



**PLAN COMMISSION AGENDA  
VILLAGE HALL BOARD ROOM  
25 E. STATE STREET  
TUESDAY, AUGUST 1, 2023  
7:00 PM**

**ROLL CALL**

**APPROVAL OF MINUTES**

1. Approval of Plan Commission Minutes dated June 6, 2023

**PUBLIC HEARING**

1. **Petition #23-03:** The petitioner, North Aurora Fire Protection District, requests the following actions for the properties generally located at the corner of Oak Street and Lincolnway (IL 31), in North Aurora, Illinois:
  - a) Map Amendment to establish the B-3, Central Business Zoning District
  - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
  - c) Preliminary Final Plat of Subdivision
  - d) Site Plan Approval

**NEW BUSINESS**

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  - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
  - c) Preliminary Final Plat of Subdivision
  - d) Site Plan Approval

**OLD BUSINESS**

**PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES**

**ADJOURNMENT**

**VILLAGE OF NORTH AURORA  
PLAN COMMISSION MEETING MINUTES  
JUNE 6, 2023**

**CALL TO ORDER**

Chairman Mike Brackett called the meeting to order.

**ROLL CALL**

**In attendance:** Chairman Mike Brackett, Commissioners Doug Botkin, Mark Bozik, Tom Lenkart, Alex Negro, and Richard Newell

**Not in attendance:** Commissioners Aaron Anderson, Scott Branson, and Anna Tuohy

**Staff in attendance:** Village Administrator Steve Bosco and Planner David Hansen

**Also in attendance:** Village Attorney Ed Boula

**APPROVAL OF MINUTES**

**1. Approval of Plan Commission Minutes dated March 7, 2023**

Motion for approval was made by Commissioner Botkin and seconded by Commissioner Lenkart. All in favor. **Motion approved.**

**PUBLIC HEARING**

Chairman Mike Brackett opened the public hearing.

1. **Petition #23-02:** The petitioner, West Aurora School District, requests a Special Use to allow an Educational Facility, Vocational School on the property located at 202 Genesis Drive in North Aurora, Illinois.

Planner David Hansen introduced Petition 23-02. Hansen stated the West Aurora School District 129 is proposing to move their existing automotive programming vocational school from Mooseheart to the subject property located at 202-208 Genesis Drive formally known as Lot 7 in the Orchard Commerce Subdivision Planned Unit Development (PUD). The property is currently improved with an auto repair shop and three separate office tenant spaces. District 129 would utilize the entire building for the vocational automotive training center. An Educational facility, Vocational School is classified as a special use in the B-2 District. Staff brought the proposed use to the May 15, 2023, Committee of the Whole meeting and the Board viewed it favorably. Hansen added that since the site is already built out, parking was one of the zoning aspects staff reviewed in greater detail. Hansen mentioned an Educational Facility, Vocational School use requires 1 off-street parking space per 10 students (based on maximum enrollment) + 2 spaces per classroom. Based off the anticipated number of students and staff on site a total of 13 parking spaces would be required. The site is currently improved with 48 parking spaces.

The petitioner Jeff Craig, Superintendent of West Aurora School District 129, gave an overview of the District's automotive program along with the proposed site plan. Craig shared the District would utilize the entire building, which is approximately 10,000 square feet. The northern portion of the building, the former Merlin auto repair shop, includes about eight bays and six lifts. The District is looking to move their Autos 1 and Auto 2 curriculums from Mooseheart to this facility. The three remaining office spaces would be utilized for small engine labs, electronic labs, and different vehicles parts where students can learn about them without needing to have the entire car present. Craig said the Autos classes have outgrown its current space due to the program growing from 12 to 83 students over the past three years. The initial plan is to bring students to the site for classes starting August 16, 2023. Students would begin utilizing the bay space and the office spaces for smaller engines labs.

Craig added the District's short-term plan would be to add electronics labs and other auto related labs in the office spaces. The long-term plan is still under consideration but may bring HVAC and fire science related classes to the site as well, but would be a few years down the road. Craig mentioned District 129 would take care of this facility as it does with all of its other facilities and the District would store majority, if not all, cars used for classes indoors. If there are any vehicles stored outside, they would be screened appropriately and designated to a specific area on site. Ultimately the District wants to be good neighbors and keep the site maintained and pleasant.

Chairman Brackett asked if the District anticipates the growth for the classes to continue on its current trajectory. Craig said it probably won't be at this growth rate, but we do have a 164-student capacity for classes based off our number of instructors available, so this site will be vital for us. Craig shared the District's welding program has also grown substantially over the past few years as well. Craig added the proposed location is very close to car dealerships/Automall, which is appealing for the students and the dealerships since dealerships are always looking for certified techs and other workers for their industry. Chairman Brackett also asked about any exterior changes for the building or site. Craig shared signage and painting the site in the school districts colors, typically blue, are options they are considering, but would work with the Village to ensure the façade standards are met for painting and signage. Craig also added the southern portion of the lot could be fenced to some capacity in the future to block viewing of any outdoor storage of vehicles but would work with the Village on such location and permits. The District also plans to fix some gates and signage currently on site to make the building look more appealing.

Chairman Mike Brackett closed the public hearing.

### **NEW BUSINESS**

1. **Petition #23-02:** The petitioner, West Aurora School District, requests a Special Use to allow an Educational Facility, Vocational School on the property located at 202 Genesis Drive in North Aurora, Illinois.

Commissioner Botkin mentioned the use is a fantastic use of the site and asked about the parking requirements for the use. Hansen mentioned the Zoning Ordinance requires 13 parking spaces on site and there are 48 parking spaces currently on site. Hansen also said the District has emphasized it will bus a majority of its students to the site. Commissioner Bozik and Negro had no questions. Commissioner Lenkart asked if signage would be through a permit process the Village controls

and how painting of an exterior of a building is regulated. Hansen mentioned the sign permit process is regulated by the Village's Sign Ordinance; however, there is no permit for painting and the Zoning Ordinance may not have specific standards pertaining to exterior facades. Chairman Brackett asked staff to make a note regarding exterior elevations and look into if there are any architectural review processes part of the zoning code that the Plan Commission can utilize in the future.

Chairman Brackett summarized the special use process and key findings staff proved the Plan Commission in the Plan Commission packet.

Motion for approval of a Special Use to allow an Educational Facility, Vocational School, requested by the West Aurora School District, subject to the architectural review by staff was made by Commissioner Bozik and seconded by Commissioner Lenkart. Vote: Bozik – Yes, Botkin – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

2. **SPA #23-02 (First Resubdivision Lot 1 of First Resubdivision of Lot 16 North Aurora Towne Centre Lot 2 (PIN: 15-06-401-006))**: The petitioner, River Front Ram, requests Site Plan Approval in the Towne Center Planned Unit Development B-2 General Business District.

Hansen introduced SPA #23-02, which is located directly east of 1891 Orchard Gateway Boulevard (Sherwin-Williams). The site consists of 5.414 acres and is located in the B-2 General Business District in the Towne Center Planned Unit Development (PUD). The proposed River Front Ram Dealership is 28,425 square feet. Hansen added Motor Vehicle Sales and/or Service is classified as a special use in the B-2 General Business District; however, the Towne Center PUD allows Automobile sales and service, including oil change facilities and automobile auto repair as permitted uses.

Hansen shared in 2017, Riverfront Jeep proposed a 30,993 dealership, which went through the Plan Commission and was ultimately approved by the Village Board. However, through private agreements the use was not permitted. Upon staff review, the proposed Riverfront Ram Truck Facility/Dealership appears to be outside the private agreements geographical area that prevented Riverfront Jeep dealership from moving forward. Hansen added the Comprehensive Plan recommends Office/Industrial use for the subject property. A recommendation of the West Gateway Subarea Plan applies to the proposed development as a transition land use: *high and dry areas adjacent to the wetlands should develop with low intensity or business park uses*. Hansen said the proposed site plan meets Village Zoning Ordinance and PUD requirements including the elevations, setbacks, landscaping, and use type. The one condition on the report is regarding site signage, which would be required to be submitted through the Village's sign application process and meet Sign Ordinance and any other Towne Center PUD requirements.

The petitioner, Corey Spooner with Riverfront provided an overview of the project. The building size is just over 28,000 square feet. The repair area will have 14 bays. The site will be utilized for sales and service for commercial trucks with light, medium and heavy duty. It will be a Ram standalone truck facility. The presentation consisted of a site plan, elevations, landscape plan, and rendering of the proposed facility.



Bracket asked about the signage of the Towne Center PUD and if it is more or less restrictive compared to the Village Sign Ordinance. Hansen said it depends on the type of signage, but the PUD does not allow pylon signage so entryway signage would need to be monument signs with a landscaping around the base. Overall, both signage requirements are similar and may be a few feet different in some aspects, but ultimately any sign aspects not mentioned in the PUD would fall back to the Village's Sign Ordinance.

Commissioner Lenkart asked how close the property is to the wetlands. Anthony Falkowski, project engineer from Cemcon representing Riverfront, mentioned the wetlands have been delineated and are off the subject property. The floodplain elevations also are off our property line and does not encumber into the property at all. Also, a master stormwater management report has been provided as part of the submittal, which shows it does not impede onto the property.

Commissioner Lenkart mentioned his concern would be pushing snow with salt over the curb and possibly ending up in the wetlands therefore polluting them. Falkowski asked if Sherwin-Williams had similar plan approved for snow removal. Commissioner Lenkart they are smaller and can plow it on the sides and front of their site while the proposed facility is a much larger facility with a much larger profile with a lot more frontage on the northern end. Falkowski mentioned the setback off the drive aisle to the property line is five feet. Commissioner Lenkart asked if an environmental report has been done. Village Administrator Steve Bosco mentioned a report of that nature would be done as part of the building permit review process. Once zoning is approved, the engineers will look into aspects like these, which include drainage and potential runoff. Bosco added this concern will be raised as part of the engineering review process and stormwater analysis will also need to follow the Kane County stormwater Ordinance, which varies based on the type and location of a development. In regard to the wetlands, staff can look into if an Illinois Department of Natural Resources (IDNR) review or report was completed for the site when it was graded and built. Bosco added a similar type of review was conducted for the 950 Ice Cream Drive warehouse development.

Commissioner Bozik asked about the access on the west end of the property through Sherwin-Williams and who maintains it. Falkowski said there is a cross access easement through that property and each private property owner would manage their sites easement/drive aisle area. Commissioner Bozik also asked if the dumpster enclosure could be moved north to the rear of the building. Falkowski said that is not a problem and it can be adjusted to be setback further into the property. Chairman Brackett mentioned the cross-access easements should be figured out privately between the property owners. Falkowski said there is a recorded cross-access easement to the property to the west on both the south and north end of the property. Hansen confirmed there is a recorded cross access easement document from around 2010 that shows cross access easement on the north and south end of the property (1891 Orchard Gateway Blvd).

Commissioner Lenkart asked about the site's access and layout. Spooner mentioned the main access will be through the east entrance of the site since there is a traffic signal. Commissioner Lenkart asked instead of utilizing the cross-access easement, could a second curb cut be added on Orchard Gateway Boulevard. Commissioner Bozik was concerned the cross-access easement to the west would handle the bulk of the traffic coming off Orchard Rd and maintenance could be a major issue in the future. Commissioner Bozik continued and said he was concerned the cross-easement area wasn't developed for heavy duty trucks driving over it all the time and could become

a maintenance concern. Bosco said the site was originally planned for commercial and cross access easement were probably approved all the way down the road for that purpose and didn't anticipate a car dealership. Bosco added the Village owns Orchard Gateway and would probably just need a right of way permit from the Village to establish another access point. Bosco mentioned the Village uses code enforcement to go after cross access easements and private roads concerns. Commissioner Bozik said other car dealerships on Hansen Blvd have two access points (an entrance and an egress point) onto a Village owned street and this site may want to consider a similar access plan.

Chairman Brackett stated the cross-access easement concerns and looking into a second access on western edge of property along Orchard Gateway Blvd are noted and can be added to the motion. Bosco asked if a second access point onto Orchard Gateway Blvd would be preferred while also leaving an emergency access on the northern portion of the Sherwin Williams property. Commissioner Lenkart, Commissioner Negro and Chairman Brackett all agreed it would be preferred and beneficial for the community. Commissioner Negro asked if the east access is from the stoplight over by Target. Hansen confirmed that intersection is the eastern access for the site. Commissioner Botkin asked if a second access was added would a left turn be possible into that access when heading east on Orchard Gateway Blvd, which would be just east of the left turn into Sherwin-Williams. Bosco mentioned the petitioner can certainly apply for a second access point, but it wouldn't be guaranteed since engineering would need to review it. Bosco mentioned Orchard Gateway is planned to be reconstruction over the next few years and staff will mention it to the engineers on the project to see if a second access point with designated turn lanes are possible. Commissioner Lenkart asked if the turn radius for a car carrier truck would be viable for both access points as the current site plan shows. Falkowski said they would utilize the eastern access most likely for those types of deliveries.

Chairman Brackett summarized what areas of the plan need to be looked into, which include the dumpster location, second access point onto Orchard Gateway, wetland pollution concerns, and cross-easement concerns. Commissioner Lenkart asked if it can be noted to add more shrubs to the landscape plan along Orchard Gateway if possible. Chairman Brackett said it can be noted and may be beneficial to include trees and shrubs along the northern end of the property as well.

Commissioner Botkin asked why the Jeep dealership couldn't move forward even though it received Village approval. Bosco shared the Owners Easement Agreement applies to all properties along the private road areas south of Orchard Gateway Blvd. Since the Jeep dealership was along that private access road it was subject to the agreement. To staff's knowledge the proposed dealership tonight does not apply to that agreement since it doesn't share the private road inside the development plus the Village owns Orchard Gateway Blvd. Bosco added the petitioner would need to verify, if they haven't already, whether the private agreement applies before they can move forward. Regardless the private agreement is outside of the Village's control.

Motion for Site Plan Approval with staff's one (1) condition was made by Commissioner Bozik and seconded by Commissioner Botkin with five (5) added conditions.

- Confirm an IDNR report has been conducted for the site in relation to the adjacent wetlands.

- Relocate dumpster further north near rear lot line so it is further away from Orchard Gateway Blvd.
- Review cross access easement concerns regarding maintenance and heavier truck traffic loads.
- Review the possibility of adding a second access point onto Orchard Gateway Blvd on the western end of the site.
- Review and see if additional landscaping along the property lot lines is possible.

Vote: Vote: Bozik – Yes, Botkin – Yes, Negro – Yes, Lenkart – Yes, Newell – Yes, Brackett - Yes. **Motion approved.**

#### **OLD BUSINESS** – None

#### **PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES**

Commissioner Botkin asked about the status of Dairy Barn. Hansen mentioned the Oswego location appears to be closed permanently so it's looking like their project in the Village is not moving forward. Chairman Brackett asked about status of Fortunato. Bosco said there has been some material supply issues, which have prolonged the project. Bosco added the previous Community and Economic Development Director, Mike Toth, has officially moved to the Administration Department and the new Community Development Director is starting next week. Bosco shared Casey's is anticipating opening in June. Hansen shared Verilife has submitted build out plans and are currently under review. Commissioner Botkin asked about Parcel 6 status. Hansen shared the building permit is almost ready to be issued. Bosco shared The Seasons apartments on Orchard Rd are going up quick and the Randall Terrace apartments off of Miller Dr are still moving forward. Hansen said Shodeen recently reached out regarding the unincorporated property off Randall Rd and should be submitting a concept in the near future.

#### **ADJOURNMENT**

Motion to adjourn made by Commissioner Botkin and seconded by Commissioner Lenkart. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins  
Village Clerk

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION  
FROM: NATHAN DARGA, COMMUNITY DEVELOPMENT DIRECTOR**

## GENERAL INFORMATION

**Meeting Date:** August 1, 2023

**Petition Number: #23-03**

**Petitioner:** North Aurora Fire Protection District

**Location:** 1 N. Lincolnway (portion of) and 23 N. Lincolnway

**Property Index Numbers:** 15-04-206-017, -018, -019, -020, -021, -022, -023

**Development Size:** 1.7 acres

**Requests:** 1) Map Amendment to establish the B-3 Central Business District 2) Special Use - Planned Unit Development with deviations and use exceptions to the Zoning Ordinance 3) Site Plan Approval 4) Preliminary Final Plat of Subdivision

**Current Zoning:** O-R Office and Research District and the R-2 Single Family Residence District

**Current Land Use:** Vacant Medical Building/Vacant Land

## Comprehensive Plan Designation: ‘Village Center/Mixed Use’

# PROPOSAL

The North Aurora Fire Protection District is proposing to build a two story, 26,918 square foot fire station on the corner of Oak Street and Lincolnway (IL 31). The front of the building would face Oak Street and the five (5) bay doors would face Lincolnway. There would be a parking lot in front of the building accessed from Oak Street and the existing alley to the east. The fire trucks would pull through the building from the alley and exit onto Lincolnway. The corner of Oak and Lincolnway would have a landscaped area with a patio / flagpole by the entryway to the building. The building would be constructed of precast concrete panels with decorative brick veneer in selected locations. Decorative metal panels would be used in the office areas of the front façade.

## BACKGROUND

The North Aurora Fire Protection District owns and operates Fire Station #1 on their 1.65-acre property located on the northeast corner of Monroe Street and State Street. The Village of North Aurora owns vacant land to the west and to the north of Fire Station #1. Both the Fire District and Village properties are located on “Block One”, the block of parcels located between Oak Street, State Street, Monroe Street and Lincolnway. The Village and Fire District have historically discussed the idea of swapping land on Block One so the Fire District could build a new Fire Station #1 directly on Lincolnway and the Village would be able to better accommodate future development and other public purposes on Block One. On December 2, 2022, the Village Board approved the Land Swap

Agreement with the Fire District. The Agreement was negotiated between the Village and the Fire District for the exchange of properties on Block One to accommodate the construction of a new Fire Station #1. In return, the Village would acquire the current Fire Station #1 site.

### **REQUESTED ACTIONS**

#### ***Map Amendment to establish the B-3 Central Business District***

The subject property is currently located in the Village's O-R Office and Research District and the R-2 Single Family Residence District. The petitioner is requesting a Map Amendment to rezone the properties to the B-3 Central Business District. The Government Office or Facility (Non-Village) use (a.k.a. fire station) is classified as a special use in the B-3 Central Business District, but is prohibited in the current O-R and R-2 zoning designation.

The contiguous zoning districts are as follows:

- **North:** R-3 General Residence District
- **South:** R-2 Single Family Residence District
- **East:** R-2 Single Family Residence District
- **West:** R-2 Single Family Residence District and B-2 General Business District

It is anticipated that a majority of the Block One area will be eventually rezoned to the B-3 Central Business District zoning classification as most of the commercial properties located on Lincolnway between State Street and I-88 are in the B-3 Central Business District.

#### **Comprehensive Plan**

The proposed development area is included as part of a subarea listed in the Comprehensive Plan's Commercial and Industrial Areas Plan: *Key objectives in this area include curb cut reduction, the burying of utilities, mixed use development, civic spaces, and enhanced access to the Fox River.*

The proposed development area is also included in the Comprehensive Plan's IL Route 31 Village Center Subarea Plan: *There are several opportunities for mixed-use development in the Village Center, the most significant of which is Block 1 given the demolition of the Activity Center and potential relocation of Fire Station #1. With a bridge access the Fox River, connections north and south, as well as access to regional trails, this area has potential to be an attractive location for mixed-use development.*

#### ***Special Use –Planned Unit Development with code exceptions***

The Village, or any person having a right of ownership of any property in the Village, may apply for consideration of such property as a planned unit development. A planned unit development may be authorized as a special use in all zoning districts. Unless specifically approved by the ordinance granting or amending the planned unit development as a special use, the requirements of the underlying district shall apply. The ordinance granting or amending the planned unit development as a special use may depart from the normally applicable standards and other requirements of the Zoning Ordinance.

The Planned Unit Development will grant a special use for a "Government Office or Facility (Non-Village). This use is listed as a special use in the B-3 District. This is the appropriate classification for the Fire District facility.

The following table illustrates the proposed bulk and setback regulations and the bulk and setback regulations required of the B-3, Central Business District:

| <b>Bulk Regulations</b>                     | <b>Proposed</b>  | <b>B-3 District Standard</b> |
|---|--|------------------------------|
| Lot Area, Minimum                           | 1.7 acres (Fire Station 1 Sub)                             | 3,000 sq. ft.                |
| Lot Width, Minimum                          | 158.86 ft. (Along Oak St)<br>343.3 ft. (Along Lincoln Way) | None                         |
| Building Height, Maximum                    | <b>39'3"</b>   | 35' or 3 stories             |
| Floor Area Ratio (FAR), Maximum             | 0.36   | 3.0                          |
|   |  |                              |
| <b>Yard (Setback) Regulations</b>           | <b>Proposed</b>  | <b>B-3 District Standard</b> |
| Front Yard (Oak St)                         | 170'   | 15'                          |
| Corner Side Yard (Lincolnway)               | 20'  | 15'                          |
| Rear Yard Abutting Residential (south side) | <b>35'</b>   | 40'                          |
| Interior Side Yard (Alley)                  | 18' to bldg. 6' to covered patio                           | None                         |
|   |  |                              |

There are several code exceptions being requested in this PUD. They are mainly due to the necessity of working within the existing confines of the lot. The right of way lines for Oak Street, Lincolnway, and the alley are set. The strict application of the setbacks and landscape buffers would make the site undevelopable. The following is a list of the requested code exceptions:

1. 50 Foot Landscape Buffer (Section 17.14.010.C.3.A) – A 50' landscape buffer is required by code along major roads like Lincolnway. This would take almost a third of the property. As proposed, the building is 20' at its closet point to the western property line.
2. Rear Yard Abutting Residential (Section 17.8.3) – The rear yard faces Village owned property. That property is currently zoned R-2 Single Family Residential. It is planned that this would eventually be zoned B-3 Central Business District. However, for the current application, the setback would be the 40' abutting residential designation. The fire station is proposed at 35' from the rear property line.
3. Accessory Structure location (Section 17.12.3.B) – The generator is located by the alley on the north side of the building. This is technically the front yard. The generator is proposed to be screened with landscaping. The covered patio is also on the alley side. However, the B-3 District does not have a setback for the interior side yard.
4. Building Height (17.8.3) – The building is proposed to be approximately 40' tall at its tallest point. The B-3 District height limit is 35'. The tallest point is the tower for the elevator shaft.
5. Required Parking Spaces (17.13.13) – The required parking spaces for a government facility is 3 spaces per 1,000 square feet of gross floor area. That would require 81 parking spaces for this project. The petitioner is proposing 36 parking spaces plus 2 handicapped spaces. This is more than they have at their current facility.

6. Parking Lot Landscaping (17.14.8 & 17.14.9) – The parking lot landscaping shall be as shown on the landscape plan. The petitioner is requesting to not have landscape islands so that they can use the parking lot to stage equipment for training and maintenance. They are also requesting reductions in the perimeter landscaping yards. Staff is requesting that the east side of the parking lot facing the alley be planted with a densely planted compact hedge not less than five feet in height.

### ***Site Plan Approval***

Per Section 17.4.4(B) of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
  - a. Allow for the effective use of the proposed development.
  - b. Allow for the efficient use of the land.
  - c. Ensure compatibility with development on adjacent property.
  - d. Respond to off-site utility and service conditions, and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
  - e. Protect the public health, safety, convenience, comfort, and general welfare.
  - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
  - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
  - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
  - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
  - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
  - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
  - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
  - a. Provide adequate and safe access to the site.
  - b. Minimize potentially dangerous traffic movements.

- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
  - d. Minimize curb cuts.
- 4. The design of off-street parking lots or garages to:
  - a. Minimize adverse impacts on adjacent properties.
  - b. Promote logical and safe parking and internal circulation.
- 5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
  - a. Create a logical transition to adjoining lots and developments.
  - b. Screen incompatible, negative, or unsightly uses.
  - c. Minimize the visual impact of the development on adjacent sites and roadways.
  - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
  - e. Promote and enhance the appearance and image of the Village.
- 6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
- 7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

### ***Preliminary Final Plat of Subdivision***

A Plat of Subdivision, known as the Final Plat of Subdivision North Aurora Fire Station 1 Consolidation, is being proposed. This will consolidate the existing lots and dedicate four (4) additional feet to the alley to the east. The new lot will be 1.7 acres.

### **FINDINGS**

The Community Development Department finds that the information presented in Petition #23-03 **meets** the Standards for Map Amendments, Specials Uses, Site Plan Review and Planned Unit Developments as set forth in the Zoning Ordinance. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #23-03, subject to the following conditions:

- 1. The landscape plan shall be updated to add a densely planted compact hedge not less than five feet in height between the parking lot and the alley on the east side. The plan shall also be reviewed for the vision triangle.
- 2. A photometric plan shall be approved by the Village prior to building permit issuance.



3. All dumpsters located on the subject property shall be screened per Section 17.14.11.A of the Zoning Ordinance. The generator shall be screened with a combination of fencing/wall and landscaping per Section 17.12.3.D.
4. All ground-mounted and rooftop mechanicals shall be properly screened per the requirements of the Zoning Ordinance.
5. All signage shall adhere to the requirements of the Sign Ordinance.

## APPLICATION FOR MAP AMENDMENT

VILLAGE OF NORTH AURORA  
25 East State Street  
North Aurora, IL 60542

PETITION NO. \_\_\_\_\_

FILE NAME \_\_\_\_\_

DATE STAMP

### I. APPLICANT AND OWNER DATA

Name of Applicant\* North Aurora Fire Protection District

Address of Applicant 2 Monroe St, North Aurora, IL 60542

Telephone Numbers 630-897-9698

Name of Owner(s)\* Mike Klemenic, Fire Chief

Telephone Number 630-897-9698

Email Address mklemencic@nafpd.org

If Applicant is other than owner, attach letter of authorization from Owner.

Title of Record to the real estate was acquired by Owner on \_\_\_\_\_

### II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 23 N. Lincolnway, North Aurora, IL 60542

(Indicate location if no common address)

Legal Description: See Attachment

Parcel Size 1.700 acres

Present Use Vacant

(Business, manufacturing, residential, etc.)

Present Zoning District OR District and R-2 District

(Zoning Ordinance Classification)

\*In the event that the applicant or owner is a trustee of a land trust or a beneficiary or beneficiaries of a land trust, a statement identifying each beneficiary of such land trust by name and address and defining his/her interest therein shall be attached hereto. Such statement shall be verified by the trustee or by a beneficiary.

### III PROPOSED MAP AMENDMENT

Proposed Zoning District B-3 District (Zoning Ordinance Classification)

Has the present applicant previously sought to rezone the property or any part thereof? No  
If so, when? N/A

To what zoning district classification? N/A

What type of improvement to the Property is planned? Fire Station

\_\_\_\_\_  
\_\_\_\_\_

What will be the actual use of such improvement(s)? Fire Station

What are the existing uses of the property within the general area of the Property in question?  
Residential and Fire Station

### IV CHECKLIST FOR ATTACHMENTS

The following items are attached hereto and made a part hereof:

1. Legal Description (may be included in items 2 or 5 below)
2. Two (2) copies of an Illinois Land Surveyor's plat of survey showing the nearest dedicated east-west and north-south streets, the right-of-way width and the distance of each street from the property in question.
3. Five (5) copies of a plot plan, 8 1/2" x 11" or 8 1/2 x 14" showing proposed construction if any.
4. A written certified list containing the names of registered owners, their mailing addresses and tax parcel numbers, of all properties within 250 feet of the property for which the amendment is requested.
5. A copy of owner's title insurance policy commitment or deed for the subject property.
6. Filing fee in the amount of \$300.00; if paid by check make payable to the 'Village of North Aurora'. Please note, an escrow deposit will also be required per Village Code.
7. Letter of authorization letter from owner, if applicable.
8. Disclosure of beneficiaries of land trust, if applicable.

