



**PLAN COMMISSION AGENDA
VILLAGE HALL BOARD ROOM
25 E. STATE STREET
TUESDAY, JUNE 6, 2023
7:00 PM**

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated March 7, 2023.

PUBLIC HEARING

1. **Petition #23-02:** The petitioner, West Aurora School District, requests a Special Use to allow an Educational Facility, Vocational School on the property located at 202 Genesis Drive in North Aurora, Illinois.

NEW BUSINESS

1. **Petition #23-02:** The petitioner, West Aurora School District, requests a Special Use to allow an Educational Facility, Vocational School on the property located at 202 Genesis Drive in North Aurora, Illinois.
2. **SPA #23-02 (First Resubdivision Lot 1 of First Resubdivision of Lot 16 North Aurora Towne Centre Lot 2 (PIN: 15-06-401-006)):** The petitioner, River Front Ram, requests Site Plan Approval in the Towne Center Planned Unit Development B-2 General Business District.

OLD BUSINESS

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

ADJOURNMENT

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
MARCH 7, 2023**

CALL TO ORDER

Chairman Mike Brackett called the meeting to order.

ROLL CALL

In attendance: Chairman Mike Brackett, Commissioners Aaron Anderson, Anna Tuohy, Doug Botkin, Tom Lenkart, Mark Bozik and Alex Negro

Not in attendance: Commissioners Scott Branson, Richard Newell

Staff in attendance: Community & Economic Development Director Mike Toth

Also in attendance: Village Attorney Kevin Drendel

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated November 1, 2022

Motion for approval was made by Commissioner Botkin and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

PUBLIC HEARING

Chairman Mike Brackett opened the public hearing.

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Special Use - Planned Unit Development
 - b) Site Plan Approval

Community & Economic Development Director Mike Toth introduced Petition 23-01. Toth stated the subject property is located at 400 Mitchell Rd (Lot 1 and Lot 4 of Liberty Business Center), which consists of 40 acres of vacant land and situated north of Interstate 88 and west of Mitchell Rd.

The petitioner, Kelsey Perrin, Vice President for Prologis, introduced Brian Johnson from Pinnacle Engineering along with the other Prologis members in attendance. Perrin gave an overview of Prologis, which included being a global owner, operator, and developer of industrial real estate assets. In Chicago alone, Prologis has 83 million square feet and 374 buildings with a team of about 60 managing such sites and developments. Prologis currently has 2 million square feet of product under construction in the Chicago metropolitan area. Prologis acquired the 400 Mitchell site from Liberty in early 2020. The site access from Corporate Boulevard to the east and the visibility to I-88 are key components for future tenants. Brian Johnson from Pinnacle Engineering

shared Lot 1 is approximately 33 acres and Lot 4 is approximately 7 acres. Lot 4 will be used for stormwater proposes. Johnson shared Lot 1 was mass graded about two decades by Liberty and utilities for water, storm and sanitary have already been installed on site. Johnson walked through the 400 Mitchell site plan, which included a single site access point located on the eastern portion of the property at the intersection of Mitchell Rd and Corporate Blvd. The site circulation will operate around the building like a typical industrial development.

Mike Toth stated the petitioner is requesting a special use – planned unit development (“PUD”) and site plan approval. The Zoning Ordinance requires any property over two acres in size or a multi-family product to be a PUD. A PUD is considered a special use. Toth shared the zoning checks out regarding the bulk regulations, landscaping, and parking. The petitioner has also provided standards for special use and for PUDs in the packet tonight. The one item to note is the plan meets parking regulations, but staff did allow the project to land bank parking spaces. Toth said in the conditions of approval section, the petitioner would have the ability to install parking spaces at any time or staff would have the authority to require parking spaces to be installed. Either process would require going through the building permit process. The subject property tonight is located in the Office Research and Light Industrial (ORI) district. The use is a warehouse distribution center, which is a permitted use per the ORI District. The site plan meets all the bulk regulations of the ORI District. Toth shared an aerial of the surrounding area and the extension of Corporate Boulevard, which was built around 2019. The Comprehensive Plan was adopted in 2015 and suggests that the property ties into Corporate Boulevard. The site plan shows the site access is directly across from Corporate Blvd.

Chairman Brackett asked if the bulk of the traffic would come down Corporate Blvd from Farnsworth. Toth said the traffic report shows 45% of traffic using Corporate Blvd, 25% using Mitchell Rd south, and 30% using Mitchell Rd north. Toth said there is only one way into the site but the subject property does have a left and right turn out of the site.

Chairman Brackett asked if this is total traffic or only truck traffic. Michael Werthmann from KLOA shared this is the total traffic for the site and anticipate most truck traffic to use Corporate Blvd. However, during peak times, when it is difficult to make a left in from Corporate, trucks may go up to Bilter Road and come down Mitchell Road since its signalized intersection at that location. Werthmann said truck traffic is prohibited when going southbound over the I-88 Mitchell Road so trucks can’t really go south. Werthmann added the access drive will be aligned opposite of Corporate Blvd and there is already a left turn lane on Mitchell Rd serving this access drive as well as a curb cut so all items from a traffic standpoint are already installed.

Chairman Brackett asked if the development met all standards. Toth stated the petitioner included standards for special use and PUDs in their application. Toth also stated staff’s findings of fact outline any concerns or conditions regarding the development that must be met upon approval.

Chairman Mike Brackett closed the public hearing.

NEW BUSINESS

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:

- c) Special Use - Planned Unit Development
- d) Site Plan Approval

Commissioner Anna Tuohy asked if the traffic study findings for the intersection at Corporate Blvd and Mitchell Road required a four way stop and where the land banked parking stalls are located. Toth stated it appears the study shows a stop sign on Corporate Blvd and a stop sign out of the site, but no stop signs on Mitchell Rd. Toth said anything on the site plan with hatched lines over the parking stalls are the land banked spaces, which are located throughout the site. Commissioner Tuohy also asked about Lot 4. Toth shared it would be utilized for stormwater detention for the property and has an easement over it so regardless no development would be allowed. Commissioner Alex Negro and Commissioner Aaron Anderson had no comments.

Commissioner Tom Lenkart asked about the number of trailer parking spaces on site and if this site will have any truck and trailer issues like the site to the north had. Toth said the site to the north was not implemented as designed. The site was designed to circulate traffic around the building, but the property owner did not open the southern access gate, which restricted traffic access to the north access drive only. Staff has worked with the site management and the southern gate was taken down so the issue should be resolved. Toth said that the property also took on too many tenants for that facility but has since been resolved with one of the tenants moving to Naperville. Toth shared the subject property tonight has one access point and staff received confirmation from the Fire District that they were good with the concept and single access point. Commissioner Lenkart mentioned the site traffic should be required to use Corporate Blvd to alleviate truck traffic on other roads. Toth said the Village cannot require them to use only certain public roads.

Werthmann shared parking spaces for trucks are for storage, truck traffic is distributed throughout the day and there is not a real peak period, and most traffic is coming in during off peak periods. Werthmann also added that trucks will probably go north to Bilter Road so they can get to a signalized intersection to go left. Bilter Road is also an industrial route and most trucks will probably use Bilter Road instead of Butterfield Road to get to Farnsworth Avenue. Werthmann said the number of parking spaces does not equal truck movement. Commissioner Lenkart asked if this site is for a single tenant and a few questions regarding the landscape plan. Perrin said they are not sure at this point regarding a single or multi-tenant. Toth stated there is a tree line along the north end of the property and one of the conditions of approval mentions preserving the existing tree line. Commissioner Lenkart said he supports the development, but his biggest concern is traffic at the intersection going in and out of the site. Werthmann mentioned the site has been zoned like this for years and designed for such traffic. Werthmann added truck traffic doesn't like to leave during peak periods and many of these similar facilities see truck traffic leave between 9:00 a.m. and 3:00 p.m. or after 6:00 p.m.

Commissioner Doug Botkin asked if the facility will be secured with fencing. Perrin shared that will be determined by the tenant of the space. Toth said condition number seven in the staff report mentions any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight feet in height. Commissioner Botkin asked if there is a minimum height for the fence. Toth said there is not.

Commissioner Mark Bozik asked if the plan they are presenting is asking for anything different compared to the one that was approved a few years ago. Commissioner Bozik also asked if the special use was only triggered due to the PUD being over 2 acres. Toth said there is a history of the property summarized in the staff report and properties to the north had everything installed before new Zoning Ordinance was adopted while the subject property had such utilities installed after. Toth shared the site plan and use have no deviations to the Zoning Ordinance. Commissioner Bozik asked what the overall height of the building is. Toth said the building is listed at just under 50 feet (49'11") to meet the bulk regulations of the ORI District.

Chairman Brackett summarized the key concern of traffic at the intersection along with staff's 10 findings in the staff report.

Motion for approval of a Special Use for a Planned Unit Development with staff's ten (10) conditions was made by Commissioner Bozik and seconded by Commissioner Tuohy with one (1) added staff condition:

- Outbound traffic from the site shall be under stop sign control.

Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

Motion for Site Plan Approval was made by Commissioner Bozik and seconded by Commissioner Botkin. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

2. **SPA #23-01 (320 Overland Drive):** The petitioner, Opus Development Company, LLC, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Site Plan Approval

Toth introduced SPA #23-01 which is located at 320 Overland Drive, which is the western portion of the old Valley Green Golf Course. The site consists of 27.34 acres and is located in the O-R-I Office Research and Light Industrial District as part of the Opus I-88 Corporate Park PUD. Toth shared the PUD was already approved in 2021 and went through public hearing on January 5, 2021 with the Plan Commission along with three Committee of the Whole meetings with the Village Board before the PUD Ordinance was approved on April 5, 2021. The Opus I-88 Corporate Park PUD consists of two phases. Phase one consists of Building A and B and Phase two consists of Building C. Opus is currently finishing up and near completion on Phase 1's two buildings. Opus is looking to complete Building C and the PUD Ordinance mentions when Building C is ready for construction it requires the site plan approval by the Plan Commission and Village Board.

The petitioner Mike Robinson with Opus Development introduced Building C site plan and provided an overview of Opus company and operations. Opus is predominantly in the Midwest, has eight offices and their headquarters is out of Minneapolis, MN. Opus is a merchant builder where they look for land, get it ready for development, construct it, and then sell it. Robinson showed the site plan approved in 2021 with Phase 2, Building C on it. Robinson said the current site plan for Building C is almost exactly the same and is located where it was approved two years ago. Some small changes to the site plan include the secondary office moving from southwest

corner to northwest corner, the future truck and car bypass lane on the plan will not be installed on Day 1 and only will be installed if Opus leases it to two tenants but based on the building of this size there is a 90% chance it will be occupied a single tenant. Robinson said the building to the east is over 500,000 square feet and was leased to one tenant (Ryder Logistics). Building A has two tenants, and the second tenant was just leased last week. Robinson continued and shared the bypass lane will be greened over and excess soil on site will be used to create a mound and will help buffer properties to the north and west. The landscape plan was shown as well as the building elevations, which match Building B elevations directly to the east. Robinson mentioned Trey Gallagher is also in attendance and is on the general contractor side if there are any construction related questions.

Toth shared the zoning and building specs both match much of the site approved back in 2021 with the exceptions Robinson mentioned. Toth said changes like the removal of a bypass lane and a raised grade will help improve the sites buffering for adjacent properties and will help match the landscape with the existing tree line. Many of the concerns back in 2021 were regarding the buffering between the residential properties to the north. Chairman Brackett asked how the grade will compare to Building B to the east. Toth mentioned the grade for Building C would be higher than Building B's and act like a berm to some extent. Toth added the bypass lane to the north of Building B is gated off currently since it's only a single tenant building and has no use.

Commissioner Bozik asked if the site plan would need to comeback in the future if the future occupant would need a bypass lane. Commissioner Bozik also asked if the Village has received any complaints from adjacent residents and property owners. Toth stated it depends on the tenant. If it is a single tenant, the bypass lane will not be built. Staff has not received any complaints regarding the other buildings, but some semi-trucks have ended up in the neighborhood to the north when trying to locate a building. Also, there is a gate that will be installed to prohibit trucks access onto Willow Way. The Village has a water sample station in that area and were working on where to locate the gate to allow access to the sample site before the gate is constructed.

Commissioner Botkin, Negro, Anderson, and Tuohy had no comments or questions.

Commissioner Lenkart asked why install the mound now instead of the bypass lane in case a multi-tenant utilizes the building. Robinson said the cross-deck configuration of the site to the east is very similar to what Building C will be so there is no need to install a bypass lane if the one to the east is not being utilized. Toth added the mound will be used as buffering with the possibility of hauling the dirt away in the future should a bypass lane need to be built. Toth also added Building B did discuss not having a bypass lane, but Opus ended up installing that bypass lane.

Motion for Site Plan Approval was made by Commissioner Tuohy and seconded by Commissioner Negro. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Toth provided an update on the Dairy Barn project. Dairy Barn petitioner went out for bid for materials and bid came back quite high but is still looking at moving forward. If there is a substantial change to the project, it would need to come back for site plan approval.

Toth provided some insight on a possible site plan approval in the near future regarding a Ram Truck dealership. Toth shared the Jeep dealership about a half a decade ago was approved west of Target, but some private covenant agreement prevented them from moving forward and ended up walking away. In 2018, Riverfront bought the site on the north side of Orchard Gateway Blvd directly east of Sherwin-Williams. Riverfront is looking at potentially putting a standalone Ram Truck dealership at that location.

Chairman Brackett asked about the Hyundai Genesis building, PNC Bank building on Orchard, Woodman's Addition, and the building north of Starbucks. Toth shared the Genesis project permit is issued and still moving forward. The old PNC Bank building is turning into a dental office and the old Chase Bank is turning into a medical office. Woodman's addition was approved and is currently in the building permit review process and moving forward. Toth said the building north of Starbucks is Fortunato and had some supply chain issues but is moving forward. Commissioner Lenkart asked about a sidewalk piece on Hart Road that is hazardous and has been there for years. Toth said he will have staff look into it.

