



COMMITTEE OF THE WHOLE MEETING
MONDAY, MARCH 20, 2023
(Immediately following the Village Board Meeting)

AGENDA

CALL TO ORDER

ROLL CALL

AUDIENCE COMMENTS

TRUSTEE COMMENTS

DISCUSSION

1. Park District Liquor Code
2. Petition #23-01: 400 Mitchell Road PUD
3. Site Plan Approval #23-01: Opus I-88 Corporate Park Building C
4. FY 2023-24 Draft Budget

EXECUTIVE SESSION

1. Property Acquisition
2. Personnel

ADJOURN

Initials: SB



Memorandum

To: Village President and Village Board of Trustees

Cc: Steve Bosco, Village Administrator

From: Natalie Stevens, Executive Assistant

Date: March 15, 2023

Re: Park District Liquor License

Village staff has been working alongside the Village Attorney on updating the Park District Liquor License after staff was approached by the Fox Valley Park District regarding upcoming changes at their facilities.

The Fox Valley Park District is nearing completion of an events building at Wilds of Red Oak (currently Lippold Park) and as such wished to revisit the existing Village Liquor Code so as to address the future uses of the building, which they would like to be able to rent out to private events that may wish to have alcohol on the property.

Village staff has crafted the Liquor Code to allow for private parties to have liquor at the requested parks with a set of requirements that will be enforced by the Fox Valley Park District when they enter into an agreement with the private event host.

Highlights of the changes include:

- Increased the hours of operation where liquor can be served from 10:00 pm to 10:30 pm as requested by the Fox Valley Park District.
- Allowance for private functions – events not advertised and open to the public – to have alcohol on site with noted requirements of proper licensing, Bassett trained servers and liability insurance.
- The host of a private event can purchase liquor themselves for the event so long as the liquor is served by a properly licensed and Bassett trained individual.
- In the case of a private event wishing to use a third-party liquor service that does not possess a State Caterer Liquor License, a special use permit would be applied for and submitted to the Liquor Commissioner for approval (as per current code).

Please see the attached draft liquor code that contains these changes.

5.08.340

Classification of licenses—Fees.

P. Class “P” Park District licenses shall allow for park district units of local government within the Village to serve alcoholic liquor on the properties and times identified in this classification subject to the following conditions:

1. Only on the premises specified and between the times specified.

2. Alcohol may only be served ~~by~~ on Park District Property as follows:

- a. Park District ~~sponsored events at which alcohol is provided by the pPark dDistrict and served by Park District~~ employees, agents or volunteers who have the proper certification to serve alcohol as required by Section 5.08.400.B; and
- b. ~~Events open to the public hosted by Tthird parties who adhere to all~~with alcohol provided pursuant to a special use liquor license~~and~~ special event liquor license, or catering liquor license adhering to the requirements ~~for the particular license for public events; and~~
- c. ~~Third parties may include~~Private functions or hired companies ~~private rentals who enter into an agreement with a Park District entity for a private event and must provide an agreement to said corresponding Park District entity that includes~~subject to the following terms and conditions:
 - i. ~~Acknowledgement that it is a private~~The event is by invitation only and ~~theis~~ not advertised or open to ~~at large the public is not allowed to attend at large;~~
 - i. ~~A certificate of insurance with the corresponding Park District listed as the insured party;~~
 - ii. The alcohol is supplied by ~~either the host or caterer possessing a valid State catering liquor license;~~
 - iii. The host hires a caterer with a ~~S~~state liquor license or bartenders who have the proper certification to serve alcohol as required by Section 5.08.400.B and provide proof of ~~dram shop and liquor liability insurance; and~~
 - iv. Only sealed containers of liquor may be removed from the premises..
- d. All of the general provisions ~~C~~chapter 5.08 of the North Aurora Code shall apply, including any provisions specifically applicable to special use, special event, and caterer liquor license, as applicable;
- b-e. ~~The Park District,-~~ all parties who host events with alcohol and third party liquor license~~essolely~~ who supply alcohol for events on Park District Property shall be jointly and separately ~~responsible for all third party liquor providers that will be providing liquor on their properties, including but not limited to: caterers, mobile bartending services, individual and/or group renters~~for observing the requirements of the Park District license, specifically, and all other provisions of Chapter 5.08 that are ~~generally and specifically applicable.~~

2.3. The Park District may submit to the Village Liquor Commissioner for approval a request to allow patrons to carry in their own alcohol for a scheduled Park District public event, subject to the following conditions:

- a. The request is made no less than two (2) weeks before the scheduled event;
- b. The event will last no more than three (3) days;
- c. Alcohol may only be carried in with a container sealed by the manufacturer; ~~and~~
- d. ~~No open containers~~Only sealed containers of alcohol ~~shall may~~ be carried out from the premises; ~~;~~

- e. Signs are posted in prominent locations at all exits from the property that open containers of alcohol shall not be carried off the premises; and
- d.f. Patrons may not carry in their own alcohol. This does not apply to private parties, functions or events open to the public hosted by third parties reservations at the facilities on Park District property.

3.4. Liquor may be served and consumed on premises within a designated area without having to obtain a Class S-O Supplemental Outside Liquor License and for no additional fee subject to the following requirements:

- a. The outside consumption of alcoholic liquor shall be limited to a designated outside area;
- b. The designated outside area shall be fully enclosed in such a way as to prevent unauthorized access to and from the designated outside area;
- c. The outside area must be located completely on the licensed premises or common area immediately adjacent thereto;
- d. The outside area shall not encroach on any zoning setback areas, obstruct vehicular or pedestrian traffic, or be in violation of any codes or ordinances;
- e. Entertainment with the use of amplified sound shall not be allowed in the outside area except in conformance with the requirements of the North Aurora Noise Ordinance;
- f. The outside area shall have sufficient lighting to provide for the safety of the customers in conformance with the restrictions on outside lighting in the North Aurora Code; The operation and use of the outdoor area shall be carried on so as not to create a health or safety hazard, to create a nuisance or to interfere with the use and enjoyment of surrounding property;
- g. Any designated outside area adjacent to or within five hundred (500) feet of the lot line of residential property may require screening and/or buffering in a way as to reduce noise;
- h. The local liquor commissioner may impose special conditions that are unique to each licensed premises for the preservation of the health, safety and welfare of the public and to minimize noise and other adverse impacts on adjacent properties, provided that the additional conditions shall be described in writing and become part of the conditions for the license on the particular premises;
- i. The Liquor commissioner may approve deviations from the requirements pertaining to outside service and consumption of liquor as follows:
 - i. upon application specifying the deviations submitted at least two (2) weeks prior to the event;
 - ii. the event lasts no more than three (3) days; and
 - iii. sufficient measures shall be identified in the application to prevent against
 - A. the serving, possessing and consuming of alcohol by minors; and
 - B. removal of the alcohol from the designated area or from Park District property.

4.5. The annual fee for Class P liquor licenses shall be two-hundred and fifty dollars (\$250.00) for each park district that applies.

5.6. A Class P license shall include the following properties for the following park districts:

- a. For the Fox Valley Park District:
 - i. Red Oak Nature Center (~~2343 South River Street~~ 930 North River Road, North Aurora, IL 60542) from 12:00 p.m. to 10:~~30~~00 p.m.

- ii. ~~Lippold Park~~ Wilds at Red Oak (~~2001 South River Street~~ [1400 North River Road, North Aurora, IL 60542](#)) from 12:00 p.m. to 10:30 p.m.
- iii. North Aurora Island Park (4 East State Street, [North Aurora, IL 60542](#)) from 12:00 p.m. to 10:30 p.m.
- b. For Batavia Park District (none presently)

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1. Only on the premises specified and between the times specified.
2. Alcohol may only be served on Park District Property as follows:
 - a. Park District sponsored events at which alcohol is provided by the Park District and served by Park District employees, agents or volunteers who have the proper certification to serve alcohol as required by Section 5.08.400.B; and
 - b. Events open to the public hosted by third parties with alcohol provided pursuant to a special use liquor license, special event liquor license, or catering liquor license adhering to the requirements for the particular license; and
 - c. Private functions who enter into an agreement with a Park District entity subject to the following terms and conditions:
 - i. The event is by invitation only and is not advertised or open to the public at large;
 - ii. The alcohol is supplied by the host or caterer possessing a valid State catering liquor license;
 - iii. The host hires either a caterer with a State liquor license or bartenders who have the proper certification to serve alcohol as required by Section 5.08.400.B and provide proof of dram shop and liquor liability insurance; and
 - iv. Only sealed containers of liquor may be removed from the premises.
 - d. All of the general provisions Chapter 5.08 of the North Aurora Code shall apply, including any provisions specifically applicable to special use, special event, and caterer liquor license, as applicable;
 - e. The Park District, all parties who host events with alcohol and third-party liquor licensees who supply alcohol for events on Park District Property shall be jointly and separately responsible for observing the requirements of the Park District license, specifically, and all other provisions of Chapter 5.08 that are generally and specifically applicable.
3. The Park District may submit to the Village Liquor Commissioner for approval a request to allow patrons to carry in their own alcohol for a scheduled Park District public event, subject to the following conditions:
 - a. The request is made no less than two (2) weeks before the scheduled event;
 - b. The event will last no more than three (3) days;
 - c. Alcohol may only be carried in with a container sealed by the manufacturer;
 - d. Only sealed containers of alcohol may be carried out from the premises;
 - e. Signs are posted in prominent locations at all exits from the property that open containers of alcohol shall not be carried off the premises; and
 - f. Patrons may not carry in their own alcohol to private functions or events open to the public hosted by third parties on Park District property.
4. Liquor may be served and consumed on premises within a designated area without having to obtain a Class S-O Supplemental Outside Liquor License and for no additional fee subject to the following requirements:
 - a. The outside consumption of alcoholic liquor shall be limited to a designated outside area;