Completed forms for the following must accompany application, if applicable:

9. Visit the Illinois Department of Natural Resources' website [www.dnr.state.il.us](http://www.dnr.state.il.us) and initiate a consultation using DNR's EcoCat online application
10. Visit the Kane DuPage Soil and Water Conservation District's website

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent

7-13-23

Date



Owner

7-13-23

Date

**MAP AMENDMENT STANDARDS**  
**APPLICATION FOR MAP AMENDMENT**

Please provide a typed response to each of the following standards:

1. Is the proposed amendment consistent with the existing use and zoning of nearby property?
2. Does the proposed amendment diminish the existing zoning of the subject property?
3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?
4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?
5. Is the proposed amendment not feasible for development as it is presently zoned?
6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located?
7. Is there evidence of community need for the use proposed by the applicant?
8. Is the proposed amendment consistent with the comprehensive plan?
9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?
10. Does the proposed amendment avoid creating nonconformities?
11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?
12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted.

MAILING ADDRESS

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are organized into three distinct vertical columns. Each column contains ten evenly spaced horizontal lines, providing a template for writing or drawing. There are no margins, text, or other markings on the page.

I, Mike Klemencic, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Mike Klenovic  
Applicant Signature

7-10-2023

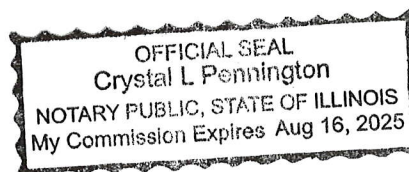
---

Date

**SUBSCRIBED AND SWORN TO**

Before me this 10 day of July, 2023.

Crystal L. Knoungton  
Notary Public



| Tax Parcel No | Property Owner  | Mailing Address                                   |
|---------------|---|---|
| 15-04-205-013 | ALVAREZ, ANTHONY & GARCIA, ISABELLA A   | 111 W STATE ST NORTH AURORA, IL, 60542-1641       |
| 15-04-205-012 | SCAFIDI, ANTOINETTE M SELF DCLRN OF TR, TRUSTEE                                   | 3 N ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-205-011 | TOVAR, LEONARDO & BRANDI  | 5 N ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-205-010 | MCCARTY, SHANNON & HOLZRICHTER, HANNAH  | 7 N ADAMS ST NORTH AURORA, IL, 60542-1623         |
| 15-04-205-009 | MARTENS, BRADLEY S & MICHAEL D  | 9 N ADAMS ST NORTH AURORA, IL, 60542-1623         |
| 15-04-205-008 | BUBAN, KATRINA A & JEFFREY M  | 11 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-007 | APPENZELLER, RICHARD P  | 15 N ADAMS ST NORTH AURORA, IL, 60542             |
| 15-04-205-006 | CURLEY, MICHELLE  | 17 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-005 | KHAMISSI, FARSI & SOBI, SHAH ZADEH KHAMISSI                                       | 19 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-004 | LEMAIRE, DAVID G  | 21 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-003 | VOGT, SKYLAR  | 23 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-047 | JOINER, MERLE A JR & CURNUTT-JOINER, BRANDY J                                     | 110 OAK ST NORTH AURORA, IL, 60542-1109           |
| 15-04-205-043 | MARTIN, D E & SHIRLEY % DONALD E MARTIN   | 108 OAK ST NORTH AURORA, IL, 60542                |
| 15-04-205-032 | PATEL, DIPTI J & JIGNESH  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-205-041 | 4 BARRERA PROPERTIES LLC PASCUAL & MA E ROCHA DE BARRERA                          | 1180 TRASK ST AURORA, IL, 60505-1944              |
| 15-04-205-040 | MICHEL, DAVID & LINDA   | 42 S JUNIPER DR NORTH AURORA, IL, 60542-159C      |
| 15-04-205-036 | MICHEL, DAVID & LINDA   | 42 S JUNIPER DR NORTH AURORA, IL, 60542-159C      |
| 15-04-205-035 | SOLER, GUALBERTO & MARY V   | 12 NO LINCOLNWAY NORTH AURORA, IL, 60542          |
| 15-04-205-044 | PETERSON, DAVID J & CYNTHIA   | 16 N LINCOLNWAY NORTH AURORA, IL, 60542           |
| 15-04-205-046 | EZZO, SAMUEL A SAM EZZO   | 35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223     |
| 15-04-205-042 | LEMUS, JOSE & MARIA C   | 20 N LINCOLNWAY NORTH AURORA, IL, 60542-1636      |
| 15-04-205-039 | KEUP, RANDY J   | 22 N LINCOLNWAY NORTH AURORA, IL, 60542-1636      |
| 15-04-205-038 | GESFORD, STEPHANIE  | 35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223     |
| 15-04-205-045 | NOVICKI, SCOTT E & JACQUELINE R REVOC TRS SCOTT & JACQUELINE NOVICKI, CO-TRUSTEES | 610 HICKORY CT NORTH AURORA, IL, 60542            |
| 15-04-201-023 | K B PROPERTIES OF ILLINOIS SERIES 1 AURORA DEUTRIX                                | 2124 OGDEN AVE STE 303 AURORA, IL, 60504-7542     |
| 15-04-201-033 | DG PARTNERS IL LLC  | 11006 PEBBLE GARDEN LN AUSTIN, TX, 78739          |
| 15-04-201-030 | MESSENGER PUBLIC LIBRARY DISTRICT ADMINISTRATOR                                   | 113 OAK ST NORTH AURORA, IL, 60542-1682           |
| 15-04-203-008 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-009 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-007 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-006 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-005 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-202-022 | PBWINC6 LLC PAUL WATNES   | 0N045 ALEXANDER DR GENEVA, IL, 60134-6002         |
| 15-04-202-021 | UNWIN, RAZENA   | 11 OAK ST NORTH AURORA, IL, 60542-1122            |
| 15-04-202-020 | K & M REALTY LLC  | 74 SHAW RD BELMONT, MA, 02478-4522                |
| 15-04-202-026 | LOWRIE, EDMUND G & CONDIFF, SARAH   | 29W513 FORESTVIEW DR WARRENVILLE, IL, 60555-2101  |
| 15-04-202-025 | THAMM, DUANE JR   | 122 MONROE ST NORTH AURORA, IL, 60542-1121        |
| 15-04-202-033 | BEDOYA-KAYSER, SHIRLEY  | 2 S CALUMET AVE AURORA, IL, 60506-4702            |
| 15-04-202-036 | TRUST # 10-3-8784 BARBARA STELLARD-SECONDI  | 726 SAILFISH DR FORT WALTON BEACH, FL, 32548-6010 |
| 15-04-202-034 | RODRIGUEZ, DORA C   | 109 N LINCOLNWAY NORTH AURORA, IL, 60542-1101     |
| 15-04-202-028 | SMITH, ROGER L & HINES KAY L  | 107 1/2 N LINCOLNWAY NORTH AURORA, IL, 60542      |
| 15-04-202-014 | MATHEWS, MICHAEL R  | 105 N LINCOLNWAY NORTH AURORA, IL, 60542          |
| 15-04-202-035 | HODAY, RONALD J   | 103 N LINCOLNWAY NORTH AURORA, IL, 60542-1123     |
| 15-04-202-016 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-202-032 | MENDOZA, JAIME  | 2200 LIGHT RD APT 103 OSWEGO, IL, 60543-8552      |
| 15-04-202-018 | BURNS, JUDY A   | 13 OAK ST NORTH AURORA, IL, 60542-1122            |
| 15-04-206-017 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-169C        |
| 15-04-206-018 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-169C        |
| 15-04-206-019 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-023 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-020 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-021 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-022 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-022 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-015 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-014 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-013 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-012 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-011 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-010 | SMITH, RICHARD G & L SALLY TAPIO  | 38745 US HIGHWAY 41 CHASSELL, MI, 49916-9248      |
| 15-04-206-009 | MCREYNOLDS, MICHAEL & STACY   | 36 MONROE ST NORTH AURORA, IL, 60542              |
| 15-04-206-008 | ACCESSION PROPERTIES LLC  | 112 SYRIL DR GENEVA, IL, 60134-1957               |
| 15-04-254-001 | HARPER, DANNEY  | 110 W STATE ST NORTH AURORA, IL, 60542-1642       |
| 15-04-254-002 | MCDUFFEE, DAVID A & KEVIN C   | 3 S ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-254-003 | FIRST NATIONAL BANK DEKALB IL, TRUST: 1949  | 7 S ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-254-004 | KADZIK, DANIEL L & CYNTHIA KRUSE  | 11 S ADAMS ST NORTH AURORA, IL, 60542-1625        |
| 15-04-254-005 | KADZIK, DANIEL L & CYNTHIA KRUSE  | 11 S ADAMS ST NORTH AURORA, IL, 60542-1625        |
| 15-04-254-024 | BALDWIN 820 REALTY LLC  | 4007 MERRICK RD SEAFORD, NY, 11783-2831           |
| 15-04-254-019 | RIO, DOLORES A  | PO BOX 183 NORTH AURORA, IL, 60542                |
| 15-04-254-022 | STRONG, JOHN E & LAURA M  | 19 WALNUT CIR SUGAR GROVE, IL, 60554              |
| 15-04-254-020 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-254-021 | MKH REAL ESTATE LLC   | 14 S LINCOLNWAY NORTH AURORA, IL, 60542-1637      |
| 15-04-276-009 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-255-035 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-255-043 | NORTH AURORA VILLAGE OF   | 25 EAST STATE STREET NORTH AURORA, IL, 60542-1684 |
| 15-04-255-005 | 11 SOUTH LINCOLNWAY LLC   | 11 S LINCOLNWAY NORTH AURORA, IL, 60542           |
| 15-04-255-004 | PARK, BILL M & MARGARET   | 9 S LINCOLNWAY NORTH AURORA, IL, 60542            |
| 15-04-255-003 | SONJA, JANAK & MANSI LLC  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-255-040 | SONJA, JANAK & MANSI LLC  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-255-002 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-255-044 | HARNER FAMILY PROPERTIES INC JOANNE R BINKLEY                                     | 10 W STATE ST NORTH AURORA, IL, 60542-162C        |

# MEMORANDUM

**DATE:** July 10, 2023

**TO:** Village of North Aurora Board of Trustees

**FROM:** Jonathan Tallman, AIA, GGP, GPCP, NCARB

**SUBJECT:** Village of North Aurora Application for Map Amendment

## Message

The purpose of this memo is to provide responses to statements 1-12 in the Application for Map Amendment stating that the map amendment use will conform to the Village's standards.

1. Is the proposed amendment consistent with the existing use and zoning of nearby property

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 8-1 states that in district B-3, a "Planned Unit Development" is considered a special use. The proposed fire station will be adjacent to zoning district R-2 single family homes. Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 7-1 states that a "Planned Unit Development" is considered a special use. There are no permitted or special uses specifically for fire stations in any of the residential districts.

2. Does the proposed amendment diminish the existing zoning of the subject property?

Currently, the site is split into 2 separate districts, both OR and R-2. By combining the two districts it allows more design options of the subject property. In short, it would not diminish the existing zoning of the subject property but strengthen it.

3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?

The proposed amendment would allow the Village of North Aurora to benefit from a new fire station that will better fit the needs of the community.

4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?

The proposed amendment would allow the North Aurora Fire Protection District the ability to build a new facility on the subject property. Doing so would allow the Village of North Aurora to benefit from a new fire station that will better fit the needs of the community.



5. Is the proposed amendment not feasible for development as it is presently zoned?

We tried multiple site test fits and we feel as the property sits currently, the size required for a new fire station that would meet the needs of the village would not fit on the site provided without combining the districts.

6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located

The medical clinic on the North end of the site has been recently vacated but a Google Street View search shows the home South of the medical clinic was removed sometime between September 2009 and April 2012 and the school the parking lot on the South end of the site was serving was removed sometime between October 2012 and September 2013.

7. Is there evidence of community need for the use proposed by the applicant?

Dewberry was recently hired by the North Aurora Fire Protection District to do an assessment of station 1 to determine the options required to update to current ADA, safety, efficiency, and technology standards and concluded that the issues with station #1 were too costly to recommend renovation. The evidence shows that the community has a need for a fire station that will better fit its needs.

8. Is the proposed amendment consistent with the comprehensive plan?

The proposed amendment that would allow the placement of the Fire Protection District Station No. 1 on this site aligns with several of the objectives outlined under the Village of North Aurora's goal of supporting high-quality public facilities and services that can bolster quality of life and strengthen civic pride and identity.

9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?

We feel the proposed amendment would help the village attain goals set forth by itself in the comprehensive plan, and in turn, benefit the residents of the village.

10. Does the proposed amendment avoid creating nonconformities?

Since the proposal would consolidate two separate districts into one, it would be removing a non-conformity.

11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?

Per the Villages Comprehensive Plan, the amendment would be a positive step in developing block one and the route 31 corridor

12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted?

The existing public facilities of the subject property are adequate and capable of being provided prior to the development.

**CC:**

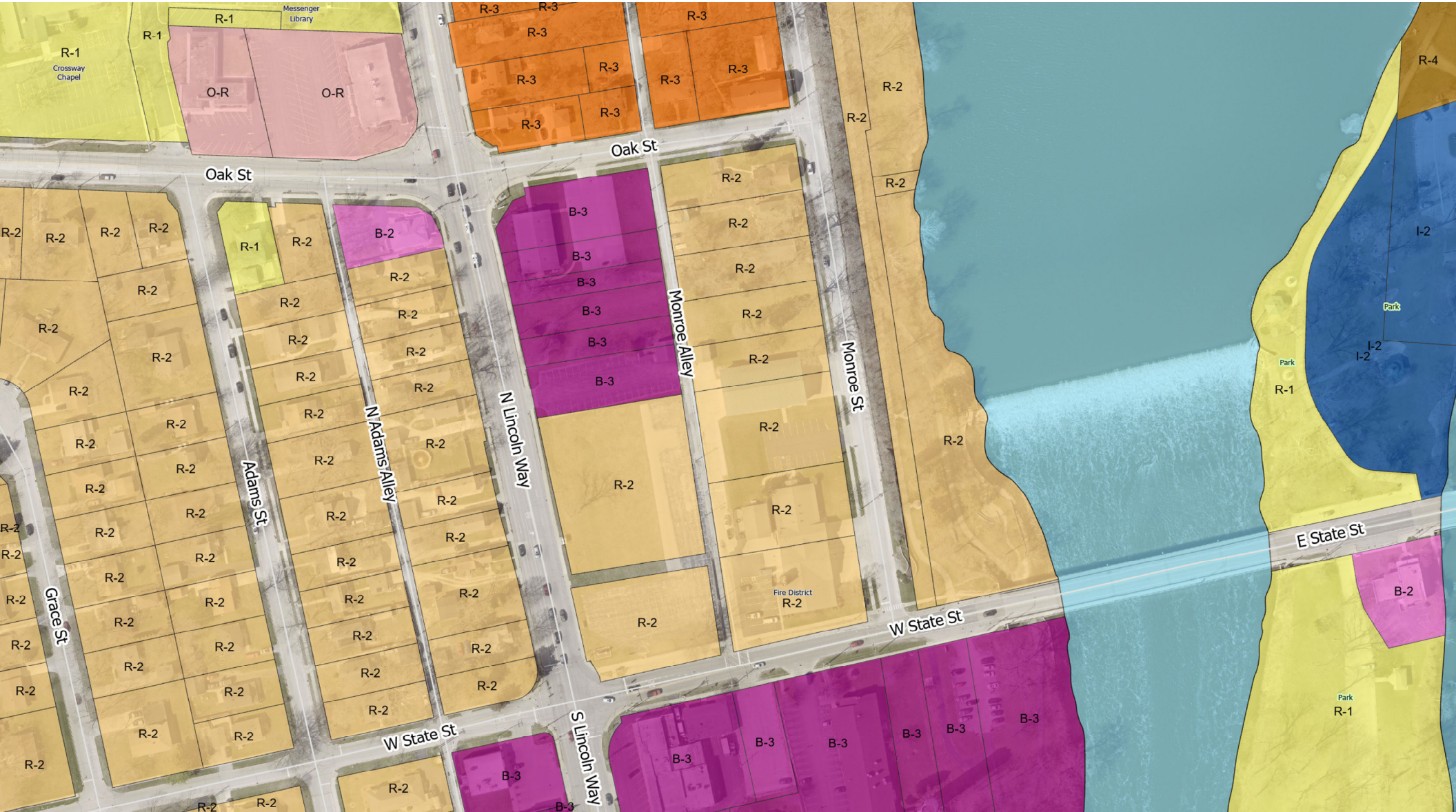
| NAME            | ✓ | ORGANIZATION               | PHONE        | EMAIL               |
|-----------------|---|----------------------------|--------------|---------------------|
| Chief Klemencic | ✓ | North Aurora Fire District | 630-897-9698 | mklemencic@nafd.org |

# Current Zoning





# Proposed Zoning



## APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA  
Board of Trustees  
25 East State Street  
North Aurora, IL 60542

PETITION NO. \_\_\_\_\_

FILE NAME \_\_\_\_\_

DATE STAMP

### I. APPLICANT AND OWNER DATA

Name of Applicant North Aurora Fire Protection District

Applicant Address 2 Monroe St, North Aurora, IL 60542

Applicant Telephone # 630-897-9698

Email Address mklemencic@nafpd.org

Property Owner(s) Mike Klemenic, Fire Chief

Owner Address 2 Monroe St, North Aurora, IL 60542

Owner Telephone # 630-897-9698

### II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 23 N. Lincolnway, North Aurora, IL 60542  
(indicate location if no common address)

Legal Description: See Attachment

Parcel Size 1.700 acres

Present Use Vacant  
(business, manufacturing, residential, etc.)

Present Zoning District OR District and R-2 District  
(Zoning Ordinance Classification)

### III. PROPOSED SPECIAL USE

Proposed Special Use B-3 District

(Zoning Ordinance Classification)

Code Section that authorizes Special Use Under title 17, table 8-1 of the Village code

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? N/A to what district? N/A

Describe briefly the type of use and improvement proposed Fire Station

What are the existing uses of property within the general area of the Property in question? \_\_\_\_\_

Vacant

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) \_\_\_\_\_

Due to the central location of the site and the direct access to Illinois route 31 this particular site will allow the North Aurora Fire protection District quicker response times to better serve the Village of North Aurora

**Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:**

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

#### **IV CHECKLIST FOR ATTACHMENTS**

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website [www.dnr.state.il.us](http://www.dnr.state.il.us) and initiate a consultation using DNR's [EcoCat](#) online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website [www.kanedupageswcd.org](http://www.kanedupageswcd.org) for a Land Use Opinion Application

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent

7-13-23

Date



Owner

7-13-23

Date



MAILING ADDRESS

I, Mike Klemencic, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Mike Klenovic  
Applicant Signature

7-10-2023

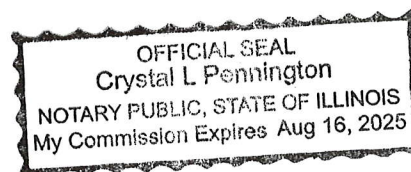
---

Date

**SUBSCRIBED AND SWORN TO**

Before me this 10 day of July, 20 23.

Crystal L. Kinnington  
Notary Public



| Tax Parcel No | Property Owner  | Mailing Address                                   |
|---------------|---|---|
| 15-04-205-013 | ALVAREZ, ANTHONY & GARCIA, ISABELLA A   | 111 W STATE ST NORTH AURORA, IL, 60542-1641       |
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| 15-04-205-011 | TOVAR, LEONARDO & BRANDI  | 5 N ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-205-010 | MCCARTY, SHANNON & HOLZRICHTER, HANNAH  | 7 N ADAMS ST NORTH AURORA, IL, 60542-1623         |
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| 15-04-205-005 | KHAMISSI, FARSI & SOBI, SHAH ZADEH KHAMISSI                                       | 19 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
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| 15-04-205-003 | VOGT, SKYLAR  | 23 N ADAMS ST NORTH AURORA, IL, 60542-1623        |
| 15-04-205-047 | JOINER, MERLE A JR & CURNUTT-JOINER, BRANDY J                                     | 110 OAK ST NORTH AURORA, IL, 60542-1109           |
| 15-04-205-043 | MARTIN, D E & SHIRLEY % DONALD E MARTIN   | 108 OAK ST NORTH AURORA, IL, 60542                |
| 15-04-205-032 | PATEL, DIPTI J & JIGNESH  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-205-041 | 4 BARRERA PROPERTIES LLC PASCUAL & MA E ROCHA DE BARRERA                          | 1180 TRASK ST AURORA, IL, 60505-1944              |
| 15-04-205-040 | MICHELS, DAVID & LINDA  | 42 S JUNIPER DR NORTH AURORA, IL, 60542-159C      |
| 15-04-205-036 | MICHELS, DAVID & LINDA  | 42 S JUNIPER DR NORTH AURORA, IL, 60542-159C      |
| 15-04-205-035 | SOLER, GUALBERTO & MARY V   | 12 NO LINCOLNWAY NORTH AURORA, IL, 60542          |
| 15-04-205-044 | PETERSON, DAVID J & CYNTHIA   | 16 N LINCOLNWAY NORTH AURORA, IL, 60542           |
| 15-04-205-046 | EZZO, SAMUEL A SAM EZZO   | 35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223     |
| 15-04-205-042 | LEMUS, JOSE & MARIA C   | 20 N LINCOLNWAY NORTH AURORA, IL, 60542-1636      |
| 15-04-205-039 | KEUP, RANDY J   | 22 N LINCOLNWAY NORTH AURORA, IL, 60542-1636      |
| 15-04-205-038 | GESFORD, STEPHANIE  | 35500 HAYLETT AVE WARRENVILLE, IL, 60555-3223     |
| 15-04-205-045 | NOVICKI, SCOTT E & JACQUELINE R REVOC TRS SCOTT & JACQUELINE NOVICKI, CO-TRUSTEES | 610 HICKORY CT NORTH AURORA, IL, 60542            |
| 15-04-201-023 | K B PROPERTIES OF ILLINOIS SERIES 1 AURORA DEUTRIX                                | 2124 OGDEN AVE STE 303 AURORA, IL, 60504-7542     |
| 15-04-201-033 | DG PARTNERS IL LLC  | 11006 PEBBLE GARDEN LN AUSTIN, TX, 78739          |
| 15-04-201-030 | MESSENGER PUBLIC LIBRARY DISTRICT ADMINISTRATOR                                   | 113 OAK ST NORTH AURORA, IL, 60542-1682           |
| 15-04-203-008 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-009 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-007 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-006 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-203-005 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-202-022 | PBWINC6 LLC PAUL WATNES   | 0N045 ALEXANDER DR GENEVA, IL, 60134-6002         |
| 15-04-202-021 | UNWIN, RAZENA   | 11 OAK ST NORTH AURORA, IL, 60542-1122            |
| 15-04-202-020 | K & M REALTY LLC  | 74 SHAW RD BELMONT, MA, 02478-4522                |
| 15-04-202-026 | LOWRIE, EDMUND G & CONDIFF, SARAH   | 29W513 FORESTVIEW DR WARRENVILLE, IL, 60555-2101  |
| 15-04-202-025 | THAMM, DUANE JR   | 122 MONROE ST NORTH AURORA, IL, 60542-1121        |
| 15-04-202-033 | BEDOYA-KAYSER, SHIRLEY  | 2 S CALUMET AVE AURORA, IL, 60506-4702            |
| 15-04-202-036 | TRUST # 10-3-8784 BARBARA STELLARD-SECONDI  | 726 SAILFISH DR FORT WALTON BEACH, FL, 32548-6010 |
| 15-04-202-034 | RODRIGUEZ, DORA C   | 109 N LINCOLNWAY NORTH AURORA, IL, 60542-1101     |
| 15-04-202-028 | SMITH, ROGER L & HINES KAY L  | 107 1/2 N LINCOLNWAY NORTH AURORA, IL, 60542      |
| 15-04-202-014 | MATHEWS, MICHAEL R  | 105 N LINCOLNWAY NORTH AURORA, IL, 60542          |
| 15-04-202-035 | HODAY, RONALD J   | 103 N LINCOLNWAY NORTH AURORA, IL, 60542-1123     |
| 15-04-202-016 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-202-032 | MENDOZA, JAIME  | 2200 LIGHT RD APT 103 OSWEGO, IL, 60543-8552      |
| 15-04-202-018 | BURNS, JUDY A   | 13 OAK ST NORTH AURORA, IL, 60542-1122            |
| 15-04-206-017 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-169C        |
| 15-04-206-018 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-169C        |
| 15-04-206-019 | VILLAGE OF NORTH AURORA   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-023 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-020 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-021 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-022 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-022 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-015 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-014 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-013 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-012 | NORTH AURORA & COUNTRYSIDE FIRE PROT DIST CHIEF                                   | 2 MONROE ST NORTH AURORA, IL, 60542-1666          |
| 15-04-206-011 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-206-010 | SMITH, RICHARD G & L SALLY TAPIO  | 38745 US HIGHWAY 41 CHASSELL, MI, 49916-9248      |
| 15-04-206-009 | MCREYNOLDS, MICHAEL & STACY   | 36 MONROE ST NORTH AURORA, IL, 60542              |
| 15-04-206-008 | ACCESSION PROPERTIES LLC  | 112 SYRIL DR GENEVA, IL, 60134-1957               |
| 15-04-254-001 | HARPER, DANNEY  | 110 W STATE ST NORTH AURORA, IL, 60542-1642       |
| 15-04-254-002 | MCDUFFEE, DAVID A & KEVIN C   | 3 S ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-254-003 | FIRST NATIONAL BANK DEKALB IL, TRUST: 1949  | 7 S ADAMS ST NORTH AURORA, IL, 60542              |
| 15-04-254-004 | KADZIK, DANIEL L & CYNTHIA KRUSE  | 11 S ADAMS ST NORTH AURORA, IL, 60542-1625        |
| 15-04-254-005 | KADZIK, DANIEL L & CYNTHIA KRUSE  | 11 S ADAMS ST NORTH AURORA, IL, 60542-1625        |
| 15-04-254-024 | BALDWIN 820 REALTY LLC  | 4007 MERRICK RD SEAFORD, NY, 11783-2831           |
| 15-04-254-019 | RIO, DOLORES A  | PO BOX 183 NORTH AURORA, IL, 60542                |
| 15-04-254-022 | STRONG, JOHN E & LAURA M  | 19 WALNUT CIR SUGAR GROVE, IL, 60554              |
| 15-04-254-020 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-254-021 | MKH REAL ESTATE LLC   | 14 S LINCOLNWAY NORTH AURORA, IL, 60542-1637      |
| 15-04-276-009 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-255-035 | FOX VALLEY PARK DISTRICT  | 101 W ILLINOIS AVE AURORA, IL, 60506-5989         |
| 15-04-255-043 | NORTH AURORA VILLAGE OF   | 25 EAST STATE STREET NORTH AURORA, IL, 60542-1684 |
| 15-04-255-005 | 11 SOUTH LINCOLNWAY LLC   | 11 S LINCOLNWAY NORTH AURORA, IL, 60542           |
| 15-04-255-004 | PARK, BILL M & MARGARET   | 9 S LINCOLNWAY NORTH AURORA, IL, 60542            |
| 15-04-255-003 | SONJA, JANAK & MANSI LLC  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-255-040 | SONJA, JANAK & MANSI LLC  | 9419 MICHAEL CT MORTON GROVE, IL, 60053           |
| 15-04-255-002 | NORTH AURORA VILLAGE OF   | 25 E STATE ST NORTH AURORA, IL, 60542-1684        |
| 15-04-255-044 | HARNER FAMILY PROPERTIES INC JOANNE R BINKLEY                                     | 10 W STATE ST NORTH AURORA, IL, 60542-162C        |



Dewberry Architects Inc. | 847.695.5840  
132 North York Street, Suite 2C | 847.695.6579 fax  
Elmhurst, IL 60126-3070 | www.dewberry.com

July 10, 2023

Village of North Aurora  
Attn: Board of Trustees  
North Aurora Village Hall  
25 East State Street  
North Aurora, IL 60542

North Aurora Fire Protection District Station No. 1

To the Village Board of Trustees,

I am writing this letter on behalf of the North Aurora Fire Protection District for an application of special use to propose a new Fire Station at 23 N. Lincolnway, North Aurora, IL, 60542. The present building on this location is vacant and the current zoning of the site is zoned O-R Office Research and R-2 Single Family Residence districts. We propose the special use of B-3 Central Business District under the authorization of title 17, Table 8-1 of the North Aurora Village code or ordinances. This proposed fire station will be manned and operated 24 hours a day and 7 days a week by the personnel of the existing North Aurora Fire Protection District Station No. 1. The fire station is proposed to be a 5-apparatus bay station with administration offices including a training room and fitness room. The materiality of the proposed fire station is a contemporary precast structure with architectural finishes and brick feature walls along with a wood look entry and app bay canopy inspired by the Village of North Aurora's historical roots with the lumber industry and a hose tower inspired by the historical open bell tower of previous North Aurora Fire Stations. If you have any further questions or request any other information, please reach out to me and I will be happy to provide you with any assistance.

