such change is deemed necessary and in the best interest of the Village for consideration by the Village Board.

#### **4.3 Offers of Employment**

An employee will normally start at the beginning rate for their position. A Department Head may make a written recommendation to the Village Administrator that a candidate be hired at a rate higher than the beginning rate due to a candidate's unique qualifications and/or experience. The Village Administrator may authorize a candidate to be hired into any point within the position's step compensation range. Additionally, a prospective candidate may be offered additional incentives either at time of hiring or during employment as part of a conditional offer.

#### **4.4 Introductory Period**

All new full-time and regular part-time employees must complete a six (6) month introductory period. Sworn police personnel may be subject to a longer introductory period. The introductory period provides for a period of time to observe the progress of the new employee in successfully completing the job duties of the position while the Village provides training.

After the introductory period is over, the Department Head will complete or cause to be completed an evaluation of the employee using the standard employee evaluation forms, and make a recommendation to the Village Administrator that the employee has either successfully completed the introductory period and should be moved to regular status, that the introductory period should be extended by an additional amount of time, or that the employee should be dismissed. During the introductory period the Department Head at any time may recommend to the Village Administrator that the employee be terminated prior to the completion of the introductory period based on the employee's performance.

Employees in the introductory period may not utilize vacation or personal day leave unless approved by both the Department Head and Village Administrator.

Successful completion of the introductory period should not be construed as creating a contract or as guaranteeing employment for any specific duration.

#### **4.5 Promotions**

When a vacancy occurs the Village will generally consider both internal and external candidates to fill the position. If a Department Head feels that the best interests of the Village would be served by promoting a current employee to the vacant position the Department Head will make a written recommendation to the Village Administrator, prior to beginning an external recruitment process. Nothing in this section would prohibit a Department Head from recommending an internal

candidate after an external recruitment process has been completed.

Promoted employees will also have an introductory period. Upon approval of the Village Administrator, a promoted employee may have a shorter introductory period. If a promoted employee does not perform satisfactorily in their new position then they will be returned to their former position if that position has not been filled. If their former position has been filled then they will be transferred to another position within the Village, if a vacant position is available that the employee would be qualified to fill.

An employee who has been promoted to a new position will normally start at the beginning rate of pay for that position. If the beginning rate of pay is less than the employee's current rate of pay the employee will start at the next step in that position's range which is higher than the employee's current rate of pay.

#### **4.6 Transfers**

Employees may be eligible to transfer from one position to an open position. Such transfers may be considered in conjunction with an external recruitment process. Employees transferred are subject to an introductory period in that position. Transfers normally will not result in an increase in pay unless the employee's current pay is less than the minimum of the position being transferred to. If the new position has a different step schedule the employee's rate of pay will be increased to the next step within the position's range.

#### **4.7 Demotions**

An employee may be demoted to a position of lower classification for which they are qualified if the employee would otherwise be laid off because their current position is being eliminated, the employee does not possess or no longer possess the necessary qualifications to render satisfactory service in the position, or the employee demonstrates an inability to perform the job to a satisfactory level on a consistent basis. Demotions must be recommended by both the Department Head and Village Administrator.

#### **4.8 Performance Evaluation and Salary Increases**

Written performance evaluations shall be completed for all employees at least on an annual basis. Evaluations conducted annually shall be based on the employee's anniversary date of hire with the Village, or if an employee has been promoted to a different position, the date moved to the new position shall be the anniversary date. The evaluation form shall be approved by the Village Administrator. If a Department wishes to deviate from the standard form or process, approval of the Village Administrator will be required.

Evaluations will be completed by the employee's immediate supervisor in coordination with the Department Head. Evaluations should be completed prior to or shortly after the employee's

anniversary date so that the employee's step or salary increase can be provided in the upcoming payroll process. Evaluations should become part of the employee's file once completed.

After an employee's evaluation has been completed the employees will be allowed to move one step in the salary schedule to the next higher step on their applicable anniversary date. If, however, any aspect of an employee's performance is considered to be "Unsatisfactory" then that employee will not be given their step increase. Any employee given an "Unsatisfactory" in any aspect of their job performance must be re-evaluated in six (6) months. If the employee's performance aspect is no longer "Unsatisfactory" at that time then the Department Head can recommend to the Village Administrator that the employee be granted their step increase, but not retroactively.



## **CHAPTER 5 EMPLOYEE BENEFITS AND ELIGIBILITY**

### **5.1 Employee Eligibility**

An employee's eligibility to receive benefits as outlined in this chapter is determined by the following categories of employment status as previously defined:

1. Full-Time Employee: Full-time employees are eligible for all benefits described in this chapter unless specifically stated otherwise.
2. Regular Part-Time Employee (1,000 Hours a Year or More): Employees in this classification are only eligible for:
  - Workers' compensation benefits
  - Participation in the Illinois Municipal Retirement Fund (except sworn police)
  - Prorated holiday pay based on the full-time equivalency of their position
  - Overtime if the total hours worked or compensated is more than forty (40) in the workweek
  - Participation in voluntary life insurance, short-term disability insurance, accident/hospitalization and other related coverages and programs from time-to-time
  - Participation in the Village's 457 deferred compensation program
3. Regular Part-Time Employees working less than 1,000 hours a year and Seasonal/Temporary employees are eligible only for workers' compensation benefits and overtime if hours worked is greater than forty (40) in the workweek.
4. Pursuant to the Affordable Care Act (ACA) the Village will also provide the health insurance benefit option to Regular Part-Time Employees working on average thirty (30) or more hours in a work week. The cost to the employee will be the same as other Full-Time Employees.

As a reminder, if a conflict exists between a provision in this manual and a provision in a collective bargaining agreement with a recognized collective bargaining unit the provision in the collective bargaining agreement will take precedence.

Employees may refer to the appropriate plan documents for eligibility procedures and plan provisions concerning benefit programs. Naturally, it is the legal documents that must be followed in the administration of these plans, and these plan documents will govern in the event any discrepancy exists. Please see the Finance Department for specific information.

### **5.2 Holidays**

The Village recognizes eleven (11) holidays during the calendar year:

Holiday	Date Observed
New Year's Day	January 1
Spring Holiday	Friday Before Easter
Memorial Day	Last Monday in May
Independence Day	July 4
Labor Day	First Monday in September
Veteran's Day	November 11
Thanksgiving Day	Fourth Thursday in November
Day After Thanksgiving	Friday After Thanksgiving
Christmas Eve	December 24
Christmas Day	December 25
New Years Eve	December 31

If a holiday's observed day falls on a Saturday the holiday will be observed on the preceding Friday. If a holiday's observed day falls on a Sunday the holiday will be observed on the following Monday. If a holiday falls on a Saturday and the preceding Friday is also a Holiday, the two consecutive holidays will be observed on Thursday and Friday. If a holiday falls on a Sunday and the following Monday is also a holiday the two consecutive holidays will be observed on Monday and Tuesday. Holiday time is defined as eight (8) hours of compensation per holiday.

Holidays falling within an employee's scheduled vacation shall not count against the employee's vacation time.

Employees on an unpaid leave of absence are not eligible to receive holiday pay.

In the event an employee does not work the scheduled day before or after a holiday and is not on an authorized absence that employee shall not receive holiday pay until an excusable absence or proof of illness is presented to the satisfaction of the Department Head.

### **5.3 Personal Days**

Employees will be granted three (3) personal days equivalent to twenty-four (24) hours of leave on January 1 that can be used for any purpose during the year. Personal leave days must be used during the calendar year they are granted and cannot be carried over to the following year. Personal days will not be paid out upon termination of active employment. A minimum of one (1) hour increment must be used unless otherwise agreed to by the Department Head.

Personal days for new employees will be prorated depending on the quarter in which their employment begins.

Employment Begins	Time Earned
01/01 – 03/31	18 Hours

04/01 – 06/30	12 Hours
07/01 – 09/30	6 Hours
10/01 – 12/31	0 Hours

#### **5.4 Vacation Leave**

Vacation leave is provided on the basis that employees benefit by periodic intervals of rest and recreation and time away from their job with the Village and that an appropriate work-life balance contributes to the employee's overall well-being and ability to effectively carry out their job responsibilities. Accrual of such benefits derives from continued and ongoing service to the Village.

Employees accrue vacation leave based on their full-time anniversary date with the Village and the number of years of service based on the schedule below. Vacation leave will be earned to the employee on a per pay period basis on the 1<sup>st</sup> and 2<sup>nd</sup> pay dates of each month (or twenty-four (24) times per year, also the "Accrual Rate.")

<u>Years of Service</u>	<u>Annual Vacation Amount</u>	<u>Accrual Rate</u>
Start Through Completion of 3 Years	2 Weeks (80 Hours)	3.333
Beginning Year 4 Through Completion of Year 5	2 ½ Weeks (100 Hours)	4.166
Beginning Year 6 Through Completion of Year 10	3 Weeks (120 Hours)	5.000
Beginning Year 11 Through Completion of Year 20	4 Weeks (160 Hours)	6.666
Beginning Year 21 and After	5 Weeks (200 Hours)	8.333

The vacation accrual rate for Department Head positions will never be less than three (3) weeks per year but otherwise consistent with the above table.

#### **Maximum Accrual and Exceptions**

Vacation leave will be earned per the schedule above and leave will be deducted from the employee's total time when used. The maximum amount of vacation leave that an employee will be allowed to accumulate in their vacation bank will be equal to one (1) year's Annual Vacation Amount as set forth in the schedule above plus one (1) week ("Maximum Accrual"). Once an employee reaches the Maximum Accrual vacation leave will cease to accrue until an employee is no longer at the Maximum Accrual. Employees are responsible for monitoring the amount of vacation leave they have accumulated and providing sufficient notice and request to use such leave so that the Maximum Accrual is not exceeded.

The Village Administrator may approve a temporary accumulation of vacation leave greater than the Maximum Accrual, at his sole discretion based on the operational needs of the department and

Village. Such additional accrual may not exceed one (1) additional week of vacation leave greater than the Maximum Accrual. Employees granted a temporary accumulation of vacation leave greater than the Maximum Accrual must use enough vacation leave within a twelve (12) month period after Village Administrator approval of the temporary accumulation in order to be at or below the Maximum Accrual at the end of the twelve (12) month period.

#### Vacation Leave Requests

The Village will make reasonable attempts to accommodate vacation leave requests, subject to the operational needs of each Department. Generally no more than two (2) weeks of vacation may be taken consecutively. Requests longer than two weeks require Department Head and Village Administrator approval.

Vacation leave will be paid at the employee's normal straight time hourly rate. Employees should typically attempt to request the use of vacation leave at least one (1) week in advance.

The Department Head and Village Administrator may authorize an advance of vacation leave of up to two (2) days in order to accommodate an employee's vacation leave that may result in an employee's vacation leave accrual being negative after the vacation usage. Employees must be in good standing with the Village to be eligible for consideration.

Accrued but unused vacation leave shall be paid out to the employee upon termination of employment.

#### Additional Vacation Leave Benefits

The Village Administrator is authorized to grant additional vacation benefits to prospective employees as a condition of employment, recognizing the need of the Village to attract highly qualified candidates as part of an overall wage/benefit proposal. Such benefits shall be made in writing at the time of initial employment, become part of the employee's file and communicated as such to the Village Board.

#### Payment in Lieu of Vacation Time

Eligible employees not represented by a collective bargaining agreement may elect to "cash out" a limited number of hours of vacation time on an annual basis. Annually in November the Finance Department will inform employees of the option and provide forms and deadlines for employees to consider the option for the year. Generally, the process will be conducted so that the payout of accrued time is processed by the first paycheck in December.

In order to be eligible an employee must have at least one (1) year of continuous full-time employment as of November 30<sup>th</sup>, not be in any introductory status and be in good standing with the Village. Employees may elect to cash out up to sixty (60) hours of vacation time annually. Payment will be made at the employee's current hourly rate as of the last day of the prior two-week payroll period being paid on the 1<sup>st</sup> payday of December.

## **5.5 Sick Leave**

### **Accrual**

Eligible employees shall accrue sick leave at the rate of eight (8) hours per month. The maximum amount of sick leave that can be accrued is four-hundred-eighty (480) hours or sixty (60) days for an eight-hour day.

(Note: Employees hired before June 22, 1998 will be allowed to retain any accumulated sick leave in excess of the maximums established in this policy. However, once those days are used, and the employee's sick leave balance falls below the current maximums authorized the employee will adhere to the new maximum accumulations)

The Illinois Municipal Retirement Fund (IMRF) currently offers additional service credit for accumulated sick days at the time an employee applies for their IMRF pension. The Village will allow employees to accrue additional sick time over and above 480 hours to be applied solely for additional service credit. The maximum additional amount that will be allowed will be based on IMRF's limits in place at the time. This additional sick leave will be tracked separately from the normal sick leave bank. When an employee uses sick leave, the sick leave will be deducted from the normal sixty (60) day sick leave bank. Sick leave credited to the IMRF service credit bank shall only occur when the normal sick leave bank has reached the maximum. All sick leave accrued by IMRF eligible employees shall be eligible for additional service credit as permitted by IMRF and state statutes from time-to-time.

No sick leave shall be credited to an employee who is on an unpaid leave of absence of thirty (30) days or longer.

### **Sick Leave Requests**

Sick leave shall not be considered a benefit to be used at the employee's discretion for personal or other business. Sick leave shall be allowed only in the following situations:

1. Actual sickness, injury, disability or hospitalization of the employee
2. Medical or dental appointments which cannot be reasonably scheduled outside of working hours
3. Absence required by illness or disability of the employee's immediate family, defined for the purposes of this section to be parent, spouse or child and all "half" and "step" relationships

Pursuant to the Illinois Employee Sick Leave Act ("ESLA"), employees may use up to one half their annual sick leave benefits provided under this Section for absences due to an illness, injury or medical appointment of the employee's child, stepchild, spouse, domestic partner, sibling, parent, mother-in-law, father-in-law, grandchild, grandparent or stepparent, for reasonable periods of time as may be necessary, on the same terms as the employee is able to use sick leave for the employee's own illness or injury. ESLA, however, does not extend any leave under FMLA. An employee may not be retaliated against for exercising rights under ESLA.

Employees shall notify their supervisors within two (2) hours of their beginning start time of the need to take sick leave. A Department Head may require an employee to provide proof of illness, disability or otherwise of an employee or immediate family members condition or illness if the sick leave extends beyond three (3) days.

Sick leave may be taken in increments of one (1) hour unless mutually agreed to be the employee and Department Head.

#### Sick Leave Incentive Day

As an incentive to not use sick leave, any employee who does not use any sick leave during a calendar year will be given eight (8) hours of additional straight-time pay on the following payroll.