- b. The designated outside area shall be fully enclosed in such a way as to prevent unauthorized access to and from the designated outside area;
 - c. The outside area must be located completely on the licensed premises or common area immediately adjacent thereto;
 - d. The outside area shall not encroach on any zoning setback areas, obstruct vehicular or pedestrian traffic, or be in violation of any codes or ordinances;
 - e. Entertainment with the use of amplified sound shall not be allowed in the outside area except in conformance with the requirements of the North Aurora Noise Ordinance;
 - f. The outside area shall have sufficient lighting to provide for the safety of the customers in conformance with the restrictions on outside lighting in the North Aurora Code; The operation and use of the outdoor area shall be carried on so as not to create a health or safety hazard, to create a nuisance or to interfere with the use and enjoyment of surrounding property;
 - g. Any designated outside area adjacent to or within five hundred (500) feet of the lot line of residential property may require screening and/or buffering in a way as to reduce noise;
 - h. The local liquor commissioner may impose special conditions that are unique to each licensed premises for the preservation of the health, safety and welfare of the public and to minimize noise and other adverse impacts on adjacent properties, provided that the additional conditions shall be described in writing and become part of the conditions for the license on the particular premises;
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 - iii. sufficient measures shall be identified in the application to prevent against
 - A. the serving, possessing and consuming of alcohol by minors; and
 - B. removal of the alcohol from the designated area or from Park District property.
5. The annual fee for Class P liquor licenses shall be two-hundred and fifty dollars (\$250.00) for each park district that applies.
6. A Class P license shall include the following properties for the following park districts:
- a. For the Fox Valley Park District:
 - i. Red Oak Nature Center (930 North River Road, North Aurora, IL 60542) from 12:00 p.m. to 10:30 p.m.
 - ii. Wilds at Red Oak (1400 North River Road, North Aurora, IL 60542) from 12:00 p.m. to 10:30 p.m.
 - iii. North Aurora Island Park (4 East State Street, North Aurora, IL 60542) from 12:00 p.m. to 10:30 p.m.
 - b. For Batavia Park District (none presently)

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: PETITION #23-01: 400 MITCHELL ROAD PLANNED UNIT DEVELOPMENT
AGENDA: MARCH 20, 2023 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

The petitioner is proposing to establish the 40-acre property as an industrial planned unit development ("PUD"). The petitioner intends to construct a 604,500 square-foot industrial office/warehouse building on Lot 1, which consists of 32.96 acres in the Liberty Business Center. Lot 4 is also located in Liberty Business Center, immediately adjacent to Lot 1, and consists of 6.89 acres of land on which a stormwater management pond was previously constructed to serve Lot 1. There are two requests for approval being made to the Village as part of Petition #23-01:

1. Special Use –Planned Unit Development

Any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a planned unit development. The total site area for the proposed development is 40 acres and the use is considered nonresidential. The proposed plans meet the O-R-I District yard and bulk regulations and all other requirements of the Zoning Ordinance.

2. Site Plan Approval

Per Section 17.4.4.B of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

A public hearing was held before the Plan Commission at their March 7, 2023 meeting. The Plan Commission unanimously recommended approval of Petition #23-01, subject to one (1) added staff condition:

- Outbound traffic from the site shall be under stop sign control.

Staff would like to take this opportunity to solicit feedback from the Village Board on Petition #23-01. Staff has included the draft meeting minutes from the March 7, 2023 Plan Commission meeting in order to provide additional context.

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
MARCH 7, 2023**

CALL TO ORDER

Chairman Mike Brackett called the meeting to order.

ROLL CALL

In attendance: Chairman Mike Brackett, Commissioners Aaron Anderson, Anna Tuohy, Doug Botkin, Tom Lenkart, Mark Bozik and Alex Negro

Not in attendance: Commissioners Scott Branson, Richard Newell

Staff in attendance: Community & Economic Development Director Mike Toth

Also in attendance: Village Attorney Kevin Drendel

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated November 1, 2022

Motion for approval was made by Commissioner Botkin and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

PUBLIC HEARING

Chairman Mike Brackett opened the public hearing.

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Special Use - Planned Unit Development
 - b) Site Plan Approval

Community & Economic Development Director Mike Toth introduced Petition 23-01. Toth stated the subject property is located at 400 Mitchell Rd (Lot 1 and Lot 4 of Liberty Business Center), which consists of 40 acres of vacant land and situated north of Interstate 88 and west of Mitchell Rd.

The petitioner, Kelsey Perrin, Vice President for Prologis, introduced Brian Johnson from Pinnacle Engineering along with the other Prologis members in attendance. Perrin gave an overview of Prologis, which included being a global owner, operator, and developer of industrial real estate assets. In Chicago alone, Prologis has 83 million square feet and 374 buildings with a team of about 60 managing such sites and developments. Prologis currently has 2 million square feet of product under construction in the Chicago metropolitan area. Prologis acquired the 400 Mitchell site from Liberty in early 2020. The site access from Corporate Boulevard to the east and the visibility to I-88 are key components for future tenants. Brian Johnson from Pinnacle Engineering

shared Lot 1 is approximately 33 acres and Lot 4 is approximately 7 acres. Lot 4 will be used for stormwater proposes. Johnson shared Lot 1 was mass graded about two decades by Liberty and utilities for water, storm and sanitary have already been installed on site. Johnson walked through the 400 Mitchell site plan, which included a single site access point located on the eastern portion of the property at the intersection of Mitchell Rd and Corporate Blvd. The site circulation will operate around the building like a typical industrial development.

Mike Toth stated the petitioner is requesting a special use – planned unit development (“PUD”) and site plan approval. The Zoning Ordinance requires any property over two acres in size or a multi-family product to be a PUD. A PUD is considered a special use. Toth shared the zoning checks out regarding the bulk regulations, landscaping, and parking. The petitioner has also provided standards for special use and for PUDs in the packet tonight. The one item to note is the plan meets parking regulations, but staff did allow the project to land bank parking spaces. Toth said in the conditions of approval section, the petitioner would have the ability to install parking spaces at any time or staff would have the authority to require parking spaces to be installed. Either process would require going through the building permit process. The subject property tonight is located in the Office Research and Light Industrial (ORI) district. The use is a warehouse distribution center, which is a permitted use per the ORI District. The site plan meets all the bulk regulations of the ORI District. Toth shared an aerial of the surrounding area and the extension of Corporate Boulevard, which was built around 2019. The Comprehensive Plan was adopted in 2015 and suggests that the property ties into Corporate Boulevard. The site plan shows the site access is directly across from Corporate Blvd.

Chairman Brackett asked if the bulk of the traffic would come down Corporate Blvd from Farnsworth. Toth said the traffic report shows 45% of traffic using Corporate Blvd, 25% using Mitchell Rd south, and 30% using Mitchell Rd north. Toth said there is only one way into the site but the subject property does have a left and right turn out of the site.

Chairman Brackett asked if this is total traffic or only truck traffic. Michael Werthmann from KLOA shared this is the total traffic for the site and anticipate most truck traffic to use Corporate Blvd. However, during peak times, when it is difficult to make a left in from Corporate, trucks may go up to Bilter Road and come down Mitchell Road since its signalized intersection at that location. Werthmann said truck traffic is prohibited when going southbound over the I-88 Mitchell Road so trucks can’t really go south. Werthmann added the access drive will be aligned opposite of Corporate Blvd and there is already a left turn lane on Mitchell Rd serving this access drive as well as a curb cut so all items from a traffic standpoint are already installed.

Chairman Brackett asked if the development met all standards. Toth stated the petitioner included standards for special use and PUDs in their application. Toth also stated staff’s findings of fact outline any concerns or conditions regarding the development that must be met upon approval.

Chairman Mike Brackett closed the public hearing.

NEW BUSINESS

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:

- c) Special Use - Planned Unit Development
- d) Site Plan Approval

Commissioner Anna Tuohy asked if the traffic study findings for the intersection at Corporate Blvd and Mitchell Road required a four way stop and where the land banked parking stalls are located. Toth stated it appears the study shows a stop sign on Corporate Blvd and a stop sign out of the site, but no stop signs on Mitchell Rd. Toth said anything on the site plan with hatched lines over the parking stalls are the land banked spaces, which are located throughout the site. Commissioner Tuohy also asked about Lot 4. Toth shared it would be utilized for stormwater detention for the property and has an easement over it so regardless no development would be allowed. Commissioner Alex Negro and Commissioner Aaron Anderson had no comments.

Commissioner Tom Lenkart asked about the number of trailer parking spaces on site and if this site will have any truck and trailer issues like the site to the north had. Toth said the site to the north was not implemented as designed. The site was designed to circulate traffic around the building, but the property owner did not open the southern access gate, which restricted traffic access to the north access drive only. Staff has worked with the site management and the southern gate was taken down so the issue should be resolved. Toth said that the property also took on too many tenants for that facility but has since been resolved with one of the tenants moving to Naperville. Toth shared the subject property tonight has one access point and staff received confirmation from the Fire District that they were good with the concept and single access point. Commissioner Lenkart mentioned the site traffic should be required to use Corporate Blvd to alleviate truck traffic on other roads. Toth said the Village cannot require them to use only certain public roads.

Werthmann shared parking spaces for trucks are for storage, truck traffic is distributed throughout the day and there is not a real peak period, and most traffic is coming in during off peak periods. Werthmann also added that trucks will probably go north to Bilter Road so they can get to a signalized intersection to go left. Bilter Road is also an industrial route and most trucks will probably use Bilter Road instead of Butterfield Road to get to Farnsworth Avenue. Werthmann said the number of parking spaces does not equal truck movement. Commissioner Lenkart asked if this site is for a single tenant and a few questions regarding the landscape plan. Perrin said they are not sure at this point regarding a single or multi-tenant. Toth stated there is a tree line along the north end of the property and one of the conditions of approval mentions preserving the existing tree line. Commissioner Lenkart said he supports the development, but his biggest concern is traffic at the intersection going in and out of the site. Werthmann mentioned the site has been zoned like this for years and designed for such traffic. Werthmann added truck traffic doesn't like to leave during peak periods and many of these similar facilities see truck traffic leave between 9:00 a.m. and 3:00 p.m. or after 6:00 p.m.

Commissioner Doug Botkin asked if the facility will be secured with fencing. Perrin shared that will be determined by the tenant of the space. Toth said condition number seven in the staff report mentions any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight feet in height. Commissioner Botkin asked if there is a minimum height for the fence. Toth said there is not.