Sincerely,

Jonathan Tallman, AIA, NCARB, GPCP, GGP  
Associate Principal  
jtallman@dewberry.com  
847.841.0612

## MEMORANDUM

**DATE:** July 10, 2023

**TO:** Village of North Aurora Board of Trustees

**FROM:** Jonathan Tallman, AIA, GGP, GPCP, NCARB

**SUBJECT:** Village of North Aurora Special Use Application

### Message

The purpose of this memo is to provide responses to statements 1, 4, 5, 6, 7 and 9 in the Special Use Application stating that the proposed special use will conform to the Village's standards.

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 8-1 states that in district B-3, a "Planned Unit Development" is considered a special use.

4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

The proposed placement of the Fire Protection District Station No. 1 on this site aligns with several of the objectives outlined under the Village of North Aurora's goal of supporting high-quality public facilities and services that can bolster quality of life and strengthen civic pride and identity.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.

The proposed fire station will be designed by Dewberry Architects, a licensed and established architecture firm. The Fire station will be located on the site with apparatus bays aligned to exit directly onto route 31 to offer the best response times from this site. The operation and maintenance of the proposed fire station will be done by the firefighters of the existing North Aurora Fire Protection District Station.

6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.

The proposed Fire Station will be replacing the existing fire station No. 1 in a prominent location along the route 31 corridor. The design of the facility increases the Civic presence along Rt. 31 and more visible community room. The fire stations location will maintain property values in the immediate neighborhood.

7. The proposed special use is compatible with development on adjacent or neighboring property.

The proposed fire station will be adjacent to zoning district R-2 single family homes. Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 7-1 states that a "Planned Unit Development" is considered a special use in all residential districts. There are no permitted or special uses specifically for fire stations in any of the residential districts.

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.

Under Title 17 of the Village of North Aurora, Illinois Code of Ordinances, Table 13-1 states we are required to provide 3 parking stalls per 1,000 SF gross floor area for a government (Non-Village) Office or Facility. The gross floor area of the proposed fire station is 26,918 square feet, meaning we would be required to provide 90 parking stalls. We are requesting a parking reduction that better fits with how the North Aurora Fire Protection District operates. On any given day, the district will have staff to fill 10 beds max., 6 offices, and 1 mechanic's bay. At shift time, that number will increase by an additional 10 staff. Reference table below:

|                     |  |
|---------------------|--|
| Staff for beds      | 10 max.                                |
| Shift change staff  | 10 max.                                |
| Offices for staff   | 6                                      |
| Mechanic staff      | 1                                      |
| ADA Parking Req.    | 2                                      |
| <b><u>TOTAL</u></b> | <b><u>29 Parking Spaces needed</u></b> |

**The proposed Fire Station provides 37 parking stalls**

### Attachments

1. **Attachment A Title (Memorandum from Eriksson Engineering):** Statements 8 &10
2. **Attachment B Title (Memorandum from NAFPD)** Statements 2 & 3

### CC:

| NAME            | ✓ | ORGANIZATION               | PHONE        | EMAIL               |
|-----------------|---|----------------------------|--------------|---------------------|
| Chief Klemencic | ✓ | North Aurora Fire District | 630-897-9698 | mklemencic@nafd.org |



# Memorandum

TO: Village of North Aurora Board of Trustees  
FROM: Ben Ahring, P.E.  
CC: Chief Klemencic – North Aurora Fire District  
Jonathan Tallman – Dewberry  
DATE: July 13, 2023  
RE: Village of North Aurora Special Use Application

The purpose of this memo is to provide responses to statements 8 and 10 in the Special Use Application stating that the proposed special use will conform to the Village's standards.

8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.

*Response: Locating the apparatus bay egress onto Rte 31 mid-block reduces the interaction between vehicles waiting to turn at the stoplights and the fire department vehicles. Having a second access from the back of the apparatus bay reduces the need for fire department vehicles to back up on Rte 31 into the apparatus bay. The parking lot access is moved away from the intersection. These factors lead to adequate and safer access to the site.*

10. The proposed special use is served by adequate utilities, drainage road access, and public safety, and other necessary facilities.

*Response: The existing municipal infrastructure has the capacity to meet the proposed fire station's demands.*



## North Aurora Fire Protection District

2 N. Monroe Street

North Aurora, IL 60542

[www.nafd.org](http://www.nafd.org)

Office: (630) 897-9698

Fax: (630) 897-3050

Mike Klemencic, Fire Chief

July 3<sup>rd</sup>, 2023

To whom it may concern,

The purpose of this memo is to provide information to support that the proposed special use is necessary, will not create excessive additional impacts, and will be beneficial to the economic welfare of the community.

The North Aurora Fire Protection District was established in 1908, consisting of a Fire Chief and twenty-two volunteers. Voluntary or "Paid-on call" staff filled the ranks for nearly a century until 1993 when the first fulltime member was hired. Currently we have twenty-six full-time firefighters, fifteen part-time firefighters and respond to around 2600 emergencies a year.

The North Aurora Fire Protection District has two fire stations. Station #1 was built in its current location on Monroe Street in 1963. Due to continued growth within the Village, station #2 was opened in 2007. Station #1 was built to accommodate a small voluntary force responding to a couple of hundred emergencies a year protecting a community of 2500 people.

Since station #1's opening in 1963, the staff size and operational needs of the fire district have evolved and increased exponentially requiring several remodels and renovations to accommodate the ever-changing needs of the community and the firefighters serving out of that station. After nearly 60 years of transformation and progress station #1 is no longer able to fit the needs of this community and the men and women who protect it.

Dewberry Architects Inc. was selected by the North Aurora Fire Protection District to conduct a facility and space needs assessment of station #1 to determine the available options to increase space and catch up to current standards of safety, efficiency, and technology. After a thorough assessment of station #1 Dewberry Architects Inc. concluded that the issues found at station #1 are too costly to recommend renovation of the existing facility.

"The current fire station #1 facilities are undersized or have prohibitive layouts for effective use of the facility which limits the optimal workflow of the firefighters and administrative staff. The fire station also has aged building HVAC, plumbing and electrical systems nearing the end of their useful life and will require replacement and upgrades to meet today's current standards. To achieve the long-term operational goals of the North Aurora Fire Protection District, Dewberry is recommending the demolition of the existing fire station #1 and replacement. This recommendation is based on our assessment of the existing conditions of the facility, potential cost of repair, the required demolition, and additions to allow for the needed functional changes in how the firefighters use the facility and meet today's and future firefighter safety, health, and wellness standards."

Dewberry's professional assessment of the facility determined that the following issues would prove too costly to move forward with a renovation and addition of the existing facility.

1. ADA compliancy issues for renovations.
2. Constructability of required modifications to Apparatus Bay
  - a. New apparatus equipment heights will not allow equipment to fit through the door openings



3. Underground plumbing issues worsening over time
4. Structural difficulty to modify pre-engineered structure (living side)
5. Current energy code issues make it difficult and expensive to modify existing facilities with the amount of space changes that would be needed in station #1.
6. Site topography and drainage challenges causing water infiltration.
7. Poor parking lot condition.
8. Reconfigure layout of offices, lobby, and conference rooms.
9. Repair and paint of existing gypsum wallboards, CMU walls and ceiling tiles.
10. Replace and update flooring. (Including old asbestos tiles)
11. Replace all perimeter sealant at openings.
12. Replace damaged doors and frames.
13. Extensive repair work needed on the exterior envelope.
14. Renovations to the telecommunication infrastructure.
15. Renovations to the existing alarm system.
16. Upgrades to the lighting systems.
17. Upgrades to the existing Electrical, Mechanical and Plumbing systems.

Our initial plan was to rebuild on our current site. However, we engaged in conversations with the Village to possibly swap land on the same block or adjacent to it. These conversations lead to options that have proven beneficial to both the Fire District and the Village of North Aurora. The goal is to build a firehouse that will allow us to better serve the community now and for future generations and support the economic development of the Village.

When considering station location, the number one concern and guiding factor is response times to the various locations within the District. Our studies show that in order to maintain our response times to the east side of river we need to stay on the current block or adjacent to it. Additionally, we found that by positioning ourselves with direct access to Route 31 we could shave 15-30 seconds off our response times to nearly 75% of our calls which occur west of the Fox River.

We believe that the proposed location for a new North Aurora Fire Station allows for quick access to the east side of the Fox River, quicker responses to the west side of the Fox River, and presents an attractive space for the remainder of the block to be developed.

We at the North Aurora Fire Department feel truly blessed and honored to service this community and wholeheartedly appreciate the citizens we serve and our relationship with the Village. Please don't hesitate to reach out if you have any additional questions or concerns.

Respectfully,

*Mike Klemencic*

Fire Chief – Mike Klemencic  
North Aurora Fire Protection District  
[mkleme@c@nafd.org](mailto:mkleme@c@nafd.org)  
630-897-9698



1 - F 8:30 a.m. - 4:30

## Storage

|  |  |
|--|--|
| <p><b>TIRED???</b><br/>         If you are tired of<br/>         having a garage or base-<br/>         ment full of junk, empty it<br/>         FAST with<br/>         CUBE #323</p> | <p><b>TIRED???</b><br/>         If you are tired of<br/>         having a garage or base-<br/>         ment full of junk, empty it<br/>         FAST with<br/>         CUBE #323</p> |
|--|--|

any person present at the public hearing will be afforded an opportunity to be heard. Written comments may be submitted to the attention of the Village Commission Chairperson at the South Barrington Village Hall of 8420 South Barrington Avenue, South Barrington, Illinois, at least five (5) days prior to the hearing. The Village Commission reserves the right to continue the public hearing from time to time in accordance with the needs of the community. The Village Commission encourages individuals with disabilities who plan to attend the hearing and require certain accommodations in order to allow them to observe and participate or who have questions about the accessibility of the meeting or facilities, to be requested to contact the Office of the Village Clerk at 8420 South Barrington Avenue, South Barrington, Illinois 60015-181-7510.

**Marine Bids** END at approximately 1:30pm CUBE Smart  
**Marine Bids** END at approximately 1:30pm CUBE Smart  
 Sylvia Evans- Cube 294, Willie M Johnson -Cube 212,  
 Irene Igaunde -Cube 2130, Anthony Mcclincin- Cube 3402,  
 Delma Mines- Cube 3116, Gilbert Steven-Cube 4127, Heoma  
 Williams- Cube 5033, Kendra Cardarine -Cube 5064,  
 R Winters- Cube 5168  
**Marine Bids** END at approximately 1:30pm CUBE Smart  
 Harlowe- Cube 4010, 4040, 508-547, Tim  
 Haroldson - Cube C20, Cozette Burcy - Cube CD13, Wy-  
 nisha S. Wilson-Robinson- Cube 215, Donnisha Hoskins -  
 Cube 314, Avelina Cardenas- Cube 824, Ansel Campbell - Cube  
 825, Bernadette -Cube 1919, Vanel Banks- Cube  
 1927, Alfrn E Norwood- Cube 1277.

move-described real property described in Exhibit B, which is to be acquired for the purpose of a public highway, and the Clerk of the Circuit Court of Cook County, Illinois, as Clerk of the Superior Court, has received from the undersigned the following OATHS AND NON-RECORD CLAIMANTS, file your appearance in the said suit in the office of the Clerk of the Circuit Court of Lake County, Law Division, Lake County Judicial Center, 18 North La Salle Street, Waukegan, Illinois 60087, before June 22, 2024, or you shall be deemed to have entered against you at any time after that day and Judgment rendered in accordance with the prayer of said Complaint.

Dated, at Waukegan, Illinois June 19, 2024.  
Wm. Rame Rolfe, Attorney General,  
Special Assistant Attorney General, Attorneys for Plaintiff, 1157 Church Street, Suite 2307, Northbrook, IL

The provisions of the proposed amendment to the planned unit development plan will be on file with the Village Clerk and will be available for review by all persons present at the public hearing will be afforded an opportunity to be heard. Written comments may be submitted to the attention of the Plan Commission Chairperson, c/o South Barrington Village Hall at the address aforesaid and will be considered if received on or before the date of the public hearing. The Plan Commission reserves the right to continue the public hearing from time to time in accordance with the requirements of the Illinois Open Meetings Act. Individuals with disabilities who plan to attend the hearing and require certain accommodations in order to allow

Quincy St Willowbrook, Illinois 60527 630-574-47-5583: Bridt C Murphy - Cube 1047, James Horstman - Cube 2120, sa Haney - Cube 1294, Jeffery Lofton-Cooper - Cube 207 and online Bids END at approximately 11:30am CUBEsmart.com with the following items: 60527 630-574-47-5583: 1047: Cylta Evans - Cube 2094, Willie M Johnson - Cube 2120, Ivonne Edrante - Cube 2134, Anthony Mcclincin - Cube 3422, Delma Mines-Cube 3116, Gilbert Steven-Cube 4127, Heoma Vayevachoa - Cube 4139, Miguel Rodriguez - Cube 5019, Taara Williams-Cube 5033, Kendra Caradine - Cube 5064, and online Bids END at approximately 1:30pm CUBEsmart.com with the following items: 60544 630-574-47-5583: 2070: 2801 Harrison St Bellwood, IL 60404 708-544-7170: Vincent Harolson - Cube C20, Cozette Brava - Cube CD13, Wynt

|  |  |
|--|--|
| <p><b>TIRED???</b><br/>         If you are tired of<br/>         having a garage or base-<br/>         ment full of junk, empty it<br/>         FAST with<br/>         CUBE #323</p> | <p><b>TIRED???</b><br/>         If you are tired of<br/>         having a garage or base-<br/>         ment full of junk, empty it<br/>         FAST with<br/>         CUBE #323</p> |
|--|--|

|  |  |
|--|--|
| <p>ACTION AD<br/>in the<br/>DAILY HERALD<br/>Classified.</p> | <p>ACTION AD<br/>in the<br/>DAILY HERALD<br/>Classified.</p> |
|--|--|





NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
SITE PLAN



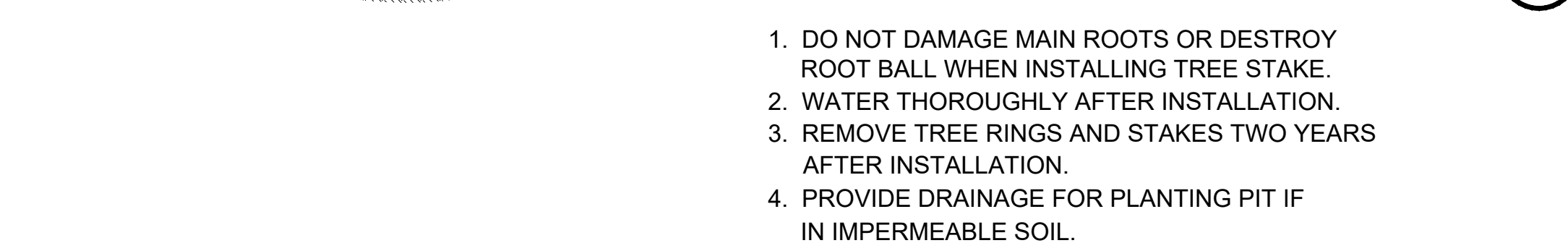
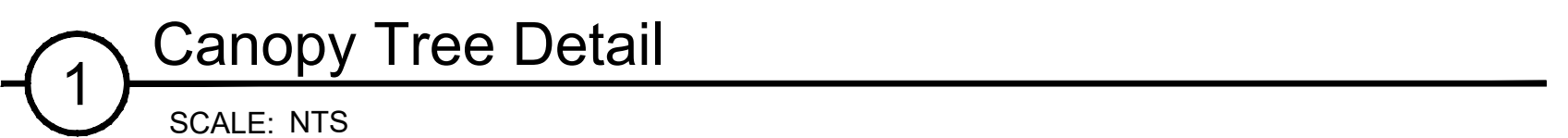
| Description | SIZE | QTY. |
|-------------|------|------|
|-------------|------|------|

|                                |        |   |
|--------------------------------|--------|---|
| <b>Evergreen Trees</b>         |        |   |
| Serbian Spruce                 | 6' ht. | 3 |
| <b>Ornamental Trees</b>        |        |   |
| Autumn Brilliance Serviceberry | 6' ht. | 5 |
| Washington Hawthorn            | 6' ht. | 4 |

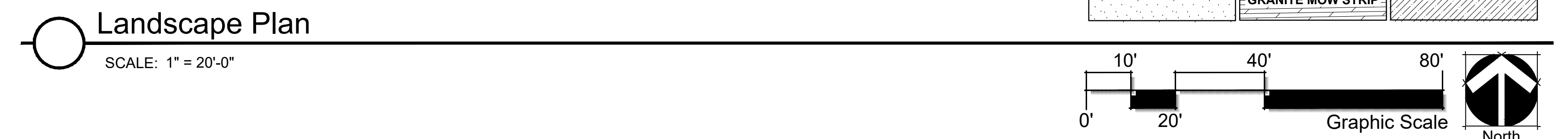
| Perennials & Groundcovers |         |     |
|---------------------------|---------|-----|
| Cherries Jubilee Baptisia | 1 gal.  | 19  |
| Lesser Calamint           | 1 gal.  | 33  |
| Purple Palace Coral Bells | 1 gal.  | 15  |
| Going Bananas Daylily     | 1 gal.  | 61  |
| Pardon Me Daylily         | 1 gal.  | 106 |
| Autumn Joy Sedum          | 1 gal.  | 18  |
| Vinca, 12" O.C.           | flat/24 | 15  |
| Moonshine Yarrow          | 1 gal.  | 19  |

| Turf and Mow Strips               |           |
|-----------------------------------|-----------|
| Kentucky Bluegrass Seed & Blanket | 0.47 acre |
| Decomposed Granite Mow Strip      | 260 s.f.  |

|                                   |           |
|-----------------------------------|-----------|
| Kentucky Bluegrass Seed & Blanket | 0.47 acre |
| Decomposed Granite Mow Strip      | 260 s.f.  |



SCALE: NTS



SCALE: 1" = 20'-0"



F

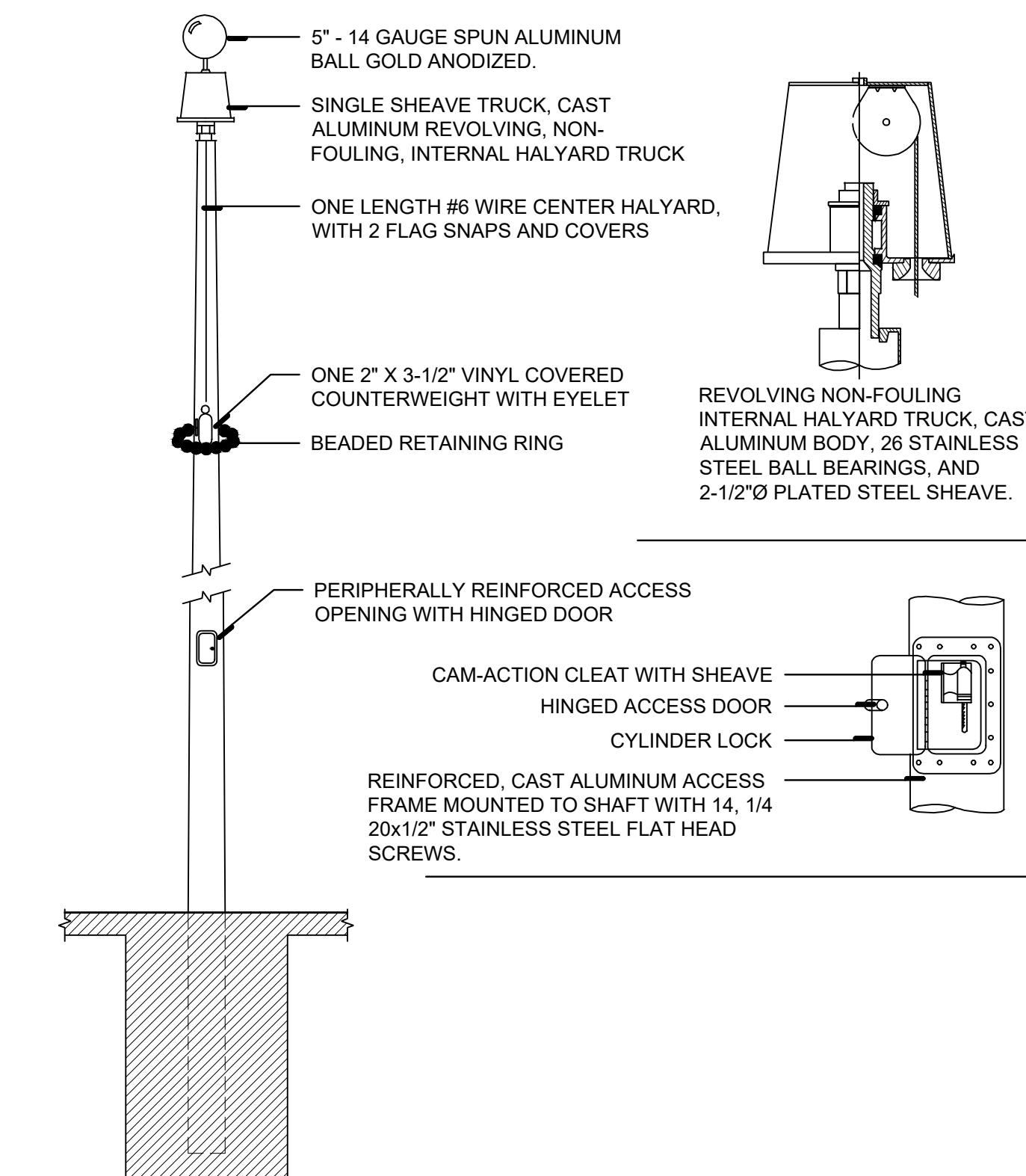
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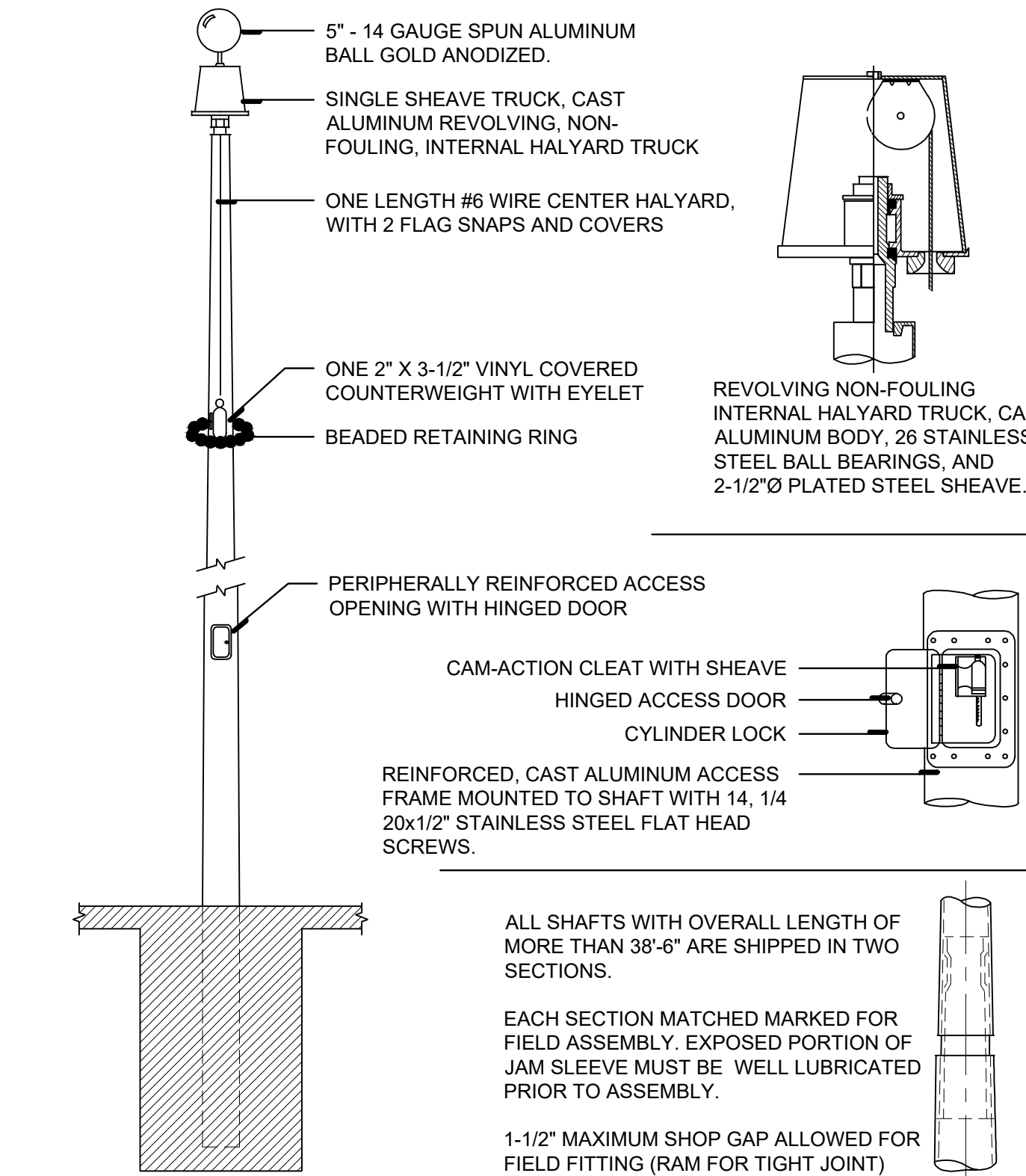
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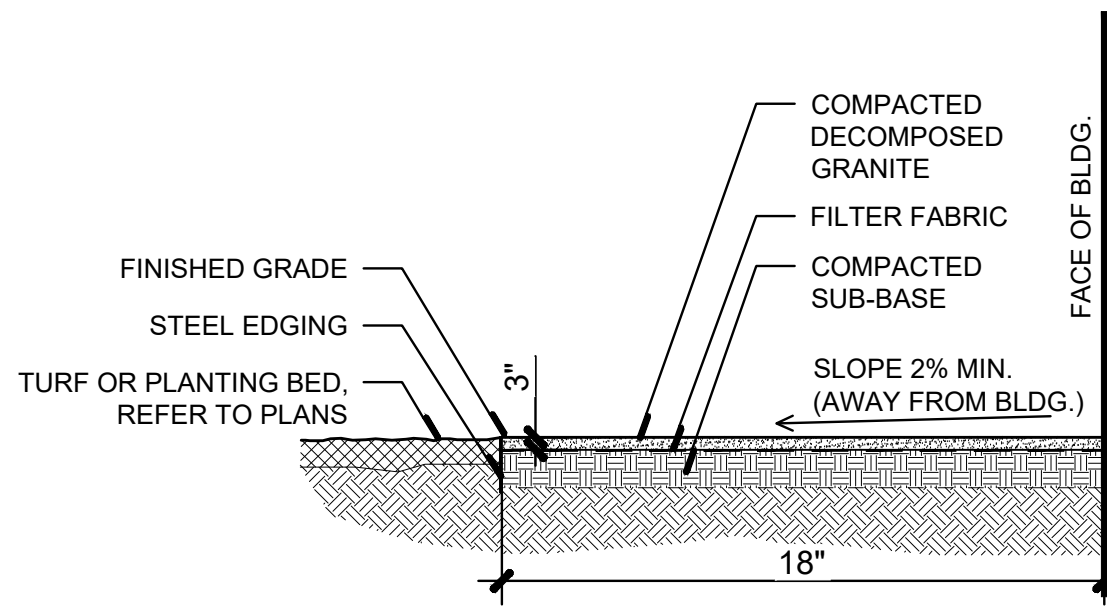
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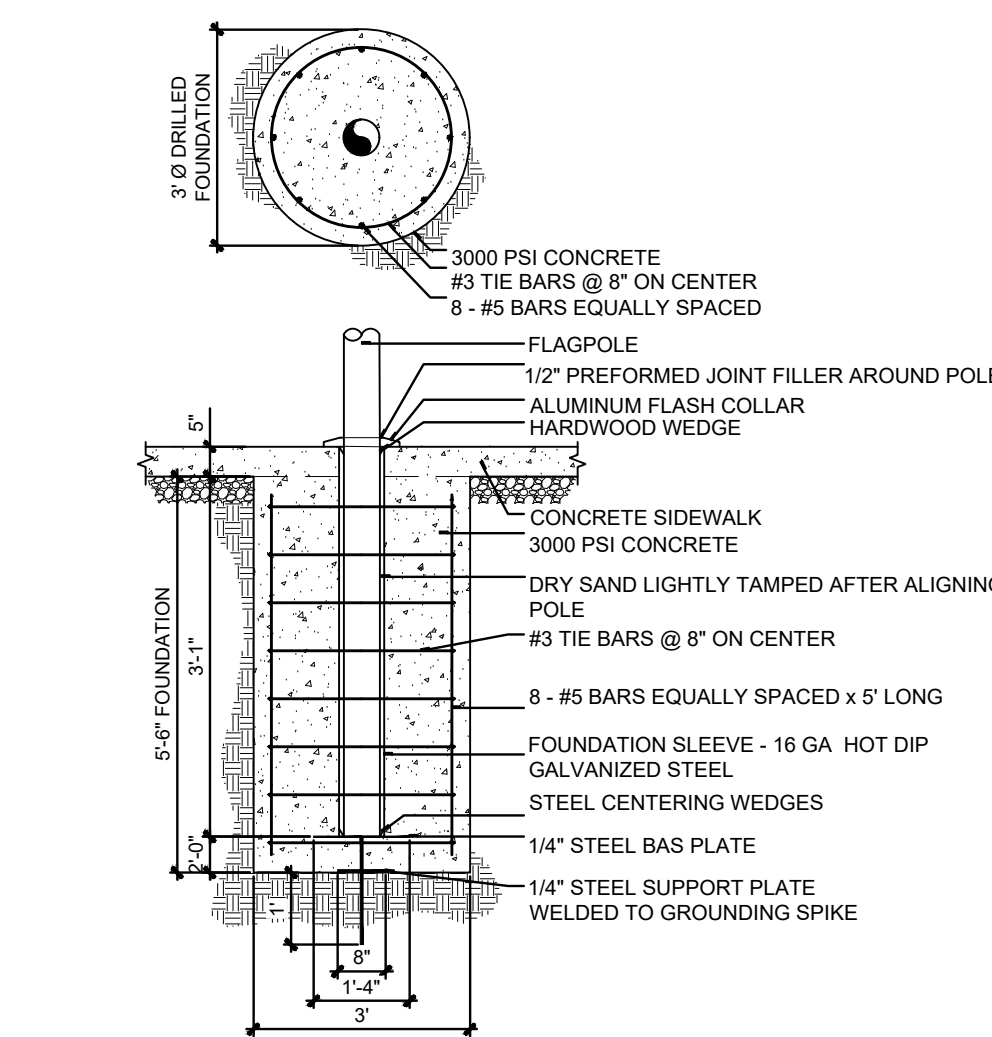
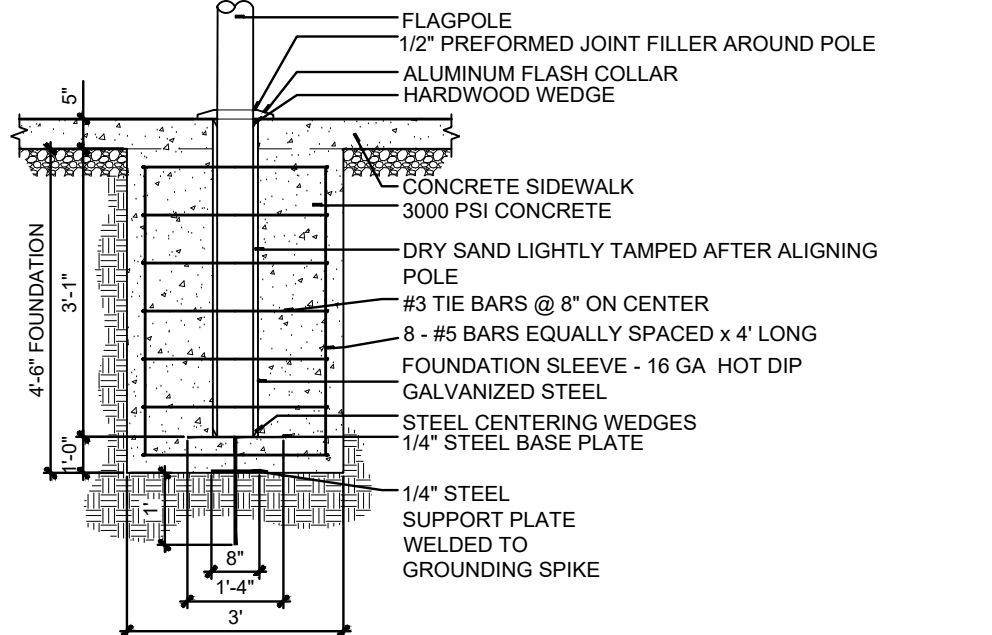
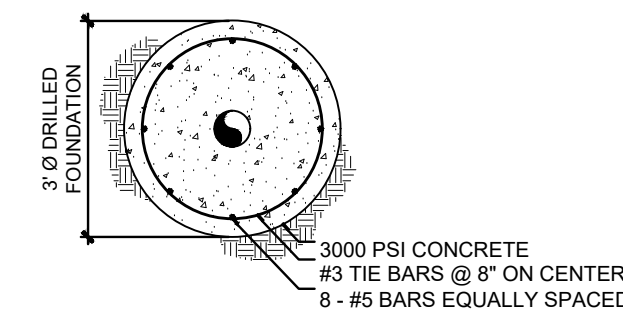
30' FLAGPOLE DETAIL  
SCALE: NTS