#### Other Sick Leave Policies

A Department Head may send an employee home on sick leave if in the opinion of the Department Head if the employee appears ill and otherwise may impact the health of other employees by continuing to be present in the work environment.

A Department Head may require a physician's statement as a condition for granting of sick leave for any duration if the Department Head suspects that an employee is misusing sick leave, or if an employee calls in sick the day before or after a scheduled vacation or holiday. If upon investigation any employee is found to have abused the intent of sick leave benefits they will be subject to disciplinary action up to and including termination.

If an employee becomes sick or ill while on vacation or holiday leave sick, leave will not be substituted for the vacation, holiday leave or other leave benefit being used for that day.

Other than as provided for in this section, accumulated sick leave upon separation, termination or retirement will not be paid or cashed out to employees.

### **5.6 Bereavement Leave**

Employees are eligible for bereavement leave in the event of a death in the employee's family as defined below:

1. For an employee's spouse up to five (5) days will be granted.
2. Provided the Village has 50 or more employees, under the Child Bereavement Leave Act ("CBLA"), for an employee's child, defined as a son, daughter (biological or adopted), foster child, stepchild, a legal ward, or a child of where employee is standing in loco parentis, up to ten (10) days of leave will be granted. In the event, an employee loses more than one child in any 12 month period, the employee is entitled to take up to (6) six weeks in a twelve (12) month period. In order to take this leave, the employee must do so within sixty (60) days of the child's death, provide 48 hours' advance notice of the intent to take such leave unless doing so is impracticable, and may be required to provide reasonable documentation in



support of it. Under the CBLA, an employee may elect to substitute paid leave for unpaid leave for any days in excess of the five (5) days that the Village offers paid bereavement leave under this Section. However, the Village may not require employees to do so.

3. For an employee's mother, father, brother, sister, grandparent, grandchild, mother-in-law, father-in-law, grandparent-in-law, brother-in-law or sister-in-law up to three (3) days will be granted. Up to two (2) additional days may be granted for travel if distance is more than 250 miles away.
4. For an employee's aunt, uncle, niece or nephew one (1) day will be granted.

The above relationships include all "step" and "half" relationships. Bereavement leave will be paid at the employee's regular rate of pay for up to five (5) days.

### **5.7 Donated Leave Time for Hardship Situations**

The Village recognizes that employees may undergo a hardship situation in their personal life primarily due to, but not necessarily limited to, critical medical situations relating to either themselves or an immediate family member (defined as parent, spouse, and child). In recognition of these types of situations, employees who find themselves in a hardship situation may become eligible for the donation of personal or vacation leave by other employees to allow them additional paid time off.

In order to qualify, an employee must submit a written letter to the Village Administrator explaining the nature of the hardship, expected duration, and any other documentation deemed appropriate. The employee must demonstrate that they have exhausted, or soon will exhaust, all applicable sick, vacation, holiday, personal, compensatory or other types of leave.

The Village Administrator will make the final determination of whether or not a hardship exists and his decision will be final. The Village Administrator may request additional documentation if needed. If granted, hardship status will remain in effect for up to two (2) months at which time the employee must re-apply for hardship status.

The Finance Department will manage the process of making other employees aware that hardship status has been granted, and providing a method upon which employees may donate vacation leave or personal leave hours to the employee.

Other than provided for in this section, employees may not donate or loan any accumulated leave time to another employee.

### **5.8 Health Coverage Plans**

The Village provides health coverage to eligible employees and their dependents. The coverage or insurance may take one of several configurations including an HMO, PPO, HSA or other type of program. Exact plan configurations will be determined annually by the Village. Coverage

begins the first day of employment. Employee contributions will generally be set for the plan year based on premiums in effect at the beginning of the plan year, with amounts based on the following percentages:

HMO	8%
PPO	20%
HSA	20%

The above percentage contributions apply to all types of tiers that may be defined such as single, family, employee plus child and employee plus spouse.

Employees may refer to the appropriate plan documents for eligibility procedures and plan provisions concerning benefit programs. Naturally, it is the legal documents that must be followed in the administration of these plans, and these plan documents will govern in the event any discrepancy exists.

### **5.9 COBRA Coverage**

Under the Consolidated Omnibus Budget Reconciliation Act (COBRA) continuation of group health plan coverage is available for qualified employees for predetermined amounts of time. If an employee opts to continue coverage they will be responsible to pay the full monthly premium to the Village. Failure of the former employee to pay the Village full premium when due will result in the forfeit of continuing coverage eligibility in accordance with current COBRA law.

### **5.10 Continuation of Coverage Upon Retirement**

Employees eligible for health insurance benefits may continue participation in the existing health coverage program upon retirement with the Village. Employees will be responsible for 100% of the cost of the coverage. Continuation may continue past Medicare-eligible age at the discretion of the employee. Terms and conditions of the coverage may be affected by State statute and federal law.

### **5.11 Dental Insurance**

The Village may provide employees with the option of enrolling in a dental insurance program that may take a variety of forms. The employee contribution towards the program will be set by the Village from time to time.

### **5.12 Life, Voluntary Life Insurance and Other Insurance**

The Village will provide \$25,000 of life insurance and accidental death and dismemberment (AD&D) insurance for eligible full-time employees at no cost to the employee. The Village may provide employees with the option to enroll in additional voluntary life insurance options for

themselves, spouses and dependents, the cost of which will be fully funded by the employee.

The Village may provide employees with the option of enrolling in various supplemental disability, accident, hospitalization, disease or other similar types of programs, the costs of which will be fully funded by the employee.

### **5.13 Section 125 Flexible Spending Plan**

The Village will offer to eligible employees a Section 125 flexible benefits plan which allows employees to contribute money on a pre-tax basis for the payment or reimbursement of eligible medical or dependent care expenses as well as contributions to health and other insurance programs as allowed by law. Contributions and limits to these programs will be established annually by the Village and subject to current state and federal law.

To the extent permitted by law and subject to continuing participation, unused funds may be carried over to the prior year subject to guidelines determined by the Finance Department.

### **5.14 Deferred Compensation Program**

Employees may participate in the Village's 457 deferred compensation program as established by the Village. Contributions to the program are subject to maximum limits as provided by federal tax law. Employees may change contributions to the program at any time, however, adequate notice should be provided to Finance to ensure that the change can be made in a timely fashion at the desired effective payroll date. Participating employees may also be eligible to take a loan from their accumulated balance, subject to the guidelines in place at the time. Overall administration of the plan is the responsibility of the Finance Director.

### **5.15 Illinois Municipal Retirement Fund (IMRF)**

Employees, (except sworn police) working in a position with an expectation of working more than 1,000 hours a year are required to participate in IMRF which is governed by State statutes. The employee's contribution will be deducted from the paycheck. IMRF defines what wages or other compensation are subject to the contribution percentage. Pension benefits for participation in this program are based on when an employee first begins service with an IMRF employer. The Village's Authorized Agent for IMRF is the Finance Director.

IMRF also provides various disability benefits subject to the rules of the Fund. Participating employees may also make voluntary contributions to IMRF which are segregated from the employee's normal contributions and credited annually with a fixed investment return rate. Additional information is available at the Finance offices. IMRF employees also participate in Social Security and Medicare programs.

### **5.16 Police Pension Fund**

Sworn police officers participate in the Police Pension Fund. Employee's contributions to the fund and future pension benefits are based on state statutes and administered by the local Police Pension Board. Questions regarding police pension benefits should be directed to the Police Pension Board President or the Finance Department. Employees participating in the Police Pension Fund also participate in Social Security and Medicare.

### **5.17 Tuition Reimbursement Program**

The Village encourages eligible full-time employees to voluntarily consider continuing education courses which are relative to the work assignments of their position. Participation in the program is subject to the availability of budgeted funds. Courses and class work must be done on the employees own personal time.

Eligible courses include courses offered at an accredited college, university, technical school, or adult continuing education company. All employees must obtain Department Head, or Village Administrator in the case of Department Heads, approval of the course prior to enrolling in order to be eligible for the program. In order to be eligible, an employee must have successfully completed their introductory period and be in good standing with the Village.

The Village will partially reimburse an employee who successfully completes a course with a "C" or better or "Pass" for courses designated as Pass/Fail. Reimbursement will be up to \$500 of the cost of tuition, books and lab fees, if any, paid by the employee. After successful completion of the course the employee must submit receipts for costs incurred as well as documentation of final course grade and/or successful completion. Employees are permitted to apply for reimbursement for only one course per term (semester, quarter, etc.).

Time spent by the employee at class or studying for the class is not considered time worked or compensable.

### **5.18 Training and Career Development**

The Village is committed to providing and supporting employee training and career development through attendance and participation in seminars, conferences, workshops, webinars and other professional development opportunities. As part of its support for professional development the Village will pay for the necessary continuing professional education (CPE) credits that an employee must obtain on a periodic basis in order to maintain certifications relevant to their position. Village financial support for obtainment of CPE's should be done in the most reasonable economic manner as possible with prior approval of the employee's supervisor.

Employees interested in training and other professional development opportunities such as the obtainment of certifications should consult their supervisor for further information. Depending on

the nature of the certification and applicability to the employee's position, the Village may pay for costs associated with obtaining the certification subject to the employee successfully completing the certification process. Opportunities for this and other types of professional development may be limited to funds available in the annual departmental operating budget.

### **5.19 Workers' Compensation**

The Village provides workers' compensation benefits in accordance with Illinois Compiled Statutes. Applicable statutes include the State of Illinois Workers' Compensation Act, Occupational Disease Act, Public Employees Disability Act (PEDA) or other applicable statutes.

#### **Reporting of Illness/Injury**

Employees who believe that they may have suffered a work-related injury or illness, no matter how minor, must immediately report the injury to their supervisor, even if they are unsure of the exact cause of the injury, and even if the injury does not require treatment. Failure to timely report an injury can lead to delays in processing the claim and the receipt of benefits. Upon notification that an injury or condition has occurred the employee shall be directed to the Village's occupational health care provider. Employees with severe injuries should dial 911 and be taken to the nearest hospital or provider. Employees receiving medical treatment for a work-related injury should inform the medical provider that the injury is work-related and the Village is responsible for payment.

Upon notification from an employee that an injury has occurred the employee's immediate Supervisor in consultation with the Department Head will complete the appropriate Notice of Injury and Supervisor's Investigation of Injury and submit these to the Finance Director or Finance Director's designee for claim coordination with the Village's insurance carrier.

During the course of the injury and treatment of such the employee may select their own physician, surgeon or hospital services for the treatment of the work-related injury. The Village reserves the right to have the employee examined by a doctor of the Village's choice as deemed necessary.

#### **Medical Benefits While on Leave**

The Village's carrier will pay all medical bills and treatment related to the injury. Questions on the payment of follow-up of medical related bills should be coordinated with the Finance office.

#### **Workers' Compensation Benefits**

Employees off work for more than three (3) days due to a workers' compensation incident are entitled to temporary total disability (TTD) benefits. TTD benefits are paid at 66 2/3% of the employee's average weekly wage based on the previous applicable annual average. Unless otherwise provided by law, TTD payments are not subject to federal or state income taxes. The Village will typically continue to compensate an employee on TTD through the Village's payroll and receive reimbursement through the employee's workers' comp carrier. This will help ensure the continuation of deductions for employee benefits. Depending on the extenuating

circumstances the Village at its discretion may choose to have TTD payments paid directly to the employee.

Sworn police personnel are entitled PEDA benefits which are 100% of their salary for a one (1) year period from the date of injury or illness. PEDA benefits are not subject to federal or state income taxes. Upon expiration of the one year period, the employee will be covered by normal TTD benefits under the Workers' Compensation Act.

#### Use of Accrued Leave to Supplement Workers' Compensation Leave

While on workers' compensation leave employees receiving workers compensation may not supplement their benefit with accrued sick, vacation, compensatory time and holiday leave. While on workers' compensation employees will not accrue vacation leave, sick leave, personal days, holidays or other types of accrued leave for periods for which the employee is on workers' compensation for the entire period that the leave is normally earned.

Employees on workers compensation should obtain information from the Finance office on the process or eligibility for continuation of pension service credits with IMRF while on workers' compensation leave based on the rules in effect at that time. Sworn police personnel should coordinate with the Police Pension Board President.

#### Return to Work

Regular follow-up appointments shall be scheduled in order to determine the ability of the employee to return to work. The Village will evaluate any reports or recommendations from physician's or medical professionals to determine if the employee is fit to return to duty without restrictions or limitations.

### **5.20 Restricted Duty**

Employees who have been disabled or who have suffered an on or off-duty injury and cannot perform all of the required tasks of their position to the satisfaction of their Department Head will generally not be placed on restricted duty. However, each Department may determine if a restricted duty assignment is available. If an employee is to be placed on restricted duty the Department Head should notify the Finance Director and Village Administrator prior to the commencement of the restricted duty assignment. Written approval of the restricted duty assignment by the Village Administrator is required.

Availability of a restricted duty assignment is subject to the satisfaction of an independent physician stating that the employee is capable of performing the work without risk to either themselves, their employees or the general public. The Village may require an evaluation by a physician chosen and paid for by the Village to ensure that the employee is fit for the restricted duty assignment. Nothing in this policy will be construed to require the Village to create restricted duty assignments. In the event a restricted duty assignment is made available for an employee there will be no assumption or guarantee that the same or a different restricted duty assignment may be made available in the future to either the same employee or a different employee.



Availability of restricted duty assignments will be at the initial discretion of the Department Head and approved by the Village Administrator.

## **CHAPTER 6 WORK PERIODS, OVERTIME AND COMPENSATORY TIME**

### **6.1 Work Period and Hours of Work**

The work period for Village employees is defined as a seven (7) day period beginning at 12:01 a.m. Sunday, and ending seven (7) days later at midnight, Saturday. Full-time employees are generally scheduled for forty (40) hours of work a week with a workweek commencing Monday and ending on Friday (five (5) eight-hour days) unless otherwise agreed to separately by the Village Administrator. Normal start and ending times are scheduled by each Department Head. Sworn police personnel subject to provisions of their respective collective bargaining agreement may be scheduled for a normal work period that includes eight-four (84) hours in a fourteen (14) day period that may include the requirement of working twelve (12) hour shifts.

The Village Administrator shall ensure that differing working schedules still enable the Village to effectively provide services to the community, and that each department can continue to effectively work together when on different schedules.

### **6.2 Time Worked and Record Keeping**

Non-exempt employees are required to document their time worked on time sheets or other systems. Non-exempt employees must note the hours worked each day, beginning and end times, unpaid lunch periods and any other information necessary to ensure that the employee is properly compensated for hours worked per state and federal requirements.