Commissioner Mark Bozik asked if the plan they are presenting is asking for anything different compared to the one that was approved a few years ago. Commissioner Bozik also asked if the special use was only triggered due to the PUD being over 2 acres. Toth said there is a history of the property summarized in the staff report and properties to the north had everything installed before new Zoning Ordinance was adopted while the subject property had such utilities installed after. Toth shared the site plan and use have no deviations to the Zoning Ordinance. Commissioner Bozik asked what the overall height of the building is. Toth said the building is listed at just under 50 feet (49'11) to meet the bulk regulations of the ORI District.

Chairman Brackett summarized the key concern of traffic at the intersection along with staff's 10 findings in the staff report.

Motion for approval of a Special Use for a Planned Unit Development with staff's ten (10) conditions was made by Commissioner Bozik and seconded by Commissioner Tuohy with one (1) added staff condition:

- Outbound traffic from the site shall be under stop sign control.

Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

Motion for Site Plan Approval was made by Commissioner Bozik and seconded by Commissioner Botkin. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

2. **SPA #23-01 (320 Overland Drive):** The petitioner, Opus Development Company, LLC, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Site Plan Approval

Toth introduced SPA #23-01 which is located at 320 Overland Drive, which is the western portion of the old Valley Green Golf Course. The site consists of 27.34 acres and is located in the O-R-I Office Research and Light Industrial District as part of the Opus I-88 Corporate Park PUD. Toth shared the PUD was already approved in 2021 and went through public hearing on January 5, 2021 with the Plan Commission along with three Committee of the Whole meetings with the Village Board before the PUD Ordinance was approved on April 5, 2021. The Opus I-88 Corporate Park PUD consists of two phases. Phase one consists of Building A and B and Phase two consists of Building C. Opus is currently finishing up and near completion on Phase 1's two buildings. Opus is looking to complete Building C and the PUD Ordinance mentions when Building C is ready for construction it requires the site plan approval by the Plan Commission and Village Board.

The petitioner Mike Robinson with Opus Development introduced Building C site plan and provided an overview of Opus company and operations. Opus is predominantly in the Midwest, has eight offices and their headquarters is out of Minneapolis, MN. Opus is a merchant builder where they look for land, get it ready for development, construct it, and then sell it. Robinson showed the site plan approved in 2021 with Phase 2, Building C on it. Robinson said the current site plan for Building C is almost exactly the same and is located where it was approved two years ago. Some small changes to the site plan include the secondary office moving from southwest

corner to northwest corner, the future truck and car bypass lane on the plan will not be installed on Day 1 and only will be installed if Opus leases it to two tenants but based on the building of this size there is a 90% chance it will be occupied a single tenant. Robinson said the building to the east is over 500,000 square feet and was leased to one tenant (Ryder Logistics). Building A has two tenants, and the second tenant was just leased last week. Robinson continued and shared the bypass lane will be greened over and excess soil on site will be used to create a mound and will help buffer properties to the north and west. The landscape plan was shown as well as the building elevations, which match Building B elevations directly to the east. Robinson mentioned Trey Gallagher is also in attendance and is on the general contractor side if there are any construction related questions.

Toth shared the zoning and building specs both match much of the site approved back in 2021 with the exceptions Robinson mentioned. Toth said changes like the removal of a bypass lane and a raised grade will help improve the sites buffering for adjacent properties and will help match the landscape with the existing tree line. Many of the concerns back in 2021 were regarding the buffering between the residential properties to the north. Chairman Brackett asked how the grade will compare to Building B to the east. Toth mentioned the grade for Building C would be higher than Building B's and act like a berm to some extent. Toth added the bypass lane to the north of Building B is gated off currently since it's only a single tenant building and has no use.

Commissioner Bozik asked if the site plan would need to comeback in the future if the future occupant would need a bypass lane. Commissioner Bozik also asked if the Village has received any complaints from adjacent residents and property owners. Toth stated it depends on the tenant. If it is a single tenant, the bypass lane will not be built. Staff has not received any complaints regarding the other buildings, but some semi-trucks have ended up in the neighborhood to the north when trying to locate a building. Also, there is a gate that will be installed to prohibit trucks access onto Willow Way. The Village has a water sample station in that area and were working on where to locate the gate to allow access to the sample site before the gate is constructed.

Commissioner Botkin, Negro, Anderson, and Tuohy had no comments or questions.

Commissioner Lenkart asked why install the mound now instead of the bypass lane in case a multi-tenant utilizes the building. Robinson said the cross-deck configuration of the site to the east is very similar to what Building C will be so there is no need to install a bypass lane if the one to the east is not being utilized. Toth added the mound will be used as buffering with the possibility of hauling the dirt away in the future should a bypass lane need to be built. Toth also added Building B did discuss not having a bypass lane, but Opus ended up installing that bypass lane.

Motion for Site Plan Approval was made by Commissioner Tuohy and seconded by Commissioner Negro. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Toth provided an update on the Dairy Barn project. Dairy Barn petitioner went out for bid for materials and bid came back quite high but is still looking at moving forward. If there is a substantial change to the project, it would need to come back for site plan approval.

Toth provided some insight on a possible site plan approval in the near future regarding a Ram Truck dealership. Toth shared the Jeep dealership about a half a decade ago was approved west of Target, but some private covenant agreement prevented them from moving forward and ended up walking away. In 2018, Riverfront bought the site on the north side of Orchard Gateway Blvd directly east of Sherwin-Williams. Riverfront is looking at potentially putting a standalone Ram Truck dealership at that location.

Chairman Brackett asked about the Hyundai Genesis building, PNC Bank building on Orchard, Woodman's Addition, and the building north of Starbucks. Toth shared the Genesis project permit is issued and still moving forward. The old PNC Bank building is turning into a dental office and the old Chase Bank is turning into a medical office. Woodman's addition was approved and is currently in the building permit review process and moving forward. Toth said the building north of Starbucks is Fortunato and had some supply chain issues but is moving forward. Commissioner Lenkart asked about a sidewalk piece on Hart Road that is hazardous and has been there for years. Toth said he will have staff look into it.

ADJOURNMENT

Motion to adjourn made by Commissioner Tuohy and seconded by Commissioner Lenkart. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins
Village Clerk

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR**

GENERAL INFORMATION

Meeting Date: March 7, 2023

Petition Number: #23-01

Petitioner: Liberty Illinois, LP

Location: 400 Mitchell Road

Property Index Numbers:
15-03-401-006 & 15-03-401-005

Development Size: 40 acres



Requests: 1) Special Use - Planned Unit Development 2) Site Plan Approval

Current Zoning: O-R-I Office, Research and Light Industrial District

Current Land Use: Vacant Land

Comprehensive Plan Designation: 'Office/Industrial'

PROPOSAL

The petitioner is proposing to establish the 40-acre property as an industrial planned unit development ("PUD"). The petitioner intends to construct a 604,500 square-foot industrial office/warehouse building on Lot 1, which consists of 32.96 acres in the Liberty Business Center. Lot 4 is also located in Liberty Business Center, immediately adjacent to Lot 1, and consists of 6.89 acres of land on which a stormwater management pond was previously constructed to serve Lot 1.

BACKGROUND

The Liberty Business Center Final Plat of Subdivision was approved by the Village Board on December 10, 2007. The Liberty Subdivision comprises of six total lots, three of which were created to accommodate warehouse development. Lot 1 (400 Mitchell Road), Lot 2 (300 Mitchell Road) & Lot 3 (302 Mitchell Road) were created to accommodate warehouse development and the remaining lots are subservient to those lots by primarily providing stormwater detention. Lot 1 is located on the southern half of the Liberty Subdivision while Lots 2 & 3 are located on the northern half. Lots 2 & 3 were partially developed after subdivision of the Liberty Business Center. Due to the onset of the recession, development of Lots 2 & 3 ceased before any buildings were erected. Construction of one warehouse building would later be completed on Lot 2 (300 Mitchell Road) in 2015. To prepare the site for a future tenant, the previous owner partially developed the subject property in 2016/2017. Some of the work completed included: mass grading, sanitary sewer, water main, service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 4.

Per Section 17.5.4.B of the Zoning Ordinance, any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a PUD, which did not become a requirement until the new Zoning Ordinance was adopted in 2013. Each of the three lots planned for warehouse development in the Liberty Business Center exceeds two acres in size and would be classified as a nonresidential use (warehousing) once operable. As the development of Lots 2 & 3 began prior to the adoption of the Zoning Ordinance in 2013, development of the 300 Mitchell Road (Lot 2) property was allowed to commence as a permitted use.

Since work on the subject property did not commence until after the adoption of the 2013 Zoning Ordinance, the subject property is required to meet the requirements of the current Zoning Ordinance, including any procedural requirements.

REQUESTED ACTIONS

Special Use –Planned Unit Development

As previously mentioned, any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a planned unit development. The total site area for the proposed development is 40 acres and the use is considered nonresidential. The proposed plans meet the O-R-I District yard and bulk regulations and all other requirements of the Zoning Ordinance. To reduce the amount of unnecessary impervious surface, the petitioner will be allowed to land bank a small percentage of the parking stalls. The petitioner will always have the right to install the land banked parking stalls at any time, subject to building permit approval. Additionally, the Village will have the authority to require the installation of the land banked parking stalls (at the discretion of the Community Development Director) should those additional parking stalls be needed.

The petitioner has submitted a response to both the Standards for Special Uses and General Standards for Planned Unit Developments.

Comprehensive Plan Land Use Recommendations

The Comprehensive Plan designates the subject properties as ‘Office/Industrial’, which is consistent with the O-R-I Office, Research and Light Industrial District. The proposed Warehousing, Storage, and Distribution Facility use is classified as a permitted use in the O-R-I Office, Research and Light Industrial District.

The proposed development area is included as part of a subarea listed in the Comprehensive Plan’s Commercial and Industrial Areas Plan:

This site includes a largely undeveloped industrial tract between Feltes Lane and Hart Road. The Village should encourage the development of new office or light industrial uses, and should work with the City of Aurora to extend Corporate Boulevard west into the site, which would allow access to the Farnsworth Road I-88 interchange, industrial roadways should ensure that trucks cannot circulate through adjacent neighborhoods to the north.

Since the adoption of the Comprehensive Plan in 2015, Corporate Boulevard has been extended west to Mitchell Road. The entrance to the subject property would align with Corporate Boulevard.