35' FLAGPOLE DETAIL  
SCALE: NTS



DECOMPOSED GRANITE MOW STRIP  
SCALE: NTS



## LANDSCAPE SPECIFICATIONS

### PART 1 - GENERAL

#### 1.01 DESCRIPTION

- A. Provide turf, trees, shrubs, and groundcovers as shown and specified. The work includes:
1. Soil preparation.
  2. Fertilizing.
  3. Seeding.
  4. Sod.
  5. Trees, shrubs, and groundcovers.
  6. Mulch and planting accessories.
  7. Maintenance and guarantee.
  8. Cleaning up work area.
  9. Amended topsoil.

#### 1.02 QUALITY ASSURANCE

- A. Comply with applicable local regulations.
- B. Plant names indicated comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.
- C. Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock." A plant shall be dimensioned as it stands in its natural position.
- D. All plants shall be nursery grown in the central/northern Illinois region and/or within a 100 mile radius of the project and under climatic conditions similar to those in the locality of the project for a minimum of 2 years.
- E. Plants are subject to inspection by the Landscape Architect at the job site or nursery. The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging and to reject unacceptable material at anytime during the process.

#### 1.03 SUBMITTALS

- A. Seed: Submit seed vendor's certification for required grass seed mixture, indicating percentage by weight, and percentages of purity, germination, and weed seed for each grass species.
- B. Plants: If plants will not be installed in accordance with provided plants due to availability or conditions a substitution list with genus, species, variety, size and/or quantity of plants to be substituted shall be submitted for review by the Landscape Architect.
- C. Mulch
- D. Straw Blanket
- E. Decomposed Granite, 1 lb.

#### 1.04 DELIVERY, STORAGE, AND HANDLING

- A. Seed: Deliver seed and fertilizer materials in original unopened containers, showing weight, analysis, and name of manufacturer. Store in a manner to prevent wetting and deterioration.
- B. Deliver fertilizer materials in original, unopened, and undamaged containers showing weight, analysis, and name of manufacturer. Store in manner to prevent wetting and deterioration.
- C. Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray evergreen plants and deciduous plants in foliage with and approved "Anti-Desiccant" before digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival: the certificate shall be filed with the Landscape Architect. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heated-in planted daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches or bark.
- D. Cover plants transported on open vehicles with a protective covering to prevent windburn and desiccation.

#### 1.05 PROJECT CONDITIONS

- A. It shall be the contractors responsibility to protect and locate all above and below ground utilities as required by law. The contractor shall contact utility companies at least 48 hours prior to any work.
- B. Work notification: Notify Landscape Architect at least 2 working days prior to start of planting or seeding operations.
- C. Confirm that the quality and depth of topsoil is satisfactory prior to beginning fine grading.
- D. Fine grading must be approved by Landscape Architect prior to start of seeding.
- E. Perform turf work only after planting and other work affecting ground surface has been completed.
- F. Install seed under favorable weather conditions unless approved by the Owner's Representative. The conditions of the guarantee apply regardless of the date of installation. The generally accepted times for seeding are:
- Spring - April 1st to May 31st  
Fall - August 15th to September 15th
- G. A complete list of plants, including a schedule of sizes, approximate quantities, and other requirements is shown on the drawings for the convenience of the Owner. Verify and supply the quantities required to complete the work as shown.

#### 1.06 GUARANTEE

- A. Guarantee all work for two years following the date of Final Completion.
- B. At the end of the guarantee period, reseed areas with specified materials, which fail to provide a uniform stand of grass until all affected areas are accepted by the Landscape Architect.
- C. Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the Landscape Architect, are in an unhealthy or unsightly condition. Guarantee all replacement plants for 2 additional years after installation. Replacement plants, which are dead or unacceptable within 2 years of their installation, may be replaced with ungaranteed plants, or removed, at the discretion of the Owner. Reimburse the Owner 50% of the price of each removed plant, which is not replaced.
- D. Guarantee shall not include damage or loss of trees, plants, or groundcovers caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, winter kill caused by extreme cold and severe winter conditions not typical of planting area, browsing or other damage caused from rodents or other animals; or acts of vandalism.
- E. If within two years of final completion, settlement occurs, make all adjustments without extra cost to the Owner including the complete restoration of all damaged planting, paving, or other improvements of any kind.

### PART 2 - PRODUCTS

#### 2.01 MATERIALS

- A. Seed Fertilizer:
1. Granular, non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.
    - a. Starter fertilizer with an approximate analysis of 6N, (24P205, 24K20), or similar approved composition.
    - b. Post emergent fertilizer with an approximate analysis of 30-5-5.
- B. Plant Fertilizer:
1. Provide a granular commercial fertilizer with an analysis of 10-10-10
- C. Seed:
1. Turf Seed: Provide fresh, clean, new crop turf-type lawn seed complying with the tolerance for purity and germination established by the Association of Official Seed Analysts (AOASA) of North America. Seed shall be obtained from a reputable supplier (approved by Landscape Architect) within a 200-mile radius of the local transition zone and/or northerly regions of the project site and shall be free from Pta annua, bent grass and noxious weeds. Provide pure live seed (PLS) of grass species, proportions and maximum percentage of weed seed, as specified.

- D. Plants: Provide plants typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, plants free from defects, such as: root injuries, frost cracks, abrasions of the bark, plant disease, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces.
1. Dig balled and burlapped plants with firm, natural balls of earth. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock." Cracked or mushroomed balls are not acceptable. Tree shade transplanting is not acceptable.
  2. Provide shade and evergreen tree species with a single main trunk unless otherwise specified or accepted.
  3. Provide plants matched in form when arranged in groups.
  4. Provide evergreen trees branched to the ground unless otherwise specified or accepted.
  5. Provide shrubs and small plants meeting the requirements for spread and height indicated in the plant list.
    - a. The measurements for height shall be taken from the ground level to the average height of the top of the plant and not the longest branch.
- E. Topsoil
1. Topsoil shall be defined as a friable, loamy mixture surface soil. It shall not be extremely acid or alkaline nor contain toxic substances harmful to plant growth, and shall be of uniform color and texture.
  2. Topsoil shall be free from large roots, sticks, weeds, brush, subsoil, clay lumps, or stones larger than one (1") inch in diameter, or other filler and extraneous matter undesirable to plant growth.

3. Topsoil must be inspected by the owner at the source of supply or as delivered. Topsoil shall meet the approval of the owner prior to use. Any topsoil placed without approval may be subject to removal at the discretion of the owner.
- F. Drainage fill: AASHTO M43 (3/8" to 3/4") clean uniformly graded stone or gravel.
- G. Filter fabric: Dupont "Tyap" or other approved non-woven porous polypropylene fabric.
- H. Erosion control blanket shall be 575 BN as manufactured by North American Green or approved equal 100% biodegradable jute mesh. Erosion control blanket shall be installed per manufacturer's recommendation in all areas identified on the drawings.
- I. Decomposed Granite: Reddish-brown crushed granite aggregate 3/8" maximum gradation.
- J. Steel Edging: 3/16" thickness x 4" depth steel landscape bed edging with anchoring stakes. Color to be black or brown.

#### 2.02 ACCESSORIES

- A. Amended Topsoil for Planting Beds: A mixture of 60% topsoil and 40% mushroom compost, which have been thoroughly incorporated.
- B. Mulch: 6 month old, well rotted, double shredded hardwood, cedar or cypress bark must, not larger than 4" in length and 1/2" in width, free of woodchips and sawdust.
- C. Stakes for Guying: Hardwood, 2" x 4" x 36" long, or steel stakes.
- D. Guying Wires: Double strand No. 12 gauge galvanized wire.
1. Turnbuckles: Galvanized steel of size and gauge required to provide tensile strength equal to that of the wire. Turnbuckle openings shall be at least 3" diameter.
- E. Guying Hoses: Two-ply, reinforced garden hose not less than 3/4" inside diameter.
- F. Tree Wrap: Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe kraft paper weighing not less than 30 lbs. per ream.
- G. Twine: Two-ply nursery jute material.
- H. Sand: Coarse "torpedo" sand.

### PART 3 - EXECUTION

#### 3.01 INSPECTION

- A. Examine finish surfaces grades, topsoil quality, depth, and conditions of installations. Do not start planting work until unsatisfactory conditions are corrected.
- B. Saturate and fill tree and shrub pits with water to test drainage before planting. Provide gravel drains at pits, when planting pits are more than half full of water after 24 hours.

#### 3.02 PREPARATION

- A. All planting techniques and methods shall be consistent with the latest edition of American Standard for Nursery Stock (ANSI Z60.1), and as detailed on these drawings.
- B. Loosen topsoil of lawn areas to minimum depth of 6". Remove stones over 1" in any dimension and sticks, roots, rubbish, and extraneous matter.
- C. Grade lawn areas to smooth, free draining and even surface with a loose, uniformly fine texture. Roll and rake; remove ridges and fill depressions as required to drain.
- D. Restore prepared areas to specified condition if eroded, settled, or otherwise disturbed after fine grading and prior to seeding or sodding.
- E. Time of Planting:
1. Evergreen material: Plant evergreen materials between September 2 and November 1 or in spring before new growth begins. If project requirements require planting at other times, spray plant with anti-desiccant prior to planting operations.
  2. Deciduous material: Plant deciduous materials in a dormant condition. If deciduous trees are planted in-leaf, spray with an anti-desiccant prior to planting operations.

- F. Locate plants as indicated and approved in the field by the Landscape Architect.
- G. Excavate all clay and gravel in medians and planting beds to 24" depth. Backfill with amended topsoil.
- H. Excavate circular plant pits with sloped sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Scarify the bottom of the pit to a depth of 4".

#### 3.03 FERTILIZATION

- A. Apply fertilizers and conditioners at the rate specified per soil tests findings. In lieu of soil test results see specifications below.
- B. For seeded turf grass areas:
1. Apply starter fertilizer to indicated seed areas at a rate equal to 650 lb. per acre.
  2. Apply fertilizer by mechanical rotary or drop types distributor, thoroughly and evenly incorporated with soil to a depth of 3" by diskbar or other approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.

#### 3.04 SEED INSTALLATION

- A. Turf Grass:
1. Seed immediately after preparation of bed.
  2. Seed indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.
  3. Perform seeding operations when the soil is dry, when winds do not exceed 10 miles per hour velocity and soil temperatures are above 55 degrees Fahrenheit.
  4. Sow grass seed at the specified rate using the following method:
    - a. Conventional Seeding:
      - a. Apply seed with a drop or rotary type distributor. Install seed evenly by sowing equal quantities in both directions, at right angles to each other.
      - b. After seeding, rake soil surface lightly to incorporate seed. Roll with light lawn roller.
5. For all seeded broadcast areas, provide erosion control excelsior blanket within 24 hours of installation. Install per manufacturer's specification.
6. Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased, but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four weeks after germination or until grass has become sufficiently established to warrant watering on an "as needed" basis.

#### 3.05 PLANT INSTALLATION (See landscape details for additional information)

- A. Trees and shrubs:
1. Set plant material in the planting pit to proper grade and alignment. Set plants upright and plumb. Set root flare of plant material 2" above the adjacent finish grade. Remove excess soil as needed from rootball above root flare. Remove burlap from top 1/3 of root ball. Remove all treated burlap (green). Cut and remove or roll and fold down upper half of wire basket, dependent upon tree size. Do not fill around trunks or stems.
  2. After balled or burlapped plants are set, backfill fill all voids, tamping soil to avoid any air pockets.
  3. Mix approved commercial fertilizer at 10 lbs. per cubic yard of backfill.
  4. Water plants immediately after planting to eliminate all voids, thoroughly soak the plant rootball.
  5. Remove all tags, wires, twine, and wrap from trees and shrubs immediately after planting.
- I. Groundcovers:
1. Where groundcovers are specified on the plans, rototill entire plant bed to 12" depth using amended topsoil. Incorporate commercial 10-10-10 fertilizer into prepared soil mixture at an approximate rate of 1 lb. per square yard.
  2. Space groundcover plants according to dimensions on the drawings. Adjust spacing as necessary to evenly fill planting bed with indicated number of plants. Plant to within 1/8" of the trunk of trees and shrubs, or to the edge of the plant ball, whichever is closest. Plant to within 12" of bed edge.
  3. Apply commercial pre-emergent herbicide (Preen or equal) per manufacturer's directions to entire groundcover bed.
- C. Mulching:
1. Mulch tree and shrub planting pits and shrub beds with required mulching material 3" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
  2. Do not mulch within 3" radius of tree trunk.
- D. Wrapping:
1. Inspect trees for injury to trunks, evidence of insect infestations, and improper pruning before wrapping.
  2. Wrap trunks of trees spirally from bottom to top with specified tree wrap and secure in place.
    - a. Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
    - b. Secure tree wrap in place with twine wound spirally downward in opposite direction, lead around the tree in at least 3 places in addition to the top and bottom.
    - c. Wrap should be removed within 1 year of installation and all twine removed to avoid damage to trunk.

END OF SECTION

### EROSION CONTROL

#### PART 1 - GENERAL

1. When specified, guy all trees immediately after lawn seeding or sodding operations and prior to acceptance. When high winds or other conditions, which may effect tree survival or appearance, occur, the Landscape Architect may require immediate guying.
2. Guy deciduous trees over 3" caliper. Guy evergreen trees over 8" tall.
- F. Pruning:
1. Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud at a distance of not less than 1/2 the diameter of the supporting branch. Make cut on an angle. All pruning to be in compliance with ANSI A300 Pruning Standards and International Society of Arboriculture.
  2. Prune branches of deciduous stock, after planting, to preserve the natural character appropriate to the particular plant requirements. In general, remove no more than 1/2 of the leaf bearing buds. Remove or cut back dead, broken, and damaged branches and asymmetrical growth of new wood.
  3. Multiple leader plants: Preserve the leader which will best promote the symmetry of the plant. Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud at a distance of not less than 1/2 the diameter of the supporting branch. Make a cut on angle.
  4. Prune evergreens only to remove broken or damaged branches.

#### 3.06 UNDERDRAIN INSTALLATION

- A. Install minimum 4" layer of drainage fill over compacted earth base for bedding drainage pipe.
- B. Lay drainage with perforations down, joints closed, and firmly bedded in drainage fill material. Provide full bearing for each pipe section. Provide continuous slope in the direction of flow.
- C. Install underdrain drainage 30" below finished grade.

#### 3.07 MAINTENANCE

- A. Maintain lawn areas and plantings to ensure proper watering and mowing as required for sixty (60) days minimum, after Final Acceptance.
- B. Maintain lawn areas including watering, spot seeding, mowing, application of herbicides, fungicides, insecticides, and reseeding until a full, uniform stand of grass free of weeds, undesirable grass species, disease, and insects is achieved and receives Final Acceptance.
1. Water seed thoroughly as required to establish proper rooting.
  2. Repair and rework all areas that have washed out or are eroded. Replace undesirable or dead areas with new seed.
  3. Mow lawn areas as soon as top growth reached a 3" height. Cut back to 2" height. Repeat mowing as required to maintain specified height. Not more than 30% of grass leaf shall be removed at any single mowing.
  4. Remove soil puffs following turf establishment.
- C. Maintenance shall include pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants free of insects, weeds and diseases.
1. Re-set settled plants to proper grade and position. Restore planting scar and adjacent material and remove dead material in accordance with pruning section.
  2. Tighten and repair, or remove, guy wires and stakes as required.
  3. Water trees, plants, and groundcover beds within the first 24 hours of initial planting, and not less than twice per week until Final Completion.

#### 3.08 FINAL ACCEPTANCE, INSPECTION AND COMPLETION

- A. Inspection of all work will be made by the Landscape Architect upon written request by the Contractor. At that time if all work is satisfactory, that will constitute Final Acceptance and the beginning of the sixty (60) day period of maintenance.
- B. Seeded areas will be inspected at completion of installation and accepted subject to compliance with specified materials and installation requirements.
1. Seeded areas will be acceptable provided all requirements, including maintenance, have been complied with, and dense, even-colored, viable lawn is established free of weeds, undesirable grass species, disease, and insects.
  2. No seeded areas shall have bare spots or unacceptable cover totaling more than 2% of the individual areas, in areas requested to be inspected.
- C. Inspection of all work shall be made after the sixty (60) day period of maintenance, upon written request of Contractor. At that time, if all work is satisfactory, that will constitute Final Completion.
- D. Plants that have died or are in unhealthy or badly impaired condition upon inspection shall be treated or replaced at no additional cost to Owner.
- E. Replace rejected plants in the season that is most favorable for resetting kinds of plants required, if possible within two weeks of inspection.
- F. Final Acceptance of all work shall constitute the beginning of the one (1) year guarantee period.
- G. Contractor's responsibility for maintenance (exclusive of replacement within guarantee period) shall terminate on date of Final Completion.

#### 3.9 CLEANING

- A. Perform cleaning during installation of the work and upon completion of the work. Remove from sites all excess materials, soil, debris, and equipment. Repair damage resulting from planting operations.
- B. Leave all surfaces broom clean at the end of all work days. The contractor shall also be responsible for all damage caused by clean up activities and for the daily removal of all trash and debris from work area to the satisfaction of the Landscape Architect.

END OF SECTION

- A. Install straw mulch in all seeded areas requiring erosion control that are not to be protected by erosion control blanket per the Plans.
- B. Apply seed prior to installing straw mulch per Specifications.
- C. Straw mulch shall be applied by a mechanical means suitable for blowing straw at a rate of 1.5:2 tons per acre.
- D. Immediately proceeding blown straw application, the straw shall be crimped using an implement designed to punch mulch into the soil effectively.

END OF SECTION

### SEED BED PREPARATION AND REGRADING

#### PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. This section includes preparation of soil prior to seeding and/or removal of erosion rills and disturbance in the areas of the site existing as disturbed/unvegetated soil or eroded slopes.

#### 1.2 QUALITY ASSURANCE

- A. Qualifications of workers: provide at least one person who shall be present at all times during execution of this portion of the work, who shall be thoroughly familiar with this type of work and the type of materials being used. Said person shall also direct all work performed under this section.
- B. Standards: all materials used during this portion of the work shall meet or exceed applicable federal, state, county and local laws and regulations.

#### 1.3 SUBMITTALS

- A. Equipment: prior to commencement of any work, submit to the Owner a written description of mechanical equipment and its intended use during the execution of the work.

### PART 2 - EXECUTION

#### 2.1 METHOD - SOIL PREP AND REGRADING

- A. SHALLOW SLOPE, UNVEGETATED - In areas existing in an unvegetated state at the inception of installation activities on the site and possessing a slope of <5:1, soil shall be dragged with a disc, harrow, landscape rake, or box grader so that soil is tilled to a minimum depth of 4". For unvegetated areas with a slope greater than 10:1, ensure that the disc tracks or furrows run parallel to the contour so as not encourage rilling.
- B. SEVERE SLOPE, VEGETATED - In areas existing in a vegetated state at the inception of installation activities, possessing a slope of 5:1, and having significant soil loss due to erosion rill formation, soil shall be returned to original contour using a harrow, landscape rake, or box grader. In areas where soil loss is extreme, friable topsoil (available on-site) shall be imported by the Contractor at the direction of the Landscape Architect.
- C. Topsoil shall be free of stones, lumps, plants, roots, and other debris over 2" in any dimension. Topsoil must also be free of plants or plant parts of quick grass, reed canary grass, Canada thistle, or others as specified by the Landscape Architect.
- D. Erosion control blankets shall be applied to all areas of the site that are not to be graded and level prior to seeding.
- E. Soils shall not be compacted. A 150# person walking on soil should leave a 1" depression. Soils shall have a measured compaction following regrading no greater than 5 psi, based on Larng or Cone penetrometer measurements at the time of seeding or planting unless otherwise stated on the Plans or the Specifications. If 10% or more of penetrometer readings are greater than 5 psi, disc, rotavate, and/or chisel plow said areas as necessary to reduce compaction.
- F. Re-check soil compaction as described above after tillage. Repeat treatment as necessary until 90% or more of planting area meets the standard.

#### 2.2 CLEAN-UP, REMOVAL, AND REPAIR

- A. Clean-up: Contractor shall keep work areas free of debris. After the work is complete, clean up any remaining materials, debris, trash, etc. Avoid driving or walking over areas to minimize disturbance.
- B. Removal: after work has been completed remove any tools, equipment, empty containers, and all other debris generated by the Contractor.
- C. Repair: repair any damage caused by the Contractor during completion of the work described in this section.

END OF SECTION

**Dewberry**

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Scheppe Design Associates, Inc.

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P.O. Box 1000  
Tampa, FL 33601-1000  
813.271.1275  
FL DESIGN FIRM REG.  
#00000000

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60154

ISSUED FOR BIDDING AND PERMIT

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

REVISIONS

| NO.         | DESCRIPTION           | DATE       |
|-------------|-----------------------|------------|
| 1           | ISSUED FOR BID        | 06/29/2023 |
| 2           | AND PERMIT            |            |
| 3           | ISSUED FOR 95% REVIEW | 06/15/2023 |
| 4           | ISSUED FOR 100% DD    | 05/11/2023 |
| 1           | ISSUED FOR 50% DD     | 04/14/2023 |
| DRAWN BY    | CK                    |            |
| APPROVED BY | MW                    |            |
| CHECKED BY  | MS                    |            |
| DATE        | 04/14/2023            |            |
| TITLE       |                       |            |

Details and  
Specifications

PROJECT NO. 50158991

L-2

SHEET NO.