Non-exempt employees must not work any hours outside of the scheduled work day unless the employee's supervisor has authorized the unscheduled overtime in advance. Non-exempt employees are prohibited from performing any "off-the-clock" work defined as work done but not reported on the employee's timesheet.

Upon receipt of each paycheck employees must verify that they were paid correctly for all regular and overtime hours worked during the work period.

### **6.3 Lunch Periods**

Department Heads are authorized to establish the schedule for lunch and break periods during each workday. Full-time employees shall receive a thirty (30) minute unpaid lunch period and one (1) thirty (30) minute paid daily break to be used in concurrence with your unpaid lunch period per work day. Employees are required to take their lunch as close to the lunch hour as possible or at a minimum between the hours of 11am and 1pm. An employee who does not exercise the right to a break waives this right and cannot claim it at a later date.

Nursing mothers will be provided reasonable break time and a private place other than a bathroom to express breast milk for a nursing child in accordance with state and federal laws.

Part-time employees working less than a 7.5 hour shift) are not required to take a lunch period unless mutually agreed to by the employee and supervisor.

### Responsibilities

Supervisors are responsible for administering their department's rest and meal periods in a fair and uniform manner. Supervisors must stagger or otherwise schedule employees' meal periods so ongoing operational responsibilities are not compromised.

Employees are responsible for keeping their supervisors informed about any changes to their work schedules, including changes involving meal and rest periods. Any employee who takes unauthorized meal or rest periods or who extends authorized meal or rest periods beyond approved limits can be subject to discipline, up to and including termination of employment.

### Meal and Rest Periods for Nonexempt Employees

Employees are to be completely relieved from duty during their meal break. If an employee is required to perform any work duties while on his or her meal break period, the employee must be compensated for the time spent performing work duties. The time spent working during the meal break will be counted toward the total hours worked.

Nonexempt employees must obtain advanced written authorization from their supervisor in order to work through a meal period as such conduct can lead to an employee working unauthorized overtime. Further, working through a meal period may not be in accordance with various applicable state laws. An employee who works through a meal period without advanced written authorization may be subject to disciplinary action, up to and including immediate discharge.

### Complaint Procedure

Employees who believe they have been compelled to work through their unpaid meal break should contact the Village Administrator or their immediate supervisor immediately to request an investigation. The employee will be asked to specify in writing, using the guidance above, the circumstances of the pay discrepancy and whether it has occurred on other occasions.

The Village will review pay records and interview the supervisor or manager, as well as the payroll representatives handling the employee's pay, to determine if the allegation is correct. If the employee's allegations are true, the Village will reimburse the employee as promptly as possible.

The individual(s) responsible for the error will be investigated further to determine if this was an isolated incident or a pattern of conduct that requires further action on the part of the Village. If warranted, the responsible person(s) will be held accountable for the error(s) made consistent with the Village's disciplinary policy.

The resolution of the situation will be documented and placed with the employee's pay records. Following the identification of such a problem, the Village will establish a practice to regularly audit employee pay records to ensure no further issues arise.

## **6.4 Pay Periods, Deductions and Payday**

### **Payday and Pay Period**

Employees are paid bi-weekly on Fridays for the prior two-week work period. If a normal pay date falls on a Village-observed holiday, employees will be paid on the last working day prior to the holiday. Employees receiving a paper check or paid through direct deposit will be given a written pay stub showing hours worked, wages, rates, deductions and year-to-date information.

### **Paycheck Deductions**

Upon hire an employee must provide documentation of certain employee information in order to ensure that certain mandatory deductions made from the employee's paycheck can be correctly allocated. Mandatory deductions include state and federal withholding, Medicare, Social Security and either IMRF or Police Pension contributions, if applicable. The Village also provides several optional deductions that can be made from the employee's paycheck, some on a pre-tax basis and some post-tax. Information on available options can be obtained at the Finance Department.

Employees may modify their federal or state withholding by contacting Finance for updated forms at any time during the year. Other deductions may be modified at any time while others may be modified only during an open or special enrollment or if the employee experiences a qualifying event.

### **Paycheck Advances**

An employee may submit a written request to the Finance Department to have their paycheck available two (2) days before the scheduled payday. Due to holidays, this option may not be available on short payroll processing weeks and is subject to the discretion of the Finance Director.

### **Direct Deposit**

The Village will make available direct deposit for all employees. Employees may direct deposit into more than one financial institution or account. Employees are encouraged to sign up for direct deposit of their paycheck in order to receive their pay faster.

### **Wage Garnishment**

If the Village receives a wage garnishment notice on any employee it will be processed for the next pay period in accordance with applicable law.

## **6.5 Update of Employee Information or Status**

In order to ensure the accurate processing of payroll and administration and reporting of employee benefits all employees are required to report any changes to their full legal name, place of address, non-work contact information, marital status or change in dependents to the Finance Department. Changes should be indicated on the forms available and signed by the employee.

## **6.6 Overtime**

### **Working and Assignment of Overtime**

It is the policy of the Village that all work be accomplished within the normal assigned workday. Overtime is to be considered any work, either scheduled or not, beyond forty (40) hours in a standard workweek, with the exception of sworn police department personnel who by virtue of a separate collective bargaining agreement may work eighty-four (84) hours in a fourteen (14) day period that may include a regular workday of twelve (12) hours a day.

When it is necessary for work to be accomplished beyond the normal workday, the employee's Supervisor shall authorize overtime. The Department Head or designee may authorize flex scheduling at their discretion.

Unless otherwise agreed to in a separate collective bargaining agreement, overtime work in excess of forty (40) hours a work week will be paid at time-and-a-half the employee's regular hourly rate of pay in accordance with the Fair Labor Standards Act (FLSA). The Village has the right to schedule overtime work as required in a manner most advantageous to the Village. Overtime work must be authorized by the employee's responsible supervisor as designated by the Department Head.

If in the course of performing their duties an employee feels that it is necessary to work beyond the normal work schedule the employee shall first contact their immediate supervisor to obtain authorization before performing work beyond the normal schedule that may result in overtime compensation.

Failure to report for overtime work when directed by an authorized Department Head or Supervisor acting within established policy is grounds for disciplinary action when such absence is without excuse or beyond the employee's control.

Pyramiding of overtime is not allowed.

### **Definition of Hours Worked**

For the purpose of calculating "hours worked" the Village in accordance with options provided under FLSA shall consider hours worked to include paid sick leave, paid vacation leave, paid holiday leave either regular holiday or personal holiday, paid leave for jury duty and paid leave for compensatory time.

### **Eligibility**

Only non-exempt employees are eligible for overtime. It is understood that it may be necessary that exempt executive, administrative and professional employees as defined by the FLSA work beyond the normal work schedule. In recognition of this, an exempt employee's immediate supervisor may from time to time, at their discretion, award the exempt employee with compensatory time off.

### **6.7 Compensatory Time**

Non-exempt employees may elect to earn compensatory time in lieu of overtime pay. Compensatory time will be earned at the rate of one and one-half hours for each overtime hour worked. Accumulation of compensatory time for non-exempt positions shall not exceed forty (40) hours at any given point in time. An employee must receive authorization to use compensatory time leave that has been accrued, however, such authorization to use compensatory time shall not be withheld unless it would unduly disrupt the operations of the department. Exempt employees may not accrue compensatory time, however, as stated in section 6.6 of this chapter, exempt employees may be awarded time off from time-to-time at their supervisor's sole discretion.

### **6.8 Remote Work**

During a declared Village emergency or if the Village Administrator deems there to be extreme weather conditions, the Village Administrator may authorize eligible employees a modified and/or remote work schedule for employees that still ensures Village operations continue.

Not all employees are eligible to work remotely depending on their job duties. However, if an employee is deemed eligible to work remotely, they may be authorized for short-term remote work if a department head deems there to be a clear benefit to Village operations. This is meant for circumstances where an employee may not be able to be physically at work during the workday, but is able to complete all of their necessary job functions. Short-term remote work would not typically exceed one workday unless it is deemed to benefit the Village's operations. Short-term remote work is not meant as a substitute for child care and/or sick time. In any circumstance, a remote work arrangement must be approved by the Village Administrator.



## **CHAPTER 7 LEAVES OF ABSENCE**

### **7.1 Family and Medical Leave Act (FMLA)**

(1) General Policy: The Village shall comply with the provisions of the Family and Medical Leave Act of 1993 (Public Law 103-3) and the rules and regulations issued by the U.S. Department of Labor interpreting said Act (collectively referred to as “FMLA”).

(2) Definitions: The terms used in this subsection shall have the same meanings ascribed to said terms in the FMLA.

(3) Applicability: An eligible employee is entitled to a total of twelve (12) work weeks of leave during any calendar year for any one, or more, of the following reasons:

- a. The birth of a son or daughter, and to care for the newborn child;
- b. The placement with the employee of a son or daughter for adoption or foster care;
- c. To care for the employee’s spouse, son, daughter or parent with a serious health condition; and,
- d. Because of a serious health condition that makes the employee unable to perform the functions of his or her job.
- e. Any qualifying exigency arising out of the fact that the employee’s spouse, son, daughter, or parent is a covered military member on active duty in support of a contingency operation  
Eligible employees with a spouse, son, daughter, or parent on active duty or call to active duty status in the *National Guard or Reserves* in support of a contingency operation may use their 12-week leave entitlement, within certain restrictions pursuant to the FMLA, to address qualifying exigencies. Qualifying exigencies may include:
  - Attending certain military events;
  - Arranging for alternative childcare;
  - Addressing certain financial and legal arrangements;
  - Attending certain counseling sessions;
  - Certain periods for rest and recuperation; and
  - Attending certain post-deployment activities.

FMLA also requires the Village provide up to twenty-six (26) weeks of unpaid, job protected leave to eligible employees for them to provide care for a covered service member with a serious injury or illness if the employee is the spouse, son, daughter, parent or next of kin of the service member.

Next of Kin is defined as the nearest blood relative, other than the covered service member’s spouse, parent, son, or daughter, in the following order of priority: blood relatives who have been granted legal custody of the servicemember by court decree or statutory provisions; brothers and sisters; grandparents; aunts and uncles; and first

cousins, unless the covered servicemember has specifically designated in writing another blood relative as his or her nearest blood relative.

(4) Continuation of Health Benefits: During any FMLA leave, the Village shall maintain the eligible employee's coverage's under any group health plan maintained by the Village on the same conditions as coverage would have been provided if the eligible employee had been continuously employed during the entire leave. If the Village provides a new health plan or benefits or changes health benefits or plans while an eligible employee is on FMLA leave, the eligible employee is entitled to the new or changed plans/benefits to the same extent as if the eligible employee were not on leave. Notice of any opportunity to change plans or benefits given generally to Village employees shall also be given to an eligible employee on FMLA leave. The Village may recover its share of health plan premiums during a period of unpaid FMLA leave from an eligible employee if the eligible employee fails to return to work after said employee's FMLA leave entitlement has been exhausted or expires, unless the reason the eligible employee does not return is due to:

- a. The continuation, recurrence, or onset of a serious health condition which would entitle the employee to leave under FMLA; or
- b. Other circumstances beyond the employee's control

(5) Notice: An eligible employee shall provide the Village with at least thirty (30) days' advance notice before FMLA leave is to begin if the need for the leave is foreseeable based on an expected birth, placement for adoption or foster care, or planned medical treatment for a serious health condition of the employee or of a family member. If thirty (30) days' notice is not practicable, such as because of a lack of knowledge of approximately when leave will be required to begin, a change in circumstances, or a medical emergency, notice shall be given as soon as practicable.

(6) Intermittent, Reduced Schedule Leave: When FMLA leave is taken to care for a sick family member or for an eligible employee's own serious health condition, such leave may be taken intermittently or on a reduced leave schedule when medically necessary. If an eligible employee requests intermittent leave or leave on a reduced leave schedule that is foreseeable based on a planned medical treatment, including during a period of recovery from a serious health condition, the Village may require the eligible employee to transfer temporarily to an available alternative position, with equivalent pay and benefits, for which the eligible employee is qualified and which better accommodates recurring periods of leave than does the eligible employee's regular position.

(7) Certification: An eligible employee's request for FMLA leave to care for the employee's seriously ill spouse, son, daughter, or parent, or due to the employee's own serious health condition that makes the employee unable to perform the functions of the employee's position, shall be supported by a certification issued by the health care provider of the employee (where FMLA leave is requested due to employee's own serious health condition) or the health care provider of the employee's ill family member (when FMLA leave is requested to care for such seriously ill family member). Such certification shall be made on a form provided by the Village and shall contain such information as is permitted by the FMLA. At such time as an eligible employee requests

FMLA leave, the Village shall tender the medical certification form to said employee. Said medical certification form shall be returned to the Village within fifteen (15) calendar days.

(8) Documentation Military: Employees requesting Call to Duty leave must provide proof of the qualifying family member's call-up or active military service. This documentation may be a copy of the military orders or other official Armed Forces communication. Employees requesting Service member Care Leave must provide documentation of the family member's or next-of-kin's injury, recovery or need for care. This documentation may be a copy of the military medical information, orders for treatment, or other official Armed Forces communication pertaining to the service member's injury or illness incurred on active military duty.

(9) Reinstatement: On return from an FMLA leave, an eligible employee is entitled to be returned to the same position the employee held when leave commenced, or to an equivalent position with equivalent benefits, pay, and other terms and conditions of employment.

(10) Reinstatement/Fitness for Duty: When an employee has taken FMLA leave because of his or her own serious health condition, the Village may require that the employee undergo a fitness-for-duty certification from a health care provider allowing the employee to return to work and/or perform the essential functions of the employee's job.

(11) Application to Spouses: Spouses working for the Village who are eligible for FMLA leave shall be permitted to take only a combined total of twelve (12) work weeks of FMLA leave during any calendar year if the leave is taken:

- a. For the birth of a son or daughter or to care for the child after birth;
- b. For the placement of a son or daughter for adoption or foster care, or to care for the child after placement; or
- c. To care for a parent (but not a parent "in law") with a serious health condition

(12) Use of Accrued Benefit Time and Accrual: While on any designated FMLA leave an employee will be required to use available accrued leave time, i.e. sick leave, vacation leave, personal days, comp time, etc. in the order of the employee's preference, if available and in conjunction with the duration of the employee's FMLA leave. Employees will continue to accrue leave time while being paid by the Village through the use of the employee's accumulated leave. If an employee exhausts their accruals during an FMLA leave the employee will no longer be eligible to accrue holiday, sick, vacation or personal leave days and will be responsible for paying directly to the Village any employee portions of health, dental or other benefit deductions.