Site Plan Approval

Per Section 17.4.4.B of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

D. Standards for Site Plan Review:

1. The arrangement of the structures and buildings on the site to:
 - a. Allow for the effective use of the proposed development.
 - b. Allow for the efficient use of the land.
 - c. Ensure compatibility with development on adjacent property.
 - d. Respond to off-site utility and service conditions, and minimize potential impacts on existing or planned municipal services, utilities, and infrastructure.
 - e. Protect the public health, safety, convenience, comfort, and general welfare.
 - f. Conform to the requirements of this Ordinance and other applicable regulations.
2. The arrangement of open space or natural features on the site to:
 - a. Create a desirable and functional environment for patrons, pedestrians, and occupants.
 - b. Preserve unique natural resources where possible, such as, but not limited to forested areas and, hydrological features.
 - c. Provide adequate measures to preserve existing healthy, mature trees wherever practically feasible.
 - d. Provide adequate measures to preserve identified natural resources on adjacent sites.
 - e. Design drainage facilities to promote the use and preservation of natural watercourses, patterns of drainage and compliance with existing stormwater control and erosion protection facilities or requirements.
 - f. Avoid unnecessary or unreasonable alterations to existing topography.
3. The organization of circulation systems to:
 - a. Provide adequate and safe access to the site.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage insofar as practical.
 - d. Minimize curb cuts.
4. The design of off-street parking lots or garages to:
 - a. Minimize adverse impacts on adjacent properties.
 - b. Promote logical and safe parking and internal circulation.
5. In accordance with Section 14.2 (Landscape Plan) the design of landscape improvements and related features to:
 - a. Create a logical transition to adjoining lots and developments.

- b. Screen incompatible, negative, or unsightly uses.
- c. Minimize the visual impact of the development on adjacent sites and roadways.
- d. Utilize plant materials suitable to withstand the climatic conditions of the Village and microclimate of the site.
- e. Promote and enhance the appearance and image of the Village.
6. Site illumination that is designed, located, and installed in a manner that will minimize adverse impacts on adjacent properties.
7. Conformance of the proposed development with the goals and policies of the Comprehensive Plan and all Village codes and regulations.

FINDINGS

The Community Development Department finds that the information presented in Petition #23-01 **meets** the Standards for Specials Uses, Site Plan Approval and Planned Unit Developments as set forth in the Zoning Ordinance. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #23-01, subject to the following conditions:

1. Except for the removal of dead or dying vegetation, the existing vegetation (“existing treeline”) located on Lot 6 shall be fully preserved.
2. The petitioner shall have the right to install the land banked parking stalls at any time, subject to building permit approval.
3. Mandatory installation of the land banked parking stalls shall be at the discretion of the Community Development Director.
4. All outdoor lighting shall be fully shielded (full-cutoff).
5. A separate building permit shall be required for any guardhouses so the Village can validate the optimal location in order to avoid any potential impact on site access and circulation.
6. On-site management shall effectively monitor and regulate all on-site trucking activities in order to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance.
7. Any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight (8) feet in height.
8. All business activities shall be conducted completely within the confines of the buildings.
9. The keeping of any goods, material, merchandise or equipment outside of the building(s) shall be prohibited.
10. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.

APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA
Board of Trustees
25 East State Street
North Aurora, IL 60542

PETITION NO. 23-01

FILE NAME: 400 Mitchell Rd PUD

DATE STAMP: **February 10, 2023**

I. APPLICANT AND OWNER DATA

Name of Applicant Liberty Illinois, LP (c/o Brian Sheehan & Kelsey Perrin)

Applicant Address 321 N. Clark Street, Chicago, IL 60654

Applicant Telephone # (847) 292-3900

Email Address bsheehan@prologis.com & kperrin@prologis.com

Property Owner(s) Liberty Illinois, LP

Owner Address 321 N. Clark Street, Chicago, IL 60654

Owner Telephone # (847) 292-3900

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property 400 Mitchell Road, North Aurora, IL
(indicate location if no common address)

Legal Description: See Below.

Parcel Size Lot 1 - 32.9639 Ac. & Lot 4 - 6.893 Acres

Present Use Mass-graded property, intended for warehouse/industrial use
(business, manufacturing, residential, etc.)

Present Zoning District ORI Office Research Industrial District
(Zoning Ordinance Classification)

LEGAL DESCRIPTION -

Parcel 1:

LOT 1 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

Parcel 2:

PERMANENT NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF THE LAND, IN, UPON, ACROSS, OVER, UNDER AND THROUGH LOT 4 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

Application for Special Use 3/26/2019

III. PROPOSED SPECIAL USE

Proposed Special Use ORI - Office Research Industrial District

(Zoning Ordinance Classification)

Code Section that authorizes Special Use Title 17, Chapter 10.2 - Permitted and Special Uses

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? _____ to what district? _____

Describe briefly the type of use and improvement proposed _____

The site was previously mass graded in 2016/2017, as part of these mass-grading improvements, storm sewer, sanitary sewer, and water utilities were installed to service a development of similar size and use. Applicant intends to develop a modern ±604,500 SF industrial office/warehouse facility including an internal fleet area for light maintenance and washing. The exterior site will be comprised of approximately 117 car parking spots (plus 37 future/land bank), 95 exterior docks, 127 trailer positions, and 67 fleet stalls.

What are the existing uses of property within the general area of the Property in question? _____

The areas to the east and to the south are within the City of Aurora. The area to the north is ORI - Office Research Industrial District. The area to the west is R-1 Single Family Residence District and I-2 General Industrial District.

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) _____

Per Title 17, Chapter 5.4(B) of the North Aurora Code of Ordinances: "Any nonresidential or multiple-family parcel, or parcels of land two acres or more in size shall be required to be a planned unit development."

Furthermore, Section 4.3 of Appendix A of the North Aurora Code of Ordinances: "all planned unit developments are subject to special use and the requirements of that procedure."

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's [EcoCat](#) online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, Kelsey Perrin, being first duly sworn on oath depose
and say that I am trust officer of Liberty Illinois, LP and that the following are all of the
beneficiaries of the Liberty Illinois, LP.

Prologis, LP

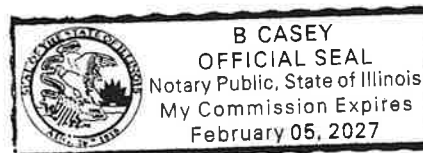
Heitman Capital, LLC

Kelsey Perrin
TRUST OFFICER VP, Investment
Officer Prologis

SUBSCRIBED AND SWORN TO

Before me this 3rd day of February, 20 23.

B Casey
A Notary Public in and for such County



LEGAL DESCRIPTION:

PARCEL 1:

LOT 1 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

PARCEL 2:

PERMANENT NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF THE LAND, IN, UPON, ACROSS, OVER, UNDER AND THROUGH LOT 4 IN LIBERTY BUSINESS CENTER - NORTH AURORA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 28, 2007, AS DOCUMENT NUMBER 2007K125658, IN KANE COUNTY, ILLINOIS.

400 N Mitchell Road, North Aurora, IL

Development Narrative:

Existing Parcels Overview (Lots 1 and 4): Lot 1 is located in Liberty Business Center and consists of 32.96 acres of partially improved land. Lot 4 is located in Liberty Business Center, immediately adjacent to Lot 1, and consists of 6.89 acres of land on which a stormwater management pond was previously constructed. Lot 4 is encumbered by a recorded stormwater detention and drainage easement. Per the current North Aurora Zoning Map (revision date 4/16/2021) the subject properties are zoned ORI Office research Industrial District. The subject properties are located at the southeastern limits of the Village of North Aurora. The properties to the immediate west and north are also located within the Liberty Business Center and zoned ORI. Lot 1 is bound by Interstate 88 to the south and the properties to the east (across Mitchell Road) lie within the City of Aurora and are zoned ORI Office/Research/Light Industrial. The previous owner of Lot 1 and Lot 4 (Liberty) partially developed the property in 2016/17; work completed included: mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 4.

Applicant intends to develop an approximately 604,500 square-foot industrial office/warehouse building, having a maximum building façade height of 50-feet with internal clear heights of 40-feet. The building's anticipated use is logistics/warehousing. Applicant is engaged in discussions with a potential end user who intends to utilize the facility for distribution. Applicant anticipates the building to consist of 15,911 square-feet of office space and the remaining 588,589 square-feet to be used for warehousing and auxiliary uses. The building is anticipated to include 95 dock positions and 6 overhead drive-in doors. The site is anticipated to supply 117 vehicle parking spaces (including 5 ADA parking spaces), 37 additional land-banked vehicle parking space, 67 route vehicle parking spaces, and 127 trailer parking spaces. The specific end user, detailed engineering and architectural design may lead to minor variations to the office/warehouse square-footage, parking counts, site plan and building facade.

Should the opportunity with the current potential end user not materialize, applicant still intends to develop the property for an alternate to be determined end user or as a speculative development, in which case, the site plan would likely adjust to show a more standard truck court on the north side of the site. If implemented, this would not impact the overall 180' truck court dimension or perimeter road location.

Applicant has completed a Traffic Impact Study for the proposed development which estimated passenger vehicle and truck trips. As part of the Traffic Impact Study, applicant diligently reviewed the neighboring parcels, anticipated traffic volumes and routes, and the potential for effects upon neighboring properties. This review has shown that the neighboring parcels are industrial in nature and utilized in a similar manner as the proposed development. Additionally, access to the proposed development will align with existing Corporate Boulevard to the east. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan. The property's operating hours, employee vehicle traffic, and truck traffic

volume will be dictated by the ultimate end user of the property and are anticipated to be typical to that of other logistics and warehousing facilities in the area. The Traffic Impact Study has been included with the submission.

Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building. In total, the estimated project costs are approximately \$40,000,000.00.

The proposed development complies with the property's current ORI zoning and aligns with the Village of North Aurora's Comprehensive Plan. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center." This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".