ADJOURNMENT

Motion to adjourn made by Commissioner Tuohy and seconded by Commissioner Lenkart. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins
Village Clerk

Staff Report to the Village of North Aurora Plan Commission

FROM: David Hansen, Village Planner

GENERAL INFORMATION

Meeting Date: June 6, 2023

Petition Number: 23-02

Petitioner: West Aurora School District 129

Request: Special use to allow an Educational Facility, Vocational School

Location: 202 – 208 Genesis Drive (Lot 7 in Orchard Commerce Center Subdivision)

Parcel Number: 14-01-427-003

Property Size: 1.21 acres

Current Zoning: B-2 General Business District
Planned Unit Development

Contiguous Zoning: B-2 General Business District (All)

Comprehensive Plan Designation: Regional Commercial



PROPOSAL

West Aurora School District 129 is proposing to move their existing automotive programming vocational school from Mooseheart to the subject property located in a B-2 General Business District Planned Unit Development, known as the Orchard Commerce Center. The subject property is currently improved with a multi-use commercial strip center that includes an auto repair shop and three separate office tenant spaces. District 129 would utilize the entire building for a vocational automotive training center. The northern portion that currently houses the auto repair shop would accommodate lab activities where vehicles would be used as a demonstration and practice opportunities. The three office spaces to the south would house and offer diagnostics, hybrid, and engine lab environments. In the future, District 129 may consider utilizing the three offices spaces for other classes such as HVAC and Fire Science.

An Educational Facility, Vocational School is classified as a special use in the B-2 District. Staff brought the proposed use to the May 15, 2023, Committee of the Whole meeting to solicit feedback from the Village Board. The Village Board was very supportive of the use and only concern going forward was regarding the potential loss in tax revenue for the site.

Hours of Operation

The anticipated hours of operation for the automotive programming vocational school would be 7:00 a.m. to 4:00 p.m., Monday through Friday.

Parking

The Educational Facility, Vocational School use requires 1 off-street parking space per 10 students (based on maximum enrollment) + 2 spaces per classroom. According to the petitioner, the facility would include 40-45 students on campus at any one time along with 1 to 2 staff members on site. As such, the Zoning Ordinance would require a total of 13 parking spaces. The subject property currently provides a total of forty-eight (48) parking spaces. District 129 has mentioned that most of the students will be bussed to the site.

RECOMMENDATIONS

Staff finds that the information presented meets the Standards for Specials Uses as submitted by the petitioner and the Use Standards regulating Educational Facility, Vocational School as set forth in the Zoning Ordinance. Based on the above considerations, staff recommends approval of Petition #23-02.

APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA
Board of Trustees
25 East State Street
North Aurora, IL 60542

PETITION NO. : 23-02

FILE NAME: District 129 Vocational School

DATE STAMP: 5-1-2023 @ 11:03 a.m.

I. APPLICANT AND OWNER DATA

Name of Applicant West Aurora School District 129

Applicant Address 1877 West Downer Place, Aurora, IL 60134

Applicant Telephone # 630-301-5000

Email Address: jcraig@sd129.org

Property Owner(s) Corporate Properties Retail Centers, LLC

Owner Address 15735 S. Bell Rd. Homer Glen, IL 60491

Owner Telephone # _____

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 202 Genesis Drive, North Aurora, 60542

(indicate location if no common address)

Legal Description: See attached legal description

Parcel Size: 1.21 acres

Present Use: Office/Auto Repair Shop

Present Zoning District: B-2 General Business District

(Zoning Ordinance Classification)

III. PROPOSED SPECIAL USE

Proposed Special Use: Vocational Education

(Zoning Ordinance Classification)

Code Section that authorizes Special Use: 17.8.2.A

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? _____ to what district? _____

Describe briefly the type of use and improvement proposed: The use of the property would be for a vocational school that provides automotive programming for the students of West Aurora School District 129 and possibly neighboring districts. In the future additional career and technical education programming maybe expanded to HVAC or related field.

What are the existing uses of property within the general area of the Property in question? The current property is used as a oil change facility, an real estate attorney, and a vacant hair salon. The adjacent properties include a car wash, dunkin donuts, PPG paints factory, and car dealerships across Orchard Road.

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) Yes, our understanding is that we need a special use approval to rezone the property from commercial use to a vocational school use.

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards: (See attached statement)

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.
5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.

7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's EcoCat online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising

the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

____Jeff Craig____ April 28, 2023

Applicant or Authorized Agent

Date

Owner

Date

STATE OF ILLINOIS)

) SS

COUNTY OF KANE)

I, _____, being first duly sworn on oath depose and say that I am trust officer of _____ and that the following are all of the beneficiaries of the _____.

TRUST OFFICER

SUBSCRIBED AND SWORN TO

Before me this 18th day of May, 2023.


A Notary Public in and for the State of Illinois



[illegible]

Applicant Signature	Date
---------------------	------

Before me this 1st day of May, 2023



Notary Public

Special Use Standards Statement

1. The proposed special use is authorized in the zoning district in which the property is located.
2. It is necessary for the public convenience in that it is centrally located for intended participants and does not dramatically change the use of the facilities.
3. There are not excessive additional impacts and this training facility will benefit the community at large as students will be able to access next steps in education or the workforce.
4. We will adhere to all Village codes and regulations.
5. We will maintain the facility to ensure the appearance of or character of the general vicinity is of a high standard.
6. We will not negatively impact the surrounding neighborhoods.
7. This property is adjacent to a car wash and several small eatery businesses. I believe that to be compatible.
8. Most of our students will be transported via school bus. That will be the safest mode of transportation.
9. We are not impacting the required number of parking spaces.
10. We will continue to utilize existing utilities.
11. To the best of our ability we will conform with the requirements of this Ordinance.

Tax Parcel No	Property Owner	Mailing Address
15-06-302-007	KIRELAND GENESIS DRIVE NORTH AURORA LLC	18851 NE 29TH AVE STE 303 AVENTURA, FL, 33180-2813
14-01-427-022	KIRELAND GENESIS DRIVE NORTH AURORA LLC	18851 NE 29TH AVE STE 303 AVENTURA, FL, 33180-2813
14-01-427-023	GENESIS 2004, LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
15-06-302-008	GENESIS 2004, LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
14-01-427-020	GENESIS 2004 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
14-01-425-001	GENESIS 2004 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
15-06-301-001	GENESIS 2004 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
15-06-302-009	EXODUS 2006 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
14-01-427-024	EXODUS 2006 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
14-01-427-002	JUDGES 2008 LLC	457 HAVERHILL CT SUGAR GROVE, IL, 60554
14-01-427-021	OLD SECOND NATIONAL BANK	3101 OGDEN AVE LISLE, IL, 60532-1678
14-01-427-005	OLD SECOND NATIONAL BANK	3101 OGDEN AVE LISLE, IL, 60532-1678
15-06-300-021	COMMONWEALTH EDISON CO	3 LINCOLN CTR FL 4 OAKBROOK TERRACE, IL, 60181-4204
14-01-400-001	COMMONWEALTH EDISON CO	3 LINCOLN CTR FL 4 OAKBROOK TERRACE, IL, 60181-4204
15-06-300-022	COMMONWEALTH EDISON CO	3 LINCOLN CTR FL 4 OAKBROOK TERRACE, IL, 60181-4204

Landscaping

CLASSIFIED
Call Today!
847-427-4444 or
630.955.0008

Exhibit A

LOT 7 IN ORCHARD COMMERCE CENTER SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 16, 2005 AS DOCUMENT 2005K110890, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PIN # 14-01-427-003-0000

Unofficial

Introduction Letter

We are currently offering Automotive Technology 1 and 2 at Mooseheart City School. We have outgrown that physical space and have been looking to secure a facility that we can grow to our full potential in this Career and Technology realm.

Our estimated schedule for the 2023-24 School Year begins at 7:55 am and concludes at 2:35 pm. We would probably have staff and some students on site at 7:00 until 4:00 given any needs throughout the day.

I would estimate that at capacity, we could have 40-45 students on the campus at any one time. There are 1-2 staff members on site at all times.

The larger space to the north, would accommodate our lab activities where vehicles would be used as demonstration and practice opportunities. The three spaces to the south would provide us opportunities to offer diagnostics, hybrid and engine lab environments. Other possible expansions for those spaces might include HVAC and Fire Science.

We have been approached by other school districts, East Aurora, Mooseheart and Batavia, to include their students in our offerings.

Respectfully,

Jeff Craig

Superintendent of West Aurora Schools



West Aurora

Automotive Center

202-208 Genesis Way
North Aurora, IL

West Aurora's Automotive Program

AUTOMOTIVE TECHNOLOGY 1: CCCT380Y

Open to: 11, 12 Length: 1 year Credit: 2

PREREQUISITE: NONE

Automotive Technology 1 introduces the student to the wide field of auto repair. the class is divided into four main areas of study : brakes; steering and suspension; electircal; engine repair ad computer controls. Students will receive classroom instruction and time in the lab to complete hands-on repairs to vehicles. Students are instructed on how to locate service data, determine what is important and use that information to troubleshoot and repair automobiles. students must supply their own safety glasses and safety boots.

2023-2024 Student Enrollment: 74

Automotive Technology 2: CCCT408Y

Open to: 12 Length: 1 year Credit: 2

PREREQUISITE: None

Automotive Technology II is an extension of Automotive Technology I. While the focus is still on the four main areas of study from Auto I, the course is project-based and students are allowed input into what topics are covered. Students are encouraged to suggest or bring in their own projects and are given more time in the lab to complete larger repairs. However, all projects must be approved by the instructor. Students must supply their own safety glasses and safety boots. Tools will be provided.

2023-2024 Student Enrollment: 9

Maximum Student Program Enrollment: 160

2023-2024 Estimated Schedule

<u>Block</u>	<u>Bus Arrives</u>	<u>Class Period</u>	<u>Bus Departs</u>
One	7:50	7:55-9:05	9:05
Two	9:43	9:48-10:55	10:55
Three	11:34	11:39-12:45	12:45
Four	1:26	1:31-2:35	2:35

** Schedule differs on Mondays due to late start schedule*

Automotive Experience

Students have the opportunity to:

- work on donated cars, personal vehicles, and district/staff vehicles (it is not a fully operational automotive shop).
- earn certifications in areas such as tire balancing.
- possible dual-credit opportunities with Waubensee Community College.
- possible internship opportunities at local car dealers and automotive shops.