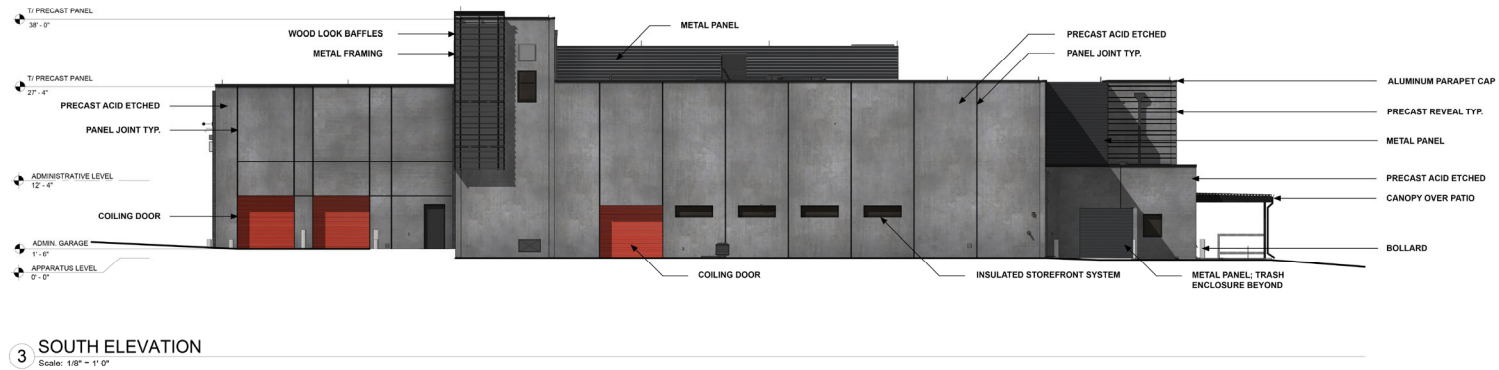
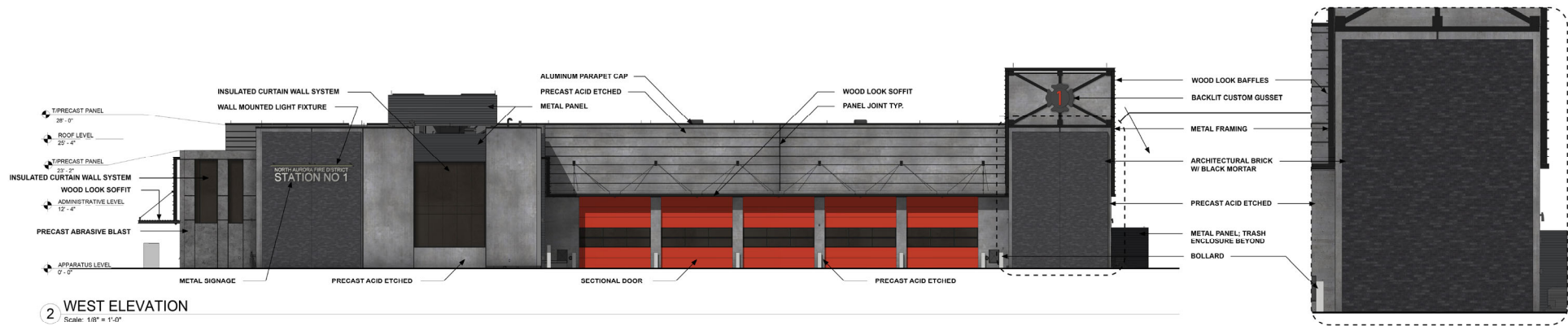
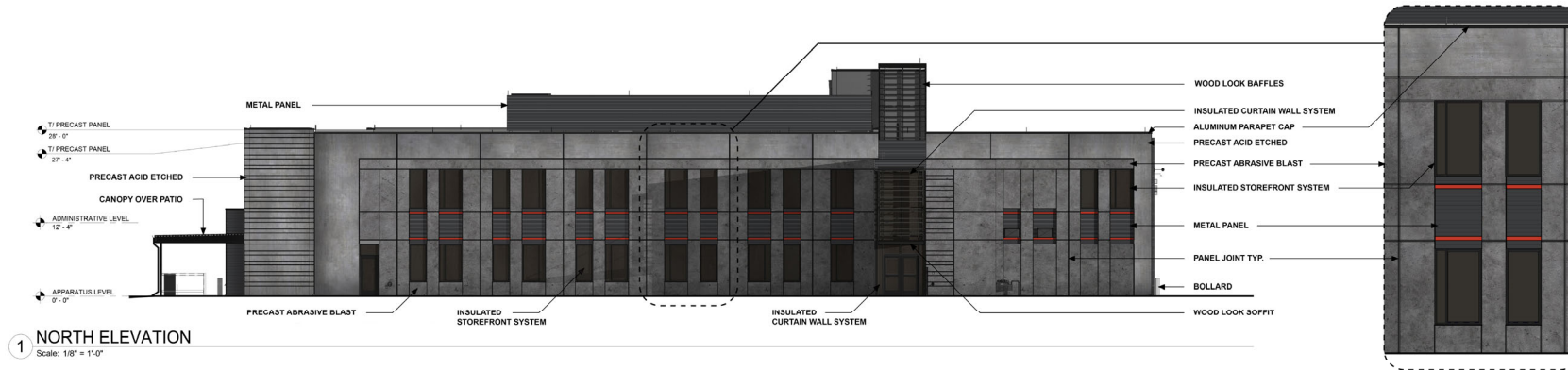


NORTH AURORA  
FIRE DISTRICT

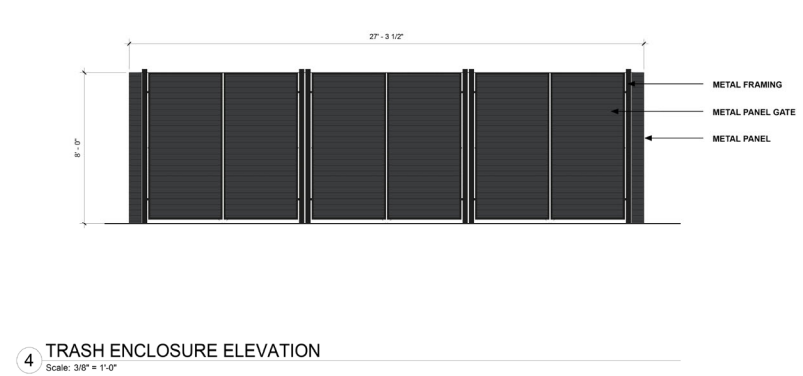
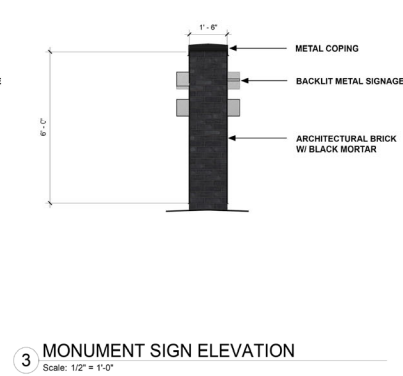
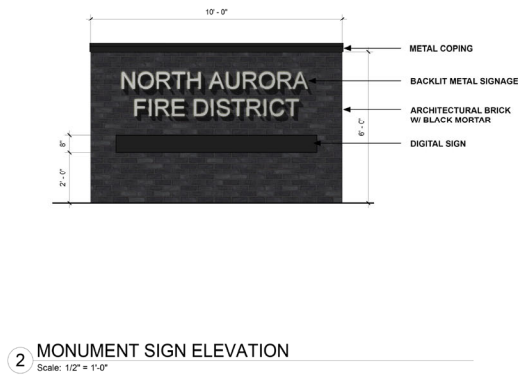
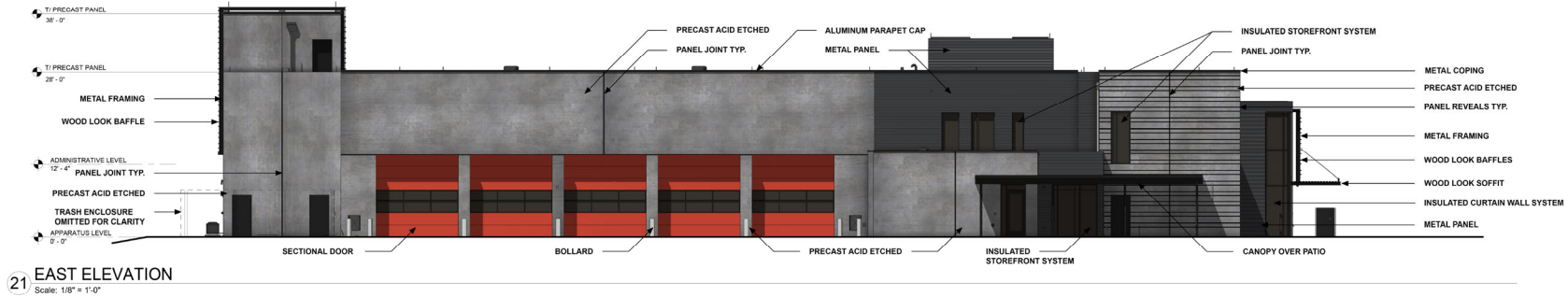








NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
EXTERIOR ELEVATIONS



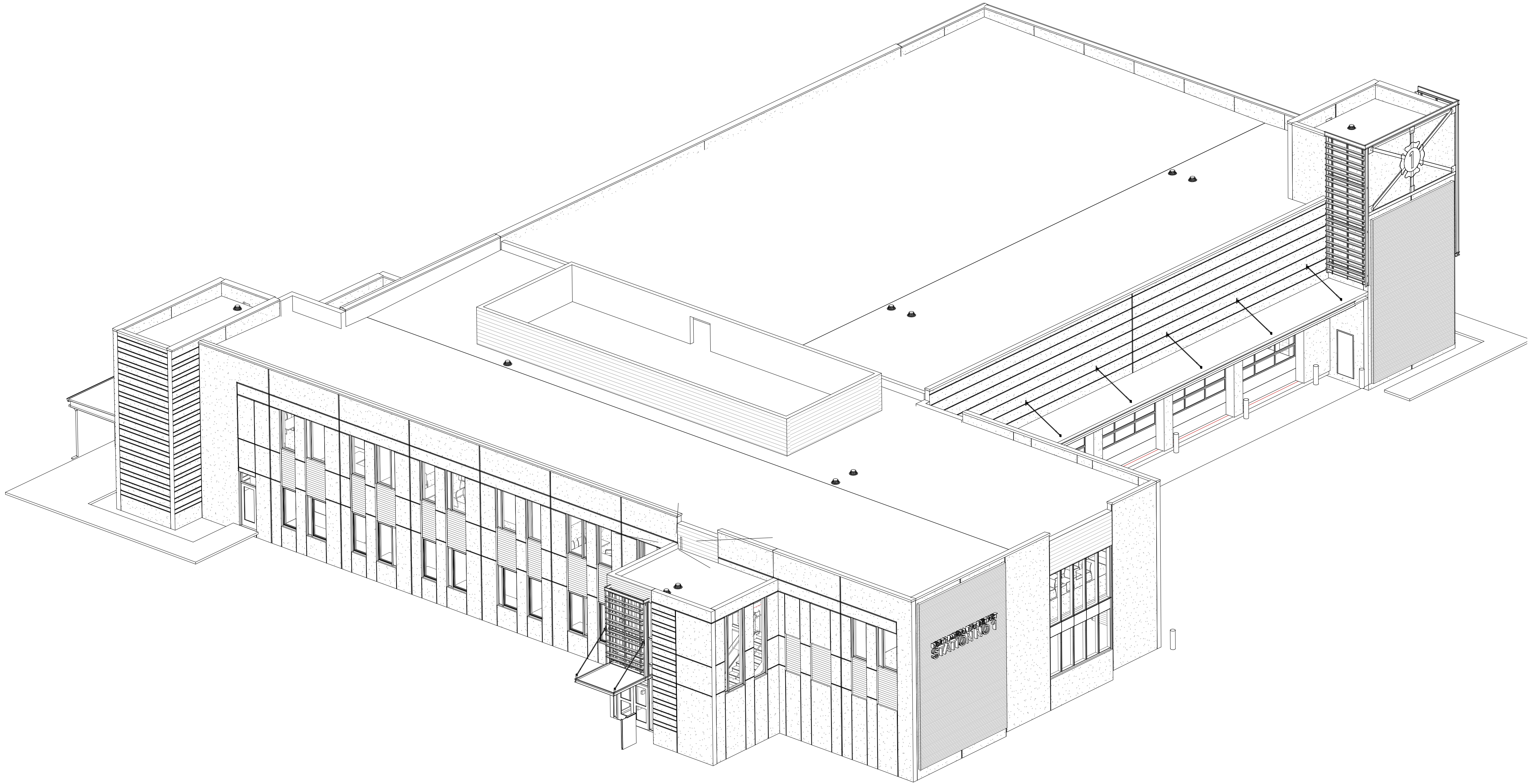
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
EXTERIOR ELEVATIONS



# NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60542

ISSUED FOR BIDDING AND PERMIT  
06/29/2023



**ARCHITECTURAL**

Dewberry Architects Inc.  
  
132 North York Street  
Suite 2C  
Elmhurst, IL 60126-3079  
  
847.695.5840  
847.841.6579 fax



**INTERIOR DESIGN**

Dewberry Architects Inc.  
  
132 North York Street  
Suite 2C  
Elmhurst, IL 60126  
  
847.695.5840  
847.695.6579 fax



**CIVIL**

Eriksson Engineering  
Associates, Ltd.  
145 Commerce Drive  
Grayslake, IL 60030  
  
847.223.4804  
847.223.4864 fax



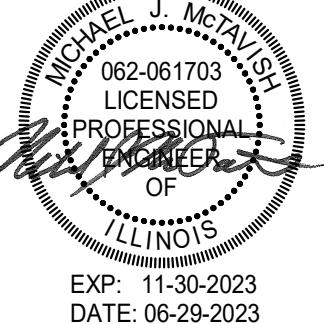
**LANDSCAPE**

Shope Design Associates, Inc.  
  
126 S. Main Street  
Oswego, IL 60543  
  
630.551.3355  
630.551.3639 fax



**MEPFPT**

Dewberry Engineers Inc.  
  
401 S.W. Water Street  
Suite #701  
Peoria, IL 61602  
  
309.282.8000  
309.282.8001 fax

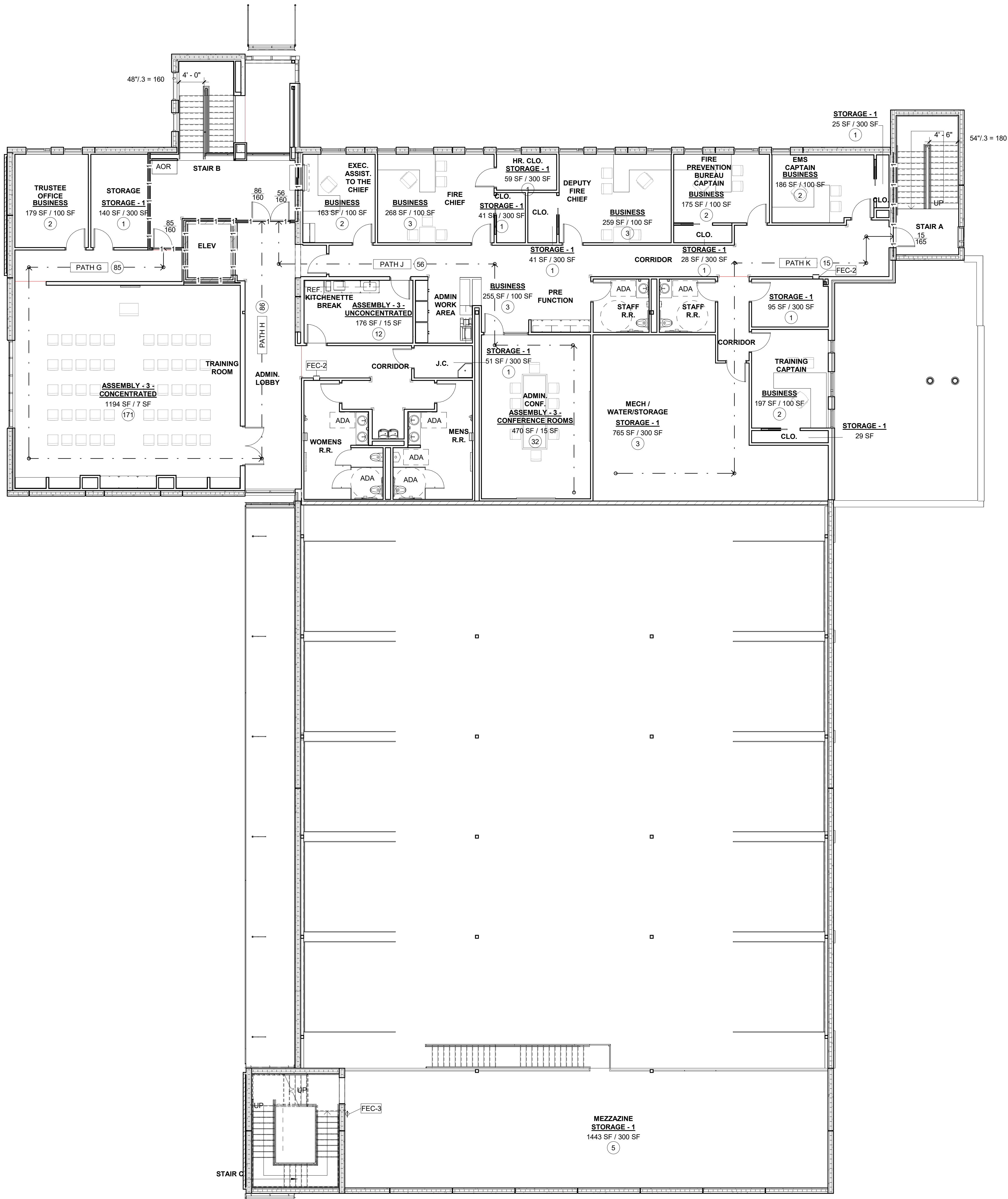








F  
E  
D  
C  
B  
A

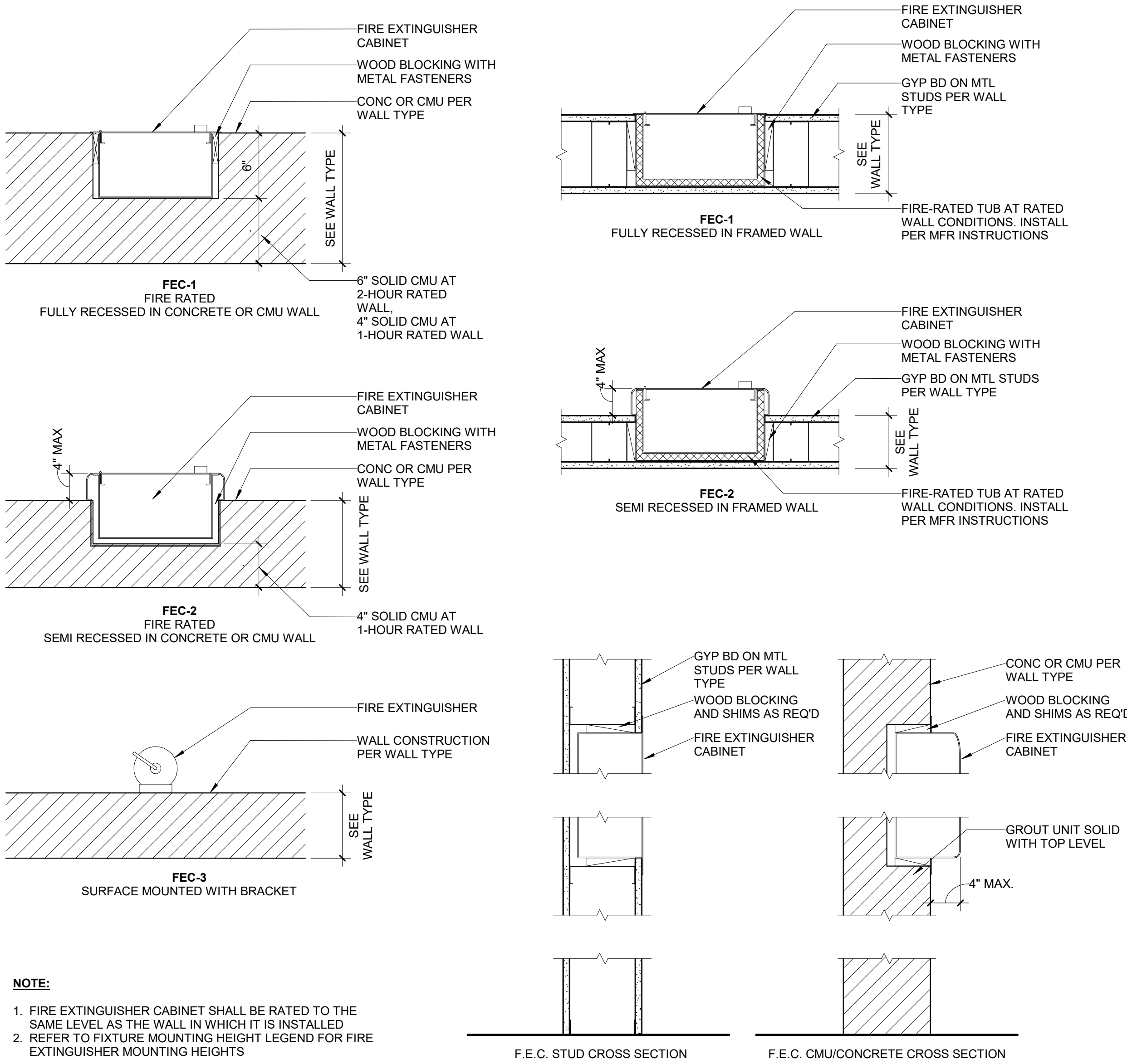


CODE PLAN LEGEND

- Area Name** → OCCUPANCY USE TYPE  
150 SF → AREA OF SPACE/AREA PER OCCUPANT  
999 → OCCUPANT LOAD  
100 → NUMBER OF OCCUPANTS GOING THRU AN EGRESS DOOR OR THRU AN EGRESS STAIR  
999 → MAX. NUMBER OF OCCUPANTS ALLOWED PER CODE THRU AN EGRESS DOOR / EGRESS STAIR
- 1—1— 1-HR FIRE BARRIER  
- UL DESIGN NO. U906 FOR MASONRY WALL  
- UL DESIGN NO. U419 FOR STUD WALL  
- UL DESIGN NO. U415 OR U499 FOR SHAFT WALL
- 2—2— 2-HR FIRE BARRIER  
- UL DESIGN NO. U906 FOR MASONRY WALL  
- UL DESIGN NO. U419 FOR STUD WALL  
- UL DESIGN NO. U415 OR U499 FOR SHAFT WALL
- SB—SB— SMOKE PARTITIONS
- ← PATH → TRAVEL DISTANCE (SEE EGRESS PATH SCHEDULE)
- FEC-1 FIRE EXTINGUISHER CABINET - FULLY RECESSED  
FEC-2 FIRE EXTINGUISHER CABINET - SEMI RECESSED  
FEC-3 FIRE EXTINGUISHER - WALL MOUNTED
- OUTLINE OF ADA REQUIRED MANEUVERING CLEARANCE  
ARA AREA OF RESCUE ASSISTANCE

| Egress Path Schedule |              |
|----------------------|--------------|
| PATH NAME            | PATH LENGTH  |
| PATH A               | 30'-9 1/2"   |
| PATH B               | 119'-1"      |
| PATH C               | 124'-10 1/2" |
| PATH D               | 49'-4"       |
| PATH E               | 89'-1"       |
| PATH F               | 79'-0 1/2"   |
| PATH G               | 125'-10 1/2" |
| PATH H               | 55'-2 1/2"   |
| PATH I               | 75'-1"       |
| PATH J               | 90'-3 1/2"   |
| PATH K               | 82'-5 1/2"   |
| PATH L               | 76'-2"       |
| PATH M               | 99'-5 1/2"   |

FIRE EXTINGUISHER DETAIL



- NOTE:**
1. FIRE EXTINGUISHER CABINET SHALL BE RATED TO THE SAME LEVEL AS THE WALL IN WHICH IT IS INSTALLED
  2. REFER TO FIXTURE MOUNTING HEIGHT LEGEND FOR FIRE EXTINGUISHER MOUNTING HEIGHTS



Dewberry Architects Inc.  
132 North York Street  
Suite 301  
Evanston, IL 60126-3079  
847.695.5840  
IL DESIGN FIRM REG. #184000358-001

Dewberry Engineers Inc.  
401 SW Water Street  
Suite 701  
Peoria, IL 61602  
309.282.8000  
IL DESIGN FIRM REG. #184005007-0006

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60154  
ISSUED FOR BIDDING AND PERMIT

SEAL

KEY PLAN

SCALE

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

DRAWN BY MR/JGSHII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023

TITLE

SECOND FLOOR  
CODE  
COMPLIANCE  
PLAN

PROJECT NO. 50158591

SHEET NO.

G-121

A1 SECOND FLOOR CODE COMPLIANCE PLAN

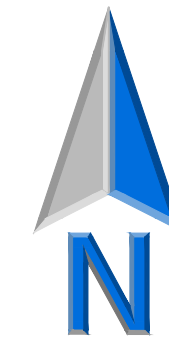
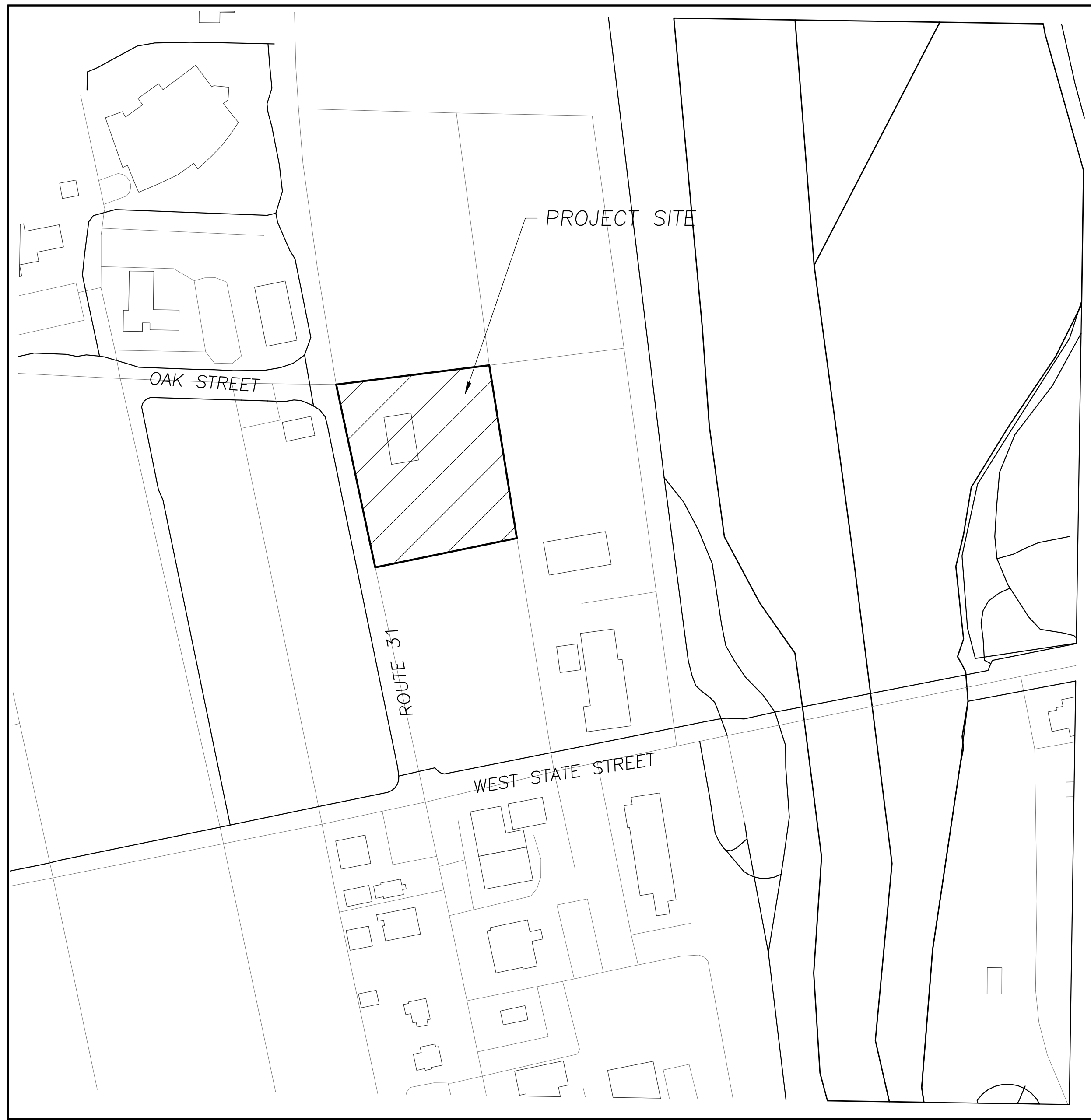
Scale: 1/8" = 1'-0"

# NORTH AURORA FIRE PROTECTION DISTRICT

## STATION NO. 1

### 23 N Lincolnway Street

### North Aurora, IL 60542



#### SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By Compass  
Surveying For Dewberry Architects on December 12 2022.