LIBERTY BUSINESS CENTER - NORTH AURORA

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS

PIN 15-03-400-039

AREA SUMMARY

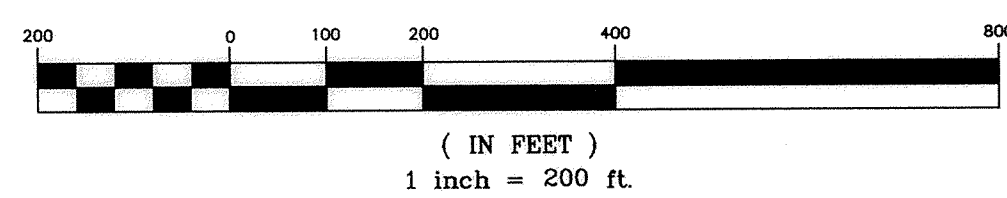
GROSS 5,209,804 SQUARE FEET OR 119.601 ACRES
R.O.W. DEDICATION 41,836 SQUARE FEET OR 0.960 ACRES
NET AREA 5,167,968 SQUARE FEET OR 118.641 ACRES
(TO HEAVY LINES)
(BASED ON MEASURED VALUES)



2007K125658

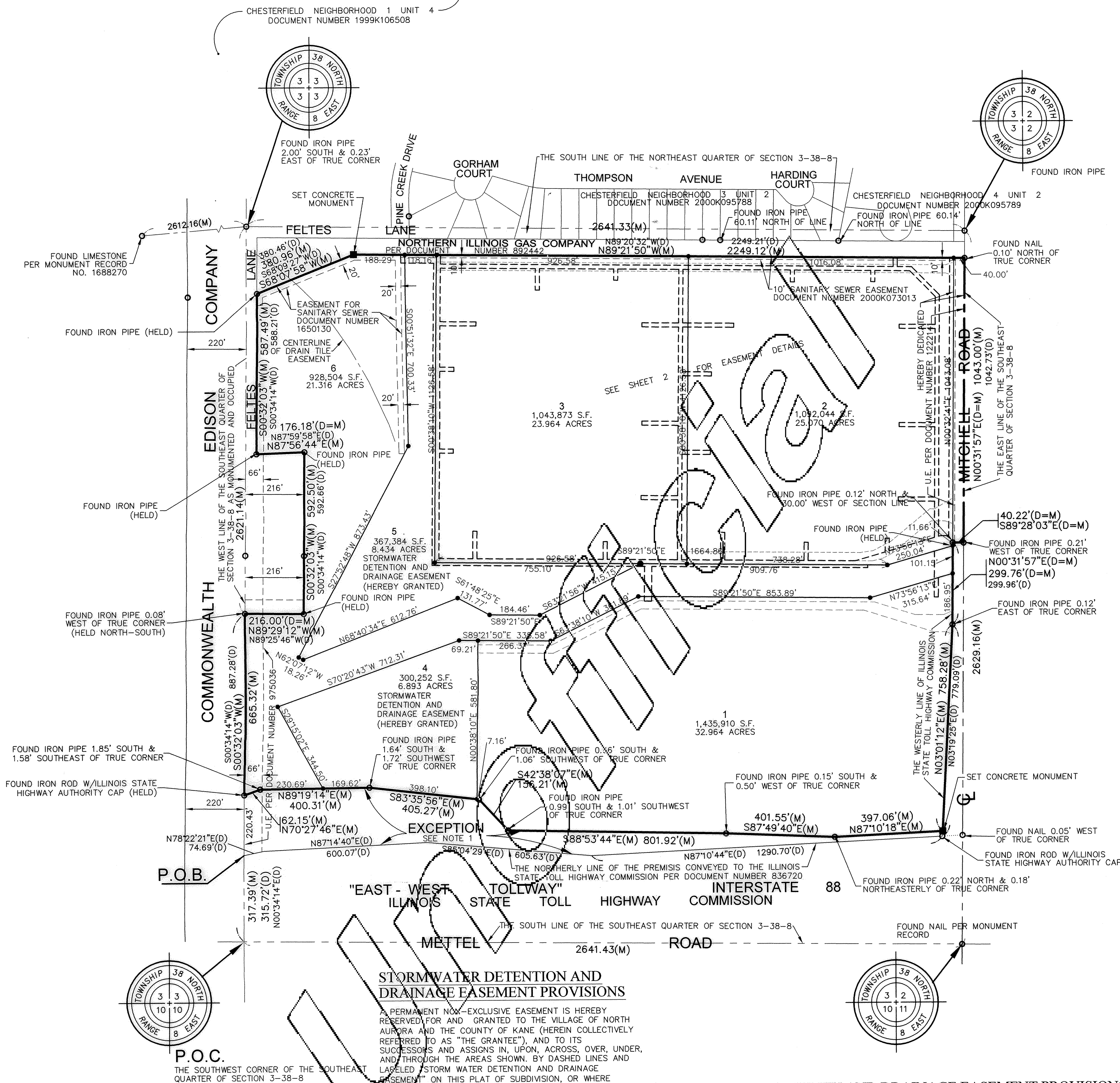
SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

ASSURED
SURVEYING



STORMWATER DETENTION AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND THE COUNTY OF KANE (HEREIN COLLECTIVELY REFERRED TO AS "THE GRANTEE"), AND TO ITS SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN, BY DASHED LINES AND LABELED "STORM WATER DETENTION AND DRAINAGE EASEMENT" ON THIS PLAT OF SUBDIVISION, OR WHERE OTHERWISE NOTED IN THE ABOVE LEGEND FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION FACILITIES AND APPURTENANCES ON ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS AS SAID GRANTEE MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF ALL OF THE ABOVE WORK. NO PERMANENT BUILDING OR TREES SHALL BE PLACED ON SAID DRAINAGE EASEMENTS; BUT THE PREMISES MAY BE USED FOR LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. FENCES SHALL NOT BE ERECTED UPON SAID DRAINAGE EASEMENTS IN ANY WAY WHICH WILL RESTRICT THE USES HEREIN GRANTED. THE RIGHT IS ALSO, HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM OR REMOVE ANY TREES, FENCES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH DRAINAGE FACILITIES IN, UPON, ACROSS, UNDER OR THROUGH SAID DRAINAGE EASEMENTS. THE GRANTEE SHALL NOT BE RESPONSIBLE FOR REPLACEMENT OF ANY SUCH IMPROVEMENTS, FENCES, GARDENS, SHRUBS, OR LANDSCAPING REMOVED DURING EXERCISE OF THE HEREIN GIVEN RIGHTS. REPLACEMENT OF ITEMS SO REMOVED SHALL BE THE RESPONSIBILITY OF THE THEN LOT OWNER WHERE DRAINAGE EASEMENT AREAS ARE ALSO USED FOR ELECTRIC, TELEPHONE OR GAS DISTRIBUTION SYSTEMS OR COMPONENTS, SUCH OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE VILLAGE OF NORTH AURORA OR THE COUNTY OF KANE SO AS NOT TO INTERFERE WITH THE MAINTENANCE OF GRAVITY FLOW AND STABILIZATION OF VEGETATIVE GROUND COVER ON THE ABOVE MENTIONED DRAINAGE FACILITIES. ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF THESE RIGHTS SHALL BE A LIEN UPON THE PROPERTY WHEREIN SUCH OBSTRUCTION WAS PLACED OR SUCH ALTERATION OCCURRED.

MAINTENANCE OF SAID STORM WATER DETENTION AND DRAINAGE EASEMENT IS THE RESPONSIBILITY OF ALL THE LOT (PARCEL) OWNERS DEPICTED ON THE FACE OF THIS PLAT.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS
A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTED THEM EASEMENT RIGHTS FROM THE VILLAGE, INCLUDING, BUT NOT LIMITED TO JONES SPACELINK CABLEVISION, ILLINOIS BELL TELEPHONE COMPANY, COMMONWEALTH EDISON COMPANY AND NORTHERN ILLINOIS GAS COMPANY AND TO THEIR SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED PUBLIC UTILITIES AND DRAINAGE EASEMENT (P.U. & D.E.) FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ELECTRICAL, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE, OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY, STORM SEWERS, DRAINAGE WAYS, STORMWATER DETENTION, AND RETENTION, WATERMANS, AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS SAID VILLAGE AND UTILITIES MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO SAID VILLAGE AND UTILITIES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID SEWER OR WITHOUT LIMITATION, UTILITY INSTALLATIONS IN, ON, UPON, ACROSS, UNDER, OR THROUGH SAID EASEMENTS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, TREES, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS WHERE AN EASEMENT IS USED FOR STORM SEWERS, SANITARY SEWERS, OR ANY OTHER UTILITY INSTALLATIONS, IT SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID VILLAGE SO AS NOT TO INTERFERE WITH OTHER UTILITY LINES AND DRAINAGE AFTER INSTALLATION OF SAID UTILITIES. THE FINAL SURFACE OF THE EASEMENT SHALL BE RESTORED IN A MANNER SO AS NOT TO INTERFERE WITH PROPER OPERATION AND DRAINAGE THEREOF. FENCES SHALL NOT BE ERECTED UPON SAID EASEMENT EXCEPT WHERE SPECIFICALLY PERMITTED BY WRITTEN AUTHORITY OF THE VILLAGE OF NORTH AURORA.

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF NORTH AURORA AND COUNTRYSIDE FIRE PROTECTION DISTRICT AND THEIR RESPECTIVE OFFICERS, EMPLOYEES AND AGENTS WITHIN PRIVATE DRIVES AND PARKING AREAS WITHIN THE PROPERTY FOR ACCESS FOR POLICE PROTECTION, TOGETHER WITH RELATED EMERGENCY AND SERVICE VEHICLES AND EQUIPMENT AND PUBLIC WORKS.

NOTES

1. THAT PART TAKEN BY THE ILLINOIS TOLL HIGHWAY AUTHORITY BY ORDER AUGUST 7, 1996 CASE EDKA 96026.
2. INTENDED USES ARE AS FOLLOWS: LOTS 1 THRU 3 (INCLUSIVE) ARE BUILDABLE. LOTS 4 AND 5 ARE DETENTION AND LOT 6 IS VACANT.