Possible Automotive Expansion

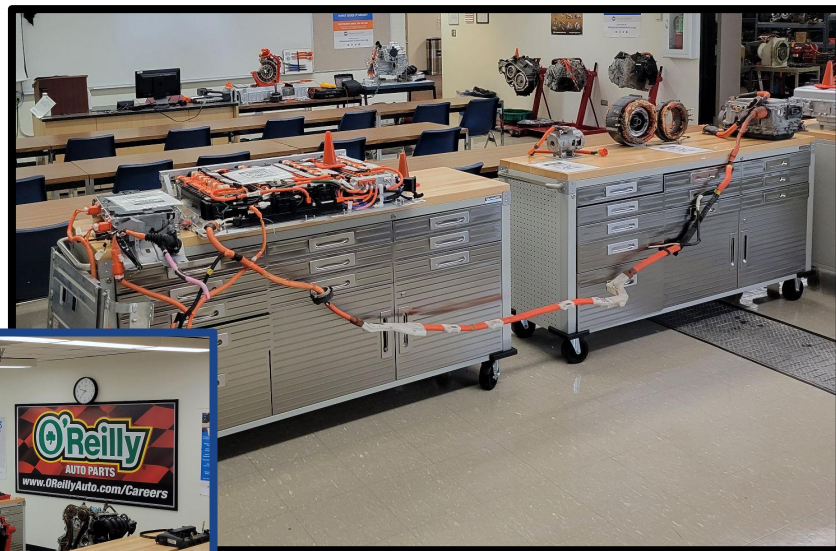
Electric Diagnosis Lab



Engine Lab

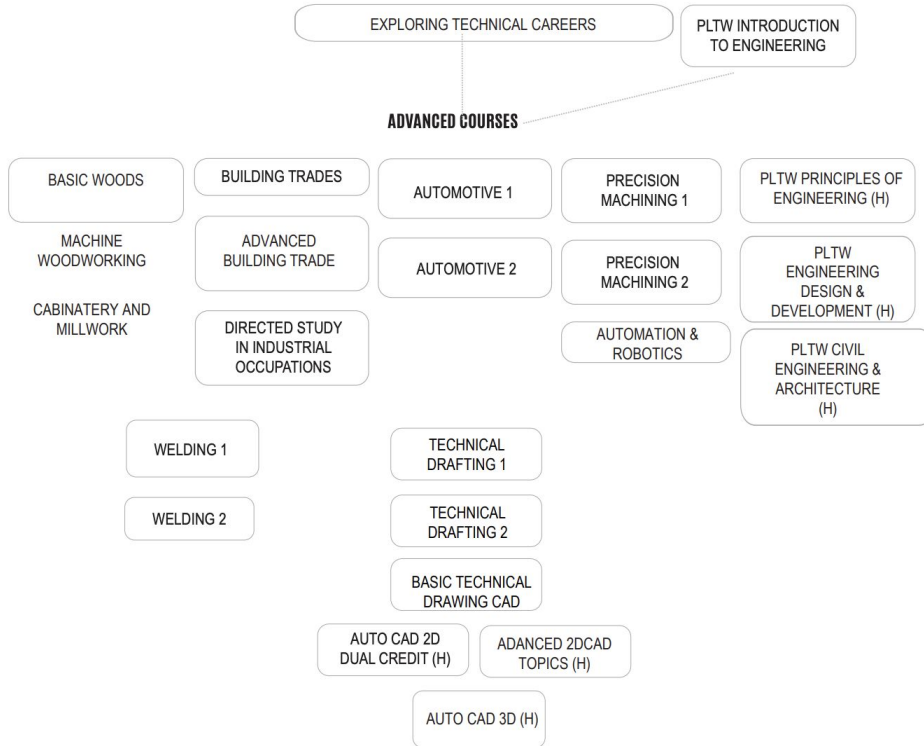


Hybrid Lab



2023-2024 CTE Offerings

TECHNOLOGY



Possible Future Partner Schools



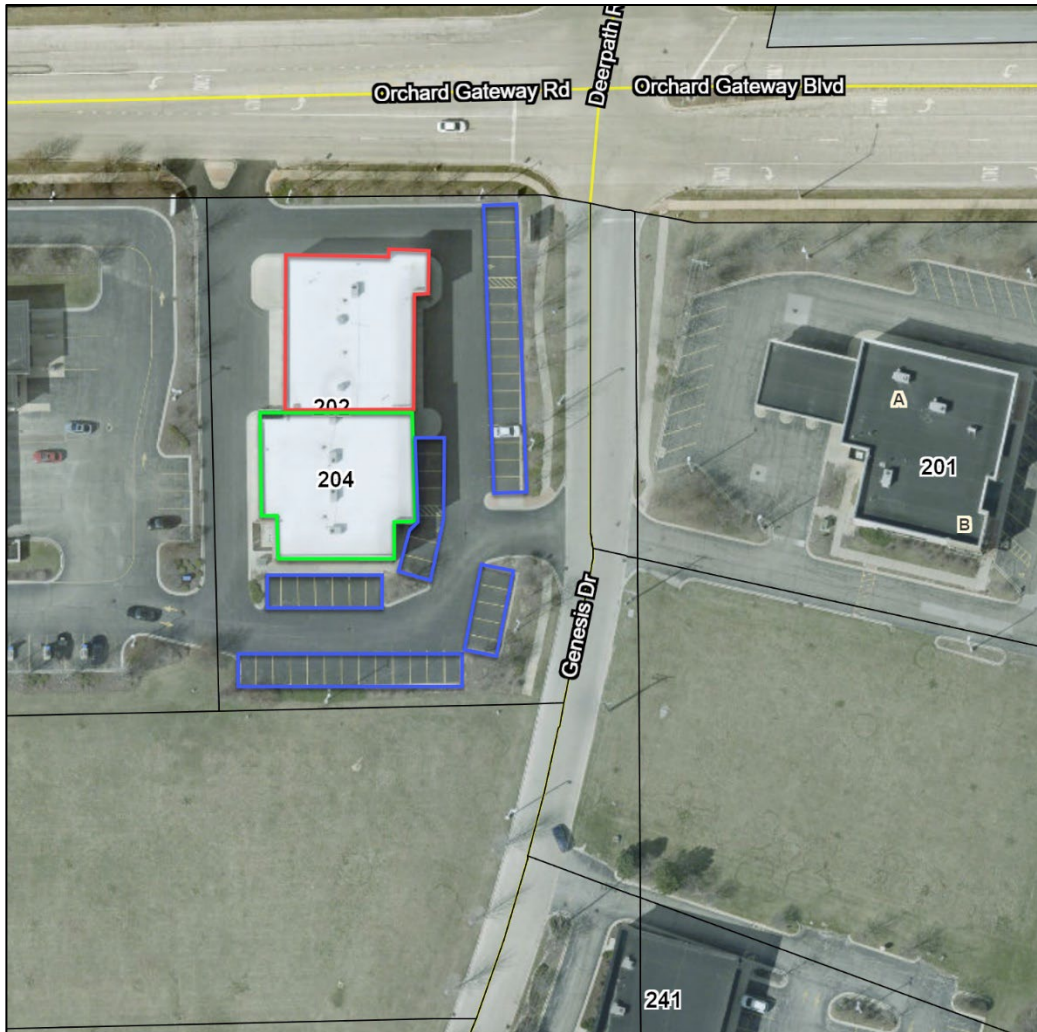
EAST AURORA
HIGH SCHOOL

MOOSEHEART
Child City & School Inc.



Possible Other CTE Expansion Areas

Heating & Air Conditioning
Fire Science



Legend

- **Red** - area for automotive repair training to be open August 2023.
- **Green** - area for future expansion of academic programming.
- **Blue** - parking for students and staff.

***Please note that the actual spaces used will be limited as the majority of students are bused over from high school and staff members anticipated are minimal.**

STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: DAVID HANSEN, VILLAGE PLANNER

GENERAL INFORMATION

Meeting Date: June 6, 2023

Petition Number: SPA #23-02

Petitioner: River Front Ram

Request: Site Plan Approval

Location: First Resubdivision Lot 1 of
First Resubdivision of Lot 16 North
Aurora Towne Centre Lot 2

Parcel Number(s): 15-06-401-006

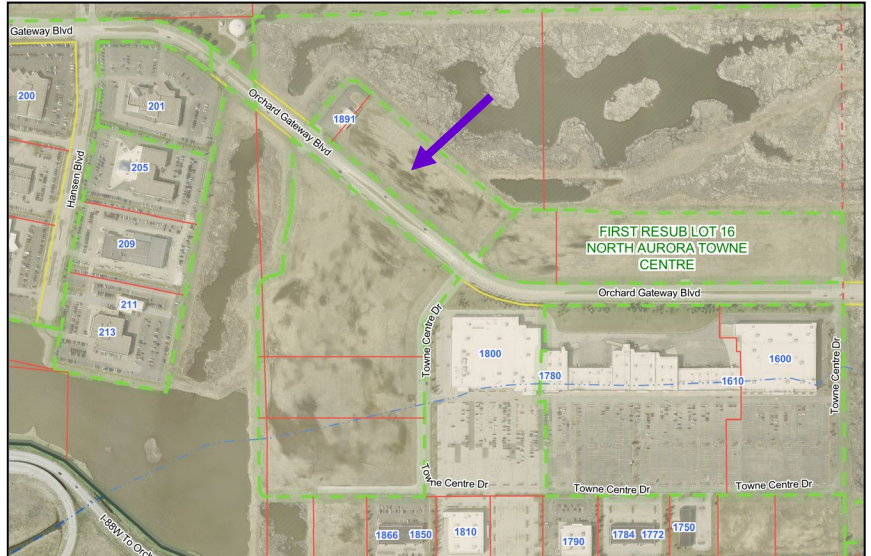
Size: 5.414 acres

Current Zoning: B-2 General Business District Planned Unit Development (Towne Center PUD)

Current Land Use: Vacant Land

Contiguous Zoning: B-2 General Business District Planned Unit Development (Towne Center PUD)

Comprehensive Plan Designation: 'Office/Industrial'



PROPOSAL

The subject property is located in the B-2 General Business District and has already been granted a special use for a general commercial planned unit development, known as the Towne Center. As illustrated by the submitted plans, the intent of this request is to accommodate the development of a new 28,425 square foot Ram Truck dealership. Motor Vehicle Sales and/or Service is classified as a special use in the B-2 General Business District; however, the Towne Center PUD allows 'Automobile sales and service, including oil change facilities and automobile auto repair' as a permitted use. The western portion of the property will be reserved for service parking, the eastern portion will be utilized for the storage of automobile inventory and customer parking, and the vehicle display area will front Orchard Gateway Boulevard.

As a reminder, in early 2017, Riverfront Jeep proposed a 30,993 square foot Jeep dealership directly across from the proposed Ram Truck dealership location. The Riverfront Jeep project was viewed favorably by the Plan Commission and ultimately approved by the Village Board; however, due to private agreements outside the Village's control the project was unable to move forward. Upon staff review, the proposed Riverfront Ram Truck Facility location appears to be outside the private agreements geographical area that prevented the Riverfront Jeep dealership from moving forward.

Per Section 4.4 of the Zoning Ordinance, site plan review is required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

Staff has reviewed the submitted plans and confirms compliance with the Zoning Ordinance and Towne Center Planned Unit Development.

SITE PLAN APPROVAL

Standards for Site Plan Review. The scope of site plan review includes the location of principal and accessory structures, infrastructure, open space, landscaping, topography, grading plan, building elevations, exterior lighting, traffic movement and flow, number of parking spaces, design of parking lots, and location of landscaping and screening. In reviewing site plans, the relationship of the site plan to adopted land use policies, and the goals and objectives of the Comprehensive Plan shall be evaluated. In addition, the following characteristics shall also be considered:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions, and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
 - a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.

- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.
- 4. The design of off-street parking lots or garages to:
 - a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.
- 5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
 - a. Create a logical transition to adjoining lots and developments.
 - b. Screen incompatible, negative, or unsightly uses.
 - c. Minimize the visual impact of the development on adjacent sites and roadways.
 - d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
 - e. Promote and enhance the appearance and image of the Village.
- 6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
- 7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

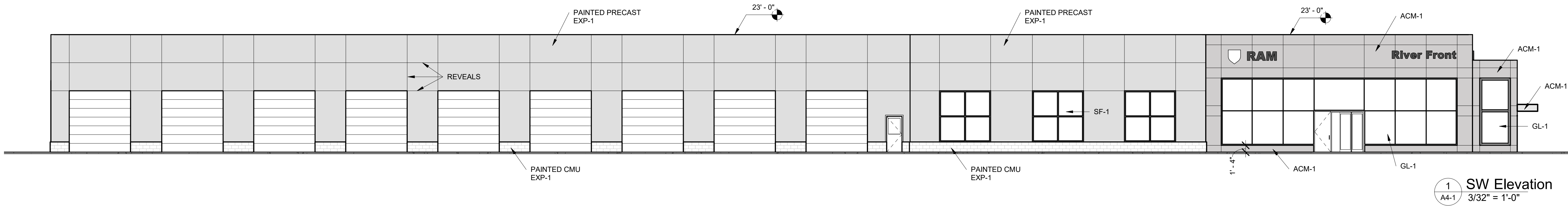
COMPREHENSIVE PLAN

The 2015 Comprehensive Plan recommends 'Office/Industrial' use for the subject property. Rights to general business zoning were approved for the subject property prior to the Comprehensive Plan 2015 update and the inconsistency between the zoning and the Comprehensive Plan designations may be the result of an error or oversight. The subject property is located in the Comprehensive Plan's West Gateway Subarea Plan, which includes the properties along Orchard Road stretching from Interstate 88 to White Oak Drive and includes all of Orchard Gateway Boulevard Town. A recommendation of the West Gateway Subarea Plan applies to the proposed development as a transitional land use: *high and dry areas adjacent to the wetlands should develop with low intensity industrial or business park uses.*

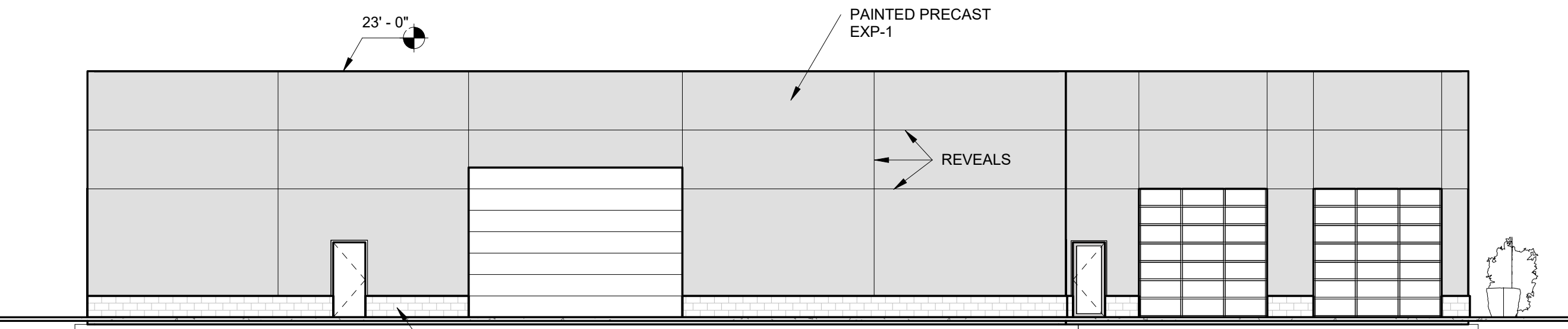
FINDINGS

The Community Development Department finds that the proposed site plan meets the Site Plan Approval Standards and general zoning provisions set forth in the Zoning Ordinance and Planned Unit Development. Staff recommends that the following conditions:

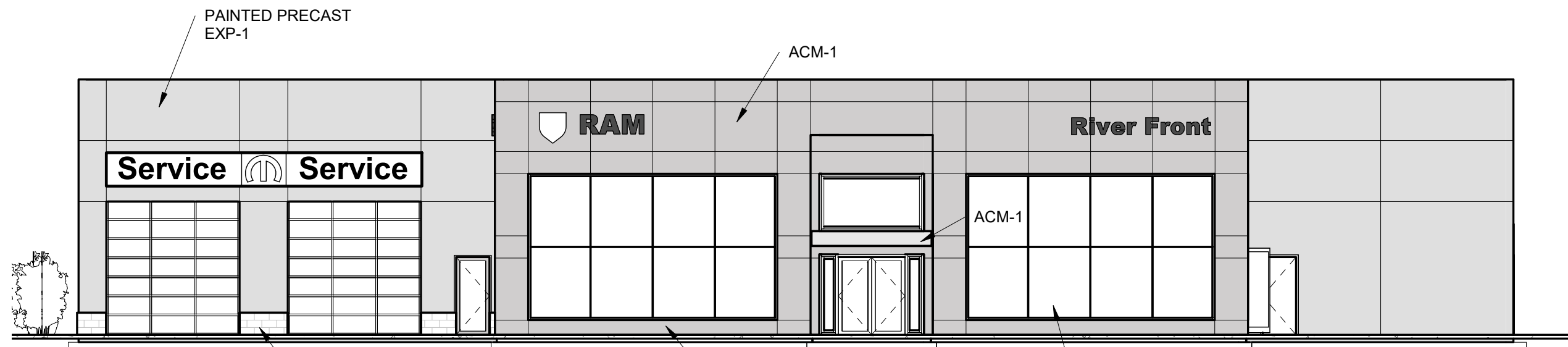
- 1. All signage shall meet the Sign Ordinance and PUD signage requirements, unless otherwise approved.