#### PROJECT BENCHMARKS

Site Benchmark #1:  
North-Northeast Bold On Fire Hydrant At The Northeast  
Corner of Route 31 and Oak Street.

Elevation: 684.45

Site Benchmark #2:  
Southwest Tag Bolt On Fire Hydrant At The Southeast Corner  
of Subject Property.

Elevation: 674.90

#### J.U.L.I.E.

Note: The exact location of all utilities shall be verified by  
the contractor prior to construction activities. For utility  
locations call: J.U.L.I.E. 1 (800) 892-0123

#### CIVIL SHEET INDEX

|      |                               |
|------|-------------------------------|
| C000 | CIVIL COVER SHEET             |
| C001 | EXISTING CONDITIONS           |
| C100 | SITE DEMOLITION PLAN          |
| C200 | SITE GEOMETRY PLAN            |
| C300 | SITE UTILITY PLAN             |
| C400 | SITE GRADING AND PAVING PLAN  |
| C500 | SITE EROSION AND CONTROL PLAN |
| C600 | SITE WORK DETAILS             |
| C601 | SITE WORK DETAILS             |
| C602 | SITE WORK DETAILS             |
| C603 | FOX METRO DETAILS             |
| C604 | FOX METRO DETAILS             |
| C605 | FOX METRO DETAILS             |



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ILLINOIS DESIGN FIRM REG.  
#184005007-0006

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60542  
95% REVIEW SET

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

REVISIONS

| NO. | DESCRIPTION                  | DATE     |
|-----|------------------------------|----------|
| 5   | ISSUE FOR BIDDING AND PERMIT | 06/29/23 |
| 4   | ISSUE FOR 95% REVIEW         | 06/15/23 |
| 3   | ISSUE FOR 100% DD            | 05/11/23 |
| 2   | ISSUE FOR 50% DD             | 04/14/23 |
| 1   | ISSUE FOR SCHEMATIC DESIGN   | 03/22/23 |

DRAWN BY CMS

APPROVED BY BJA

CHECKED BY BJA

DATE 06/29/2023

TITLE

CIVIL COVER  
SHEET

PROJECT NO. 50158591

C000

SHEET NO.



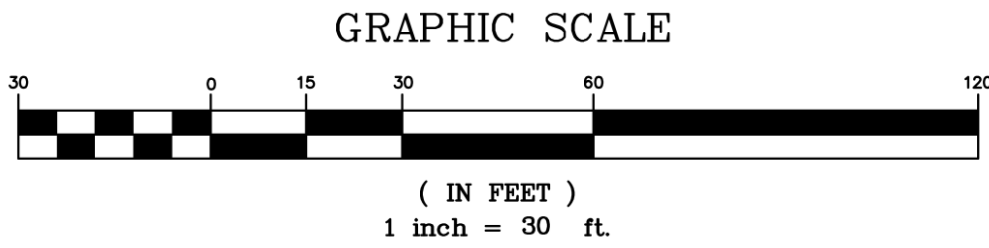
LEGAL DESCRIPTION

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876 AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001044, AND ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE SOUTH 80 DEGREES 43 MINUTES 37 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID LOT 29, A DISTANCE OF 4.40 FEET TO A LINE PARALLEL WITH AND 4.40 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES TO, THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1 FOR THE POINT OF BEGINNING; THENCE SOUTH 09 DEGREES 21 MINUTES 04 SECONDS EAST ALONG SAID PARALLEL LINE, 376.72 FEET TO A POINT THAT IS 12.40 FEET NORTHERLY OF THE SOUTHERLY LINE OF SAID LOT 17; THENCE SOUTH 76 DEGREES 55 MINUTES 50 SECONDS WEST, 185.86 FEET TO THE INTERSECTION OF THE SOUTHERLY LINE OF SAID LOT 17 AND THE EASTERLY LINE OF ILLINOIS ROUTE 31 PER DOCUMENT 2010K023505; THENCE NORTH 80 DEGREES 45 MINUTES 22 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 17, A DISTANCE OF 189.87 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 17, SAID SOUTHEASTERLY CORNER BEING ON THE WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1; THENCE NORTH 09 DEGREES 21 MINUTES 04 SECONDS WEST ALONG SAID WESTERLY LINE, 389.12 FEET TO THE POINT OF BEGINNING;

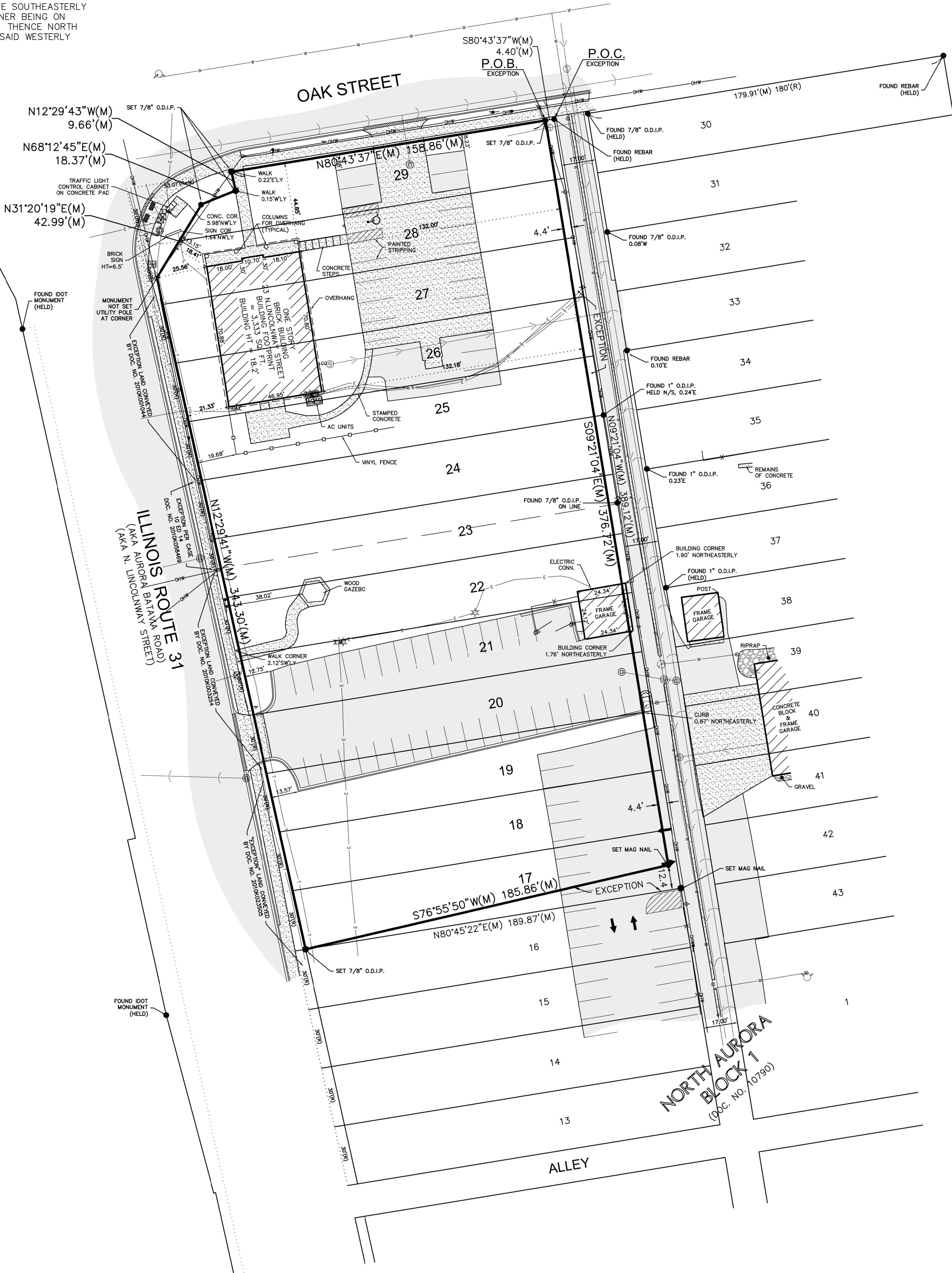
ALL IN KANE COUNTY, ILLINOIS.

BOUNDARY  
AND TOPOGRAPHIC SURVEY



AREA SUMMARY  
(TO HEAVY LINES)  
74,062 SQUARE FEET  
OR  
1.700 ACRES  
(BASED ON MEASURED VALUES)

MONROE STREET  
(AKA RIVER STREET)



UTILITY CONTACTS

CABLE  
COMCAST - MARTHA GIERAS  
224-229-5862

MARTHA\_GIERAS@COMCAST.COM

ELECTRIC  
COMED  
630-576-7094

GAS  
NICOR GAS  
GASMAPS@NICOR.COM

COMMUNICATIONS  
AT&T  
011629@ATT.COM

NCI-VERIZON  
ASG.INVESTIGATIONSTEAM@ASGNC.US  
CC: INVESTIGATIONS@VERIZON.COM

METRO FIBERNET, LLC  
812-213-1050  
811DESIGN@METRONET.COM

WATER / SANITARY / STORM  
VILLAGE OF NORTH AURORA - BRANDON  
TONARELLI  
331-385-6432  
BTONARELLI@NORTHAURORA.ORG

BENCHMARKS

REFERENCE BENCHMARK:  
NGS DATA MONUMENT MFD018

THE STATION IS LOCATED IN NORTH AURORA 1.5 KM (0.95 MI) NORTH OF THE STATE HWY BRIDGE OVER 1-88(EAST-WEST TOLLWAY) ABOUT 250 M (802.2 FT) WEST OF THE WEST BANK OF THE FOX RIVER ON THE WEST SIDE OF HWY 31 (LINCOLN WAY) IN THE HWY RIGHT OF WAY. IT IS 135 M (442.9 FT) NORTH OF THE CENTERLINE OF THE INTERSECTION OF LINCOLN WAY AND OAK STREET, DIRECTLY ACROSS THE HWY(WEST) FROM AN 18 FT(5.5 M) WOODEN FLAGPOLE AT RESIDENCE NUMBER 123.13 M (40.7 FT) SOUTH OF THE CENTERLINE OF A DRIVE AT RESIDENCE NUMBER 130.8 M (42.9 FT) WEST OF THE CENTERLINE OF STATE HWY 31 4.2 M (13.8 FT) SOUTH OF A FIRE HYDRANT, AND 1 M (3.3 FT) EAST OF A FENCE.

DATUM: NAVD83  
ELEVATION = 688.37

SITE BENCHMARKS:

SITE BENCHMARK #1  
NORTH-NORTHEAST BOLD ON FIRE HYDRANT AT THE NORTHEAST CORNER OF ROUTE 31 AND OAK STREET  
ELEVATION = 684.45

SITE BENCHMARK #2  
SOUTHWEST TAG BOLT ON FIRE HYDRANT AT THE SOUTHEAST CORNER OF SUBJECT PROPERTY  
ELEVATION = 674.90

LEGEND

- FOUND 7/8" O.D.I.P. (HELD LOCATION)
- CONCRETE MONUMENT
- + CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ▽ FLARED END SECTION
- ⊙ TRANSFORMER PAD
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC MARKER
- ⊙ ELECTRIC METER
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/LIGHT
- ⊙ UTILITY POLE W/TSF
- ⊙ GUY POLE
- ⊙ OVERHEAD TRAFFIC SIGNAL
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ LIGHT POLE
- ⊙ HAND HOLE
- ⊙ VALVE VAULT
- ⊙ FIRE HYDRANT
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ SIAMASE WATER CONNECTION
- ⊙ WATER MARKER
- ⊙ WATER METER
- ⊙ VALVE BOX
- ⊙ B/BOX
- ⊙ SPRINKLER CONTROL VALVE
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE NETWORK INTERFACE
- ⊙ TELEPHONE MARKER
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TELEVISION PEDESTAL
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ GAS MARKER
- ⊙ DOWN SPOUT
- ⊙ BORING HOLE
- ⊙ MONITORING WELL
- ⊙ GATE POST
- ⊙ BOLLARD POLE
- ⊙ SIGN
- ⊙ FLAG POLE
- ⊙ MAILBOX
- ⊙ SANITARY SEWER
- ⊙ STORM SEWER
- ⊙ WATER MAIN
- ⊙ GAS MAIN
- ⊙ ELECTRIC LINE
- ⊙ OVERHEAD WIRES
- ⊙ TELEPHONE LINE
- ⊙ CONIFEROUS TREE W/APPROX. DIAMETER
- ⊙ DECIDUOUS TREE W/APPROX. DIAMETER
- ⊙ MS=MULTI-STEM (DIRP LINE SHOWN IS APPROXIMATE)
- ⊙ TREE LINE
- ⊙ BITUMINOUS PAVEMENT
- ⊙ CONCRETE SURFACE
- ⊙ DEPRESSED CURB
- ⊙ GRAVEL SURFACE
- ⊙ LANDSCAPE AREA
- ⊙ STONE SURFACE
- ⊙ DETECTABLE TACTILE WARNING SURFACE
- ⊙ BRICK PAVERS
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ METAL FENCE
- ⊙ METAL GUARDRAIL
- ⊙ OVERHEAD TRAFFIC ARM

ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
TF = TOP OF FOUNDATION  
FF = FINISHED FLOOR  
FES = FLARED END SECTION  
VSP = VITRIFIED CLAY PIPE  
DIP = DUCTILE IRON PIPE  
PVC = POLYVINYL CHLORIDE  
RCP = REINFORCED CONCRETE PIPE  
CMP = CORRUGATED METAL PIPE  
(R) = RECORD BEARING OR DISTANCE  
(M) = MEASURED BEARING OR DISTANCE  
(C) = CALCULATED BEARING OR DISTANCE  
(D) = DEED BEARING OR DISTANCE  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST  
A = ARC LENGTH  
R = RADIUS  
CH = CHORD  
CB = CHORD BEARING  
B.S.L. = BUILDING SETBACK LINE  
U.E. = UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND

— LIMITS OF LAND PER  
— LEGAL DESCRIPTION  
— ADJACENT LAND  
— PARCEL LINE  
— EASEMENT LINE  
— CENTERLINE  
— BUILDING SETBACK LINE  
— SECTION LINE

CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON NOVEMBER 29, 2022. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD.  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184.002778  
LICENSE EXPIRES 4/30/25

DANIEL W. WALTER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2024

J:\Pdata\2022 Projects\22.0327\22.0327 BNDY Topo.dwg

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.



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AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT  
NORTH AURORA FIRE STATION 1  
23 NORTH LINCOLNWAY STREET  
NORTH AURORA, IL

CLIENT  
DEWBERRY ARCHITECTS, INC.  
3401 ARLINGTON BLVD.  
FAIRFAX VA 22031

| NO. | REVISIONS                                    | DATE     | BY  |
|-----|--|----------|-----|
| 1.  | ADD ADDITIONAL TOPOGRAPHY                    | 06-05-23 | BT  |
| 2.  | PER IN HOUSE REVIEW                          | 06-16-23 | RHM |
| 3.  | REVISED PER NEW LEGAL DESCRIPTION & BOUNDARY | 06-20-23 | RHM |



BOUNDARY  
AND TOPOGRAPHIC SURVEY

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
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P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT  
BC = BACK OF CURB  
BDC = BACK OF DEPRESSED  
FL = FLOW LINE  
C = CONCRETE  
P = PAVEMENT  
G = GRAVEL  
EW = EDGE OF WALK  
TW = TOP OF WALL  
TP = TOP OF PIPE  
IE = INVERT ELEVATION  
PL = PROPERTY LINE  
DS = DOWN SPOUT  
SF = SQUARE FEET  
SL = SHORE LINE  
TSF = TRANSFORMER  
B = PAVERS

LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- ✚ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
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- ⊙ CHAIN LINK FENCE
- ⊙ METAL FENCE
- ⊙ METAL GUARDRAIL
- ⊙ OVERHEAD TRAFFIC ARM

LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

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**COMPASS SURVEYING LTD.**  
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AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

**PROJECT**  
NORTH AURORA FIRE STATION 1  
23 NORTH LINCOLNWAY STREET  
NORTH AURORA, IL  
**CLIENT**  
DEWBERRY ARCHITECTS, INC.  
3401 ARLINGTON BLVD.  
FAIRFAX VA 22031

| NO. | REVISIONS                                    | DATE     | BY  |
|-----|--|----------|-----|
| 1.  | ADD ADDITIONAL TOPOGRAPHY                    | 06-05-23 | BT  |
| 2.  | PER IN HOUSE REVIEW                          | 06-16-23 | RHM |
| 3.  | REVISED PER NEW LEGAL DESCRIPTION & BOUNDARY | 06-20-23 | RHM |

**UTILITY STATEMENT**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

**811**  
Know what's below.  
Call before you dig.



1

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D

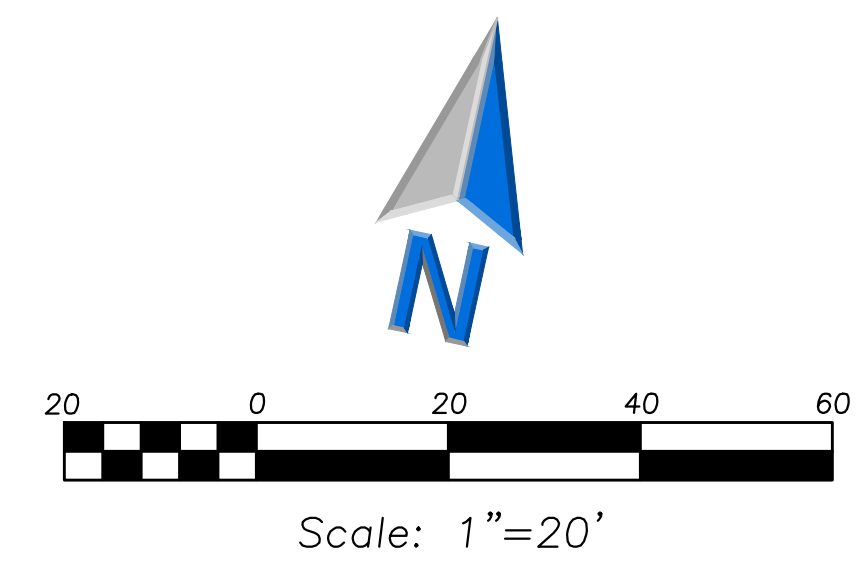
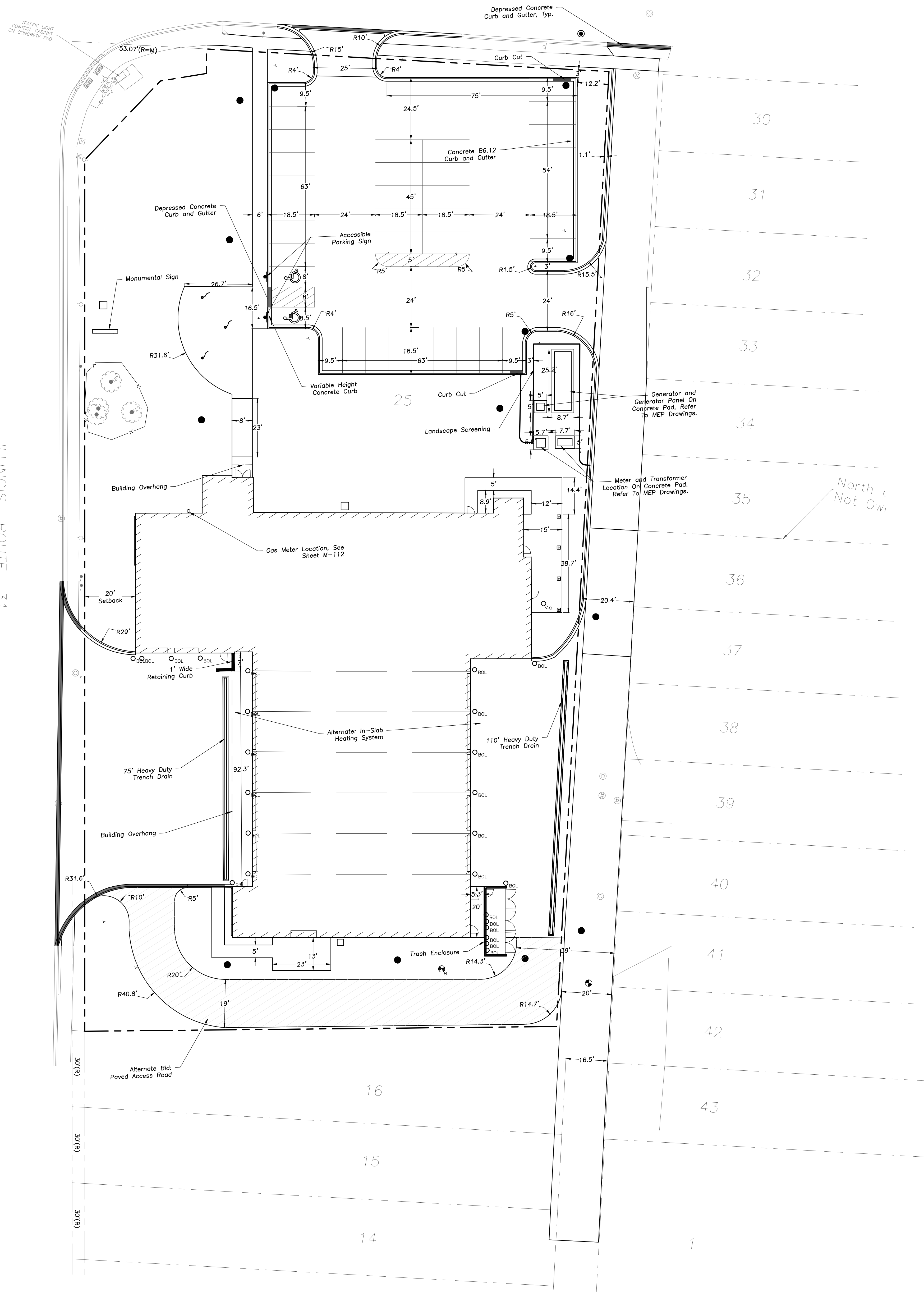
C

B

A

ILLINOIS ROUTE 31  
(AKA AURORA BATAVA ROAD)  
(AKA N. LINCOLNWAY STREET)

OAK STREET



Scale: 1"=20'

### LEGEND

| EXISTING | PROPOSED |
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### GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of North Aurora A Minimum of 48 Hours In Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition To the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Store All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd.
- The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Firm and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
- Adherence To The Specifications Of Fox Metro Reclamation District Are Required.

### GEOMETRY LEGEND

|  |                                  |
|--|----------------------------------|
|  | Alternate Bid: Paved Access Road |
|--|----------------------------------|

### GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats for Latex Paints. All Cross Hatch Striping Shall Be 42" At 2'-0" Centers.
- All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2" x 11 Gauge Steel, Embedded 42" Minimum Into Ground.

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ILLINOIS DESIGN FIRM REG.  
#184005007-0006

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 601542  
95% REVIEW SET

SEAL

PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION

KEY PLAN

SCALE

| REVISIONS |                              |          |
|-----------|------------------------------|----------|
| NO.       | DESCRIPTION                  | DATE     |
| 5         | ISSUE FOR BIDDING AND PERMIT | 06/29/23 |
| 4         | ISSUE FOR 95% REVIEW         | 06/15/23 |
| 3         | ISSUE FOR 100% DD            | 05/11/23 |
| 2         | ISSUE FOR 50% DD             | 04/14/23 |
| 1         | ISSUE FOR SCHEMATIC DESIGN   | 03/22/23 |

DRAWN BY \_\_\_\_\_ CMS

APPROVED BY \_\_\_\_\_ BJA

CHECKED BY \_\_\_\_\_ BJA

DATE \_\_\_\_\_ 06/29/2023

TITLE

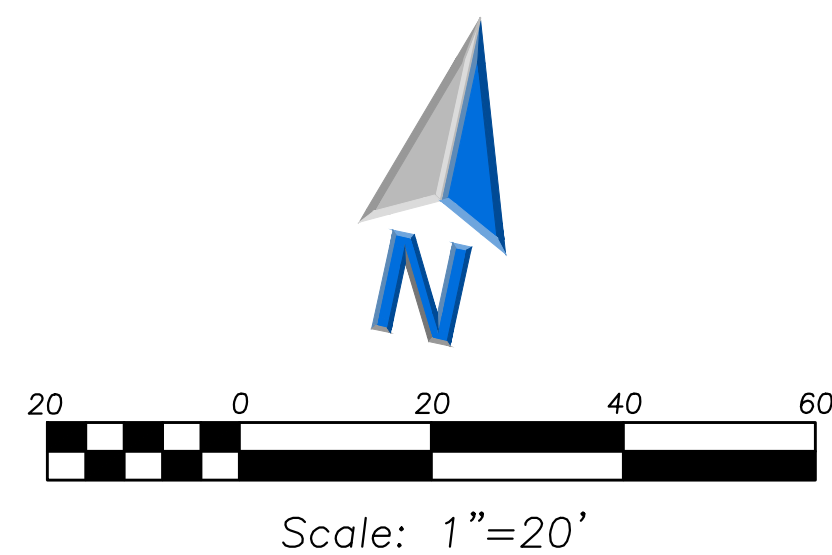
SITE GEOMETRY PLAN

PROJECT NO. 50158591

C200

SHEET NO.