(13) For FMLA purposes, the Village will define the 12-month leave period as beginning when an employee first uses FMLA leave.

(14) Notice: The Village shall post and keep posted at Village facilities, in conspicuous places where employees are employed, a notice explaining the FMLA's provisions and providing

information concerning the procedures for filing complaints of violations of the FMLA with the Wage and Hour Division of the U.S. Department of Labor. The notice shall be posted prominently where it can be readily seen by employees and applicants for employment.

(15) Additional Information: Informational publications describing the FMLA's provisions are on file in the office of the Finance Director and are available for inspection.

(16) Conflicts: To the extent that there may be any conflict between the FMLA and this section, the provisions of the FMLA shall control.

## **7.2 Military Leave**

Any employee of the Village who is a member of any reserve component of the United States Armed Forces, Illinois National Guard or any Illinois State militia, shall be allowed military leave from employment for any period actively spent in military service, including basic training, special or advanced training, whether or not within the State and whether or not voluntary, and annual training.

During these leaves, the employee's seniority and other benefits shall continue to accrue.

During leaves for annual training, the employee shall continue to receive their regular compensation as a public employee. During leaves for basic training and up to 60 days of special or advanced training, if the employee's compensation for military activities is less than their compensation as a public employee, they shall receive their regular compensation as a public employee minus the amount of their base pay for military activities.

Pursuant to Illinois state law, any employee who is a member of any reserve component of the United States Armed Forces, Illinois National Guard or any Illinois State militia and who is mobilized to active duty shall continue during the period of active duty to receive their benefits and regular compensation as an employee minus the amount equal to their military duty base pay. The preceding sentence shall not apply in the event that 20 percent or more of the employees are mobilized to active military duty, as a result of an order of the President of the United States.

Military leave laws are continually changing. To the extent new laws are adopted which provide greater benefits those laws will be applicable.

## **7.3 Unpaid Leave of Absence – Medical Non-Work Related**

In the event an employee is unable to work by reason of illness, injury or other medical reason, the Village may grant a leave of absence without pay. This leave of absence may not exceed nine (9) months. An employee must exhaust all of their accrued sick, vacation, holiday, personal, compensatory and other leave time prior to being eligible for an unpaid leave of absence. An unpaid leave of absence will run concurrently with FMLA leave.

Availability of an unpaid leave of absence is dependent on staffing and operational needs of the Village. To be eligible an employee must submit a physician's statement showing the nature of the injury or illness and the estimated length of time the employee will be unable to report for work, together with a written request for such leave. Approval must be granted by both the Department Head and the Village Administrator. If granted, an employee must submit a written, updated physician's statement regarding the employee's condition and ability to work at least every thirty (30) days unless exempted by the Village.

Employees on an unpaid leave of absence will not accrue any holiday, sick, vacation, personal or other types of leave during that time. All benefits will be frozen. Employees on an unpaid leave of absence will be required to pay for the full cost, including Village portions, of all insurance benefits including health, dental, life, etc. Benefit costs during a portion of an unpaid leave subject to FMLA will be governed by the Village's FMLA provisions. Failure to pay the full cost for these benefits may result in a loss of coverage if unpaid pursuant to Village or State/Federal law.

Before returning to work from an unpaid leave of absence the Village may require at Village cost a physical examination by a doctor designated by the Village to determine the employee's capacity to perform work as assigned. If an employee does not return to work at the date designated and agreed to by the Village and employee the employee will be deemed to have voluntarily resigned their position with the Village.

Employees may be eligible for disability benefits through the IMRF or Police Pension Fund and are encouraged to consult with the Village's Finance office or pension fund directly.

#### **7.4 Unpaid Leave of Absence – Non-Medical**

In the event an employee wishes to take an unpaid leave of absence for non-medical reasons the employee may do so for a period not to exceed six (6) months. An employee must first exhaust all of their accrued vacation, holiday, personal and compensatory time prior to taking an unpaid leave. Sick leave is not eligible to be used for this type of leave.

Availability of an unpaid leave of absence is dependent on staffing and operational needs of the Village, ability of the Village to economically and effectively continue to have the employee's job duties completed during that time, and the reason for the request. Requests should be made far enough in advance to allow the Department Head to consider the request and plan for the temporary absence. To request such a leave, the employee shall submit a written statement to their Department Head. If the Department Head concurs the request will be submitted to the Village Administrator for approval. In considering a request, the Department Head and Village Administrator have complete discretion to grant or not grant such a request, even if the employee's job duties can effectively be filled during that time.

Employees on an unpaid leave of absence will not accrue any holiday, sick, vacation, personal or other types of leave during that time. All benefits will be frozen. Employees on an unpaid leave

of absence will be required to pay for the full cost, including Village portions, of all insurance benefits including health, dental, life, etc. Failure to pay the full cost for these benefits may result in a loss of coverage if unpaid pursuant to Village or State/Federal law.

The Village will attempt to return an employee to their former position or to a similar position when the employee returns from a leave of absence. However, the Village's need to fill a position may override its ability to hold a position open until an employee returns from leave. The Village therefore cannot assure that it will be able to return the employee to any position after the leave of absence is over. If circumstances change during the leave of absence that may impact the ability of the Village to return the employee to their original or similar position the Village may contact the employee as a courtesy to let them know in order to see if the employee may wish to end the leave of absence earlier than planned.

### **7.5 Jury Duty**

Full-time employees shall be granted paid time off for required jury duty. Employees shall receive that portion of their regular pay equivalent to time normally worked, however, jury duty pay or fees received by the employee shall be paid to the Village. No other expenses will be reimbursed. Regular part-time employees serving jury duty will be compensated by the Village if the days and hours that the employee is serving overlap what would normally be their regular shift during that day.

Employees required to appear before a court for Village-related business shall be paid for their time. However, employees will not be paid to attend or testify at arbitration, grievance or workers' compensation hearings or any actions against the Village unless requested to do so by the Village.

Exempt staff members will be paid their normal salaries during any workweek in which they appear as a witness or juror and also perform services for the Village, regardless of the amount of time spent performing those services.

### **7.6 Victims Economic Security and Safety Act (VESSA) Leave**

The Victims' Economic Security and Safety Act (VESSA) provides an employee who is a victim of domestic violence, or who has a family or household member who is a victim of domestic violence, with up to twelve (12) weeks of unpaid leave per any twelve month period to address issues arising from domestic or sexual violence.

Family or household member may include those related by blood or by present or prior marriage, or who share a son or daughter) to address domestic or sexual violence if the employee is:

- A. seeking medical attention for, or recovering from, physical or psychological injuries caused by domestic or sexual violence to the employee or the employee's family or household member;



- B. obtaining services from a victim services organization for the employee or the employee's family or household member;
- C. obtaining psychological or other counseling for the employee or the employee's family or household member;
- D. participating in safety planning, temporarily or permanently relocating, or taking other actions to increase the safety of the employee or the employee's family or household member from future domestic or sexual violence or ensure economic security; or
- E. seeking legal assistance or remedies to ensure the health and safety of the employee or the employee's family or household member, including attending, preparing for or participating in any civil or criminal legal proceeding related to or derived from domestic or sexual violence.

“Family or household member” means a spouse, party to a civil union, parent, son, daughter, and persons jointly residing in the same household whose interests are not adverse to the employee as it relates to the domestic or sexual violence. “Family or household member” may also include those related by blood or by present or prior marriage, or who share a son or daughter.

"Parent" means the biological parent of an employee or an individual who stood in loco parentis to an employee when the employee was a son or daughter. "Son or daughter" means a biological, adopted, or foster child, a stepchild, a legal ward, or a child of a person standing in loco parentis, who is under 18 years of age, or is 18 years of age or older and incapable of self-care because of a mental or physical disability.

Eligible full and part-time employees shall provide the employee's Department Head and Village Finance office with at least forty-eight (48) hours advance notice of the employee's intention to take leave, except in such cases where it is not practicable to provide such notice. The Village will maintain confidentiality of all information pertaining to the leave.

**CERTIFICATION:** The Village may require the employee to provide certification to the Village that:

- A. The employee or the employee's family or household member is a victim of domestic or sexual violence; and
- B. the leave is for one of the purposes enumerated in the above “Basis” paragraph.

The employee shall provide such certification to the Village within a reasonable period after the Village requests certification.

An employee may satisfy the above certification requirement by providing to the Village a signed and dated statement of the employee, and upon obtaining such documents the employee shall provide:

- A. documentation from an employee, agent, or volunteer of a victim services organization, an attorney, a member of the clergy, or a medical or other professional from whom the employee or the employee's family or household member has sought assistance in addressing domestic or sexual violence and the effects of the violence;
- B. a police or court record; or

C. Other corroborating evidence.

VESSA leave will run concurrently with any other applicable leave, such as FMLA, when the leave qualifies under both Acts. Employees may, but are not required to, use accrued leave to substitute for unpaid leave while on VESSA leave. Leave may be taken intermittently.

LOSS OF BENEFITS: The taking of leave under this policy shall not result in the loss of any employment benefit accrued prior to the date on which the leave commenced.

However, the employee is not entitled to:

- The accrual of any seniority or employment benefits during any period of leave; or
- Any right, benefit, or position of employment other than any right, benefit, or position to which the employee would have been entitled had the employee not taken the leave.

REPORTING TO THE VILLAGE: The Village may require an employee on leave under this policy to report periodically to the Village on the status and intention of the employee to return to work.

MAINTENANCE OF HEALTH BENEFITS: Except as provided under “Loss of Benefits,” during any period that an employee takes leave under this policy, the Village shall maintain coverage for the employee and any family or household member under any group health plan for the duration of such leave at the level and under the conditions coverage would have been provided if the employee had continued in employment continuously for the duration of such leave.

FAILURE TO RETURN FROM LEAVE: The Village may recover the premium that the Village paid for maintaining coverage for the employee and the employee's family or household member under such group health plan during any period of leave under this policy if:

- i. the employee fails to return from leave under this policy after the period of leave to which the employee is entitled has expired; and
- ii. the employee fails to return to work for a reason other than:
  - a. the continuation, recurrence, or onset of domestic or sexual violence that entitles the employee to leave; or
  - b. other circumstances beyond the control of the employee.

The Village may require an employee who claims that the employee is unable to return to work because of a reason described in (I) or (II) above to provide, within a reasonable period after making the claim, certification to the Village that the employee is unable to return to work because of that reason.

An employee may satisfy the certification requirement of clause by providing to the Village:

- a sworn statement of the employee;

- documentation from an employee, agent, or volunteer of a victim services organization, an attorney, a member of the clergy, or a medical or other professional from whom the employee has sought assistance in addressing domestic or sexual violence and the effects of that violence;
- a police or court record; or
- other corroborating evidence.

**NONDISCRIMINATION :** The Village will not discriminate or otherwise harass or retaliate against any employee with respect to the compensation, terms, conditions or privileges of employment because the individual is or is perceived to be a victim of domestic or sexual violence; attended, participated in, prepared for, or requested leave to attend, participate in, or prepare for a criminal or civil court proceeding relating to an incident of domestic or sexual violence of which the individual or a family or household member was a victim; or requested an adjustment to a job structure, workplace facility, or work requirement, including a transfer, reassignment, or modified schedule, leave, a changed telephone number or seating assignment, installation of a lock, or implementation of a safety procedure in response to actual or threatened domestic or sexual violence; or the workplace is disrupted or threatened by the action of a person whom the individual states has committed or threatened to commit domestic or sexual violence against the individual or the individual's family or household member.

**REASONABLE ACCOMMODATIONS:** Within the provisions of VESSA, a reasonable accommodation will be made for a qualified employee or applicant when there are limitations resulting from circumstances that relate to being a victim of domestic or sexual violence or a family or household member being a victim of domestic or sexual violence. Reasonable VESSA accommodations may include adjustment to a job structure, workplace facility, or work requirement, including transfer, reassignment, or modified schedule, leave, a changed telephone number or seating assignment, installation of a lock, or implementation of a safety procedure" in response to an actual or perceived threat. Assistance in documenting domestic or sexual violence that occurs at the workplace or in a work-related setting. Employees are required to provide the same certification for an accommodation request as for that of a leave request.

### **7.7 School Visitation Rights Act Leave**

In accordance with the State School Visitation Rights Act the Village will allows eligible employees unpaid leave of up to a total of eight (8) hours during any school year, no more than four (4) hours of which may be taken on a given day, to attend school conferences or classroom activities related to the employee's child if the activities cannot be scheduled during nonworking hours. An employee must have used all accrued vacation, compensatory time, holiday time or personal time before being eligible for unpaid leave. An employee shall submit documentation of the activities to their Department Head in order to substantiate the visit if using unpaid leave provided under this section.

### **7.8 Blood/Organ Donation Leave**

Employees may be eligible to take leave for blood or organ donation. Employees should consult with their supervisor for more information.

### **7.9 Voting Rights Act**

Employees may be eligible for leave to vote on Election Day for up to two (2) hours if the beginning or ending of their shift is less than two (2) hours from when polls open and when polls close. Requests for leave must be made the day before Election Day and are subject to other requirements per State law.

## **CHAPTER 8 DISCIPLINE, GRIEVANCES, TERMINATION OF EMPLOYMENT AND REDUCTION IN FORCE**

### **8.1 Purpose**

Discipline refers to any oral and/or written reprimand, suspension without pay, demotion or dismissal depending on the seriousness of the violation and the incidence of prior violations. Discipline is generally progressive in nature, applying an increasingly severe penalty. Steps emphasize interaction between the employee and the Department Head providing opportunity for correction of the inappropriate conduct while making the employee sufficiently aware of the consequences of the violations. Nothing precludes a supervisor or Department Head from deviating from progressive disciplinary action if the extent and seriousness of the incident so warrant. Normal progressive disciplinary procedures do not alter or limit the at-will employment relationship between the Village and the employee.

### **8.2 Scope**

Sworn full-time police employees are subject to the disciplinary rules and regulations of the Police Commission. In situations where conflicts between rules and steps in this section and those existing in collective bargaining agreements exist the rules and regulations in collective bargaining agreements will take precedence.

### **8.3 Reasons for Discipline**

The following violations shall be considered as the basis for disciplinary action. This list should not be considered an all-inclusive list of the types of conduct subject to disciplinary action.