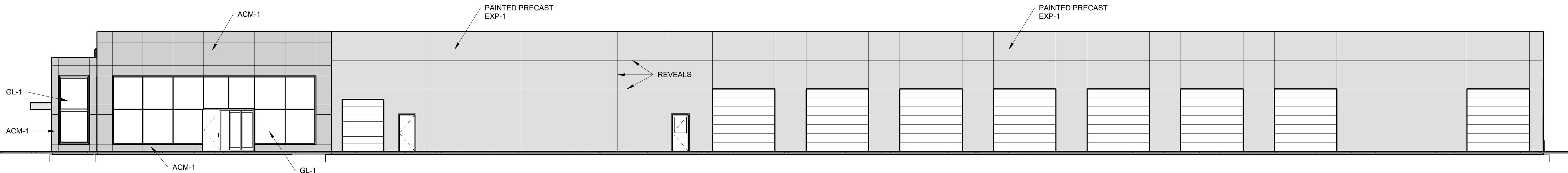
1 SW Elevation
3/32" = 1'-0"



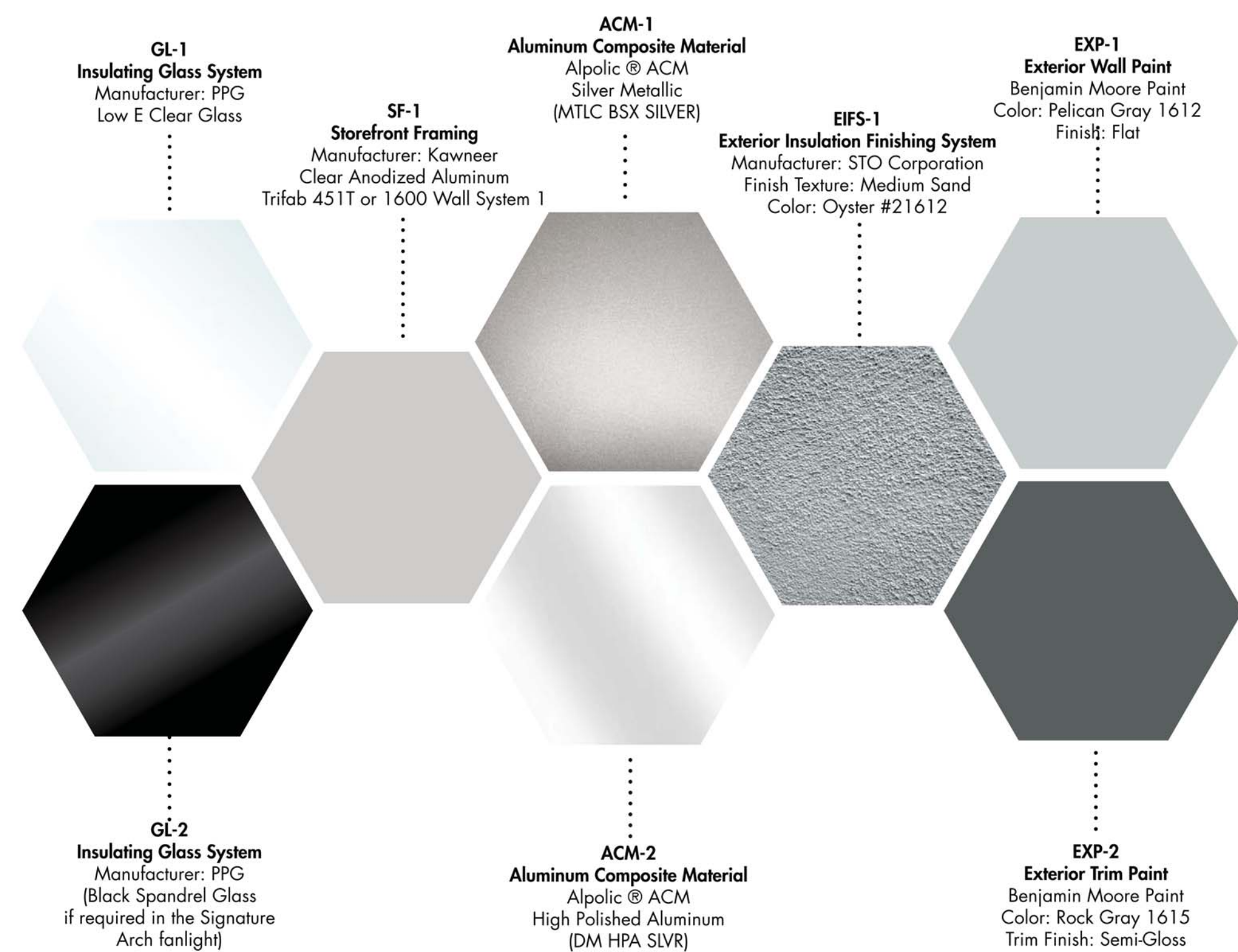
4 NW Elevation
3/32" = 1'-0"



2 SE Elevation
3/32" = 1'-0"



3 NE Elevation
3/32" = 1'-0"



CONSTRUCTION MANAGERS
GENERAL CONTRACTORS
DESIGN/BUILD
6296 Rucker Road
Suite C
Indianapolis, IN
46204-8660
TEL 317-259-4038
FAX 317-259-4785

CUSTOM FACILITIES
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Client Project Information

River Front Jeep
NORTH AURORA, ILLINOIS

5/25/2023 10:21:16 AM

LICENSED ARCHITECT
K. THOMAS
MONTGOMERY
1019252
STATE OF ILLINOIS
K. Thomas Montgomery

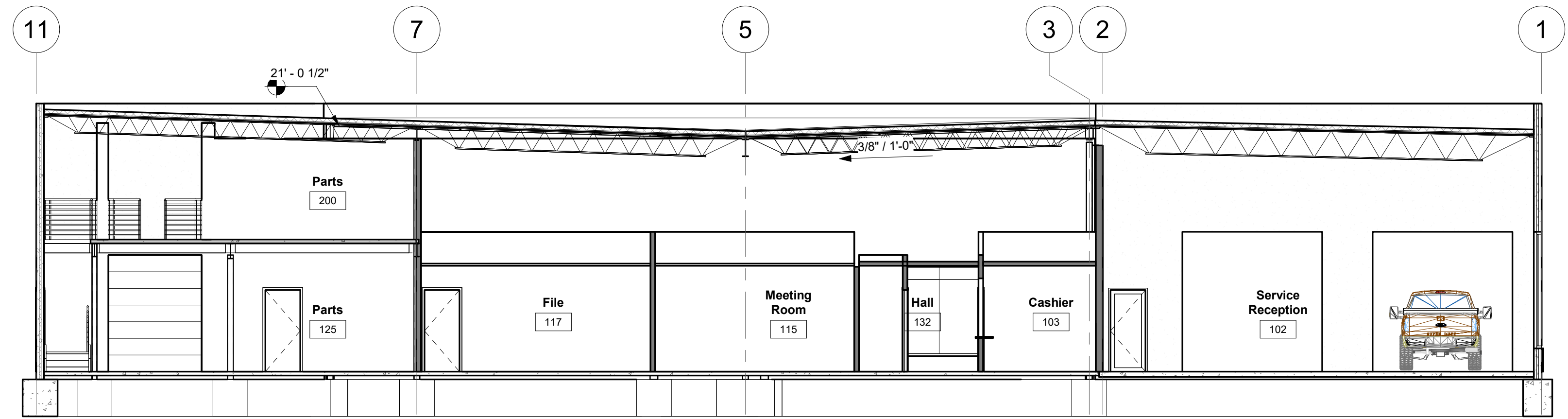
Project No.: 22112
Drawn By: KTM
Checked By: KTM

Revisions		
Mark	Date	Remarks

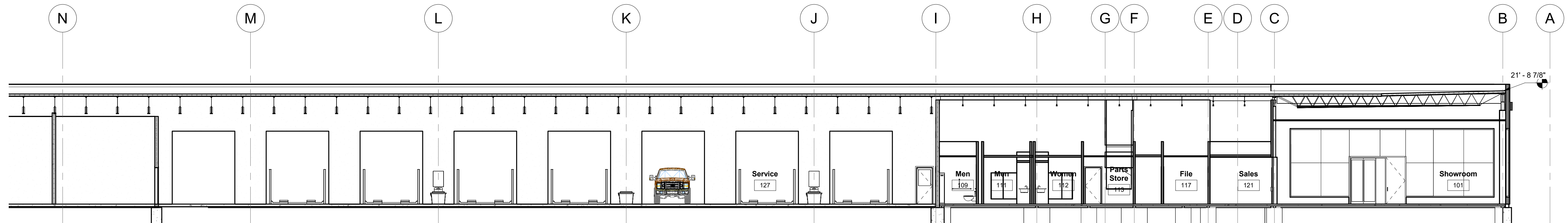
DO NOT SCALE DRAWINGS.
Custom Facilities shall be notified immediately should any errors, omissions, discrepancies and/or inconsistencies be discovered on the drawings.

Exterior Elevations

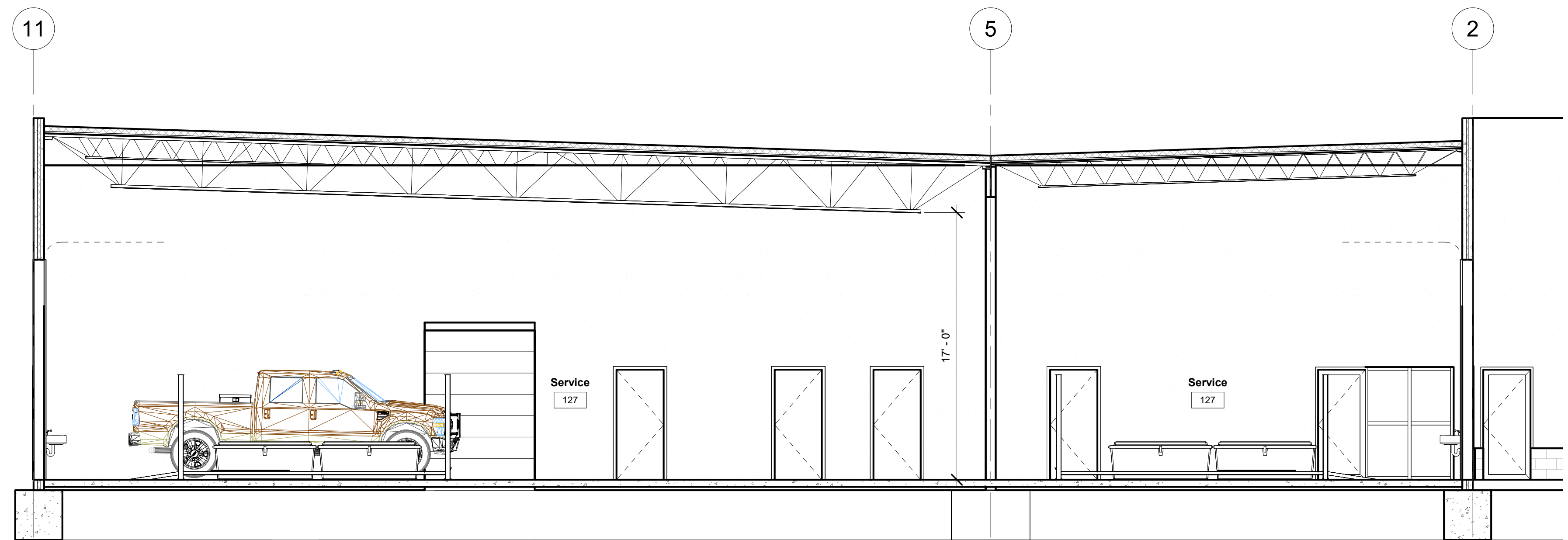
A4-1a



1 Building Section1
A5-1 1/8" = 1'-0"

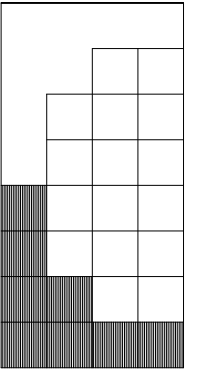


2 Building Section 2
A5-1 3/32" = 1'-0"



3 Building Section 3
A5-1 3/16" = 1'-0"

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS
DESIGN/BUILD
6296 Rucker Road
Suite C
Indianapolis, IN
46204-4860
TEL 317-259-4038
FAX 317-259-4785

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Client Project Information

River Front Ram
NORTH AURORA, ILLINOIS

5/21/2023 11:36:53 AM



Project No.: 22112
Drawn By: KTM
Checked By: KTM

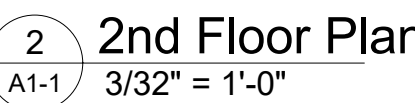
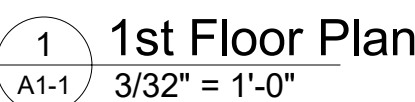
Revisions		
Mark	Date	Remarks