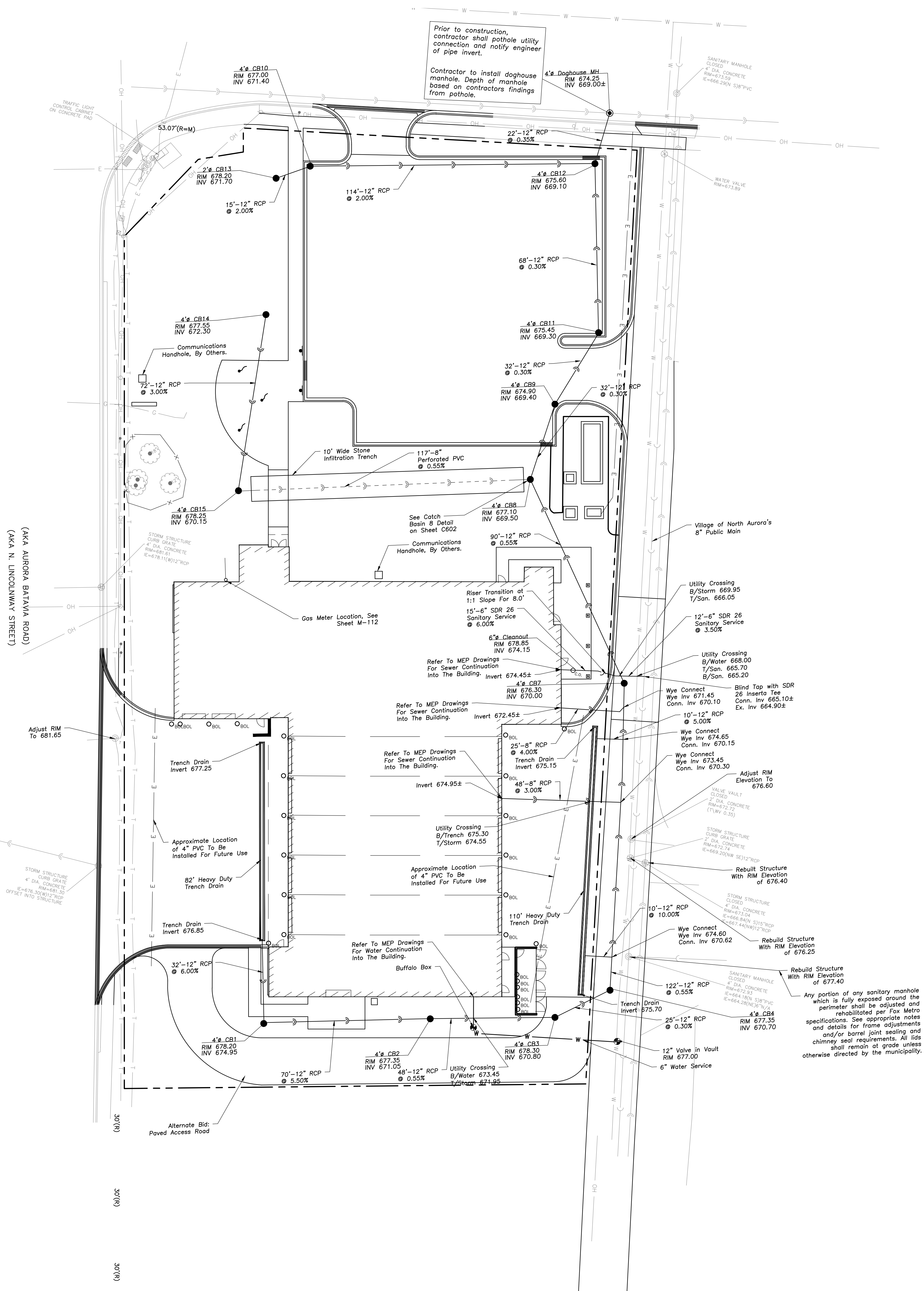




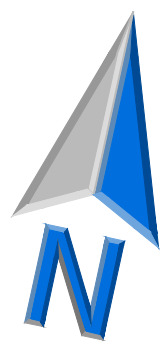
| EXISTING |  | PROPOSED |
|----------|--|----------|
|          | Manhole                                |          |
|          | Catch Basin                            |          |
|          | Inlet                                  |          |
|          | Area Drain                             |          |
|          | Clean out                              |          |
|          | Flared End Section                     |          |
|          | Storm Sewer                            |          |
|          | Sanitary Sewer                         |          |
|          | Combined Sewer                         |          |
|          | Water Main                             |          |
|          | Gas Line                               |          |
|          | Overhead Wires                         |          |
|          | Electric Cable (Buried)                |          |
|          | Telephone Line                         |          |
|          | Fire Hydrant                           |          |
|          | Valve Vault                            |          |
|          | Buffalo Box                            |          |
|          | Downspout                              |          |
|          | Bollard                                |          |
|          | Gas Valve                              |          |
|          | Gas Meter                              |          |
|          | Electric Meter                         |          |
|          | ConEd Manhole                          |          |
|          | Hand Hole                              |          |
|          | Light Pole                             |          |
|          | Light Pole w/<br>Mast Arm              |          |
|          | Utility Pole                           |          |
|          | Telephone Pedestal                     |          |
|          | Telephone Manhole                      |          |
|          | Sign                                   |          |
|          | Fence                                  |          |
|          | Accessible<br>Parking Stall            |          |
|          | Curb & Gutter                          |          |
|          | Depressed Curb                         |          |
|          | Curb Elevation                         |          |
|          | Gutter Elevation                       |          |
|          | Pavement Elevation                     |          |
|          | Sidewalk Elevation                     |          |
|          | Ground Elevation                       |          |
|          | Top of Retaining Wall<br>Elevation     |          |
|          | Swale                                  |          |
|          | Contour Line                           |          |
|          | Deciduous Tree                         |          |
|          | Coniferous Tree                        |          |
|          | Brushline                              |          |
|          | Tree Protection<br>Fencing of Dig Line |          |

1. **Utility Service Lines as Shown Hereon are Approximate.** Coordinate The Exact Locations With The Plumbing Contractor, In Coordination With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
2. **Refer to Plumbing Drawings for Continuation of All Utilities** Within Building Footprint.
3. **Field Verify Inlet & Locations of Existing Utility Mains** Prior to Installing Any On-Site Utilities or Structures. All Sewer Inlets and Existing Utility Inlets Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Coordinate Engineer Prior to Installation if Discrepancy Exists With These Drawings.
4. **Coordinate the Relocation of Any Utilities Encountered And/Or Relocation of Any Existing Contact Engineer if the Existing Utilities Vary Appreciably From the Plans.**
5. **All Water Main and Services Shall Be Installed at a Minimum Depth of 48" Below Top of Finished Ground Elevation to Top of Main.**
6. **Protection of water supplies shall as be described in Section 01550 and shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, 10th edition.**
7. **Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.**
8. **Provide Adequate Coupling Device and/or Oversized Concrete Flared-End Section to Accommodate HDPE Storm Sewer.**
9. **The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.**
10. **Rebuild Existing Structures and Adjust Riser Elevations to Match Proposed Ground Elevations.**

1. All Catch Basins To be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
2. All Catch Basins to be Installed in Landscaped Areas Shall Have Neenah R432-D Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Resurfacing. For Flat Slab Tops Install the Following Minimum Grade Rings:
  - a. 4" Diameter Structure- 4"
  - b. 5" Diameter Structure- 4" Grade Rings
  - c. 6" Diameter Structure- 8"
3. All Catch Basins to be Installed Along Curb and Gutter (B-6-12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
4. All Catch Basins to be Installed Along Depressed Curb and Gutter (Dep B-6-12) Shall Have East Jordan Iron Works 5" Catch Basin Install Frame and Grate, or Approved Equal.
5. Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, it is intended that the Frame and Grate is to be Installed Within the Pavement of the Curb or at the Pavement Edge Where No Curb Exists.
6. All Manholes Shall Have Neenah R1713-B Frame & Closed End Top. Top Cover shall have "Storm" or "Sanitary" Imprinted as Appropriate.
7. For All Structures Indicated to be Adjusted, Remove and Replace with the Correct Section, Barrel, Section, or Flat Slab Top as Necessary.
8. All Sanitary Manholes Shall Include a Chimney Seal.







Scale: 1"=20'

## LEGEND

| EXISTING |   | PROPOSED |
|----------|---|----------|
|          | Manhole                                 |          |
|          | Catch Basin                             |          |
|          | Inlet                                   |          |
|          | Area Drain                              |          |
|          | Clean Out                               |          |
|          | Flared End Section                      |          |
|          | Storm Sewer                             |          |
|          | Sanitary Sewer                          |          |
|          | Combined Sewer                          |          |
|          | Water Main                              |          |
|          | Gas Line                                |          |
|          | Overhead Wires                          |          |
|          | Electrical Cable (Buried)               |          |
|          | Telephone Line                          |          |
|          | Fire Hydrant                            |          |
|          | Valve Vault                             |          |
|          | Buffalo Box                             |          |
|          | Downspout                               |          |
|          | Ballard                                 |          |
|          | Gas Valve                               |          |
|          | Gas Meter                               |          |
|          | Electric Meter                          |          |
|          | CorncEd Manhole                         |          |
|          | Hand Hole                               |          |
|          | Light Pole                              |          |
|          | Light Pole w/<br>Mast Arm               |          |
|          | Utility Pole                            |          |
|          | Telephone Pedestal                      |          |
|          | Telephone Manhole                       |          |
|          | Sign                                    |          |
|          | Fence                                   |          |
|          | Accessible<br>Parking Stall             |          |
|          | Curb & Gutter                           |          |
|          | Depressed Curb                          |          |
|          | Gutter Elevation                        |          |
|          | Gutter Elevation                        |          |
|          | Pavement Elevation                      |          |
|          | Sidewalk Elevation                      |          |
|          | Ground Elevation                        |          |
|          | Top of Retaining Wall<br>Elevation      |          |
|          | Swale                                   |          |
|          | Contour Line                            |          |
|          | Deciduous Tree                          |          |
|          | Coniferous Tree                         |          |
|          | Brushline                               |          |
|          | Tree Protection<br>Fencing at Drip Line |          |

## GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Engineer's Plans. The Engineer Will Not Be Responsible For The Accuracy Of The Information And Is Given For The Convenience Of The Owner. The Engineer Will Not Assume Responsibility For The Event That During Construction, Utilities Other Than Those Shown May Be Encountered. The Location Of Utilities As Shown May Be Different From The Location As Which They Actually Exist. The Engineer Will Not Be Responsible For Subsurface Features Are Different Than Shown On The Drawings.
2. Notify The Engineer Without Delay Of Any Discrepancies Between Drawings And Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services For The Project Area.
4. Notify The Owner, Engineer, and The Village of North Aurora, A Minimum of 48 Hours In Advance Of Performing Any Work.
5. All Areas, On Or Off Site, Disturbed During Construction Operations And Not Part Of The Work As Shown Hereon Shall Be Restored To The Original Condition To The Satisfaction Of The Owner at No Additional Cost To The Owner. It Is The Responsibility Of The Contractor To Establish Disturbed Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Locations. The Contractor Shall Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erikson Engineering Associates, Ltd..
8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, And Contractor. The Contractor Shall Not Use These Drawings For Construction Purposes, The Use Of This Information For Any Other Purpose, Including The Construction Of Buildings With The Foundation Drawings And Architectural Drawings, Is Prohibited. All Dimensions And Locations Of All Sites, Structures, And Utilities Shall Be Verified By The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor To The Owner. The Engineer, The Architect, The Surveyor, And The Village of North Aurora, The Authorities Having Jurisdiction Which Shall Include As A Minimum, Local, State, And Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sites, Rm and Invert Elevations, Final Detention Volume, Wet Ponds, Flow, Basin(s), Watermain And Valve And Appurtenance Locations.
10. The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction, 2013 Edition, And All Addenda Thereof, Shall Govern The Entirety And Any Provisions Contrary To This Contract Unless Otherwise Stated.

## GRADING NOTES

1. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Proposed or Existing Paved Surfaces.
2. All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 inches (Min.) to 12 inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
4. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Cross Slope for Accessible Parking Spaces and Loading Spaces Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
5. Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.
6. Conditions May Require Contractor to Excavate Clay Borrow Pit to Prepare Subgrade for 4" to 6" Fill Material for Building Pad Preparation or Site Paving. Borrow Pit Shall Not Be Located in Proposed Hardscape Areas. Contractor Shall Submit a Plan Pit to Match Proposed Ground, or Existing Grades in Otherwise Undisturbed Areas, and May Use Imported Material to Match Material to Backfill. Review Soil Studies Prior to Excavation.

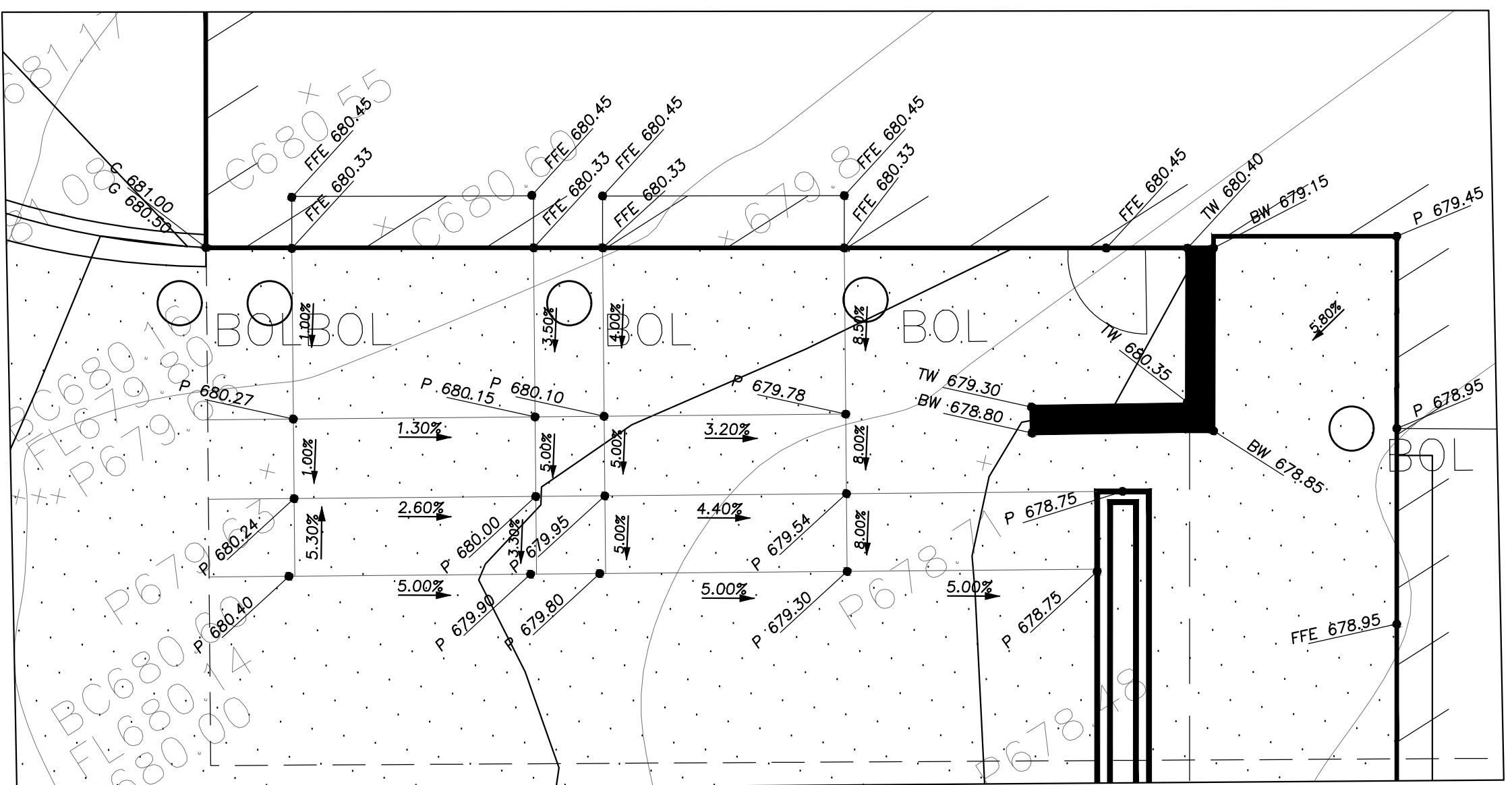
## PAVING & SURFACE LEGEND

**Asphalt Pavement Section**  
 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50  
 2 1/2" Hot Mix Asphalt, IL-19.0, N50  
 Prime Coat (0.25 gal/sq yd)  
 8" Aggregate Base Course, Type B, Crushed, CA-  
 Non-Woven Geotextile Fabric, 5 oz/sy

**Concrete Firetruck Section**  
 6" Portland Cement Concrete  
 6"x6" W2.9W2.9 Welded Wire Fabric  
 10" Aggregate Base Course, Type B, Crushed

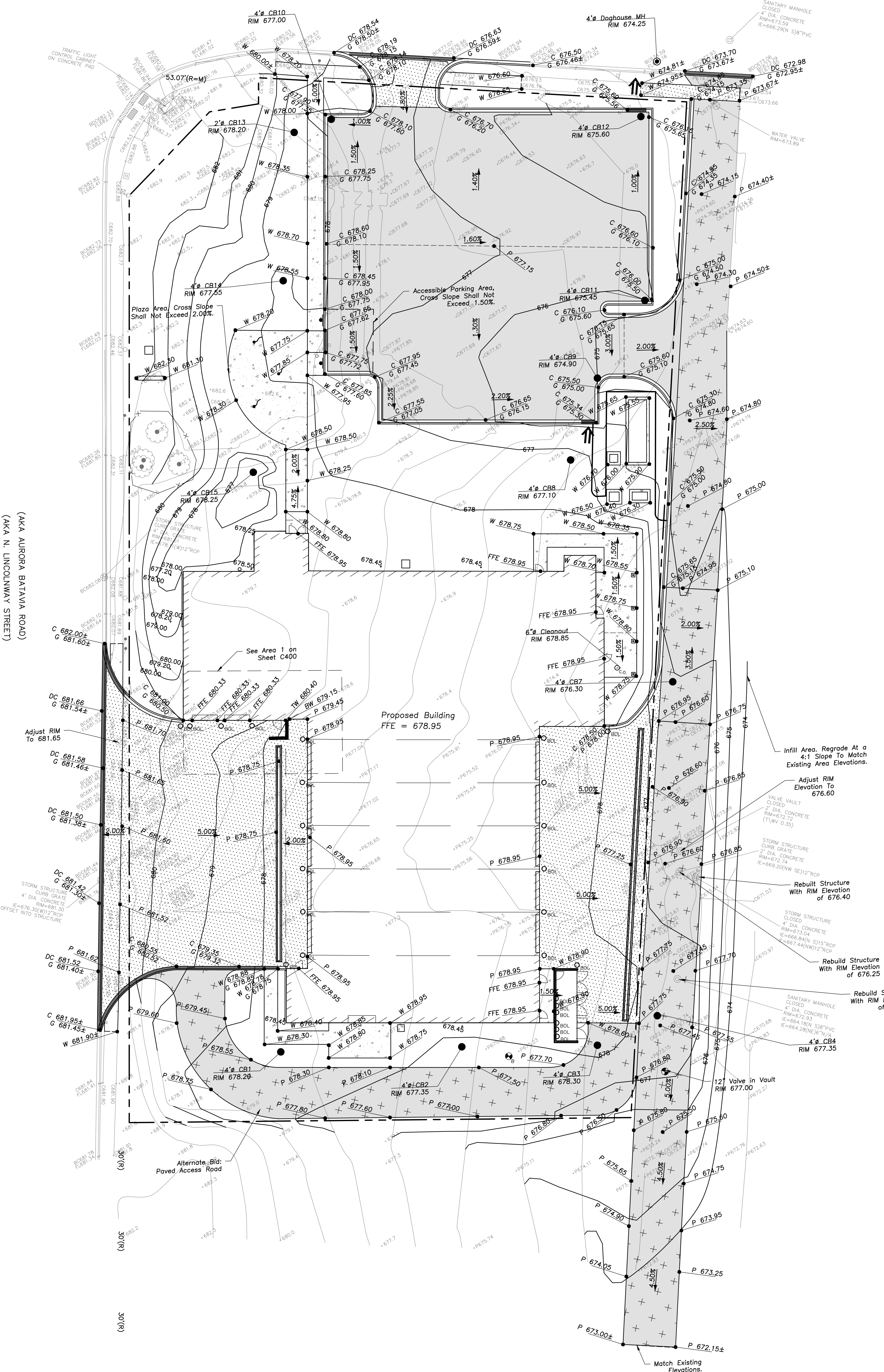
**Concrete Sidewalk Section**  
 6" Portland Cement Concrete  
 6"x6" W1.4xW1.4 Welded Wire Fabric  
 2" Aggregate Base Course, Type B, Crushed

**Heavy-Duty Asphalt Pavement Section**  
 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, N50  
 3 1/2" Hot Mix Asphalt, IL-19.0, N50  
 Prime Coat (0.25 gal/sq yd)  
 8" Aggregate Base Course, Type B, Crushed, CA-  
 Non-Woven Geotextile Fabric, 8 oz



AREA 1

Scale: 1"=5'





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A

B

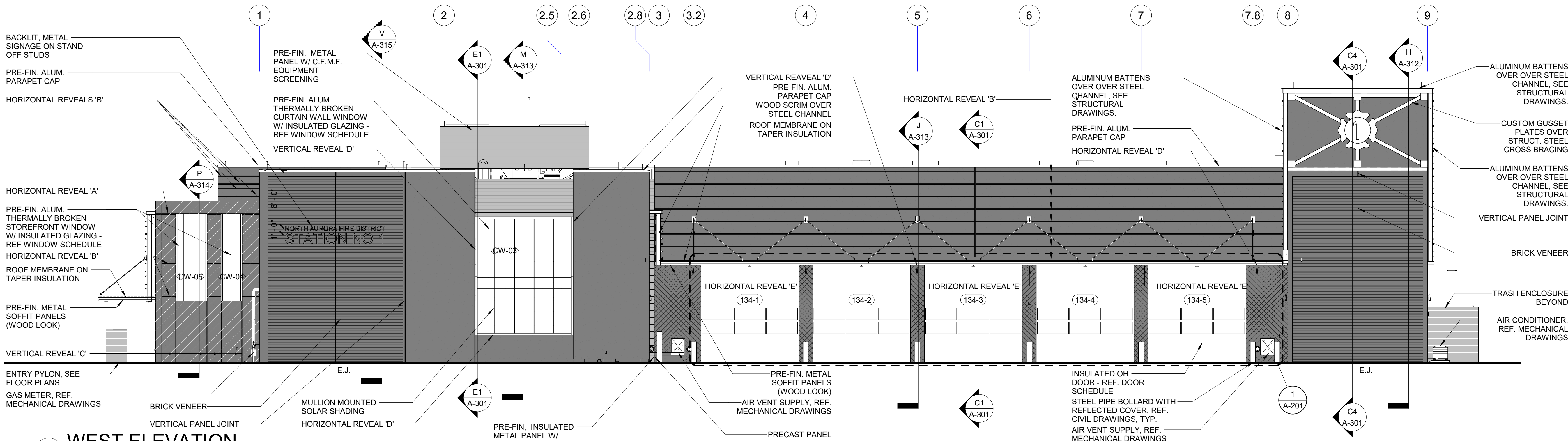
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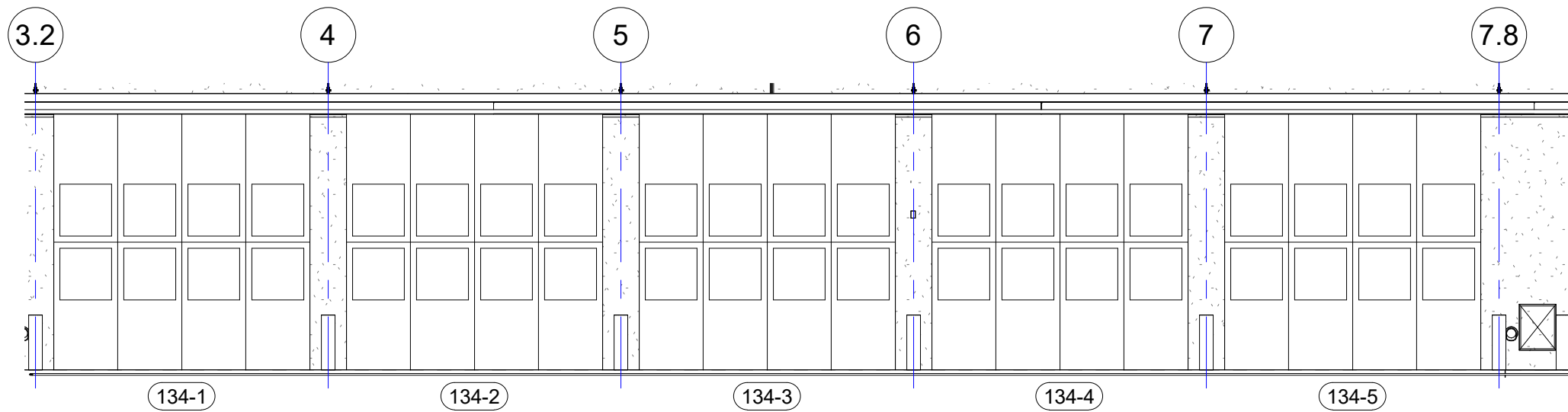
E

F

**A1 WEST ELEVATION**  
Scale: 1/8" = 1'-0" A1/A-111

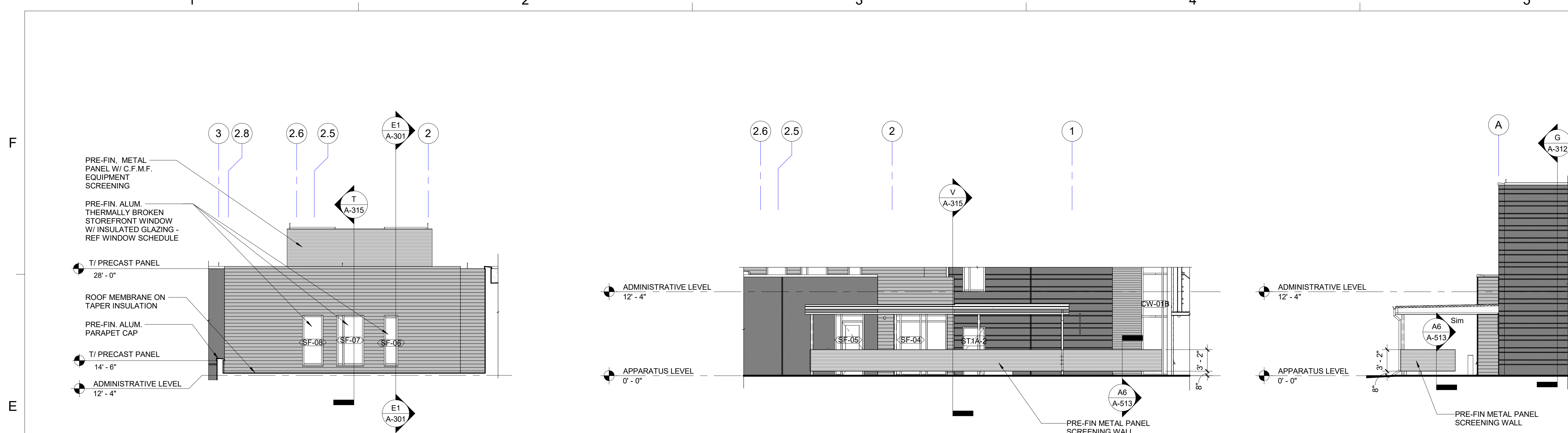


**1 WEST APP BAY - ALTERNATE 4**  
Scale: 1/8" = 1'-0"



**E1 PARTIAL SOUTH ELEVATION**

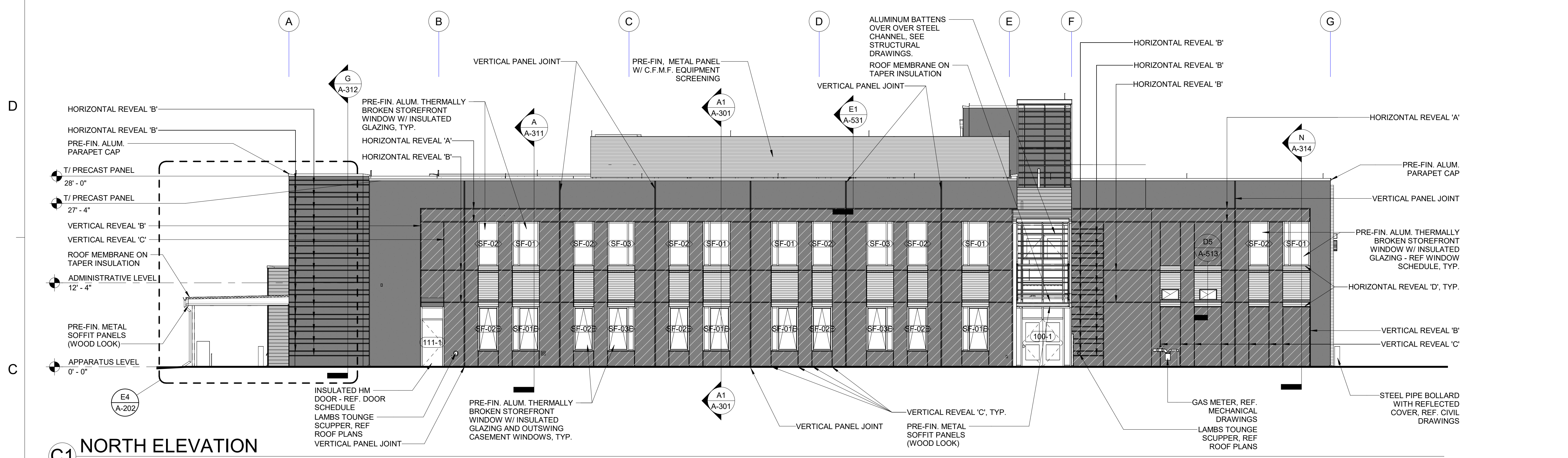




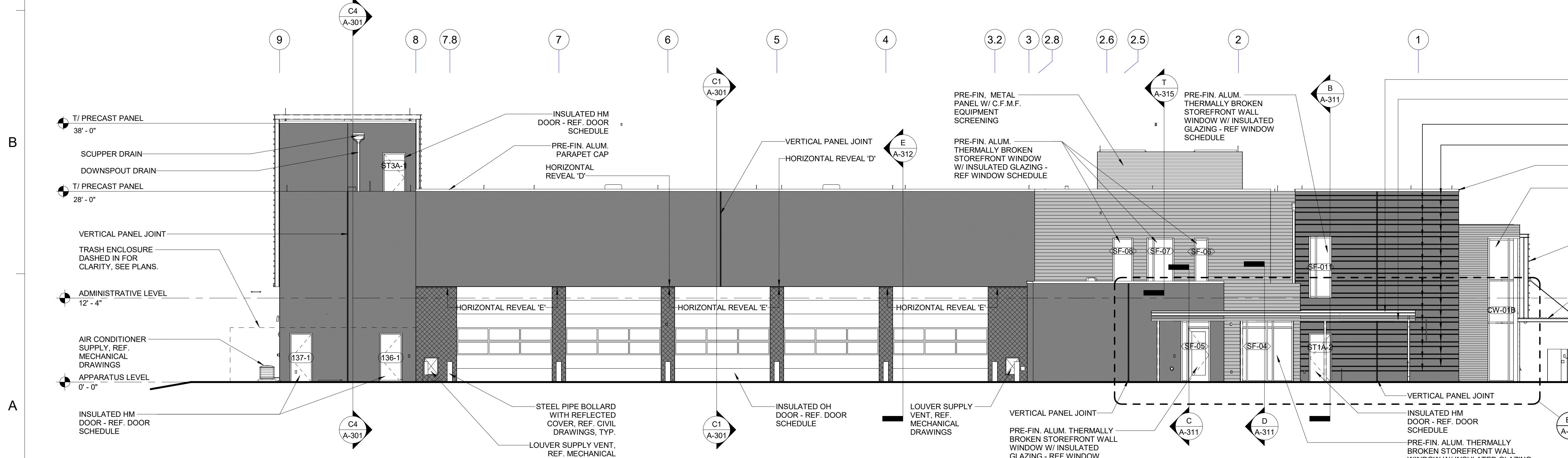
E1 PARTIAL EAST ELEVATION @ 2ND FLR  
Scale: 1/8" = 1'-0"