1. Unsatisfactory work performance as determined by the employee's Department Head through formal or informal evaluation.
2. Incompetence or inefficiency in performance of job duties, failure to perform the duties of the position as assigned, or false representation to a supervisor as to the quality and/or quantity of work performed.
3. Abusive attitude and/or language to another employee, supervisor, member of the public, or abusive conduct resulting in physical harm or injury to another employee, supervisor or the public.
4. Insubordination, including the violation of any regulation, order, rule or direction given by an employee's supervisor.
5. Violations of the Village's anti-harassment, workplace violence, sexual harassment or any other policy or regulation established by the Village.
6. Unauthorized possession of a firearm, weapon, explosives or other dangerous object or substance on Village premises.
7. Possession or use of alcohol or illicit drugs during working hours.

8. Consuming intoxicants while off duty to the extent evidence of such consumption is apparent when reporting for duty or to the extent that ability to perform duty is impaired.
9. Negligence of misconduct resulting in damage to public property.
10. Abuse of any sick leave or other leave policies, falsifying or misrepresenting reasons for an absence from work.
11. Excessive absenteeism or tardiness.
12. Using scheduled work time for activities other than job performance unless permission has been granted.
13. Theft or attempted theft of property from the Village, fellow employees, residents, visitors or others on Village property.
14. Unauthorized use or misuse of the Village's information technology resources for personal use.
15. Damage, destruction or misuse of Village property.
16. Falsification or fraud in securing employment with the Village.
17. Falsifying or misrepresenting timesheets, records, medical forms or other documents.
18. Preparing fraudulent statements or actions involving Village records or business activities.
19. Unauthorized solicitation or acceptance of a fee, gift, tip or loans from a prohibited source, violations of the State Gift Ban Act or Village policies regarding acceptance of gifts.
20. Unauthorized absences from one's shift or assigned work area.
21. Failure to follow safety rules and regulations established through industry standard, Village policy or departmental rules.
22. Participation during working hours in political support, fund-raising or other activities prohibited by the Village.
23. Working overtime without first having said overtime authorized and pre-approved by the responsible supervisor or Department Head.
24. Involved in criminal or illegal activity in the performance of the employee's duties.
25. Any other activity that is unlawful, unethical or in violation of federal, state or local rules and/or which is damaging to the reputation of the Village, compromises the public health, safety and welfare or frustrates the purposes of the Village and its service to the public.

These examples are provided for illustrative purposes only and should not be construed to be an exhaustive list of all prohibited conduct. Engaging in any one of these activities may subject the offending employee to discipline up to and including termination.

#### **8.4 Types of Disciplinary Actions**

Disciplinary action may include but is not limited to the following. A number of factors are considered in determining the appropriate disciplinary step to be taken as a corrective measure. At all times, management retains the discretion to determine the appropriate level of discipline.

##### **Verbal/Written Reprimand**

Ordinarily, the first course of disciplinary action is a verbal reprimand given by the appropriate level of management. At this level the employee should be made aware of the problem and the



manner in which problem can be solved and corrective action implemented. Documentation of the reprimand should be made and placed in the employee's personnel file.

#### Written Letter of Warning

Recurrence of an incident or a more serious initial violation will necessitate the issuance of a written letter of warning. This letter, given by the supervisor or Department Head to the employee, shall include a description of the incident and circumstances, what corrective action is needed to be taken by the employee, and what the consequences may include for future incidents. The supervisor or Department Head shall meet with the employee to discuss the incident and written acknowledgment from the employee shall be requested. A copy of the written warning shall be placed in the employee's personnel file.

#### Suspension

An employee may be suspended without pay upon the recommendation of the Department Head and approval by the Village Administrator. Typically, suspensions will range from one (1) day to no more than five (5) days. Violations of a serious nature or repeated violations previously disciplined may result in a longer suspension. The Department Head recommending a suspension will prepare a written summary documenting the incident and meet with the employee to discuss the incident, length of the suspension and corrective action needed to be taken by the employee. The employee will be afforded the opportunity to respond and present facts or other information regarding the incident. A copy of all documentation relating to the suspension shall be placed in the employee's personnel file.

#### Termination

Upon recommendation from the Department Head and approval by the Village Administrator the Village may terminate an employee's employment. If an employee is terminated, the Village Administrator will notify the Village Board. A letter outlining the reasons for termination will be given to the employee along with the effective date of termination. The employee will meet with the Department Head and Village Administrator to discuss the reasons for the termination.

#### Administrative Leave

The Village may place an employee on paid administrative leave, with or without notice, to permit the Village to review or investigate actions, including but not limited to, dishonesty, theft or misappropriation of Village funds and/or property, violence on the job, gross safety negligence or acts endangering others or any other conduct which warrants removing the employee from the work site. Administrative leave must be approved by the Village Administrator upon recommendation from the Department Head. The employee will be provided written notification and directed to cooperate with the investigation during the leave. Upon conclusion the employee may be returned to normal work status, suspended or discharged in accordance with the procedures of this chapter.

#### Immediate Removal of an Employee from Workplace

If in the opinion of a responsible supervisor or Department Head an employee has committed an action(s) that due to the health, safety or welfare of other employees or the public is so egregious that the continued presence of the employee would cause ongoing threats to the health, safety and welfare or continued disruption of the workplace the employee may be ordered to immediately leave the workplace prior to the end of their shift without pay. The employee being so ordered shall be informed of the reasons for the removal from the workplace. In such situations the Department Head and Village Administrator should be immediately notified of the incident.

### **8.5 Complaint and Grievance Procedure**

If an employee wishes to appeal a suspension or dismissal or voice a complaint or grievance concerning employment terms, conditions, practices or other matters related to the employee's job the following procedures should be used.

#### **Step 1**

The employee should meet with their immediate supervisor and discuss the issue within the three (3) days of the occurrence, providing written documentation where appropriate. The immediate supervisor will review the issue and respond to the employee within three (3) working days in writing.

#### **Step 2**

If the matter is not settled to the employee's satisfaction in Step 1 then the employee should describe the matter either verbally or in writing to the employee's Department Head within three (3) days of receiving the response from Step 1 (if the employee's Department Head was the immediate supervisor in Step 1 then the employee should proceed to Step 3). The Department Head should respond and meet with the employee to discuss the issue and present a written response to the employee within five (5) working days.

#### **Step 3**

If the employee is not satisfied with the response or resolution of the issue the employee should submit a written summary of the issue to the Village Administrator within five (5) working days of receiving the response from the Department Head. The Village Administrator will review the grievance and respond to the employee within ten (10) working days of receipt. The decision or response from the Village Administrator shall be considered final.

#### **Step 4**

Positions that report to the Village Administrator may appeal a suspension or termination to the Mayor.

The Complaint and Grievance Procedure does not alter or limit the at-will employment relationship between the Village and the employee.

### **8.6 Resignation/Retirement**

An employee wishing to resign their employment from the Village in good standing should provide their Department Head with a written notice explaining the reasons for the retirement or resignation, and provide at least ten (10) working days' notice prior to the effective date or active employment ending with the Village. The Department Head shall within twenty-four (24 hours) forward the letter to the Village Administrator and Finance Director. Employees are encouraged to provide more notice to the Village if possible. Employees planning to retire should provide at least thirty (30) days notice to the Village prior to the retirement date.

Upon approval by the Department Head and Village Administrator, the employee may provide less than 10 days' notice and still leave in good standing with the Village. Unless expressly approved by the Village Administrator, an employee must report to work on their last official day of active employment with the Village and may not use accumulated leave time for that day.

An employee considering retirement or resignation should consult with the Finance Department and appropriate pension plan at least thirty (30) days prior to the effective date to consider post-employment benefit issues. A copy of the employee's retirement or resignation letter should be included in the employee's file.

An employee terminating active employment with the Village is responsible for returning all Village-issued property to their supervisor prior to their last day of employment.

Employees shall normally receive their final paycheck including all accrued vacation and compensatory time on the payroll processed which includes the employee's last date of employment.

### **8.7 Exit Interviews**

Any time an employee separates employment with the Village the Department Head should attempt to coordinate an exit interview with the Department Head and Village Administrator. Exit interviews are voluntary on the part of the employee and participation in such does not affect the employee's final compensation, or benefit standing with the Village. Topics to address in the interview include job satisfaction, training, working conditions, compensation, work safety procedures and general suggestions on how to improve the delivery of services to the public served.

### **8.8 Reduction in Force**

If the Village Administrator determines it is necessary to reduce the overall workforce due to lack of work, lack of available funds, or for other reasons the Village may consider the skills, abilities and past work performance of employees in determining the continuing scope and composition of the workforce. Seniority will not have a direct bearing on who is or is not subject to a reduction in the workforce.

If the Village Administrator recommends a reduction in force such reduction shall be brought for Village Board consideration which may include a formal change in authorized staffing levels. Employees who are laid off will be given at least thirty (30) days' notice. Laid off employees, if qualified, will be given preference for open positions that become available within one (1) year of their separation from the Village.

### **8.9 Re-Employment**

Employees terminated for performance reasons or for cause, or employees who do not provide adequate notice of voluntary separation from the Village are not eligible for re-employment.

Employees who voluntarily separate their employment from the Village and leave in good standing are eligible for re-employment through the normal recruitment process. Depending on the length of time that has elapsed since the employee's last day of employment with the Village, the Village Administrator in their sole discretion may provide a returning employee accrual of benefits that is similar to the previous level.

## **CHAPTER 9 GENERAL RULES AND REGULATIONS**

### **9.1 Absence Reporting and Tardiness**

The Village relies on employee's prompt and regular attendance so that work requirements for the Village can be met. If an employee anticipate that they will be late or otherwise absent for the start of their shift the employee must promptly notify their supervisor within one (1) hour of their scheduled start time. Individual departments may set stricter notification requirements at their discretion. Absence without notice is cause for disciplinary action. Tardiness or early departure to or from an employee's assigned work shift is not allowed. Employees are responsible for ensuring that they arrive and be ready to work at the scheduled start time. Excessive tardiness impedes work performance and hurts employee morale. Employees who are tardy will be given a warning. Repeat instances of tardiness will result in a written warning and may be subject to further discipline.

### **9.2 Outside Employment**

Full-time employees of the Village who choose to engage in work outside of the Village must notify their Department Head in writing of the name of the employer, nature of the work to be performed, approximate days and times the work will be performed and any other pertinent information. Outside work is defined as any gainful employment other than the performance of official Village duties including but not limited to self-employment, working for another, employment in the management, operation or direction of a private business including any direct or indirect financial interest in any such business.

Outside work is permitted to the extent that it does not prevent employees from working the designated times and performing the required duties for the Village, devoting their primary interest to the performance of their work for the Village and does not create a conflict between the private interests of the employee and the employee's official responsibility. An employee shall not perform outside work which:

1. Is of such nature that it may be reasonably construed by the public to be an official act of the Village or department thereof.
2. Involves Village facilities, equipment, resources or supplies of any kind.
3. Involves the use of official information not available to the public.
4. Might encourage a belief by the general public that a conflict of interest may exist.
5. The outside work is such that the employee would be expected to do it as part of their regular duties.
6. The work involves management of a business or employment which is closely related to the official work of the employee.
7. The outside work would tend to influence the exercise of impartial judgment on any matter coming before the employee in the course of the employee's official duties.

All written notifications of outside work shall be forwarded to the Village Administrator whether approved or denied by the Department Head. Notifications shall be placed in the employees file.

The Village Administrator has the right to issue a written directive to the employee denying them the right to engage in outside employment in the event that the employee has failed to notify the Village or if the Village Administrator determines upon reasonable investigation that the work involved is work that the employee is prohibited from performing under any provisions of this section. If an employee engages in prohibited outside employment when it should have been known that such work was prohibited, or if the employee engages in outside work after receipt of a written denial from the Village that employee will be subject to discipline up to and including termination.

### **9.3 Political Activity**

The support or promotion of political activities or interests by Village employees during working hours or with Village resources is strictly prohibited. Employees are prohibited from using Village equipment or resources for political activity at any time whether during working hours or during non-working hours. Employees shall not be in any clothing or uniform that identifies the employee as an employee of the Village while engaging in political activities outside of non-working hours. Employees engaging in political activity shall not represent that such activity is on behalf of the Village or otherwise represent themselves as an agent of the Village.

No employee is required or expected to contribute money or volunteer personal time to any candidate or political party, or referendum supporters or opponents except on a purely voluntary basis.

### **9.4 Use of Village Vehicles and Equipment**

#### **General Use**

Village owned vehicles, equipment, tools, supplies and other apparatus are provided by the Village to enable employees to perform the duties and tasks required of them in a professional, efficient and effective manner. Unauthorized and/or private use of Village-owned property is prohibited. Violations of this section may result in disciplinary action, dismissal, legal action and/or criminal liability. Theft of Village property is cause for dismissal. Employees must promptly report any accident, breakdown or malfunction of equipment or systems. Carelessness or negligence in the handling of such items is not acceptable behavior and, following review, employees may be subject to disciplinary action.

#### **Village Vehicles**

In order to operate a Village vehicle an employee must possess the appropriate valid driver's license. In the event an employee's driver's license is suspended, revoked or any restrictions placed on it the employee must notify the Department Head within one (1) day or before operating any Village vehicles. Village vehicles may not be taken home unless authorized by the Department



Head or Village Administrator. Employees who are assigned a Village vehicle for transportation to and from work may be subject to taxes on the personal use of that vehicle based on current IRS standards. Any change in the personal or commuting use of a vehicle should be immediately reported to the Finance Department so any adjustments can be made. Incidental personal use of a Village vehicle should be kept to a minimum. Questions on the taxability and use should be directed to the Finance Department.

Pursuant to State law, smoking in village vehicles or related equipment is prohibited. When using Village vehicles employees must remember that they are representatives of the Village and their conduct in adhering to the rules of safety and courtesy on the road is a reflection of the entire organization. If any employee is involved in an accident while using a Village vehicle the incident should be appropriately reported to the employee's supervisor (after reporting the incident through 9-1-1 if necessary) and the Finance office.

#### Village Equipment

Village equipment shall not be used for personal use or other unauthorized purposes. This includes the prohibition of washing and any other maintenance work on personal vehicles within Village facilities. Employees shall not use any equipment, supplies, tools or other Village property in the course of secondary employment unless consented to by the Village Administrator.

### **9.5 Electronic Communications and Information Technology Policy**

Village employees are provided with several electronic communications and information technology tools which when used properly support the ability of employees to provide efficient and effective customer service, and which also provide almost instantaneous access to vast stores of information. The Village's investment in these tools has been substantial. Employees are encouraged to use these tools when carrying out their job responsibilities. Careless or inappropriate use of these tools can have dramatic consequences for the other users of the citizens, residents and the Village as a whole.