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Building
Sections

A5-1

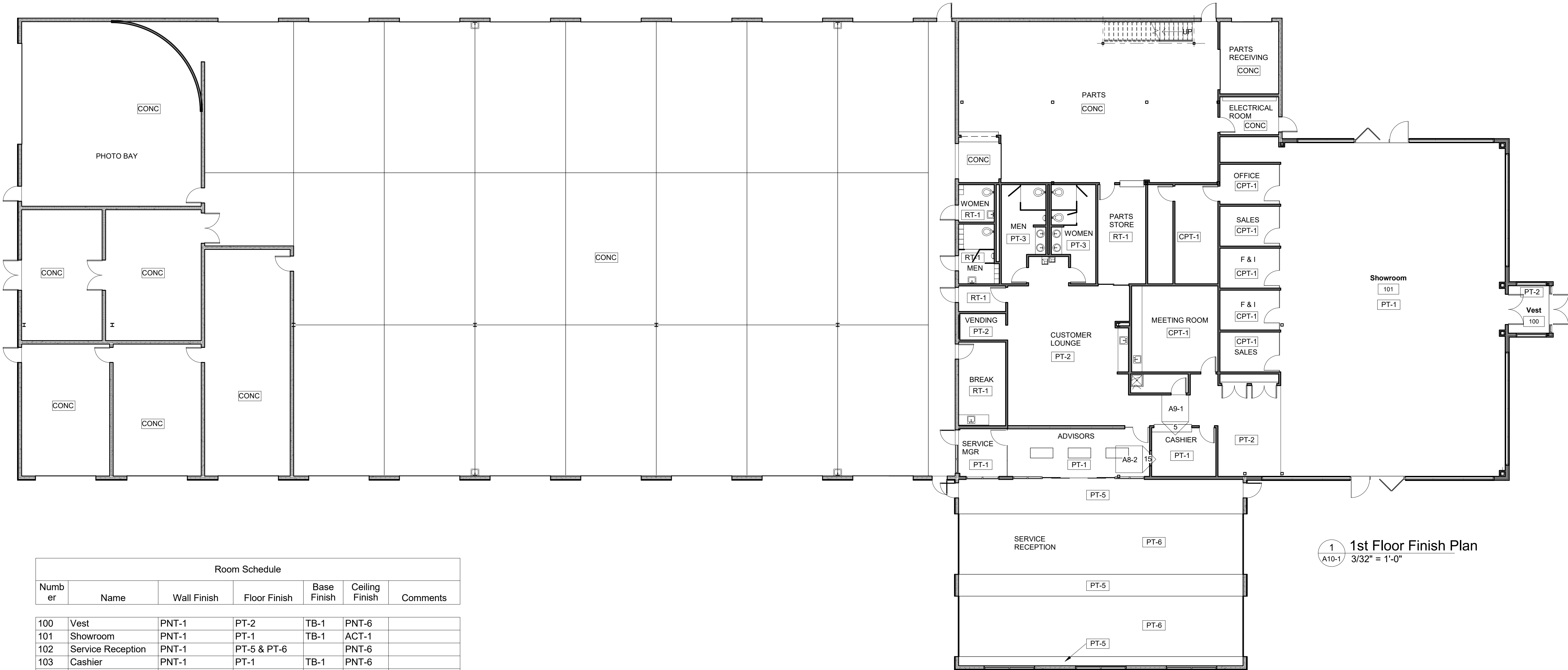




3	OHD / Bollard Detail
A1-1	1 1/2" = 1'-0"

- ① WRAP COLUMN WITH 2 1/2" METAL STUDS AND ONE LAYER OF 5/8" TYPE "X" GYP BD. EXTEND FURRING TO 4" ABOVE CEILING.
- ② FIRE EXTINGUISHER IN CABINET OR WALL HUNG EXTINGUISHER
- ③ 36" HIGH, CONCRETE FILLED, 4" DIA. STEEL PIPE BOLLARD. PIN BOLLARD TO FOOTING W/ 18" LONG #6 BAR EPOXIED INTO FOOTING AND GROUTED SOLID IN BOLLARD. SEE CHD / BOLLARD DETAIL ON SHEET 3A1-1.
- ④ FUR OUT THIS WALL W/ 2 1/2" METAL STUDS @ 16" O.C. AND ONE LAYER OF 5/8" GYP BD.
- ⑤ STEEL LADDER SECURED TO WALLS. TO MEET OSHA AND LOCAL CODES.
- ⑥ ROOF HATCH BY BILCO. TYPE "S" STEEL, 36" X 36". SUPPLY AND INSTALL BILCO LADDER-UP SAFETY POST.
- ⑦ NANA-WALL FOLDING DOOR SYSTEM
- ⑧ AUTOMATIC BI-PARTING SLIDING DOOR SYSTEM W/ 72"W X 84"H CLEAR OPENING
- ⑨ ADA RESTROOM SIGN MOUNTED AT +60" TO THE CENTER OF THE SIGN. SIGN TO CONTAIN RAISED LETTERS AND CHARACTERS, BRAILLE AND THE INTERNATIONAL SYMBOL OF ACCESSABILITY.
- ⑩ ADA "EXIT" SIGN MOUNTED AT +60" INSTRUCTING PATRONS THAT THIS IS AN EXIT DISCHARGE CONTAINING RAISED LETTERS AND CHARACTERS, AND BRAILLE.
- ⑪ TRENCH DRAIN, SEE PLUMBING FOR TYPE. SLOPE FLOOR TO DRAIN, SEE PLAN.
- ⑫ WALL HUNG FIRE EXTINGUISHER
- ⑬ 5.5" THICK X 4'-0" WIDE CONCRETE APRON ON 4" DRAINAGE FILL. APRON TO BE AT FLOOR LINE WITH A MAXIMUM SLOPE OF 2%. EXTEND 8" PAST OPENING ON EACH SIDE.

A1-1



Room Schedule						
Numb er	Name	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments

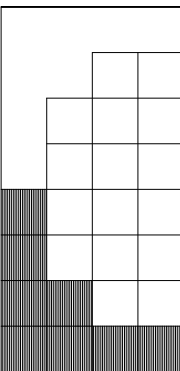
100	Vest	PNT-1	PT-2	TB-1	PNT-6	
101	Showroom	PNT-1	PT-1	TB-1	ACT-1	
102	Service Reception	PNT-1	PT-5 & PT-6		PNT-6	
103	Cashier	PNT-1	PT-1	TB-1	PNT-6	
104	Advisors	PNT-1	PT-1	TB-1	PNT-6	
105	Service Mgr	PNT-1	PT-1	TB-1	PNT-6	
106	Break	PNT-1	RT-1	RWB-1	ACT-1	
107	Vending	PNT-1	PT-2	TB-1	PNT-6	
108	Hall	PNT-1	RT-1	RWB-1	ACT-1	
109	Men	PNT-1	RT-1	RWB-1	ACT-1	
110	Women	PNT-1	RT-1	RWB-1	ACT-1	
111	Men	PT-4	PT-3	TB-1	PNT-6	
112	Women	PT-4	PT-3	TB-1	PNT-6	
113	Parts Store	PNT-1	RT-1	RWB-1	ACT-1	
114	Customer Lounge	PNT-1	PT-2	TB-1	PNT-6	
115	Meeting Room	PNT-1	CPT-1	TB-1	ACT-1	
116	IT	PNT-1	RT-1	RWB-1	PNT-6	
117	File	PNT-1	CPT-1	RWB-1	ACT-1	
118	Sales	PNT-1	CPT-1	RWB-1	PNT-6	
119	F & I	PNT-1	CPT-1	RWB-1	PNT-6	
120	F & I	PNT-1	CPT-1	RWB-1	PNT-6	
121	Sales	PNT-1	CPT-1	RWB-1	PNT-6	
122	Office	PNT-1	CPT-1	RWB-1	PNT-6	
123	Utility Room	PNT-1	CONC		ACT-1	
124	Parts Receiving	PNT-1	CONC		PNT-6	
125	Parts	PNT-1	CONC		PNT-6	
126	Tech Counter	PNT-1	CONC		PNT-6	
127	Service	PNT-3 & PNT-5	CONC		PNT-6	
128	Detail	PNT-1	CONC		PNT-6	
129	PKG	PNT-1	CONC		PNT-6	
130	Photo Bay	PNT-1	CONC		PNT-6	
131	Oil / Tool	PNT-1	CONC		PNT-6	
132	Hall	PNT-1	PT-2	TB-1	PNT-6	
133	Keys	PNT-1	PT-1	TB-1	PNT-6	
134	Carwash	PNT-1	CONC		PNT-6	
135	Tools	PNT-1	CONC		PNT-6	
136	Jan	PNT-1	PT-2	TB-1	PNT-6	
137	Coats	PNT-1	PT-2	TB-1	PNT-6	
200	Parts	PNT-1	CONC		PNT-6	

PT-1 - AlfaLUX - Canvas Titanium (Showroom)
PT-2 - AlfaLUX - Canvas Carbon (Main Street)
PT-3 - AlfaLUX - Color: Canvas Titanium (natural) Size: 12"x24" (Restrooms)
PT-5 - AlfaLUX - Granite Titanium (Service) and PT-6 AlfaLUX Granite Carbon (Service Accents)
CPT-1 - Bentley Collection: Sure Bet Color: Point Spread 404257 Size: 24"x24"
RT-1 - Mannington Commercial - Rubber Tile - Square - Night Black 901 (Parts Offices)
LVT-1 - Bentley Collection: Batiste Color: Cambric 801840 Size: 18"x36"
CONC - Sealed Concrete (Parts)

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS

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46204-8860
TEL 317-259-4088
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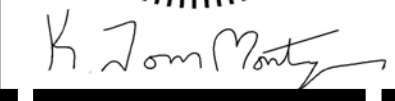
Client Project Information

River Front Ram

NORTH AURORA, ILLINOIS

5/21/2023 11:37:15 AM

LICENSED ARCHITECT
K. THOMAS
MONTGOMERY
1019252
STATE OF ILLINOIS



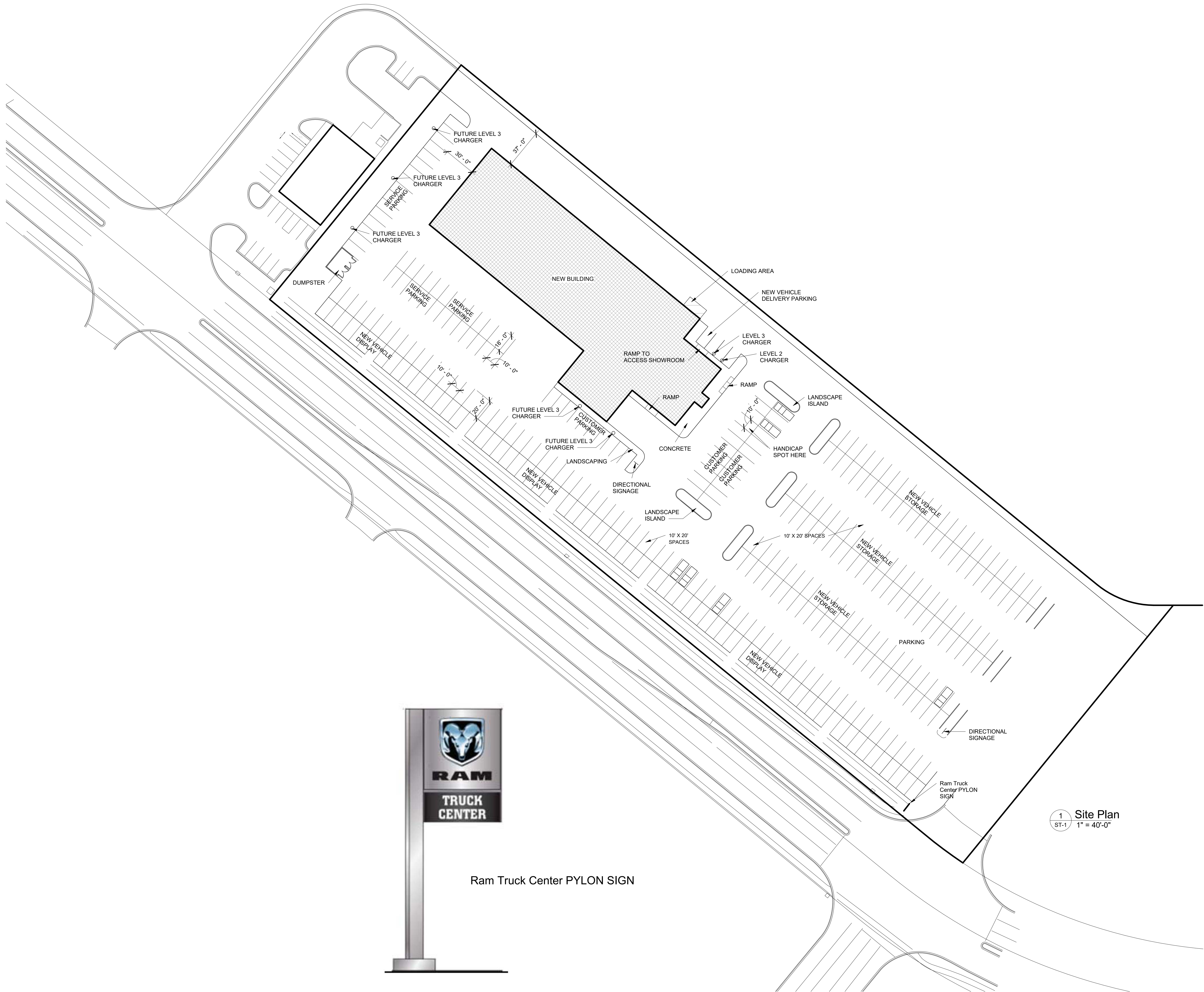
Project No.: 22112
Drawn By: KTM
Checked By: KTM