LEGEND

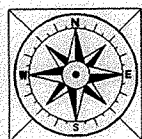
- FOUND IRON STAKE UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- CROSS IN CONCRETE
- SET IRON PIPE

ABBREVIATIONS

- (R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED DISTANCE
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE



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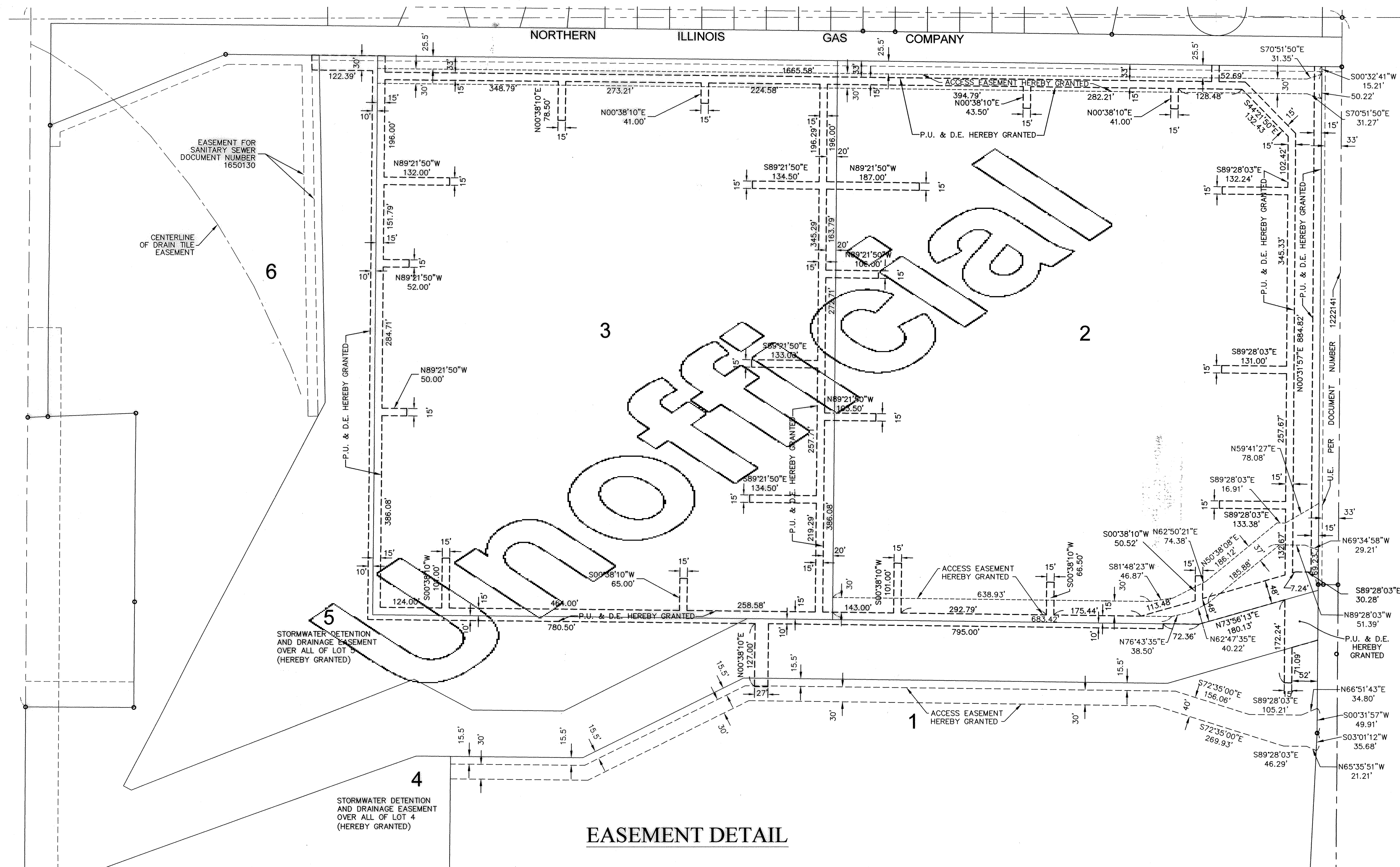
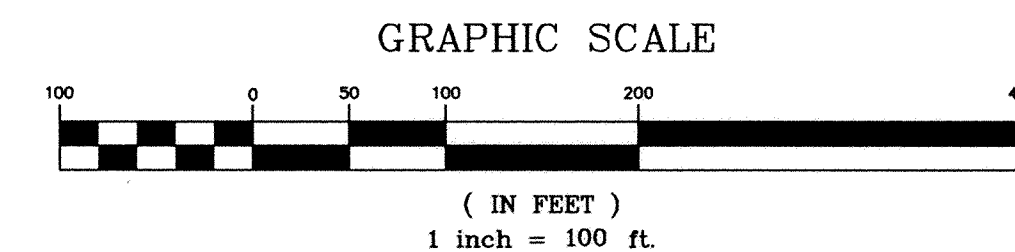
Prepared For: LIBERTY PROPERTY TRUST
9700 W. Higgins Road
Rosemont, Illinois 60018
PROJECT: LIBERTY BUSINESS CENTER - NORTH AURORA
NORTH AURORA, ILLINOIS

NO.	REVISIONS	DATE	BY
1.	PER LETTER DATED 11/21/07, & SHOW EASEMENTS	12/6/07	MP
2.	PER CLIENT COMMENT-REVISE NAME	12/11/07	MP


2007K125658
SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

FINAL PLAT OF SUBDIVISION
LIBERTY BUSINESS CENTER - NORTH AURORA

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS



EASEMENT DETAIL

2 of 3		 <p>COMPASS LAND SURVEYING LTD ALTA SURVEYS • TOPOGRAPHIC MAPPING • RIGHT OF WAY SURVEYS • CONSTRUCTION SURVEYING SUBDIVISIONS • CONDOMINIUMS 2631 GINGER WOODS PARKWAY STE. 100 • AURORA, IL 60502 • PHONE: (630) 820-9100 • FAX: (630) 820-7030</p>		Drawn By: MRA Checked By: SK Date: 10-29-07 Scale: 1" = 100' Project No.: 0303.05		Oct 29, 2007 — 0814 Dwg Name: C:\Psdato\9600\9303\9303.05 — Sub Plot\9303.05 SUB PLAT.dwg	
Prepared For: LIBERTY PROPERTY TRUST 9700 W. Higgins Road Rosemont, Illinois 60018		PROJECT: LIBERTY BUSINESS CENTER - NORTH AURORA NORTH AURORA, ILLINOIS		NO. REVISIONS 1. PER LETTER DATED 1/2/07, & SHOW EASEMENTS 2. PER CLIENT COMMENT/REVISE NAME		DATE 12/6/07 MP 12/11/07 MP	

LIBERTY BUSINESS CENTER - NORTH AURORA

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN IN KANE COUNTY, ILLINOIS



2007K125658

SANDY WEGMAN
RECORDER - KANE COUNTY, IL
RECORDED: 12/28/2007 10:29 AM
REC FEE: 65.00
PAGES: 3

OWNER'S CERTIFICATE

I, THE UNDERSIGNED, AS AN AUTHORIZED AGENT ~~UNDER THE PROVISIONS OF A TRUST AGREEMENT KNOWN AS TRUST NO. _____~~
DATED 12/28 DO HEREBY CERTIFY THAT SAID TRUST IS THE RECORD OWNER OF THE
PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AFFIXED HEREON, AND THAT AS SAID AGENT, AND NOT PERSONALLY, DO HEREBY
CONSENT TO THE SUBDIVISION OF SAID PROPERTY, AND THE VARIOUS DEDICATIONS, GRANTS AND RESERVATIONS OF EASEMENT AND
RIGHTS-OF-WAY DEPICTED HEREON.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID
SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF WEST AURORA SCHOOL DISTRICT 129.
DATED THIS 12/28 DAY OF DECEMBER, A.D., 2007

[Signature]
SIGNATURE

PLEASE TYPE/PRINT THE AUTHORIZED INDIVIDUAL'S NAME, TITLE, CORPORATION/COMPANY NAME, AND ADDRESS:

DONALD P. SCODENHEIDER

LIBERTY ILLINOIS, LP
900 W. HIGGINS RD.
SUITE 670
ROSEMONT, IL 60018

AFFIX SEAL IF APPROPRIATE

NOTARY'S CERTIFICATE

STATE OF _____ }
COUNTY OF _____ } SS

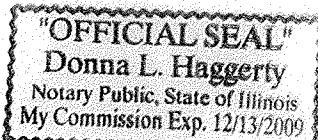
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE, DO HEREBY CERTIFY THAT THE FOREGOING
SIGNATORS OF THE OWNER'S CERTIFICATE ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO
THE FOREGOING INSTRUMENT, WHO APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED SAID
INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID BANK, AS TRUSTEE AFORESAID, FOR
THE USES THEREIN SET FORTH, AND THEN AND THERE DID AFFIX THE CORPORATE SEAL OF SAID BANK AS THE TRUSTEE AFORESAID FOR
THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS 12/28 DAY OF DECEMBER, A.D., 2007

[Signature]
NOTARY

DONNA L. HAGGERTY
PLEASE TYPE/PRINT NAME

AFFIX SEAL



MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

_____, AS MORTGAGEE UNDER

PROVISIONS OF A CERTAIN MORTGAGE DATED _____

AND RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY,
ILLINOIS, AS DOCUMENT NUMBER _____, HEREBY CONSENTS TO RECORDING OF THE SUBDIVISION HEREIN
SHOWN.

DATED AT _____, THIS _____ DAY

OF _____, A.D., 20 _____.

BY: _____ BY: _____

TITLE: _____ TITLE: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY
CERTIFY THAT _____ (TITLE) AND _____ (TITLE)

OF _____ (COMPANY), WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHO ARE SUBSCRIBED TO THE FOREGOING MORTGAGEE'S CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE
EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND
VOLUNTARY ACT AN DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY

OF _____, A.D., 20 _____.