#### Hands-Free Driving

Pursuant to applicable State law, employees are prohibited from talking on a mobile phone while driving without the use of a hands-free device. Employees are prohibited while driving a Village vehicle from viewing or responding to text messages, accessing applications or any other activities involving a mobile phone that may cause the employee to become distracted while driving. Employees will be solely responsible for any traffic violations resulting from the use of a phone while driving.

#### Acceptable Use of Communication and Work Tools

Communication tools and all messages and information produced or carried by such tools are Village property. Communication tools as well as messages and information are subject to inspection by the Village at all times. These tools include but are not limited to phone, mobile phones, email systems, fax machines, servers, laptops, readers, desktop computers, software,

internet access facilities.

Communication tools are to be used to facilitate the business of the Village and assist with both internal and external communications with residents, employees, vendors, consultants, etc. These tools may be used for appropriate Village business uses such as research, updates of business information or news or approved projects. Occasional, personal use of these resources is permitted as long as it does not interfere with the performance of an employee's job, consume significant resources, interfere with the efficient and effective transaction of Village business, increase costs to the Village or interferes with the activities of other employees.

#### Unacceptable Use of Communication and Work Tools

The following activities are deemed unacceptable uses of the Village's communication and work tools:

- Sending chain emails or non-work-related emails with attachments not related to work
- Sending emails, accessing or attempting to access any content that is in violation of the Village's anti-harassment policies including any content that is harassing, embarrassing, sexually explicit, profane, pornographic, obscene, intimidating, defamatory or otherwise unlawful or inappropriate
- Spending excessive amounts of time on the internet not related to the employee's job
- Engaging in chat rooms, playing games, gambling, any illegal activity, searching or attempting to view inappropriate materials, pictures, video, music or video transfer
- Using Village-issued cell phones for excessive personal or non-work-related use

The Village understands that employees have the right to voice or post dissatisfaction with the Village or its management or supervision. However, the Village strongly encourages everyone to discuss any such dissatisfaction with management. **NOTHING CONTAINED IN THIS POLICY IS INTENDED TO RESTRICT AN EMPLOYEE'S RIGHTS AND REMEDIES UNDER AND PURSUANT TO THE NATIONAL LABOR RELATIONS ACT.**

Any user who encounters or receives inappropriate material should immediately delete the materials from the system and inform the sender, if known, that the material is a violation of Village policy. Users are responsible for reporting violations of this policy to their supervisor or Department Head.

#### Other Information Technology Policies

In order to maintain an effective, efficient and safe information technology network and related tools and devices the Village has established the following guidelines for all users to follow:

- No software may be installed or executed on a Village device without the approval of the Information Technology office (IT Office)
- All purchases of IT devices, software, networks and related equipment must be approved by the IT Office.
- Personal devices may not be connected to the Village network unless approved by the IT Office.

- Users may not encrypt or password-protect stored data on the Village's system without approval of their Department Head and the IT Office. If approved, information in order to decrypt or unprotect data must be made available to the Department Head and IT Office.
- Users are generally prohibited from storing audio, video and picture files or a personal nature on the Village's systems. Incidental file storage of this type is permissible upon approval of the IT Office.
- When conducting Village business users should use Village-issued devices and Village issued email or other official Village accounts and avoid the use of personal accounts where possible. Personal accounts are potentially subject to discovery if Village-related business is transacted through them.

The IT Office may from time-to-time issue information technology policies or directives. Users are responsible for following those policies or directives as they are issued from time-to-time.

#### Professional Representation of the Village

When using email, voicemail, social media or any other form of electronic communication employees should remember that these communications represent the Village and should be written or composed in a professional manner. Users should remember that all Village communications are subject to discovery and inappropriate use or unprofessional composition could damage the Village's reputation and/or possibly increase the Village's or personal liability.

### **9.6 Social Media Policy**

The intent of this policy is to promote the efficiency of the Village's public services performed by and through its employees. This policy is not intended to discourage Village employees from the private use of social media, nor is it intended to infringe on any self-expression, public debate or conversation or the exercise of rights conferred by the Illinois Public Labor Relations Act, the National Labor Relations Act or to inhibit employees' First Amendment rights to address matters of political, social, or community concern. In case of conflict between this policy and any collective bargaining agreement, the collective bargaining agreement shall take precedence.

Social media is a type of interactive online media that allows parties to communicate instantly with each other or to share data in a public forum. Examples of social media include but are not limited to: MySpace, Facebook, Twitter, LinkedIn, Google+, Snapchat, Tumblr, Instagram, WhatsApp, news media comment sharing and/or blogging.

#### Establishment of Guidelines

Village personnel shall be held responsible for the content they publish on social media websites or platforms.

Accordingly, Village employees must adhere to the following guidelines:

1. All employees are responsible to know and adhere to the Village's policies on use

of social media. Any failure of an employee to observe and follow, or any violation by an employee of any of the Village's social media policies, may result in disciplinary action, up to and including termination.

2. Village employees and public officials shall not use social media in any way that: (1) impairs discipline by supervisors or harmony among co-workers; (2) has a detrimental impact on close working relationships for which personal loyalty and confidence are necessary; or (3) impedes the performance of an employee's duties or interferes with the regular operations of the Village.

3. No Village employee shall establish a social media account on behalf of the Village, or apparently on behalf of the Village, except with the prior, written authorization of the Village Administrator.

4. No employee of the Village or public official shall post or display on any: (1) Village website or social media platform established, operated by or for the benefit of the Village; or (2) on any of their own personal social media account, profile or page, any of the following :

- A. Photographs or depictions of themselves dressed in uniform and/or displaying official Village identification, including patches, badges, or logos, or in which a Village employee or public official are operating in a public, State or official capacity, or engaged in any Village or public activity, or which are related to the duties or authorities of their public office or public position and which directly or indirectly depict or reflect said Village employee or public official in any negative, or disreputable light, way, manner or in any other negative connotation.
- B. Content that would otherwise be illegal of the laws of the United States or State of Illinois or content that solicits or encourages illegal activity.
- C. Content that promotes, fosters or perpetuates discrimination on the basis of race, religion, sex, color, creed, marital status, citizenship status, use of lawful products while not at work, being a victim of domestic or sexual violence, physical or mental disability, age, national origin, ancestry, sexual orientation, pregnancy, military status, unfavorable discharge from military service, genetic information, gender-related identity, expunged or sealed criminal history records, order of protection status, or lack of a permanent mailing address or using the mailing address of a shelter or social service provider, as well as any other protected classification pursuant to state or federal law.
- D. Engage in any prohibited political activity as defined in the State Officials

- and Employees Ethics Act.
  - E. Any other information that has previously been deemed confidential information (information not generally available to the public) of the Village.
5. Employees shall not express their personal opinions on Village social media sites, using Village resources, on Village time, or in a way that may appear to be speaking on behalf of the Village.
6. Employees shall take no actions that are in violation of others' First Amendment rights in respect to Village sponsored social media sites. When acting on behalf of the Village, in furtherance of the employees' official duties or otherwise in any Village capacity, employees shall be respectful of other person's legal right to express opinions, whether those opinions complement or contradict the employees' opinions, and employees shall always be polite and respectful in dealing with others.
7. All statements made on Village sponsored social media sites and/or made using Village resources may be subject to the Freedom of Information Act and the Local Records Act.
8. Employees shall never discuss anything to do with any pending legal matter or case involving the Village in any way, directly or indirectly, on a Village social media site or using Village resources without authorization from the Village Administrator.
9. Employee Social Media Account Privacy: the Village recognizes that employees may engage in and own personal social media accounts. No employee shall be requested or required by the Village to do the following:
- A. To provide a user name and password to a personal social media account;
  - B. To authenticate or access a personal social media account in the presence of a supervisor, a department head or the Administrator;
  - C. To invite the Village to join a group affiliated with the employee's personal social media account; or
  - D. To join a social media account established by the Village or provide access to the Village with the employee's social media account contact list.

An employee may not be disciplined and/or retaliated against for refusing to comply with any request outlined in Section 9.6 (9)(A-D).

NOTHING CONTAINED IN THIS POLICY IS INTENDED TO RESTRICT AN EMPLOYEE'S

## RIGHTS AND REMEDIES UNDER AND PURSUANT TO THE NATIONAL LABOR RELATIONS ACT.

### **9.7 Smoke Free Workplace**

Pursuant to the Smoke Free Illinois Act the Village is committed to providing a healthy, comfortable and productive environment for employees and the visiting public.

Smoking is not permitted within any enclosed Village facilities or vehicles. This policy applies to all employees, residents, vendors, contractors and visitors. Smoking is also prohibited within fifteen feet (15') of all entrances to Village facilities both public and employee-only.

Department Heads may designate areas on site where smoking is allowed.

### **9.8 Dress Code**

Employees are expected to be well groomed and dressed in a manner that is suitable to their responsibilities and position. An employee's appearance where appropriate must be business-like and reflect professional standards. Each Department Head will make the final determination on appropriate dress and standards suitable for their Department in keeping with the Village's commitment to presenting a professional appearance to the public and co-workers and in consultation with the Village Administrator. Upon approval of the Village Administrator, Department Heads may designate a "casual day" for a day of the week (typically a Friday or last day of workweek that the Village offices are open to the public). Casual clothing deserves the same attention to detail as traditional business-like clothing. Casual clothing should be neat and clean, with no tears or frays.

Employees are discouraged from wearing while working or representing the Village any clothing bearing the names or logos of other companies or vendors that have or could potentially have a business relationship with the Village. Clothing bearing the name or logo of associations that the employee belongs to by virtue of their employment with the Village are permissible subject to Department Head standards.

Periodically the Village will provide shirts, jackets or other similar items bearing the identification of the Village. The provision of these items will be subject to necessity and based on the amount in the annual budget.

### **9.9 Sworn Police Uniform Allowance**

The Village will provide a uniform allowance for sworn police personnel not covered by a collective bargaining agreement in the amount of \$850 per year. The allowance will be paid on the employee's first paycheck in June and will be treated as a taxable allowance per IRS rules.



## **9.10 Travel and Expenses for Business Purposes**

### **Travel and/or Expenses for Business-Related Purposes**

Generally, all business-related travel shall be done in the most economical manner as possible, taking into account the length of travel and reasonable steps necessary to make such travel economical. Travel for business-related purposes shall be approved ahead of time and include details on anticipated mileage, dates of travel and estimated expenses which are necessary for employee training, professional development or to carry out the public business, responsibilities or interests of the Village.

Employees attending training or other business related event may be required to return to work if the event length is less than the employee's regular shift. Employees must notify their supervisor if the event lasts less than their full shift or is less than originally planned in order to determine if the employee must return to work. Requests for travel approval and reimbursement shall be submitted to the Village by submitting a form approved by the Village Administrator to their Department Head and are subject to the following Maximum Allowable Expenses:

- Airfare – Employees are expected to obtain the lowest available airfare that reasonably meets business travel needs. Employees are encouraged to book flights at least thirty (30) days in advance to avoid premium airfare pricing. Only coach or economy tickets will be paid or reimbursed. The Employee will pay for the difference between higher priced tickets and coach or economy tickets with personal funds.
- Auto – If a Village-owned vehicle is not available for travel, the Village will reimburse an employee at the current IRS-approved standard mileage rate less normal mileage from the employee's residence to their regular work site.
- Rental Car – Employees shall obtain the lowest reasonable rate for a midsize, non-luxury model.
- Rail or Bus – Employees shall obtain lowest reasonable rate and cost shall not exceed airfare.
- Taxi, Shuttle, Rideshare, or Public Transportation – Actual reasonable rate.
- Meals and Incidentals (M&IE)

A. Employees attending training, conferences or Village-related business events lasting most of the regular work day are not eligible for a lunch meal reimbursement if a lunch meal is provided as part of the event. Exceptions may be approved by the Department Head. If an exception is granted by the Department Head, such reimbursement may not exceed the federal per diem rates for lunch meals as established from time-to-time in that particular location. At no time is alcohol considered an eligible expense for reimbursement.

B. Employees required to attend a conference, training or conduct other Village-related business that requires an overnight stay away from home previously

approved by the Department Head are eligible for meal reimbursements. The total amount per day that employees may be reimbursed or may charge expenses will be the total daily meals and incidental expenses (M&IE) rate based on the federal GSA rate in effect at that time, without limitations per meal. Employees authorized to carry a purchasing card may use their card for such meals in accordance with Village policies. Receipts are required for reimbursement if a village purchasing card was not used. Incidental expenses are eligible expenses within the M&IE rate. The allowable, total reimbursement for the first and last day of an event where travel to and from the event back to an employee's home is involved shall be 75% of the daily M&IE rate. Exceptions must be authorized by the Department Head and Finance Director. At no time is alcohol considered an eligible expense for reimbursement.

C. Employees who request and are approved to attend trainings, professional association meetings, council of government meetings, networking events or other similar events typically coordinated by outside associations or groups where a meal is provided, the cost of such event and meals provided are not subject to the per meal, per diem limits of this policy.

D. Unless limited or restricted elsewhere in the Policy or in another agreement, Department Heads may authorize meals to be provided to employees who are meeting to discuss or conduct Village-related business or other authorized purposes.

- Lodging – Employees will be reimbursed for a standard single-room at locations convenient to the business activity or at the group rate obtained by the event organizer. In the event of a change in plans or cancellation, employees shall promptly cancel reservations in order to eliminate or minimize any cancellation charges that may be incurred by the Village.
- Vacation and Business Travel - In the event the employee wishes to extend travel on business related purposes for personal reasons, the Village will pay or reimburse an employee only for the amounts specifically related to the business-related travel for the employee.
- Parking – Parking fees at event location will be reimbursed only with a receipt.

Reimbursement or expenses charged to an employee's purchasing card in excess of the above Maximum Allowable Expenses above will only be approved in an open meeting of the Village Board by a majority roll-call vote.

#### Limitations on Charges/Reimbursements

No employee shall be reimbursed or charge to a Village purchasing card for any entertainment expense, unless ancillary to the purpose of the program, event or other official business. For purposes of Section 9.10, "entertainment" includes, but is not limited to, shows, amusements,

theaters, circuses, sporting events, or any other place of public or private entertainment or amusement.

#### Non-Exempt Employee Travel Compensation

Non-exempt employees should keep in mind the following rules regarding compensation for work-related travel that occurs outside of the normal work day or shift:

- An employee driving directly from home to an off-site training, conference or other work-related activity shall be compensated for time travelled less normal home-to-work commuting time.
- An employee travelling as a passenger on an airplane, train, boat, bus, other public transportation or as a passenger in a private automobile is not compensated for time travelled if the travel occurs during non-regular shift hours (applicable to all days in the week) and work is not performed during the travel..
- An employee travelling on Village business involving an overnight stay away from home will be compensated for travel time (with the exception of driving) for travel time occurring during regular shift hours including regular days off.
- An employee travelling on Village business involving an overnight stay away from home will be compensated for all travel time spent driving a vehicle regardless of when the driving occurs.