Revisions		
Mark	Date	Remarks

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Finish Plans

A10-1

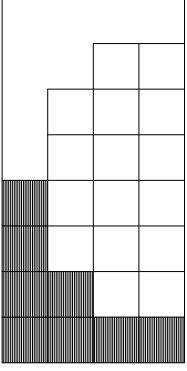


Ram Truck Center PYLON SIGN

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS

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6296 Rucker Road
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Client Project Information

River Front Ram

NORTH AURORA, ILLINOIS

5/21/2023 11:38:57 AM


K. Thomas Montgomery

Project No.: 22112
Drawn By: KTM
Checked By: KTM

Revisions

Mark	Date	Remarks

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Site Plan

ST-1

PLOT FILE CREATED: 5/15/2023 9:41 AM BY DAVID DEMAY
DRAWING LAST SAVED: 5/15/2023 9:33 AM BY DAVID DEMAY
DRAWING PATH: P:\904438\DWG\ENG DRAWINGS\FINAL DRAFTING\UTILITY.DWG

PREPARED FOR:

△ RIVER FRONT RAM TRUCK FACILITY
200 HANSEN BLVD.
NORTH AURORA, IL 60542
(630) 907-1700



PREPARED BY:

CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
△	05-15-23/DDD	REVISED PER CLIENT & IN HOUSE REVIEW			

OVERALL STREET LIGHTING-UTILITY-STRIPING AND SIGNAGE PLAN

△ RIVER FRONT RAM TRUCK FACILITY

FILE NAME: UTILITY	DSGN. BY: MAM	JOB NO.: 904.438	FLD. BK./PG.: ---	SHEET NO.
DIR: 904438	DRN. BY: BCD/DDD	DATE: 02-06-23	SCALE: 1" = 40'	05 of 13

△ PAVEMENT SUMMARY

DESCRIPTION	AREA/NO.	PARKING RATIO	PARKING REQUIRED
INDOOR SALES AREA	3,186 S.F.	1/1,000 S.F.	3
OUTDOOR SALES AREA	59,130 S.F.	1/1,000 S.F.	59
REPAIR/SERVICE BAYS	13	2/BAY	26
REPAIR/SERVICE — OFFICE/WAITING	971	1/500 S.F.	2

TOTAL PARKING REQUIRED: 90 SPACES
TOTAL PARKING PROVIDED: 90 SPACES

PAVEMENT STRIPING/MARKING NOTES

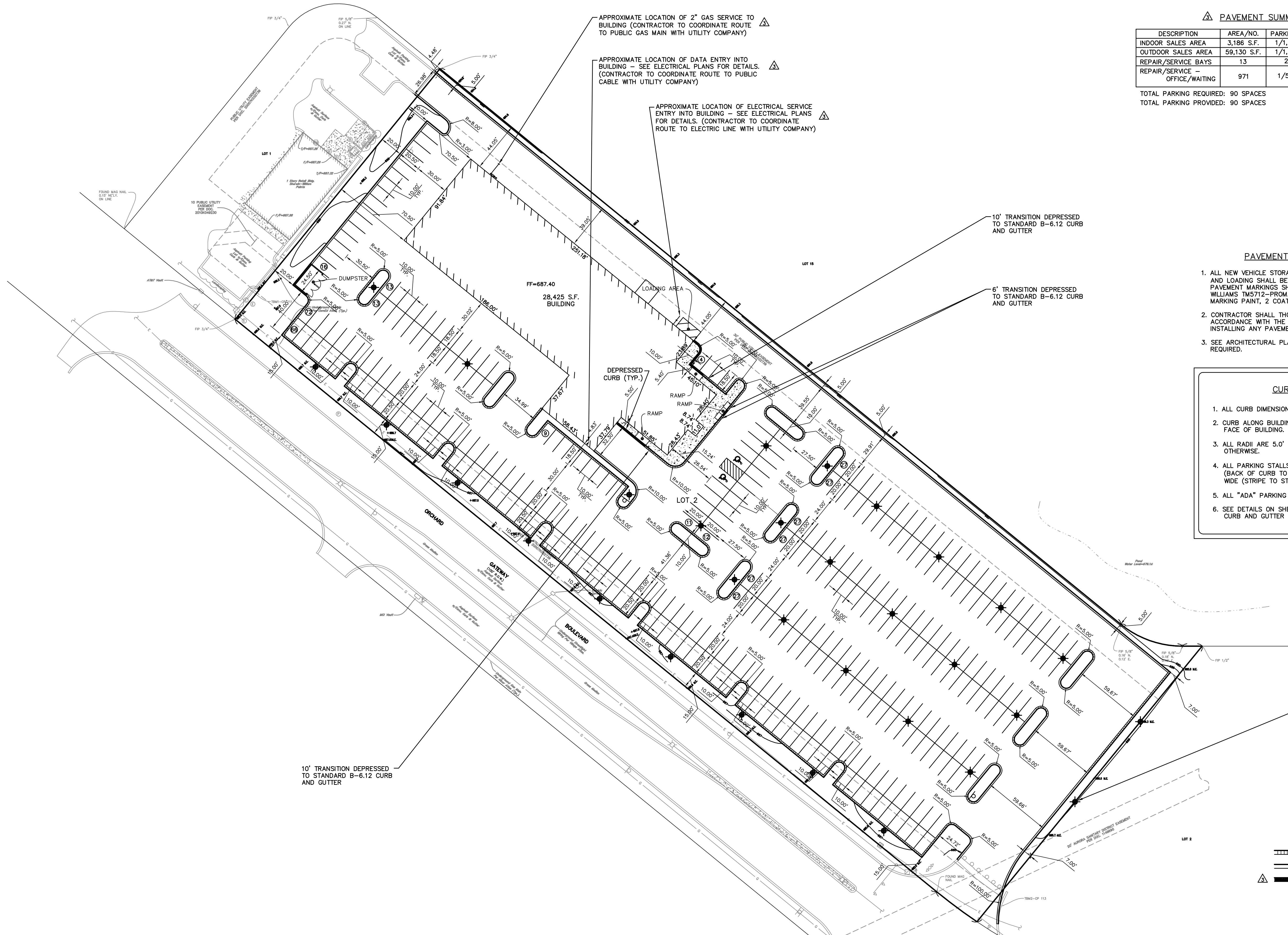
- ALL NEW VEHICLE STORAGE, CUSTOMER PARKING, SERVICE PARKING, AND LOADING SHALL BE STRIPED. STRIPING TO BE 4" WIDE. ALL PAVEMENT MARKINGS SHALL BE SAFETY YELLOW — EQUAL TO SHERWIN WILLIAMS TM5712—PROMAR LOW VC ACRYLIC COPOLYMER TRAFFIC MARKING PAINT, 2 COATS, 7.5 MILS DRY FILM THICKNESS PER COAT.
- CONTRACTOR SHALL THOROUGHLY CLEAN THE PAVEMENT IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS PRIOR TO INSTALLING ANY PAVEMENT MARKINGS OR STRIPING.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PAVEMENT MARKINGS REQUIRED.

CURB DIMENSION NOTES

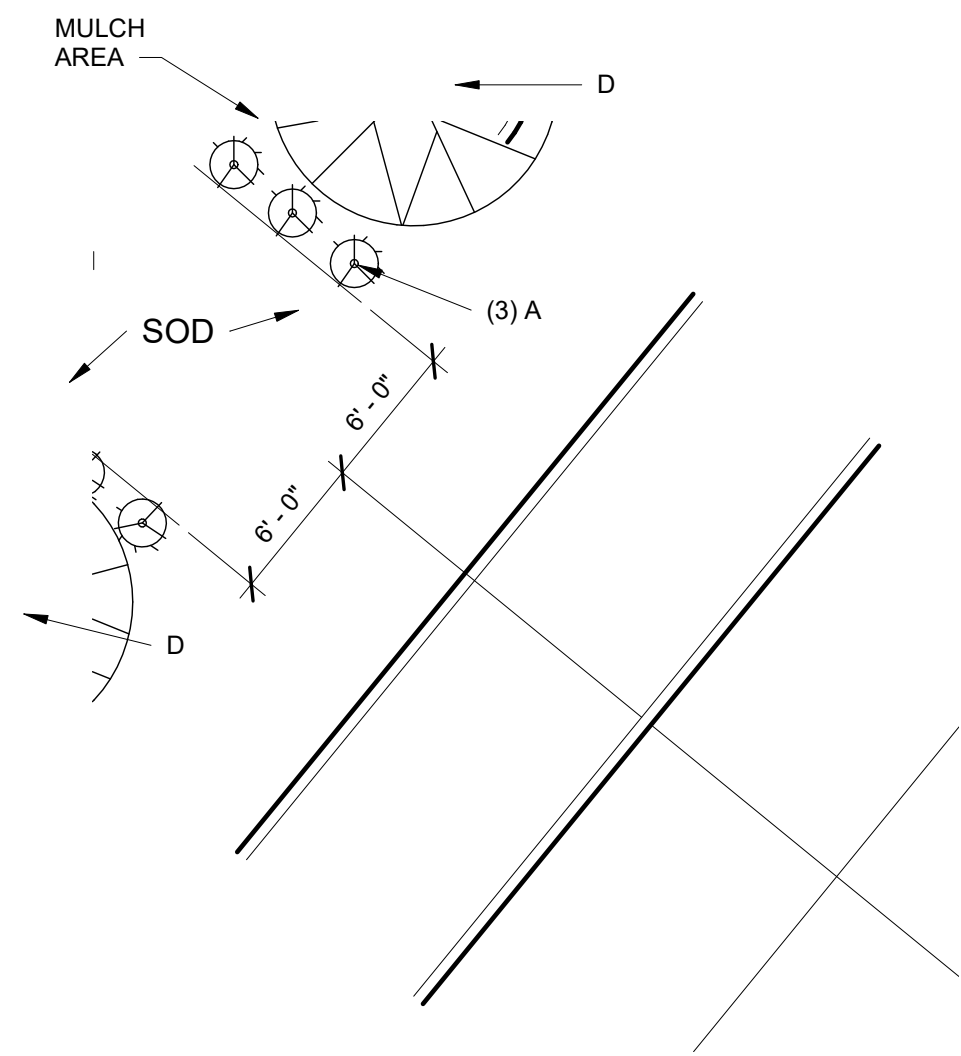
- ALL CURB DIMENSIONS ARE BACK OF CURB TO BACK OF CURB.
- CURB ALONG BUILDINGS DIMENSIONED FROM BACK OF CURB TO FACE OF BUILDING.
- ALL RADII ARE 5.0' TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL PARKING STALLS ADJACENT TO ISLANDS ARE 10.5' WIDE (BACK OF CURB TO STRIPE), ALL OTHER STALLS ARE 10.0' WIDE (STRIPE TO STRIPE) (TYP.).
- ALL "ADA" PARKING STALLS ARE 20.0' WIDE (TYP.).
- SEE DETAILS ON SHEET 4 FOR CURB TRANSITION FROM B-6.12 CURB AND GUTTER TO DEPRESSED CURB AND GUTTER.

LEGEND

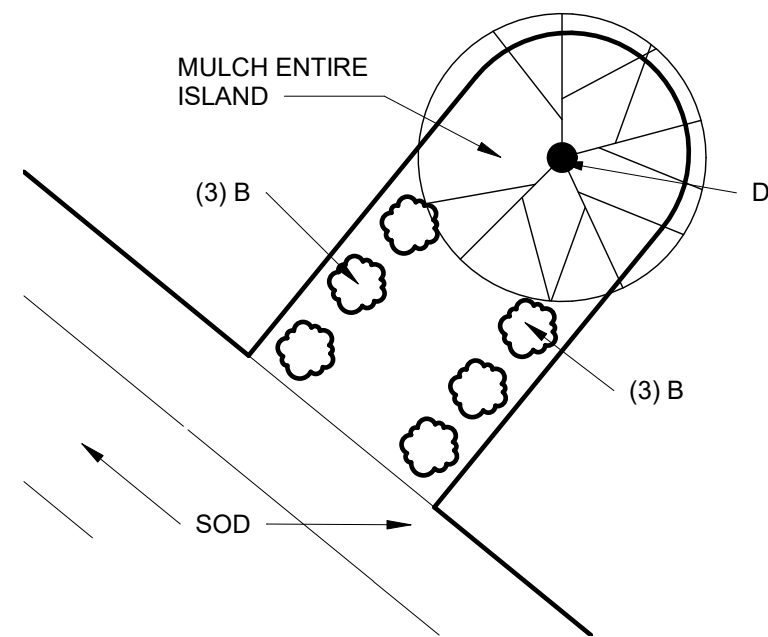
- REVERSE PITCH B-6.12 GUTTER.
——— B-6.12 CURB & GUTTER.
△ — DEPRESSED CURB (1/2" ACCESSIBLE HEIGHT).