BY: _____
NOTARY PUBLIC

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY
RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON
AND
SBC COMPANY, A.K.A., AN ILLINOIS BELL TELEPHONE COMPANY, AND ITS GRANTEES,

THEIR RESPECTIVE LICENSEES, SUCCESSORS, AND ASSIGNS, JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR,
MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS,
ANCHORS, WIRES CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES
USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY,
COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY
SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY
EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE
DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE
PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER
PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE
OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON
AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPPLINGS AND TO CLEAR OBSTRUCTIONS
FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE
RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER
GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR
DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION)
WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE
SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND
MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM
PROPERTY ACT", CHAPTER 765 ILCS 605/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL
USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS,
PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY
TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING", AND
"COMMON AREA". THE TERM "COMMON AREA OR AREAS", AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED
WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE
BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEES AT COST OF THE GRANTEE/LOT OWNER UPON WRITTEN
REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND
ASSIGNS ("NI-GAS") TO INSTALL, OPERATE, MAINTAIN, REPAIR, REPLACE AND REMOVE, FACILITIES USED IN CONNECTION WITH
THE TRANSMISSION AND DISTRIBUTION OF NATURAL GAS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE
PROPERTY SHOWN ON THIS PLAT MARKED "EASEMENT", "COMMON AREA OR AREAS" AND STREETS AND ALLEYS, WHETHER
PUBLIC OR PRIVATE, AND THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS
"COMMON ELEMENTS", TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE
SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND
COMMON AREA OR AREAS, AND TO SERVE OTHER PROPERTY, ADJACENT OR OTHERWISE, AND THE RIGHT TO REMOVE
OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, TREES, BUSHES, ROOTS AND FENCES, AS MAY BE REASONABLY REQUIRED
INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES.
OBSTRUCTIONS SHALL NOT BE PLACED OVER NI-GAS' FACILITIES OR IN, UPON OR OVER THE PROPERTY IDENTIFIED ON THIS
PLAT FOR UTILITY PURPOSES WITHOUT THE PRIOR WRITTEN CONSENT OF NI-GAS. AFTER INSTALLATION OF ANY SUCH
FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER
OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THAT MEANING SET FORTH FOR SUCH TERM IN SECTION 605/2(E) OF THE
"CONDOMINIUM PROPERTY ACT" (ILLINOIS COMPILED STATUTES, CH. 765, SEC. 605/2(E), AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, INCLUDING REAL
PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS
RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PROPERTY,
EVEN THOUGH SUCH AREAS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS IS TO CERTIFY THAT I FIND NO DELINQUENT AND/OR FORFEITED TAXES, NO REDEEMABLE TAX SALES, AND NO UNPAID SPECIAL
ASSESSMENTS AGAINST ANY OF THE REAL ESTATE DESCRIBED AND PLATTED HEREON.

DATED THIS 20th DAY OF DECEMBER, A.D. 2007

[Signature]
COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS INSTRUMENT NO. 2007K125658 WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE
28th DAY OF DECEMBER, 2007 AT 10:29 O'CLOCK A.M., AND

RECORDED IN PLAT ENVELOPE NO. ---

[Signature]
(COUNTY RECORDER)

VILLAGE BOARD APPROVAL

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED AND ACCEPTED THIS 28 DAY OF DECEMBER, A.D. 2007

BOARD OF TRUSTEES,
VILLAGE OF NORTH AURORA, ILLINOIS

(PRESIDENT)

[Signature]
(VILLAGE CLERK)

ACCESS EASEMENT PROVISIONS

A PERMANENT ACCESS EASEMENT HEREBY GRANTED AND SHOWN ON THE FACE OF THIS PLAT FOR INGRESS AND
EGRESS PURPOSES FOR THE BENEFIT OF ALL PARCELS INCLUDED IN THIS PLAT OF SUBDIVISION AND FOR ANY AND
ALL EMERGENCY VEHICLES NEEDING ACCESS FOR EMERGENCY PURPOSES.

DRAINAGE OVERLAY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH
SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN
MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO
USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS
TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

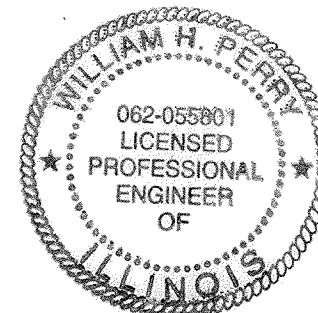
DATED THIS 11/24 DAY OF DECEMBER, 2007

[Signature]
DESIGN ENGINEER

[Signature]
OWNER OR ATTORNEY

DATE 12/8/07 062055801 Exp. 11/30/09
ILLINOIS REGISTERED PROFESSIONAL
ENGINEER: SIGNATURE AND SEAL

[Signature]
(VILLAGE CLERK)



PLAN COMMISSION APPROVAL

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF NORTH AURORA

THIS 4 DAY OF DECEMBER, A.D. 2007

PLAN COMMISSION,
VILLAGE OF NORTH AURORA

[Signature]
(CHAIRPERSON)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED
AND SUBDIVIDED THE FOLLOWING PROPERTY:

THAT PART OF THE SOUTHEAST 1/4 SECTION 3, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN IN
KANE COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE NORTH 00 DEGREES, 34 MINUTES, 14 SECONDS
EAST ALONG THE WEST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 315.72 FEET TO AN IRON PIPE FOUND ON THE
NORTHERLY LINE OF THE PREMISES CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION, FOR THE POINT OF
BEGINNING; THENCE (THE FOLLOWING SEVEN COURSES BEING ON SAID NORTHERLY LINE AND THE WESTERLY LINE OF THE
PREMISES CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION) NORTH 78 DEGREES, 22 MINUTES, 21 SECONDS
EAST FOR A DISTANCE OF 74.69 FEET TO A FOUND IRON PIPE; THENCE NORTH 87 DEGREES, 14 MINUTES, 40 SECONDS EAST
FOR A DISTANCE OF 600.07 FEET TO A FOUND CONCRETE MONUMENT; THENCE SOUTH 85 DEGREES, 04 MINUTES, 29
SECONDS EAST FOR A DISTANCE OF 605.63 FEET TO A FOUND CONCRETE MONUMENT; THENCE NORTH 87 DEGREES, 10
MINUTES, 44 SECONDS EAST FOR A DISTANCE OF 1290.70 FEET; THENCE NORTH 03 DEGREES, 19 MINUTES, 25 SECONDS
EAST FOR A DISTANCE OF 779.09 FEET; THENCE NORTH 00 DEGREES, 31 MINUTES, 57 SECONDS EAST ALONG A LINE
PARALLEL WITH THE EAST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 299.96 FEET TO A FOUND IRON PIPE; THENCE
SOUTH 89 DEGREES, 28 MINUTES, 03 SECONDS EAST ALONG A LINE AT RIGHT ANGLES TO THE LAST DESCRIBED PARALLEL
LINE FOR A DISTANCE OF 40.22 FEET TO AN IRON PIPE FOUND ON SAID EAST LINE OF THE SOUTHEAST 1/4; THENCE NORTH
00 DEGREES, 31 MINUTES, 57 SECONDS EAST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 1042.73 FEET TO AN
IRON PIPE FOUND ON THE SOUTH LINE OF THE PREMISES CONVEYED TO THE NORTHERN ILLINOIS GAS COMPANY; THENCE
NORTH 89 DEGREES, 20 MINUTES, 32 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 2249.21 FEET;
THENCE SOUTH 68 DEGREES, 09 MINUTES, 27 SECONDS WEST ALONG SAID SOUTHERLY LINE OF PREMISES CONVEYED TO THE
NORTHERN ILLINOIS GAS COMPANY FOR A DISTANCE OF 380.46 FEET; THENCE SOUTH 00 DEGREES, 34 MINUTES, 14 SECONDS
WEST ALONG A LINE PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 588.21 FEET TO A POINT,
SAID POINT BEING 1785.96 FEET DISTANT NORTH OF SAID SOUTHWEST CORNER OF THE SOUTHEAST 1/4; THENCE NORTH 87
DEGREES, 59 MINUTES, 58 SECONDS EAST FOR A DISTANCE OF 176.18 FEET; THENCE SOUTH 00 DEGREES, 34 MINUTES, 14
SECONDS WEST ALONG A LINE PARALLEL WITH SAID WEST LINE OF THE SOUTHEAST 1/4 FOR A DISTANCE OF 592.66 FEET;
THENCE NORTH 89 DEGREES, 25 MINUTES, 46 SECONDS WEST ALONG A LINE AT RIGHT ANGLES TO THE LAST DESCRIBED
PARALLEL LINE FOR A DISTANCE OF 216.00 FEET TO SAID WEST LINE OF THE SOUTHEAST 1/4; THENCE SOUTH 00 DEGREES,
34 MINUTES, 14 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 887.28 FEET TO SAID IRON PIPE
FOUND AT THE POINT OF BEGINNING, (LESS AND EXCEPT THAT PART TAKEN BY THE ILLINOIS STATE TOLL HIGHWAY
AUTHORITY BY THE ORDER ENTERED AUGUST 7, 1996 IN CASE EDKA 96 026) IN THE VILLAGE OF NORTH AURORA, KANE
COUNTY, ILLINOIS.

THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AND IS WITHIN THE VILLAGE OF
NORTH AURORA WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS
AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.
PERMANENT MONUMENTS AND IRON PIPES HAVE BEEN SET IN ACCORDANCE WITH THE VILLAGE OF NORTH AURORA
SUBDIVISION ORDINANCE AND ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL
REGULATIONS ENACTED BY THE VILLAGE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED
WITH IN THE PREPARATION OF THIS PLAT, AND THIS SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE
OUTSIDE 500-YEAR FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17089C0341 F, HAVING AN
EFFECTIVE DATE OF DECEMBER 20, 2002.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS 11/24 DAY OF DECEMBER, 2007

COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYING CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2009

BY: [Signature]
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
EXPIRES 11/30/08



USE BLACK INK ONLY

Dec 04, 2007 - 14:07 Dwg Name: G:\Pdata\9000\9303\9303.05 - Sub Plat\9303.05 SUB PLAT.dwg Updated by: mpope

3 of 3	DRAWN BY: MRA		COMPASS LAND SURVEYING LTD ALTA SURVEYS • TOPOGRAPHIC MAPPING • RIGHT OF WAY SURVEYS • CONSTRUCTION SURVEYING SUBDIVISIONS • CONDOMINIUMS 2631 GINGER WOODS PARKWAY STE. 100 • AURORA, IL 60502 • PHONE: (630) 820-9100 • FAX: (630) 820-7030	Prepared For: LIBERTY PROPERTY TRUST 9700 W. Higgins Road Rosemont, Illinois 60018	NO. REVISIONS DATE BY 1. PER LETTER DATED 11/21/07, & SHOW EASEMENTS 12/6/07 MP 2. PER CLIENT COMMENT-REVISE NAME 12/11/07 MP
	CHECKED BY: SK			PROJECT: LIBERTY BUSINESS CENTER - NORTH AURORA NORTH AURORA, ILLINOIS	
	DATE: 10-29-07				
	SCALE: NONE				
	PROJECT NO.: 9303.05				

Chapter 5 - PLANNED UNIT DEVELOPMENTS

...