#### **9.11 Workplace Inspection Policy**

The Village wishes to maintain a work environment that is free of illegal drugs, alcohol, unauthorized firearms, weapons, explosives, or other improper materials. To this end, the Village prohibits the possession, sale, transfer or use of such materials on its premises or in Village vehicles. The Village requires the cooperation of all employees in administering this policy.

Desks, lockers and other storage devices may be provided for an employee's convenience but remain the sole property of the Village. Accordingly, if the Village has reasonable suspicion to believe that a workplace inspection is warranted, these storage devices, as well as any articles found within them, may be inspected at any time, with or without prior notice. The inspection must be reasonable at its inception. Any search or inspection of desks, lockers and other storage devices must be approved by a Department Head or the Village Administrator and the search shall be conducted by at least two (2) supervisory personnel.

#### **9.12 Gifts and Gratuities**

No Village employee or official shall directly or indirectly solicit, accept, or receive any gift or consideration from any "prohibited source" in violation of any federal or state statute, rule or regulation. This includes the State Officials and Employee Ethics Act (Public Act 93-617) "the Act" and Village Ordinance No. 04-05-10-07 adopting the above Act. Per the Act, the ban also applies to and includes the spouse of and immediate family living with the covered employee or

official.

A “prohibited source” is defined as any person or entity, who:

1. Is seeking some sort of official action from the Village (i.e. monetary grant, any sort of license, zoning/planning approval or permit);
2. Does business or seeks to do business with the Village (i.e. contractor, vendor or bidder)
3. Conducts activities regulated by the Village (i.e. liquor licensee, business licensee, public utility or franchisee)
4. Has interest that may be substantially affected by the performance or non-performance of the official duties of the officer or employee.

A “gift” means any money, gratuity, tickets, entertainment or travel, hospitality, food or drink, loan, forbearance, clothes, or discounts not generally available to the public or all public employees, or other tangible or intangible items

Exceptions to the Act Provided for in Statute, each of which are mutually exclusive and independent of one another:

1. Opportunities, benefits, and services that are available on the same conditions as for the general public.
2. Anything for which the Village employee or official, or spouse or immediate family member living with the employee or official, pays the fair market value
3. Lawful election contributions or fundraising activities for a candidate or political organization.
4. Educational materials and missions.
5. Travel expenses to meetings to discuss municipal business.
6. Gifts from relatives as defined in the Act
7. Gifts from friends, if it meets the statutory test.
8. Food or refreshments not exceeding seventy-five dollars (\$75) food per person in value on a single calendar day; provided that the food or drink refreshments are consumed on the premises to which they are delivered or from which they were purchased, prepared or catered. *Food items brought to the Village that can be shared with coworkers are acceptable.*
9. Benefits truly resulting from outside business or employment activities if the benefits have not been offered or enhanced due to the employee or official’s role with the Village.
10. Intra and intergovernmental gifts.
11. Bequests, inheritances and other transfers at death.
12. Any item or items from one prohibited source during any calendar year having a cumulative total value of less than one-hundred dollars (\$100).

Employees should also be aware of the following Village rules when considering the appropriateness of a gift offered to or already received by the employee:

1. Gifts or gratuities shall not be accepted if the perceived value is beyond that which suggests more than a social context.
2. Promotional or advertising items of nominal value, including, but not limited to key chains, pens, coffee mugs and calendars are acceptable.
3. Association with current or potential vendors during business meals or business organization meetings is not prohibited, nor is it unethical as long as the employee keeps him/herself free of obligation. Should the current or potential vendor pay for or sponsor the business meal, the amount cannot exceed the limits defined in the State Officials and Employees Ethics Act.
4. Gifts that can be shared such as food are acceptable and shall be shared among co-workers.
5. Cash, gift cards or gift certificates/vouchers are not acceptable. Should an employee receive cash, gift cards or gift certificates/vouchers from a current or potential vendor, the employee shall return the gift politely citing the Village's gift acceptance policy.
6. Personal loans of money or equipment for any employee's personal use are not to be accepted from a vendor conducting or seeking business with the Village.
7. Corporate discounts granted to the Village are acceptable only if they are offered to all Village employees and/or other similar corporate or and governmental clients of the vendor.
8. Local charity/community group gifts – employees may accept gifts from local charity/community groups or similar groups of that nature if the gift is deemed to stem from a personal friendship with the group's members or similar gifts have been given to other members of the local charity/community

If an employee or other individual covered by this policy is given a gift in violation of the Act the gift must be either given back or the gift or cash equivalent must be given to a Section 501 (c) 3 organization.

In addition, confidential information must not be used for the financial advantage of an employee, or an employee's family or friends.

### **9.13 Conflict of Interest**

All Village employees must be alert to avoid any relationship or activity that might be interpreted as a conflict of interest. The Village has and desires to maintain an excellent reputation for integrity and ethics among its employees. Employees are responsible for notifying their Department Head if a potential conflict of interest might exist.

### **9.14 Employee Identification Cards**

All employees who are required to show identification to citizens and the general public in the course of performing their duties are furnished with identification cards. The Department Head is responsible for collecting and destroying an employee's identification card upon termination or

separation of employment with the Village.

### **9.15 Personnel Records**

The Village Administrator shall administer or cause to be administered through his designee personnel files and records. Medical records, if any, will be kept in a separate confidential file.



## **CHAPTER 10 OTHER POLICIES AND INFORMATION**

### **10.1 Employee Safety Program**

#### Objective

The objective of the Village is to prevent injury to employees, prevent damage to property, and prevent lost time accidents, which reduce employees' productivity. The end result of these objectives will contribute directly to better employee relations, greater productivity, and monetary savings.

#### Employee Injury and Accident

Employees should report all accidents and injuries on duty immediately to his/her Department Head regardless of severity and regardless of they are the ones involved in the incident or if they have observed an incident. Employee should refer to the workers 'compensation section of this manual for information on reporting and processing workers 'compensation incidents.

#### Safety Responsibilities

Department Heads are responsible for the safe operation of his/her respective department. Although employee exposure to safety hazards varies widely among the various Village departments, the Department Head and employees are responsible for providing a clean, safe and healthy work environment. Other responsibilities of Department Heads include:

- Timely report all accidents to the Village's designated risk management coordinator to ensure appropriate coverage and insurance related steps are being taken.
- Personally review all accidents to ensure that the cause of the accident is being investigated and proper corrective action is being taken.
- When new operations, tools, equipment or materials are introduced within the department, the Department Head shall see that all safety precautions will be followed for their safe use.
- Arrange for periodic safety inspections in coordination with the risk management representative and follow up on all suggestions made by that representative.
- Disciplining employees who fail to follow safe work policies and procedures.
- Identify training opportunities either through the Village's risk management program or otherwise that will enhance employee awareness about safe work environments.
- Regularly train all employees on the safe use of equipment, tools, vehicles and other work practices.
- Ensure that all equipment, tools, vehicles, protective devices and other items are properly maintained, utilized and tested.

Employees of the Village are the key to ensuring that services can be provided in not only an efficient and effective manner but in a manner that ensure the safety and well-being of employees, residents, contractors, visitors, etc. Employees are responsible to:

- Follow Village and Departmental policies and procedures regarding safety
- Report all accidents, injuries, damage to property, equipment or third-party property or equipment immediately to the employee's supervisor
- Keep work areas clean and orderly at all times and where required protective equipment
- Only operate equipment for which proper training has been provided and authorization to use been provided
- Promptly report to the supervisor any unsafe working conditions, unsafe work practices exhibited by other employees, potential violations of OSHA policies or procedures or violations of departmental safety policies and procedures

#### Employee Safety Committee

The Village may establish an employee safety committee whose membership will be determined by the Village Administrator and coordinator of the risk management activities of the Village. The purpose of the Committee will be to review actual claim history, review areas of concern brought to the attention of management regarding employee safety, suggest ways to incentivize safe working habits and actions for all employees, and discuss other related matters as appropriate.

### **10.2 Litigation Involving Village Employees**

Any employee of the Village who receives a summons, notice or complaint alleging any claim or cause of action arising as a result of the performance of official duties as an employee of the Village shall immediately notify their supervisor and Department Head who will forward said notice to the Village Administrator and Finance Director.

The documentation will then be sent to the Village's insurance carrier who will determine if the carrier will undertake the defense of the employee and provide coverage for any damages resulting from the claim or cause of action under the terms of the Village's policy. If the Village's carrier determines that the alleged claim or cause of action does not result in a circumstance included in the Village's coverage then the Village Administrator shall determine with the consultation of the Village attorney whether the claim or cause of action did in fact arise as the result of the legitimate and reasonable performance of official duties. If determined in the affirmative and with the consent of the employee the Village shall undertake the defense of said claim or cause of action at Village expense, and in the event that a judgment is entered against said employee in the cause of action the Village shall indemnify the employee from any portion of the judgment not satisfied by the Village's insurance carrier.

### **10.3 Freedom of Information Act (FOIA) Policy**

The Village of North Aurora FOIA officers shall inform employees or elected officials when a FOIA request is received which requests personal information about such employee or official, along with the date the request was received and who the request is from.

#### **10.4 Identity Protection Policy**

The Village of North Aurora adopts this Identity-Protection Policy pursuant to the Identity Protection Act. 5 ILCS 179/1 *et seq.* The Identity Protection Act requires each local and State government agency to draft, approve, and implement an Identity-Protection Policy to ensure the confidentiality and integrity of Social Security numbers agencies collect, maintain, and use. It is important to safeguard Social Security numbers (SSNs) against unauthorized access because SSNs can be used to facilitate identity theft. One way to better protect SSNs is to limit the widespread dissemination of those numbers. The Identity Protection Act was passed in part to require local and State government agencies to assess their personal information collection practices, and make necessary changes to those practices to ensure confidentiality.

##### **SECTION 1: Social Security Number Protections Pursuant to Law**

Whenever an individual is asked to provide their SSN, the VILLAGE shall provide that individual with a statement of the purpose or purposes for which the VILLAGE is collecting and using the SSN. The VILLAGE shall also provide the statement of purpose upon request. That Statement of Purpose is attached to this Policy.

##### **SECTION 2: Prohibited Activities:**

- A) The VILLAGE shall not:
- 1) Publicly post or publicly display in any manner an individual's SSN. "Publicly post" or "publicly display" means to intentionally communicate or otherwise intentionally make available to the general public.
  - 2) Print an individual's SSN on any card required for the individual to access products or services provided by the person or entity.
  - 3) Require an individual to transmit a SSN over the Internet, unless the connection is secure or the SSN is encrypted.
  - 4) Print an individual's SSN on any materials that are mailed to the individual, through the U.S. Postal Service, any private mail service, electronic mail, or any similar method of delivery, unless State or federal law requires the SSN to be on the document to be mailed. SSNs may be included in applications and forms sent by mail, including, but not limited to, any material mailed in connection with the administration of the Unemployment Insurance Act, any material mailed in connection with any tax administered by the Department of Revenue, and documents sent as part of an application or enrollment process or to establish, amend, or terminate an account, contract, or policy or to confirm the accuracy of the Social Security number. A SSN that is permissibly mailed will not be printed, in whole or in part, on a postcard or other mailer that does not require an envelope or be visible on an envelope without the envelope having been opened.

- B) In addition, the VILLAGE shall not:
- 1) Collect, use, or disclose a SSN from an individual, unless:
    - i. Required to do so under State or federal law, rules, or regulations, or the collection, use or disclosure of the Social Security number is otherwise necessary for the performance of the VILLAGE's duties and responsibilities.
    - ii. the need and purpose for the SSN is documented before collection of the SSN;  
and
    - iii. the SSN collected is relevant to the documented need and purpose.
  - 2) Require an individual to use his or her SSN to access an Internet website.
  - 3) Use the SSN for any purpose other than the purpose for which it was collected.
- C) The prohibitions in Section B above do not apply in the following circumstances:
- (1) The disclosure of SSNs to agents, employees, contractors, or subcontractors of a governmental entity or disclosure by a governmental entity to another governmental entity or its agents, employees, contractors, or subcontractors if disclosure is necessary in order for the entity to perform its duties and responsibilities; and, if disclosing to a contractor or subcontractor, prior to such disclosure, the governmental entity must first receive from the contractor or subcontractor a copy of the contractor's or subcontractor's policy that sets forth how the requirements imposed under this Act on a governmental entity to protect an individual's SSN will be achieved.
  - (2) The disclosure of SSNs pursuant to a court order, warrant, or subpoena.
  - (3) The collection, use, or disclosure of SSNs in order to ensure the safety of: VILLAGE employees, persons committed to correctional facilities, local jails, and other law-enforcement facilities or retention centers; wards of the State; and all persons working in or visiting a VILLAGE facility.
  - (4) The collection, use, or disclosure of SSNs for internal verification or administrative purposes.
  - (5) The disclosure of SSNs by a State agency to any entity for the collection of delinquent child support or of any State debt or to a governmental agency to assist with an investigation or the prevention of fraud.
  - (6) The collection or use of SSNs to investigate or prevent fraud, to conduct background checks, to collect a debt, to obtain a credit report from a consumer reporting agency under the federal Fair Credit Reporting Act, to undertake any permissible purpose that is enumerated under the federal Gramm Leach Bliley Act, or to locate a missing

person, a lost relative, or a person who is due a benefit, such as a pension benefit or an unclaimed property benefit.

D) Any standards, laws rules or regulations from the VILLAGE, State or federal government or agencies, for the collection, use, or disclosure of SSNs that are stricter than the standards under this policy with respect to the protection of those SSNs, then, in the event of any conflict with the provisions of this policy, the stricter standards shall control.

### SECTION 3: Requirement to Redact Social Security Numbers

The VILLAGE shall comply with the provisions of any other State law with respect to allowing the public inspection and copying of information or documents containing all or any portion of an individual's SSN. The VILLAGE shall redact SSNs from the information or documents before allowing the public inspection or copying of the information or documents.

When collecting SSNs, the VILLAGE shall request each SSN in a manner that makes the SSN easily redacted if required to be released as part of a public records request. "Redact" means to alter or truncate data so that no more than five sequential digits of a SSN are accessible as part of personal information.

### SECTION 4: Employee Access to Social Security Numbers

Only employees who are required to use or handle information or documents that contain SSNs will have access. All employees who have access to SSNs are trained to protect the confidentiality of SSNs.