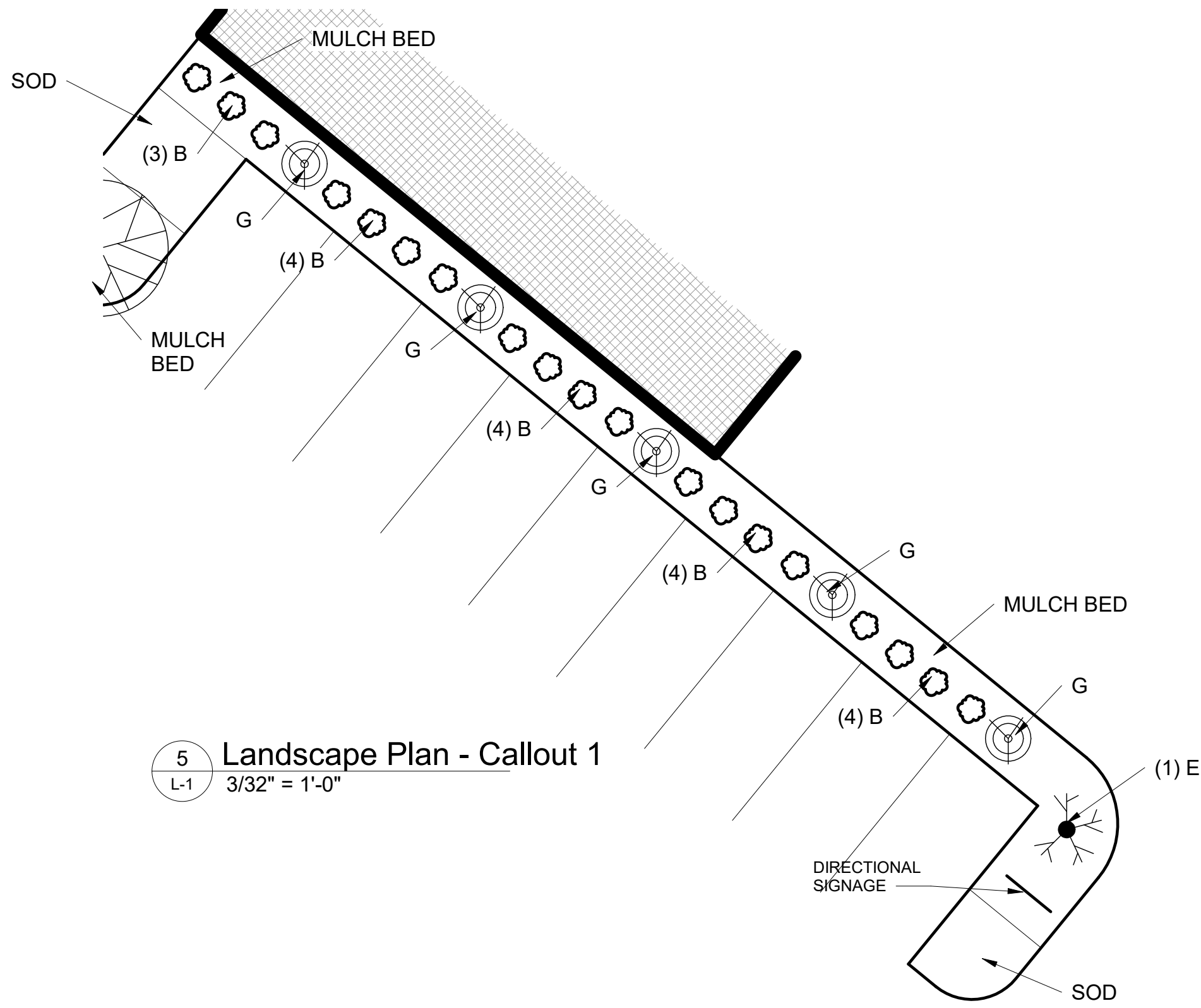
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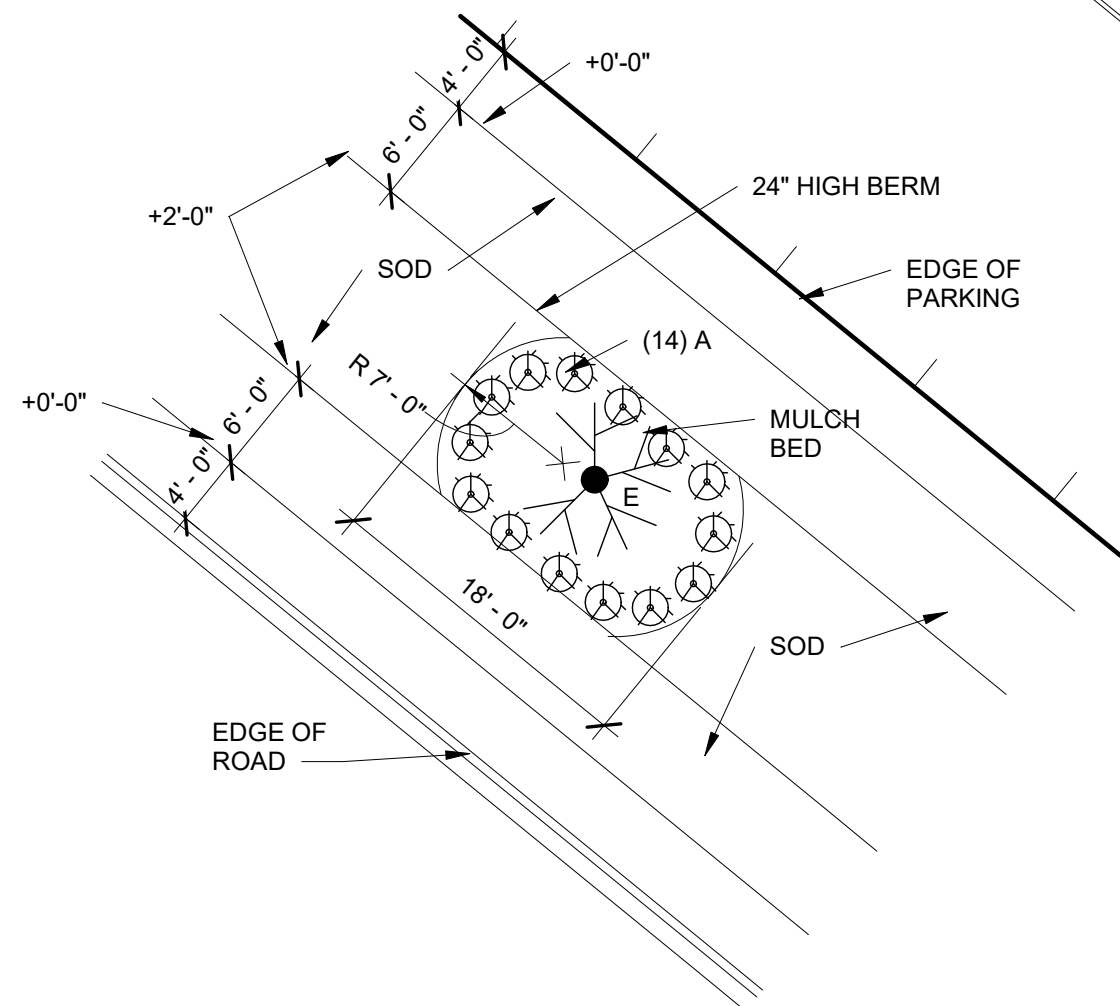
3 Landscape Plan - Full Size Island
1/8" = 1'-0"



4 Landscape Plan - 1/2 Size Island
1/8" = 1'-0"



5 Landscape Plan - Callout 1
3/32" = 1'-0"



6 Street Enlarged Planting Area @ 40'-0" O.C.
3/32" = 1'-0"

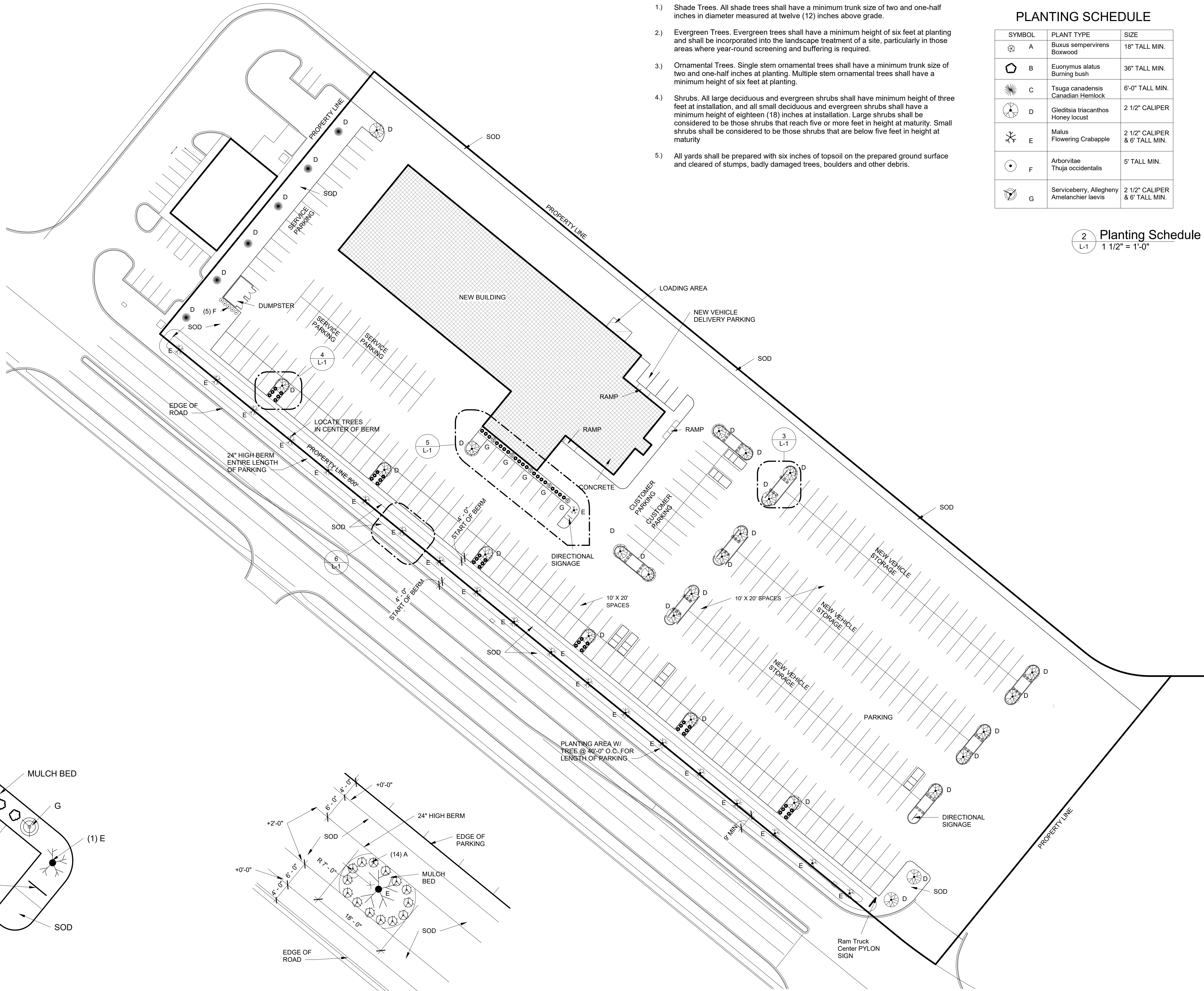
Landscaping General Notes

- Shade Trees. All shade trees shall have a minimum trunk size of two and one-half inches in diameter measured at twelve (12) inches above grade.
- Evergreen Trees. Evergreen trees shall have a minimum height of six feet at planting and shall be incorporated into the landscape treatment of a site, particularly in those areas where year-round screening and buffering is required.
- Ornamental Trees. Single stem ornamental trees shall have a minimum trunk size of two and one-half inches at planting. Multiple stem ornamental trees shall have a minimum height of six feet at planting.
- Shrubs. All large deciduous and evergreen shrubs shall have minimum height of three feet at installation, and all small deciduous and evergreen shrubs shall have a minimum height of eighteen (18) inches at installation. Large shrubs shall be considered to be those shrubs that reach five or more feet in height at maturity. Small shrubs shall be considered to be those shrubs that are below five feet in height at maturity
- All yards shall be prepared with six inches of topsoil on the prepared ground surface and cleared of stumps, badly damaged trees, boulders and other debris.

PLANTING SCHEDULE

SYMBOL	PLANT TYPE	SIZE
A	Buxus sempervirens Boxwood	18" TALL MIN.
B	Euonymus alatus Burning bush	36" TALL MIN.
C	Tsuga canadensis Canadian Hemlock	6'-0" TALL MIN.
D	Gleditsia triacanthos Honey locust	2 1/2" CALIPER
E	Malus Flowering Crabapple	2 1/2" CALIPER & 6' TALL MIN.
F	Arborvitae Thuja occidentalis	5' TALL MIN.
G	Serviceberry, Allegheny Amelanchier laevis	2 1/2" CALIPER & 6' TALL MIN.