E3 EAST ELEVATION - SCREEN WALL ALT. 5  
Scale: 1/8" = 1'-0"

E4 NORTH ELEVATION - SCREEN WALL ALT. 5  
Scale: 1/8" = 1'-0"

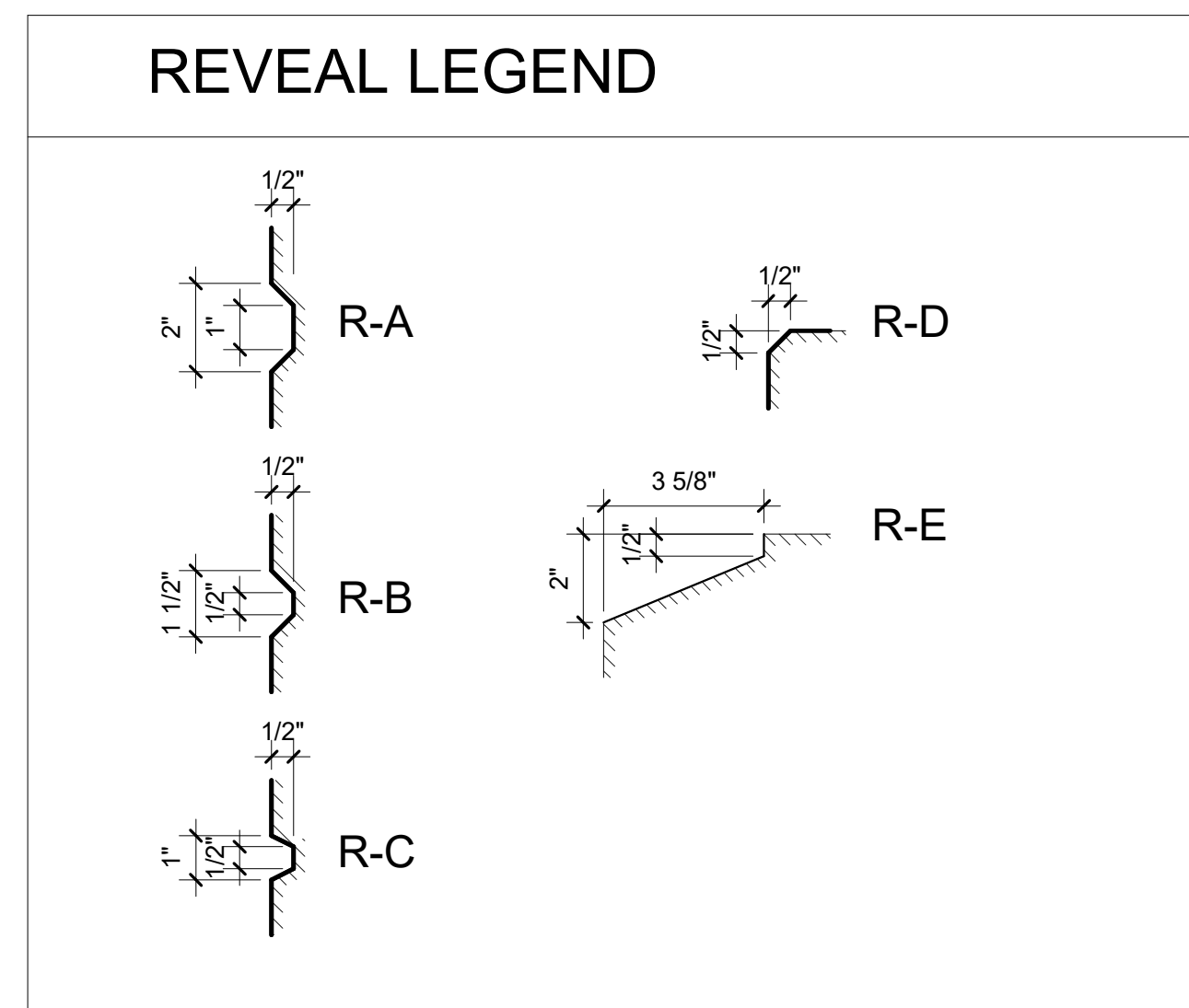


C1 NORTH ELEVATION  
Scale: 1/8" = 1'-0"



A1 EAST ELEVATION  
Scale: 1/8" = 1'-0"

| EXTERIOR MATERIAL LEGEND  |  |   |
|---|--|---|
| MP-1  | UNINSULATED 4" METAL PANEL OVER METAL STUD | -FINISH: -CHARCOAL GREY   |
| MP-2  | 4" METAL PANEL OVER STUD                   | -FINISH: -CHARCOAL GREY   |
| MP-3  | 4" METAL PANEL OVER STUD                   | -FINISH: - COLONIAL RED   |
| ICP-1   | INSULATED CONCRETE PRECAST PANELS          | -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH                       |
| ICP-2   | INSULATED CONCRETE PRECAST PANELS          | -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH -LIGHT ABRASIVE BLAST |
| CPP-1   | CONCRETE PRECAST PANELS                    | -FINISH: -DARK GREY INTEGRAL STAIN -ACID WASH                       |
| BRV-1   | BRICK VENEER                               | -FINISH: -BLACK BRICK -BLACK MORTAR                                 |
| -TROWEL FINISH PANEL BACK -GROUT PATCH AND GRIND SMOOTH OF BRACING AND LIFTING INSERTS IN ALL EXPOSED INTERIOR SURFACES OF= |  |   |
| APP BAY=  | FULL HEIGHT UP TO ADMINISTRATIVE LEVEL     |   |
| ADMIN GARAGE=   | FULL HEIGHT UP TO ADMINISTRATIVE LEVEL     |   |
| HOSE TOWER=   | FULL HEIGHT UP TO ADMINISTRATIVE LEVEL     |   |
| STAIR A=  | FULL HEIGHT UP TO ADMINISTRATIVE LEVEL     |   |
| BUNKER GEAR=  | FULL HEIGHT UP TO ADMINISTRATIVE LEVEL     |   |



Dewberry

Dewberry Architects Inc.  
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Suite 101  
Peoria, IL 61602  
309.262.8000  
IL DESIGN FIRM REG.  
#184000507-0006

NORTH AURORA FIRE PROTECTION DISTRICT

NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1

23 N Lincolnway  
North Aurora, IL 60142

ISSUED FOR BIDDING AND PERMIT

SEAL

KEY PLAN

SCALE

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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DRAWN BY JGSIII  
APPROVED BY NS  
CHECKED BY MR  
DATE 06/29/2023  
TITLE  
PROJECT NO. 50158591

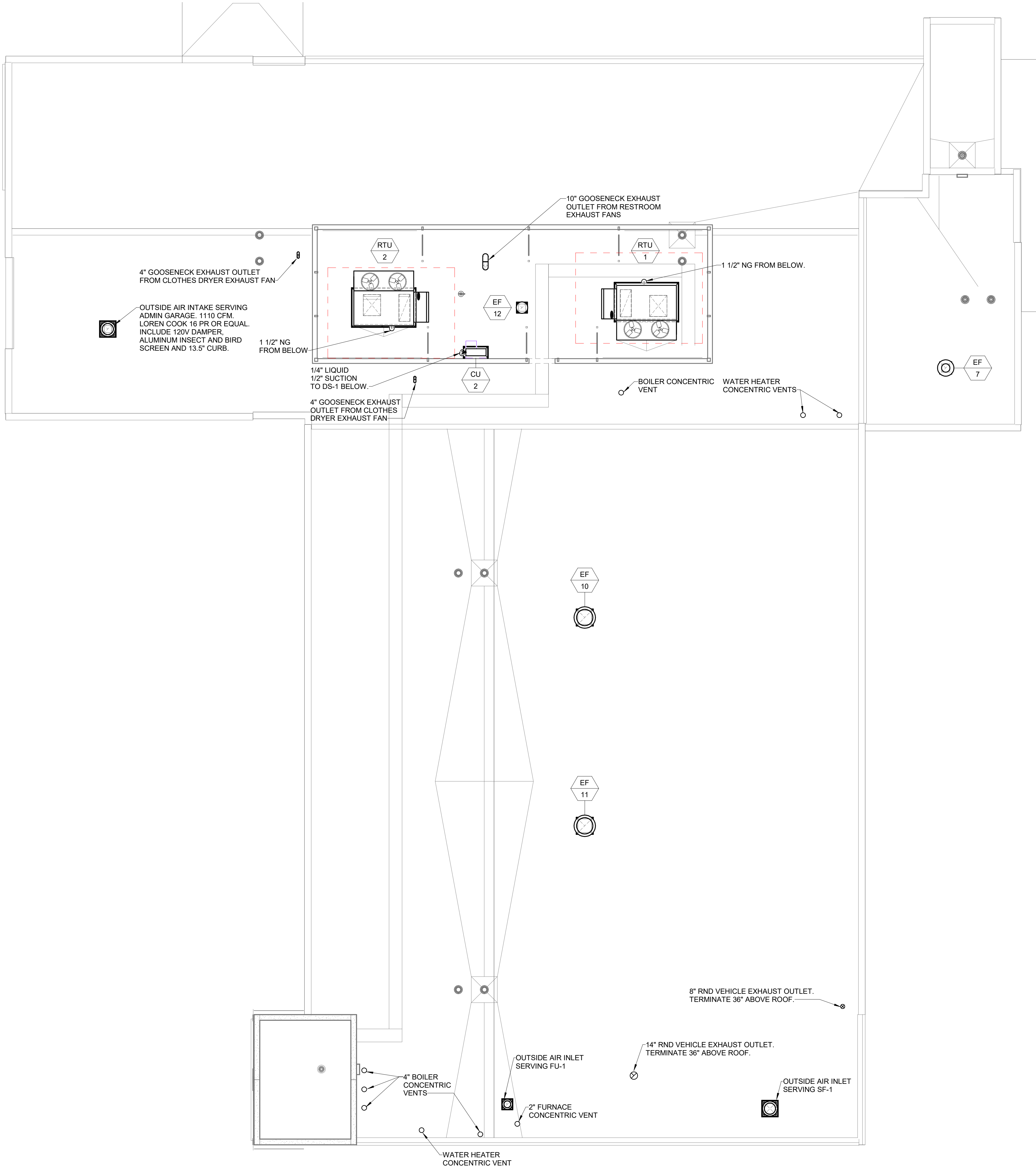
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SHEET NO.



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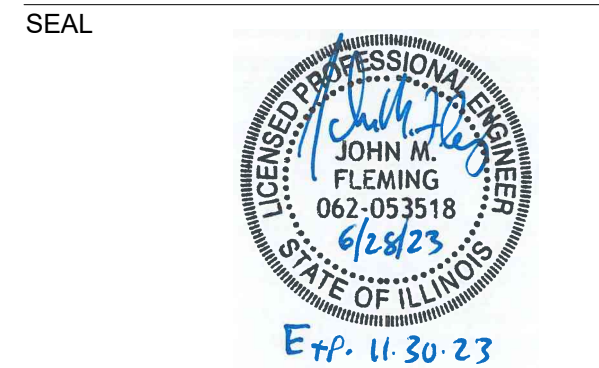
1 HVAC ROOF LEVEL  
Scale: 1/8" = 1'-0"



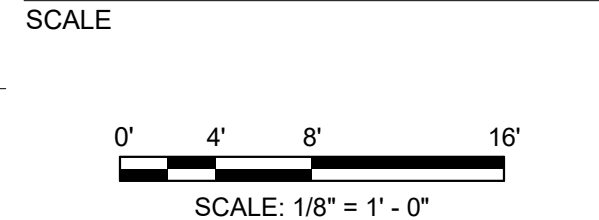
Dewberry Architects Inc.  
132 North York Street  
Suite 3C  
Evanston, IL 60126-3079  
847.695.3840  
IL DESIGN FIRM REG.  
#184000358-001

Dewberry Engineers Inc.  
401 SW Water Street  
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Peoria, Illinois 61602  
309.282.8000  
IL DESIGN FIRM REG.  
#184000357-0005

NORTH AURORA FIRE PROTECTION DISTRICT  
NORTH AURORA FIRE PROTECTION DISTRICT STATION NO. 1  
23 N Lincolnway  
North Aurora, IL 60142  
ISSUED FOR BIDDING AND PERMIT



KEY PLAN



| REVISIONS |             |      |
|-----------|-------------|------|
| NO.       | DESCRIPTION | DATE |
|           |             |      |
|           |             |      |
|           |             |      |
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DRAWN BY \_\_\_\_\_ TEV  
APPROVED BY \_\_\_\_\_ JMF  
CHECKED BY \_\_\_\_\_ JMF  
DATE \_\_\_\_\_ 06/29/2023

TITLE  
MECHANICAL  
ROOF FLOOR  
PLAN

PROJECT NO. 50158591

M-131

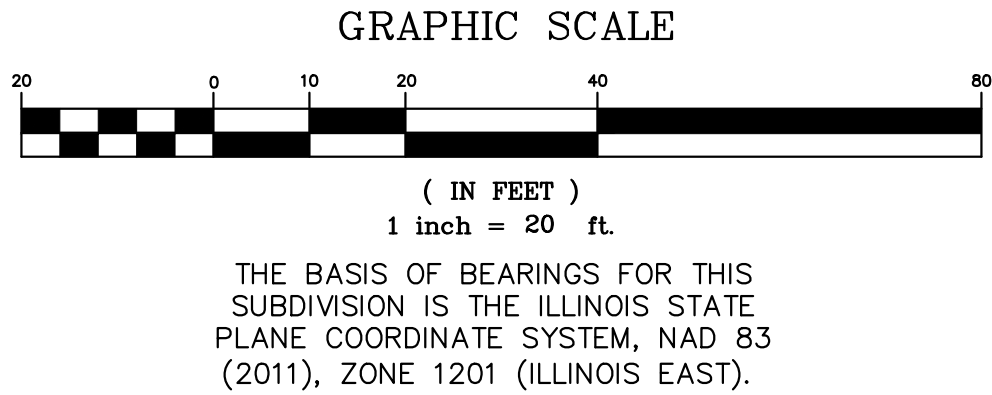
SHEET NO.



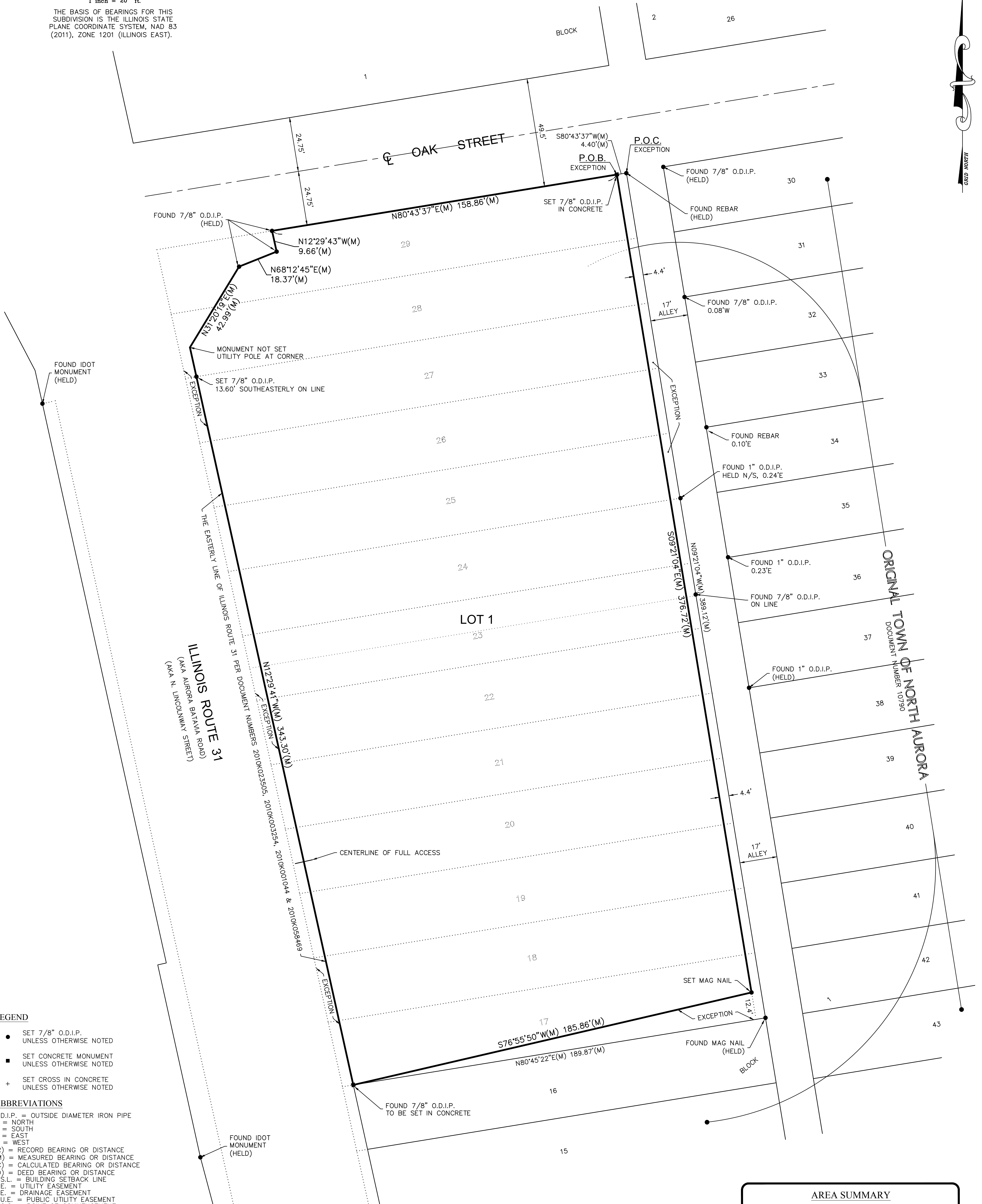
FINAL PLAT OF SUBDIVISION

NORTH AURORA FIRE STATION 1 CONSOLIDATION

P.I.N. 15-04-206-017  
P.I.N. 15-04-206-018  
P.I.N. 15-04-206-019  
P.I.N. 15-04-206-020  
P.I.N. 15-04-206-021  
P.I.N. 15-04-206-022  
P.I.N. 15-04-206-023



PART OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS



- LEGEND
- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
  - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
  - + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST  
(R) = RECORD BEARING OR DISTANCE  
(M) = MEASURED BEARING OR DISTANCE  
(C) = CALCULATED BEARING OR DISTANCE  
(D) = DEED BEARING OR DISTANCE  
B.S.L. = BUILDING SETBACK LINE  
U.E. = UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

- LINE LEGEND
- SUBDIVISION BOUNDARY LINE
  - ADJACENT LAND PARCEL LINE
  - LOT LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING SETBACK LINE
  - SECTION LINE

- NOTES
1. THERE SHALL BE ONE FULL VEHICULAR ACCESS TO ILLINOIS ROUTE 31 AT THE LOCATION SHOWN HEREON.
  2. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

| AREA SUMMARY  |  |  |
|---|--|--|
| GROSS: 74,062 SQUARE FEET OR 1.700 ACRES  |  |  |
| R.O.W. DEDICATION: 0 SQUARE FEET OR 0 ACRES   |  |  |
| NET AREA (LOT 1): 74,062 SQUARE FEET OR 1.700 ACRES (TO HEAVY LINES) (BASED ON MEASURED VALUES) |  |  |

PROJ. NO.: 22-0327-01

1 OF 2

SCALE: 1" = 20'

COMPASS SURVEYING LTD

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

North Aurora Fire Station 1 Consolidation  
North Aurora, Illinois

CLIENT

Dewberry Architects, Inc.  
8401 Arlington Blvd.  
Fairfax VA 22031

| DATE: | 06-16-23  | PC N/A | DRAWN BY | RHM | CHECKED BY | DW | BOOK N/A | PG N/A |
|-------|-----------|--------|----------|-----|------------|----|----------|--------|
| NO.   | REVISIONS |        |          |     |            |    | DATE     | BY     |
|       |           |        |          |     |            |    |          |        |
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|       |           |        |          |     |            |    |          |        |

AFTER RECORDING  
RETURN TO:

COMPASS SURVEYING LTD.  
2631 GINGER WOODS PARKWAY  
SUITE 100  
AURORA, IL 60502

J:\PSDATA\2022 PROJECTS\22.0327\22.0327-01 PLAT\22.0327-01-SUB.DWG

FINAL PLAT OF SUBDIVISION

NORTH AURORA FIRE STATION 1 CONSOLIDATION

PART OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 38 NORTH, RANGE  
8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS

SPACE FOR I.D.O.T. STAMP

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS  
DEPARTMENT OF TRANSPORTATION WITH RESPECT TO  
ROADWAY ACCESS PURSUANT OF CH. 2 OF "AN ACT TO  
REVISE THE LAW IN RELATION TO PLATS," AS AMENDED.  
A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN  
THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS  
DRIVEWAYS TO STATE HIGHWAYS" WILL, BE REQUIRED BY  
THE DEPARTMENT.

JOSE RIOS, P.E.  
REGION ONE ENGINEER

OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND  
DESCRIBED IN THE FORGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE  
SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON FOR USES  
AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND  
ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID  
AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION  
LIES ENTIRELY WITHIN THE LIMITS OF WEST AURORA SCHOOL DISTRICT 129 AND  
WAUBONSEE COLLEGE 516.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(OWNER)

\_\_\_\_\_  
(ADDRESS)

NOTARY CERTIFICATE

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY  
AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO  
ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE  
FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND  
ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAN AND ACCOMPANYING  
INSTRUMENTS FOR THE USES AND PURPOSES THEREIN SET FORTH AS HIS OR  
THEIR FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 20\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

PLAN COMMISSION APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF NORTH AURORA  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

PLAN COMMISSION,  
VILLAGE OF NORTH AURORA

\_\_\_\_\_  
(CHAIRPERSON)

VILLAGE ENGINEER APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY \_\_\_\_\_ OF \_\_\_\_\_  
THE NORTH AURORA VILLAGE

ENGINEER, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

\_\_\_\_\_  
[NAME OF THE FIRM]

\_\_\_\_\_  
[SIGNATURE OF ENGINEER]

VILLAGE COMMUNITY DEVELOPMENT DIRECTOR

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE NORTH AURORA VILLAGE COMMUNITY DEVELOPMENT  
DIRECTOR, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

COMMUNITY DEVELOPMENT DIRECTOR  
VILLAGE OF NORTH AURORA

\_\_\_\_\_  
(COMMUNITY DEVELOPMENT DIRECTOR)

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

APPROVED BY THE VILLAGE OF NORTH AURORA BOARD AT THEIR MEETING THIS  
\_\_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

BOARD OF TRUSTEES, VILLAGE OF NORTH AURORA, ILLINOIS

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT AND/OR FORFEITED TAXES,  
NO REDEEMABLE TAX SALES, AND NO UNPAID SPECIAL ASSESSMENTS AGAINST  
ANY OF THE REAL ESTATE DESCRIBED AND PLATTED HEREON.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

\_\_\_\_\_  
KANE COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S  
OFFICE OF KANE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
20\_\_\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M., AND RECORDED IN PLAT ENVELOPE  
NO. \_\_\_\_\_.

\_\_\_\_\_  
(COUNTY RECORDER)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

I, DANIEL W. WALTER, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585,  
HEREBY CERTIFY THAT I HAVE SURVEYED, SUBDIVIDED, AND PLATTED THE  
FOLLOWING DESCRIBED PROPERTY, CONSISTING OF 1.700 ACRES:

LOTS 17 THROUGH 29, INCLUSIVE, IN BLOCK 1 OF THE ORIGINAL TOWN OF  
NORTH AURORA, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF  
SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 27, 1876  
AS DOCUMENT 10790, IN KANE COUNTY, ILLINOIS, EXCEPT THAT PART  
CONVEYED BY DOCUMENTS 2010K023505, 2010K003254, 2010K001444, AND  
ALSO EXCEPT THAT PART DESCRIBED IN CASE 10ED14 RECORDED AS  
DOCUMENT 2010K058469; AND ALSO EXCEPT THAT PART DESCRIBED AS  
FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 29; THENCE  
SOUTH 80 DEGREES 43 MINUTES 37 SECONDS WEST ALONG THE NORTHERLY  
LINE OF SAID LOT 29, A DISTANCE OF 4.40 FEET TO A LINE PARALLEL WITH  
AND 4.40 FEET SOUTHWESTERLY OF, AS MEASURED AT RIGHT ANGLES TO, THE  
WESTERLY LINE OF THE ALLEY IN SAID BLOCK 1 FOR THE POINT OF BEGINNING;  
THENCE SOUTH 09 DEGREES 21 MINUTES 04 SECONDS EAST ALONG SAID  
PARALLEL LINE, 376.72 FEET TO A POINT THAT IS 12.40 FEET NORTH OF THE  
SOUTHERLY LINE OF SAID LOT 17; THENCE SOUTH 76 DEGREES 55 MINUTES 50  
SECONDS WEST, 185.86 FEET TO THE INTERSECTION OF THE SOUTHERLY LINE  
OF SAID LOT 17 AND THE EASTERLY LINE OF ILLINOIS ROUTE 31 PER  
DOCUMENT 2010K023505; THENCE NORTH 80 DEGREES 45 MINUTES 22  
SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 17, A DISTANCE OF  
189.87 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 17, SAID  
SOUTHEASTERLY CORNER BEING ON THE WESTERLY LINE OF THE ALLEY IN SAID  
BLOCK 1; THENCE NORTH 09 DEGREES 21 MINUTES 04 SECONDS WEST ALONG  
SAID WESTERLY LINE, 389.12 FEET TO THE POINT OF BEGINNING;

ALL IN KANE COUNTY, ILLINOIS.

AS SHOWN BY THE PLAT HEREON DRAWN WHICH IS A CORRECT AND ACCURATE  
REPRESENTATION OF SAID SURVEY AND SUBDIVISION. PERMANENT MONUMENTS  
AND IRON PIPES HAVE BEEN SET IN ACCORDANCE WITH THE VILLAGE OF  
NORTH AURORA SUBDIVISION ORDINANCE AND ALL DISTANCES ARE SHOWN IN  
FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS  
ENACTED BY THE VILLAGE BOARD OF TRUSTEES RELATIVE TO PLATS AND  
SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT  
AND THIS SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO  
BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE  
FLOOD INSURANCE RATE MAP, MAP NUMBER 17089C0340H, HAVING A REVISED  
DATE OF AUGUST 3, 2009.

DATED AT AURORA, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2025

BY: \_\_\_\_\_  
DANIEL W. WALTER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2024

SURVEYOR'S AUTHORIZATION TO RECORD

STATE OF ILLINOIS )  
 )SS  
COUNTY OF KANE )

I HEREBY DESIGNATE THE VILLAGE OF NORTH AURORA, AND/OR  
REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH  
HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO  
SAID PLAT.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT  
AURORA, KANE COUNTY, ILLINOIS.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2025

BY: \_\_\_\_\_  
DANIEL W. WALTER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585  
LICENSE EXPIRES 11/30/2024

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