### SECTION 5: Applicability

This policy does not apply to:

- 1) the collection, use, or disclosure of a SSN as required by State or federal law, rule, or regulation.
- 2) documents that are required to be open to the public under any State or federal law, rule, or regulation, applicable case law, Supreme Court Rule, or the Constitution of the State of Illinois.

### SECTION 6: Embedded Social Security Numbers

Beginning immediately, no officer or employee of the VILLAGE may encode or embed a SSN in or on a card or document, including, but not limited to, using a bar code, chip, magnetic strip, RFID technology, or other technology, in place of removing the SSN as required by this policy.

### SECTION 7: Identity-Protection Requirements

A) All officers, employees and agents of the VILLAGE identified as having access to SSNs in the course of performing their duties are to be trained to protect the confidentiality of SSNs. Training shall include instructions on the proper handling of information that contains social security numbers from the time of collection through the destruction of the information.

- B) Only employees who are required to use or handle information or documents that contain SSNs shall have access to such information or documents.
- C) SSNs requested from an individual shall be provided in a manner that makes the SSN easily redacted if required to be released as part of a public records request.
- D) When collecting a SSN or upon request by the individual, a statement of the purpose or purposes for which the VILLAGE is collecting and using the SSN shall be provided.
- E) A written copy of this privacy policy, and any amendment thereto, shall be filed with the Village Board within 30 days after approval of this policy or any amendment thereto.
- F) The VILLAGE shall advise its employees of the existence of the policy and make a copy of the policy available to each employee, and shall also make this privacy policy available to any member of the public, upon request. If the VILLAGE amends this privacy policy, then the VILLAGE shall also advise its employees of the existence of the amended policy and make a copy of the amended policy available to each employee.

#### SECTION 8: Violation

Any person who intentionally violates the prohibitions in Section 10 of the Identity Protection Act [Section 2 of this policy] is guilty of a Class B misdemeanor.

### **10.5 Bereavement Contributions Policy**

In the event of a death of an employee or elected/appointed official's immediate family member, the Village will purchase flowers or make a donation in the memory of the deceased. The value of the donation should typically not exceed one hundred dollars (\$100). For this policy immediate family is defined as spouse, mother, father, brother, sister, grandparent, grandchild, mother-in-law and father-in-law. This also includes "step" relationships.

In the event the bereaved family requests that donations to a charity be sent in lieu of flowers the Village may consider alternate forms of bereavement acknowledgement upon approval by the Village Administrator.

### **10.6 Solicitation and Distribution of Literature**

Employees shall not solicit other employees for charitable fundraising or selling of items for fundraising during working hours. Bulletin boards, emails and other means of communicating with employees shall not be used for notification, solicitation or displaying of non-work-related items.



### **10.7 Service Recognition**

In order to acknowledge a long-term employee who has provided many years of service to the Village and is retiring or otherwise moving on to another job or career, the Village will contribute towards a luncheon or other event on Village grounds where all employees and other appropriate individuals (vendors, contractors, and former employees) may attend along with the employee's family.

The following guidelines shall be followed in establishing a contribution policy by the Village:

- Employee with 10 or more years of service the Village will provide food and beverages. Employee with 10 or more years of service will also be provided a recognition gift generally no more than \$150.

Costs over and above or other acknowledgement gifts shall be paid for or shared by employees unless otherwise approved by the Village Administrator.

VILLAGE OF NORTH AURORA

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING TITLE 2, CHAPTER 2.12**  
**OF THE NORTH AURORA VILLAGE CODE**  
**REGARDING VILLAGE ADMINISTRATOR DUTIES**

**WHEREAS**, the Human Resources Manual is being updated, and Title 2, Chapter 2.12 of the North Aurora Code relating to Village Administrator duties should be amended in keeping with the Human Resources Manual.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of North Aurora, Kane County, Illinois, as follows:

#

1. The recitals set forth above are adopted and incorporated herein as the material and significant findings of the President and the Board of Trustees as if fully stated herein.

2. Section 2.12.060 of Chapter 2.12 (Village Administrator) of Title 2 (Administration and Personnel) is hereby amended in its entirety as follows:

**2.12.060 - Powers and duties of village administrator for fiscal matters.**

A. The village administrator shall submit to the corporate authorities an estimate of the money necessary to pay the expenses of the village during the next fiscal year, classification and detail of the purposes of such expenditures, the aggregate income of the preceding fiscal year and estimate of the income for the coming fiscal year, summary of the village's liabilities and such other information as is necessary and appropriate to assist the village board in adoption of the budget ordinance. The administrator shall schedule the first budget discussion by the corporate authorities ~~on the second regular committee of the whole meeting in April~~ **in accordance with the annual budget process calendar**. The administrator shall provide sound and responsible revenue and expense projections within the current budget year as well as subsequent periods as necessary to support financial ratios and capital plans.

~~H. The village administrator shall coordinate with and manage the scheduling, prioritization and funding of the services of the various outside consultants of the village and advise the corporate authorities of the status of work being done by outside consultants on a monthly basis.~~

3. Section 2.12.070 of Chapter 2.12 (Village Administrator) of Title 2 (Administration and Personnel) is hereby amended in its entirety as follows:

**2.12.070 - Powers and duties of the village administrator for internal administration of the village.**

A. The village administrator shall **be responsible for the selection and hiring of employees in accordance with the policies and procedures in the Village's Human Resources Manual** ~~follow the policies and procedures for hiring employees and recommend to the~~

## VILLAGE OF NORTH AURORA

~~president and village board of trustees, with consultation with and advice from the department heads, the selection of all employees to be hired.~~ The administrator shall follow and enforce the policies and procedures for disciplining and discharging employees as set forth in the village personnel manual as it currently exists or as it may be changed from time to time. Notwithstanding the previous provisions to the contrary, the village administrator shall not interfere with or usurp the powers and duties of the police commission. All recommendations for employment shall be based upon merit, and all disciplinary actions and/or recommendations for termination shall be based upon relevant and material facts and documented evidence. All actions by the administrator in regard to the hiring and termination of employees shall be based upon the qualifications and/or disqualifications of prospective and current employees without regard to political belief or affiliation.

4. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance, or any part thereof. The Village Board of Trustees hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof irrespective of the fact that anyone or more sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional, invalid or ineffective.

5. This Ordinance shall take immediate full force and effect from and after its passage, approval, publication and such other acts as required by law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Jason Christiansen \_\_\_\_\_

Laura Curtis \_\_\_\_\_

Mark Guethle \_\_\_\_\_

Michael Lowery \_\_\_\_\_

Todd Niedzwiedz \_\_\_\_\_

Carolyn Bird Salazar \_\_\_\_\_

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

**VILLAGE OF NORTH AURORA**

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Mark Gaffino, Village President

ATTEST:

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Village Clerk

# Village of North Aurora

## Memorandum



**To:** President and Village Board of Trustees

**From:** Jason Paprocki, Finance Director

**CC:** Steven Bosco, Village Administrator

**Date:** August 21, 2023

**RE:** FY 2022-23 Budget Amendment #4

The Village's policy for amending the budget requires approval by the Village Board for budget transfers between departments in the General Fund and any increase in the total budget of a fund. Staff is close to finalizing the closing journal entries for fiscal year 2022-23 and has prepared a budget amendment for the following funds and accounts:

### **General Fund – Budget Transfers Between Departments**

Police Commission, Police Commission Meeting Per Diem (01-439-4015) – This budget is increased \$325, to a total budget of \$3,000. This relates to additional meetings needed for hiring.

Police Commission, Recruit Testing (01-439-4380) – This budget is increased \$3,175, to a total budget of \$8,175. This relates to additional more new recruit testing and assessments than planned.

Community Development, Engineering (01-441-4255) – This budget is increased \$22,190, to a total budget of \$68,570. This relates to additional engineering services required for single family home development. This is offset by higher building permit revenue than budgeted.

Community Development, Inspection Services (01-441-4276) – This budget is increased \$108,090, to a total budget of \$223,090. This relates to an increase in contracted building inspections used, primarily for larger commercial developments. This is offset by higher building permit revenue than budgeted.

Non-Departmental, Fireworks (01-490-4758) – This budget is increased \$9,085, to a total budget of \$47,550. This relates to the recognition of a prior year prepaid expense in the current year.

Non-Departmental, Sales Tax Rebates (01-490-4781) – This budget is increased \$51,115, to a total budget of \$246,115. This relates to more rebates paid than expected as a result of stronger than projected sales tax revenue. This is offset by higher sales tax revenue than budgeted.

The General Fund budget transfers noted above are being transferred from various Police and Public Works accounts as noted in Exhibit A. Although individual accounts are being increased, the General Fund total budget remains unchanged as accounts within the Police and Public Works departments are being decreased to offset the budget increases.

#### **General Fund – Transfer to Capital Projects**

The fiscal year 2022-23 budget included a transfer of \$600,000 from the General Fund to Capital Projects Fund. Due to the positive operating results of the General Fund, staff is recommending an additional \$2,400,000 transfer to the Capital Projects Fund. This would bring the total transfer to Capital Projects to \$3,000,000 for FY 22-23.

Consistent with prior years, surplus revenues have been transferred from the General Fund to the Capital Projects Fund to help fund future road, facility, and other infrastructure projects. After the total \$3,000,000 transfer, the General Fund fund balance reserve is anticipated to be 62% of the fiscal year 23-24 operating budget (less capital transfers). The Village's policy is to maintain a 40-50% fund balance reserve in the General Fund.

#### **Motor Fuel Tax Fund – Budget Amendment**

Public Works, Streets & Alleys Repair (10-445-4540) – This budget is increased \$45,760, to a total budget of \$148,995. This relates to crack sealing and pavement markings coming in higher than anticipated.

#### **Liability Insurance Fund – Budget Amendment**

Admin/Finance, Liability Coverage (14-430-4944) – This budget was increased \$2,350, to a total budget of \$332,070. This relates to a higher annual policy increase than estimated.

#### **Sanitary Sewer Fund – Budget Amendment**

Public Works, Equipment/IT Maintenance (18-445-4510) – This budget was increased \$1,055, to a total budget of \$6,055. This relates to parts purchased for sewer vactor truck parts.

Public Works, Vehicle Repair and Maintenance (18-445-4511) – This budget was increased \$49,690, to a total budget of \$49,690 (previously an unbudgeted account). This relates to sewer vactor truck repairs.

Public Works, Sewers Repair and Maintenance (18-445-4570) – This budget was increased \$4,140, to a total budget of \$149,745. This relates to more sanitary sewer cleaning than planned.

#### **Police Pension Fund – Budget Amendment**

Admin/Finance, Service Pensions (80-430-4711) – This budget was increased \$45,980, to a total of \$1,013,275. This relates to additional retirements during the year.



Admin/Finance, Disability Pensions (80-430-4715) – This budget was increased \$41,595, to a total of \$164,815. This relates to additional disability pensions awarded during the year.

VILLAGE OF NORTH AURORA

Ordinance No. \_\_\_\_\_  
An Ordinance Approving the 4<sup>th</sup> Budget Amendment for Fiscal Year 2022-23

**WHEREAS**, the Village of North Aurora has adopted the Budget Act, and approved a Budget for the 2022-23 Budget Year (hereinafter “budget year”); and

**WHEREAS**, the corporate authorities of the Village have the authority to revise the budget without notice as long as the revisions do not increase the total budget of the Village beyond the funds that are available.

**NOW, THEREFORE, BE IT RESOLVED** by the President and the Board of Trustees of the Village of North Aurora, Kane County, Illinois, as follows:

1. The recitals set forth above are adopted and incorporated herein as the material and significant findings of the President and the Board of Trustees as if fully stated herein.
2. The budget amendment summarized in the document attached hereto and incorporated herein as Exhibit “A” are hereby approved by the corporate authorities.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023 A.D.

Jason Christiansen \_\_\_\_\_

Laura Curtis \_\_\_\_\_

Mark Guethle \_\_\_\_\_

Michael Lowery \_\_\_\_\_

Todd Niedzwiedz \_\_\_\_\_

Carolyn Bird Salazar \_\_\_\_\_

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2023 A.D.

\_\_\_\_\_  
Mark Gaffino, Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

**Village of North Aurora**  
**FY 2022-23**  
**Exhibit "A"**  
**Budget Amendment #4**

<u>Fund</u>	<u>Division</u>	<u>Account</u>	<u>Account Number</u>	<u>Current Budget</u>	<u>Increase/ (Decrease)</u>	<u>Revised Budget</u>
General	Police Commission	Police Commissions Mtg-per Diem	01.439.4015	\$ 2,675	\$ 325	\$ 3,000
General	Police Commission	Recruit Testing	01.439.4380	5,000	3,175	8,175
General	Community Development	Engineering	01.441.4255	46,380	22,190	68,570
General	Community Development	Inspection Services	01.441.4276	115,000	108,090	223,090
General	Non-Departmental	Fireworks	01.490.4758	38,465	9,085	47,550
General	Non-Departmental	Sales Tax Rebates	01.490.4781	195,000	51,115	246,115
General	Police	Dispatch Services	01.440.4653	214,920	(84,640)	130,280
General	Public Works	Salaries - Full Time	01.445.4020	1,130,087	(67,625)	1,062,462
General	Public Works	Sidewalks Rpr & Mtce	01.445.4543	28,000	(26,380)	1,620
General	Public Works	Storm Drain Maintenance	01.445.4544	41,000	(15,335)	25,665
General	Transfers	Transfer To Capital Projects	01.495.4970	600,000	2,400,000	3,000,000
				<b><u>\$ 2,400,000</u></b>		
Motor Fuel Tax	Public Works	Streets & Alleys Rpr	10.445.4540	\$ 103,235	\$ 45,760	\$ 148,995
				<b><u>\$ 45,760</u></b>		
Liability Insurance	Admin/Finance	Liability Coverage	14.430.4944	\$ 329,720	\$ 2,350	\$ 332,070
				<b><u>\$ 2,350</u></b>		
Sanitary Sewer	Public Works	Equipment/IT Maint	18.445.4510	\$ 5,000	\$ 1,055	\$ 6,055
Sanitary Sewer	Public Works	Vehicle Repair and Maint	18.445.4511	-	49,690	49,690
Sanitary Sewer	Public Works	Sewers Rpr & Mtce	18.445.4570	145,605	4,140	149,745
				<b><u>\$ 54,885</u></b>		
Police Pension	Admin/Finance	Service Pensions	80.430.4711	\$ 967,295	\$ 45,980	\$ 1,013,275
Police Pension	Admin/Finance	Disability Pensions	80.430.4715	123,220	41,595	164,815
				<b><u>\$ 87,575</u></b>		
				<b>TOTAL</b>	<b><u>\$ 2,590,570</u></b>	