2 Planting Schedule
1 1/2" = 1'-0"



1 Landscape Plan
1" = 40'-0"

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS

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FAX 317-259-4785

CUSTOM FACILITIES

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Client Project Information

River Front Ram
NORTH AURORA, ILLINOIS

5/21/2023 11:38:33 AM

LICENSED ARCHITECT
K. THOMAS
MONTGOMERY
1019252
STATE OF ILLINOIS







Project No.: 22112
Drawn By: KTM
Checked By: KTM

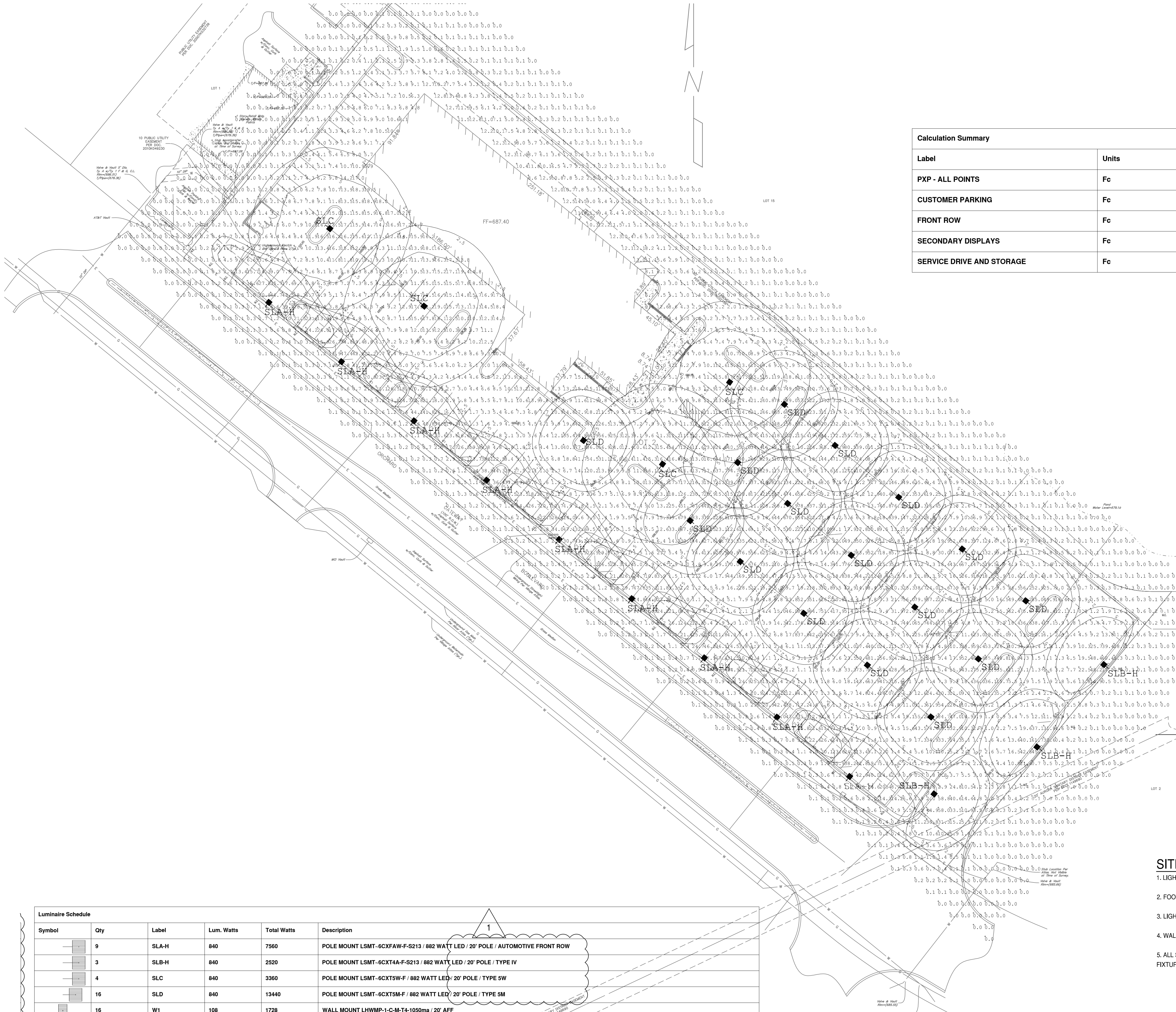
Revisions		
Mark	Date	Remarks

DO NOT SCALE DRAWINGS.
Custom Facilities shall be notified immediately should any errors, omissions, discrepancies and/or inconsistencies be discovered on the drawings.

Landscape Plan
- Overall

L-1

Luminaire Schedule					
Symbol	Qty	Label	Lum. Watts	Total Watts	Description
	9	SLA-H	840	7560	POLE MOUNT LSMT-6CXFAW-F-S213 / 882 WATT LED / 20' POLE / AUTOMOTIVE FRONT ROW
	3	SLB-H	840	2520	POLE MOUNT LSMT-6CXTA4-F-S213 / 882 WATT LED / 20' POLE / TYPE IV
	4	SLC	840	3360	POLE MOUNT LSMT-6CXT5W-F / 882 WATT LED / 20' POLE / TYPE SW
	16	SLD	840	13440	POLE MOUNT LSMT-6CXT5M-F / 882 WATT LED / 20' POLE / TYPE SM
	16	W1	108	1728	WALL MOUNT LHWMP-1-C-M-T4-1050ma / 20' AFF
	4	W2	280	1120	LSMT-2CXB2T4F / WALL BRACKET



Site Lighting Photometry
1"=40' (24 x 36) 1"=80' +/- (11 x 17)

Pole Elevation
no scale

- SITE LIGHTING NOTES:**
1. LIGHT POLES ARE 22' TALL MOUNTED ON BASES 2' ABOVE GRADE, OVERALL HEIGHT IS 24' A.F.G.
 2. FOOTCANDLE VALUES ARE CALCULATED 3' ABOVE GRADE.
 3. LIGHT LEVELS ARE CALCULATED WITH A 1.00 LIGHT LOSS FACTOR.
 4. WALL LIGHTING IS INCLUDED IN CALCULATION, SEE SHEET E201 FOR LOCATIONS.
 5. ALL SITE LIGHTING LIGHT FIXTURES ARE CLASSIFIED AS FULL CUT-OFF. PERIMETER LIGHT FIXTURES INCLUDE GLARE SHIELDS.

THE ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL AND GENERAL CONTRACTORS SHALL COORDINATE THEIR WORK IN REGARDS TO ROUTING OF THEIR TRADES PIPING, CONDUIT, DUCTWORK, ETC. AND MAKE THE ARCHITECT/ENGINEER AWARE OF ANY CONFLICTS PRIOR TO FABRICATING OR INSTALLING ANY WORK.

ALL INSTALLATION SHALL BE ACCOMPLISHED IN A WORKMAN LIKE MANNER AND APPEARANCE.

Calculation Summary					
Label	Units	Avg	Max	Min	Avg/Min
PXP - ALL POINTS	Fc	9.60	90.2	0.0	N.A.
CUSTOMER PARKING	Fc	15.84	86.0	6.1	2.60
FRONT ROW	Fc	19.20	42.9	2.8	6.86
SECONDARY DISPLAYS	Fc	24.08	85.1	2.5	9.63
SERVICE DRIVE AND STORAGE	Fc	9.64	19.5	0.9	10.71

PO Box 213 (Mailing)
4236 HWY 3630
Anmville, KY 40402
Phone (606) 364-2886
Fax (606) 364-5100
E-Mail: eric@erangrangers.com

CONSTRUCTION MANAGERS
GENERAL CONTRACTORS
DESIGN/BUILD

6296 Rucker Road
Suite C
Indianapolis, IN
46224-4860

TEL 317-259-0038
FAX 317-259-4785

River Front Ram
200 Hansen Blvd.
North Aurora, Illinois 60542



Project 23072
Drawn By: ACV
Checked: EE

Revisions	Mark	Date	Remarks
	1	06/01/23	Site Lighting

DO NOT SCALE DRAWINGS.

Site Lighting
Photometry

E603

Plat of Resubdivision
First
Resubdivision
Lot 1
of the First Resubdivision
Lot 16
North
Aurora
Towne
Centre

PLN 15-06-401-003



2010K049230
SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 8/3/2010 8:40 AM
REC FEE: 64.00

PAGES: 2

State of Illinois } S.S.
County of DuPage }

This is to certify that NARE/Inland North Aurora Venture, L.L.C. is the owner of the lands shown and described on the annexed plat and by its duly authorized Manager has as such owner caused the same to be surveyed, resubdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown. It is further certified that the lands platted herein fall within the boundaries of Aurora West School District 129.

Given this 21 day of June, A.D. 2010.

NARE/Inland North Aurora Venture, L.L.C.
By: Inland North Aurora Venture, L.L.C., its Manager
By: Inland Real Estate Corporation, its Sole Member

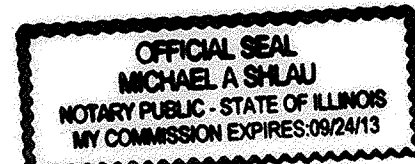
by: *William Anderson*
(title) *Vice-President*

State of Illinois } S.S.
County of DuPage }

I, *MICHAEL SHAW*, a notary public in and for the County and State of Inland Real Estate Corporation, Sole Member of Inland North Aurora Venture, L.L.C., as Manager of NARE/Inland North Aurora Venture, L.L.C., who is personally known to me to be the same person whose name is subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of Inland Real Estate Corporation as said Member and Manager.

Given under my hand and notarial seal this 21 day of June, A.D. 2010.

Michael A. Shaw
notary public



State of Illinois } S.S.
County of Cook }

This is to certify that Bank of America, NA, as successor by merger to LaSalle Bank National Association, is holder of a mortgage interest in the lands shown and described on the annexed plat and by its duly elected officers does hereby grant its consent as mortgagee to the execution of said plat.

Given this 13 day of July, A.D. 2010.

by: *Frank A. DeBorja*
(title) *SR. VICE PRESIDENT*

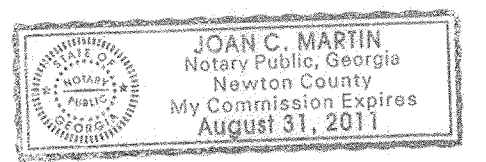
attest: _____
(title)

State of Illinois } S.S.
County of Cook }

I, *Joan C. Martin*, a notary public in and for the County and State of Georgia, do hereby certify that *Frank A. DeBorja* and *ST. VICE PRES* are the same persons whose names are subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of Bank of America NA.

Given under my hand and notarial seal this 13 day of July, A.D. 2010.

Joan C. Martin
notary public



in the Village of North Aurora, Kane County, Illinois.

State of Illinois } S.S.
County of DuPage }

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, subdivided and platted for the uses and purposes herein set forth, Lot 1 of First Resubdivision of Lot 16 North Aurora Towne Centre in the Village of North Aurora, Kane County, Illinois.

I further certify that the lands described above lie within the corporate limits of the Village of North Aurora, which has authorized a comprehensive plan and is exercising the special powers granted by the State of Illinois according to 65 ILCS 5/11-12-0.6 heretofore and hereafter amended.

I further certify that the platted lands do not fall in a designated Flood Hazard Area according to Flood Insurance Rate Map 17089C0340F issued by the Federal Emergency Management Agency effective December 20, 2002.

I further certify that this professional service conforms to the current Illinois minimum standards for a Boundary Survey.

All dimensions are given in feet and decimal parts thereof and

Given under my Hand and Seal this 25th day of June, A.D. 2010.

John Cole Helfrich
John Cole Helfrich
Illinois Professional
Land Surveyor 2967
exp. 11-30-10



State of Illinois } S.S.
County of Kane }

Approved and accepted this 30 day of April, A.D. 2010.

Plan Commission
Village of North Aurora, Illinois.

by: *Mark Rott*
Chairman

State of Illinois } S.S.
County of Kane }

Approved and accepted this 26th day of July, A.D. 2010.

Board of Trustees
Village of North Aurora, Illinois.

by: *Stale Berman*
President

attest: *Paul P. Munoz*
Village Clerk



State of Illinois } S.S.
County of Kane }

I, *John L. Munoz*, County Clerk in and for the County and State of Kane County, Illinois, do hereby certify that the taxes or unpaid current taxes against any of the lands described in the annexed surveyor's certificate.

Dated at Geneva, Illinois this 18 day of July, A.D. 2010.

John L. Munoz
County Clerk



State of Illinois } S.S.
County of Kane }

This instrument, no. 2010K049230, was filed for record in the Recorder's Office of Kane County, Illinois this 18 day of August, A.D. 2010 at 3:40 o'clock p.m., and was recorded in plat envelope no. _____

Sandy Wegman
Recorder of Deeds

Declaration of
Public Utility Easements

A permanent, non-exclusive easement is hereby reserved for and granted to the Village of North Aurora and all public utility companies of any kind operating under franchise granting them easement rights from the Village, including, but not limited to, Comcast, AT&T, Commonwealth Edison Company and Northern Illinois Gas Company together with their respective successors and assigns ("Grantees") in, upon, across, over, under and through those areas of the lands shown and described herein designated as "Public Utility Easement Granted Hereby" ("Easement area") for the purpose of constructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning and maintaining all electrical, cable television, communication, gas, telephone or other utility lines or appurtenances, sanitary sewers, water mains and any and all manholes, hydrants, pipes, connections, catch basins, valves and, without limitation, such other installations as may be required to furnish public utility service to the lands shown and described herein as well as other lands, along with such appurtenances and additions thereto as Grantees may deem necessary, together with the right of access across the platted lands for the necessary personnel and equipment to perform any or all of the tasks incident to the exercise of the rights herein granted; provided, however, in the exercise of the easement rights herein reserved and granted, in no event shall any Grantee damage, remove or otherwise interfere with the placement, maintenance, operation and use of signage placed pursuant to approved plans that may be located within the Easement areas, and Grantees shall repair any and all damage to said signage, and shall restore said signage to the extent said repair or restoration is necessitated by the acts of the Grantees.

The right is also granted to Grantees to cut down, trim or remove any trees, shrubs or other plants that interfere with the operation of or access to said utility installations in, on, upon, across, under or through said Easement areas. No permanent buildings shall be placed within said Easement areas, but the same may be used for gardens, trees, shrubs, landscaping, paved surfaces or other purposes that do not then or later interfere with the aforesaid uses and rights. In all cases, the Easement areas may be used for the placement of signage pursuant to plans approved by the Village of North Aurora and the maintenance thereof.

When an Easement area is used for sanitary sewers or any other utility installation, it shall be subject to the prior approval of said Village so as not to interfere with other utility lines and drainage. After installation of said utility line, the final surface of the Easement shall be restored in manner so as not to interfere with proper operation and drainage thereof. Fences shall not be erected upon said Easement areas except where specifically permitted by written authority of the Village of North Aurora.

Any Grantee by the exercise of the rights herein granted shall be deemed to have accepted this Grant and the terms and conditions thereof.

Sheet 2 of 2

Date: 3-8-10
File: 10-002R72
Job: 10-002

Craig R. Knoche & Associates
Civil Engineers, P.C.
Illinois Registered Design Firm 3909
24 North Bennett Street • Geneva, Illinois 60134 • Phone (630) 849-1270 • Fax (630) 849-1275

Prepared for:
NARE/Inland North Aurora Venture II, L.L.C.
2001 Butterfield Road
Geneva, Illinois 60133

Plat of Resubdivision