5.6 Procedure.

...

The Plan Commission shall forward its ultimate findings and recommendation for approval or denial of the preliminary plan and special use in writing to the Village Board.

- b. The Plan Commission's recommendation to the Village Board shall set forth in what respects the planned unit development is or is not in the public interest including, but not limited to, findings of fact on the following:
 - i. Is the site or zoning lot upon which the planned unit development is to be located adaptable to the unified development proposed?
Yes, the site is currently zoned ORI Office Research Industrial District. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".
 - ii. Will the proposed planned unit development not have the effect of endangering the public health, safety, comfort or general welfare of any portion of the community?
No, there will be no negative impacts upon public health, safety or general welfare of the community. The surrounding properties are industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility will follow the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."
 - iii. Will the proposed planned unit development not be injurious to the use and enjoyment of other property in the vicinity for the purposes already permitted?
The proposed PUD will not be injurious to the use and enjoyment of other properties in the vicinity. The site is currently zoned ORI Office Research Industrial District. The neighboring properties are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.
 - iv. Will the proposed planned unit development not diminish or impair property values within the neighborhood?
No, the proposed PUD will not diminish or impair property values within the neighborhood. The surrounding properties are industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility would be expected to increase the value of nearby property. Furthermore, the

development follows the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."

- v. Will the proposed planned unit development not impede the normal and orderly development and improvement of surrounding property for uses permitted in the zoning district?
No, the proposed PUD will not impede the normal and orderly development or improvement of the surrounding properties. The surrounding parcels are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.
- vi. Is there provision for adequate utilities, drainage, off-street parking and loading, pedestrian access and all other necessary facilities?
The previous owner of Lot 1 and Lot 4 (Liberty) partially developed the property in 2016/17; work completed included: mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 4. Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building. The site has been designed to include accessible parking spaces, accessible routes and all applicable ADA requirements.
- vii. Is there provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets?
Yes, provisions are in-place for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets. Access to the proposed development will align with existing Corporate Boulevard to the east. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.
- viii. Are the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses?
Yes, the location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities, compatible with the surrounding neighborhood and adjacent land uses. The surrounding properties are industrial in nature and the proposed site plan demonstrates the proposed development's compatibility with and similarity to the adjacent parcels. A proposed photometric plan has also been completed which demonstrates minimal light intensity in footcandles at all property lines.
- ix. Are the areas of the proposed planned unit development which are not to be used for structures, parking and loading areas, or access ways, suitably landscaped?
Yes, the areas of the proposed PUD which are not used for structures or parking and loading areas are suitably landscaped as demonstrated by the landscape

rendering and preliminary landscape plans which are included as part of this submission.

- x. Is the planned unit development in the specific location proposed consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan?

Yes, the proposed PUD is consistent with the spirit and intent of this Ordinance and the adopted Comprehensive Plan. The proposed development complies with the property's current ORI zoning and aligns with the Village of North Aurora's Comprehensive Plan. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".

- xi. Are there benefits or amenities in the proposed planned unit development that are unique and/or which exceed the applicable zoning requirements?

No, there are no benefits or amenities in the proposed PUD that are unique and/or which exceed the applicable zoning requirements.

Special Use Standards Conformance
400 Mitchell Road, North Aurora, IL

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.

Yes, the site is currently zoned ORI Office Research Industrial District. The proposed special use is authorized in the zoning district in which the property will be located pursuant to Chapter 10.2 of the Village Zoning Code.

2. The proposed special use is deemed necessary for the public convenience at that location.

Yes. The proposed special use is necessary for the public convenience at the location and required by Chapter 5.4 of the Village Zoning Code.

3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.

The proposed special use does not create additional impacts at public expense for public facilities and services. All required public services such as roads and utilities are already in-place. The proposed development will increase property tax revenue while diversifying the tax base, create employment opportunities and help support local businesses with future employees frequenting local businesses.

4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

Yes, the proposed use is in conformance with the goals and policies of the Comprehensive Plan and all Village codes and regulations. The vision for this property is defined within the Comprehensive Plan on Page 6 which states "Support further industrial development on Mitchell Road such as completion of the Liberty Business Center"; this parcel is located within Liberty Business Center. This property is identified within Commercial and Industrial Character Area 20 on pages 12 and 13 of the Comprehensive Plan, which states "The Village should encourage the development of new office or light industrial uses".

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.

The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity. The surrounding properties are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan. The proposed development will feature an aesthetically pleasing architectural design as shown in the provided architectural renderings and elevations.

6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value

of other property in the neighborhood in which it is located.

Yes. The proposed special use will not significantly diminish the safety, use, enjoyment and value of other properties in the neighborhood in which it is located. The surrounding properties are industrial in nature and developing the property from vacant land to a Class A industrial/logistics facility would be expected to increase the value of nearby property. Furthermore, the development follows the Village's Comprehensive Plan to "Attract and retain industry, capitalizing on North Aurora's desirable location within the Fox Valley Region and along the I-88 Corridor, to provide employment opportunities while maintaining a diversified community tax base."

7. The proposed special use is compatible with development on adjacent or neighboring property.

The proposed special use is compatible with development on adjacent properties. The site is currently zoned ORI Office Research Industrial District. The neighboring properties are industrial in nature and the proposed development aligns with the Village's Comprehensive Plan.

8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.

The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site. Access to the proposed development will align with existing Corporate Boulevard to the east. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.

The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance. The site is anticipated to supply 117 vehicle parking spaces (including 7 ADA parking spaces), 33 additional land-banked vehicle parking space, 67 route vehicle parking spaces, and 127 trailer parking spaces.

10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.

Yes. The proposed special use is served by adequate utilities, drainage, road access, public safety and other necessary facilities. The previous owner of Lot 1 and Lot 4 (Liberty) partially developed the property in 2016/17; work completed included: mass grading, sanitary sewer and water main and service extensions throughout the site, installation of a fire loop and installation of storm sewer, which drains to the existing stormwater detention pond on Lot 4. Potable water usage and sanitary effluents generated are expected to be in-line with logistics buildings of a similar size and it is anticipated that the in-place services will be sufficient to supply the building.

Access to the proposed development will align with existing Corporate Boulevard to the east. The majority of the site's traffic is anticipated to proceed directly east to the Farnsworth Road I-88 interchange via Corporate Boulevard; thereby not significantly increasing traffic volumes on Mitchell Road. This is in alignment with the Village's Comprehensive Plan.

11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Yes, the site is currently zoned ORI Office Research Industrial District. The proposed special use confirms with the requirement of this Ordinance and other applicable regulations.



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

JB Pritzker, Governor

Colleen Callahan, Director

December 13, 2022

Leia Cooney
Pinnacle Engineering Group
1051 E. Main St, Suite 217
East Dundee, IL 60118

RE: 400 Mitchell Road
Project Number(s): 2307546 [2132.00-IL]
County: Kane

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Adam Rawe
Division of Ecosystems and Environment
217-785-5500

Applicant: Pinnacle Engineering Group
Contact: Leia Cooney
Address: 1051 E. Main St, Suite 217
East Dundee, IL 60118

IDNR Project Number: 2307546
Date: 12/12/2022
Alternate Number: 2132.00-IL

Project: 400 Mitchell Road
Address: 400 Mitchell Road, North Aurora

Description: Development of an approximately 600,000 square-foot industrial building on an already mass-graded site.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Greater Redhorse (*Moxostoma valenciennesi*)

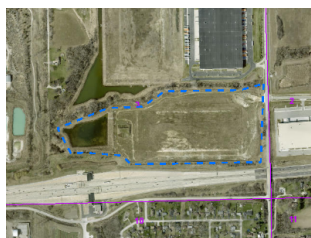
An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kane

Township, Range, Section:
38N, 8E, 3



IL Department of Natural Resources
Contact
Adam Rawe
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction
IL Environmental Protection Agency
Darin E. LeCrone
1021 North Grand Avenue East
Springfield, Illinois 62794

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

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EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

LAND USE OPINION

22-119

January 20, 2023

Prepared for:
Village of North Aurora

Petitioner:
Pinnacle Engineering Group
1051 East Main Street, Suite 217
East Dundee, IL 60118

PURPOSE AND INTENT

This Land Use Opinion report and Natural Resources Inventory intend to present the most current natural resource information available for a parcel, lot, or tract of land in an understandable format. It contains a description of the present conditions and resources available and their potential impact on each other, especially in regards to a proposed change to that parcel of land. This information comes from standardized data, investigations of the parcel, and other information furnished by the petitioner. **This report must be read in its entirety**, so that the relationship between natural resource factors and the proposed land use can be fully understood.

This report presents natural resource information to owners, land-managers, officials of local governing bodies, and other decision makers concerning the parcel. Decisions concerning variations, amendments, or relief of local zoning ordinances may reference this report. Also, decisions concerning the future of a proposed subdivision of vacant or agricultural lands, and the subsequent development of these lands may reference this report. This report is a requirement under the State of Illinois Soil and Water Conservation District Act contained in ILCS 70, 405/1 ET seq.

This report provides the best available natural resource information for the parcel and when used

properly, will provide the basis for good land use change decisions and proper development while protecting the natural resource base of the county. However, because of the variability of nature, and because of the limitations of map scale and the precision of natural resource maps (which includes the property boundaries represented for the parcel), this report does not reflect precise natural resource information at specific locations within the parcel. On-site investigations, soil evaluations, and engineering studies should be conducted as necessary, for point-specific information.

The opinions and ratings given in this report are based on the review of natural resource maps and literature, and are the opinions of the Kane-DuPage Soil and Water Conservation District. The opinions are not meant as a recommendation for the success, nor the failure of, the proposed use of this parcel.

This report should alert the reader to the capabilities of the parcel and to the possible issues that may occur if the properties and characteristics of the land are ignored. Please direct technical questions about information supplied in this report to:

Kane-DuPage Soil & Water Conservation District
2315 Dean Street, Suite 100
St. Charles, IL 60175
Phone: (630) 584-7960 x3

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PARCEL LOCATION

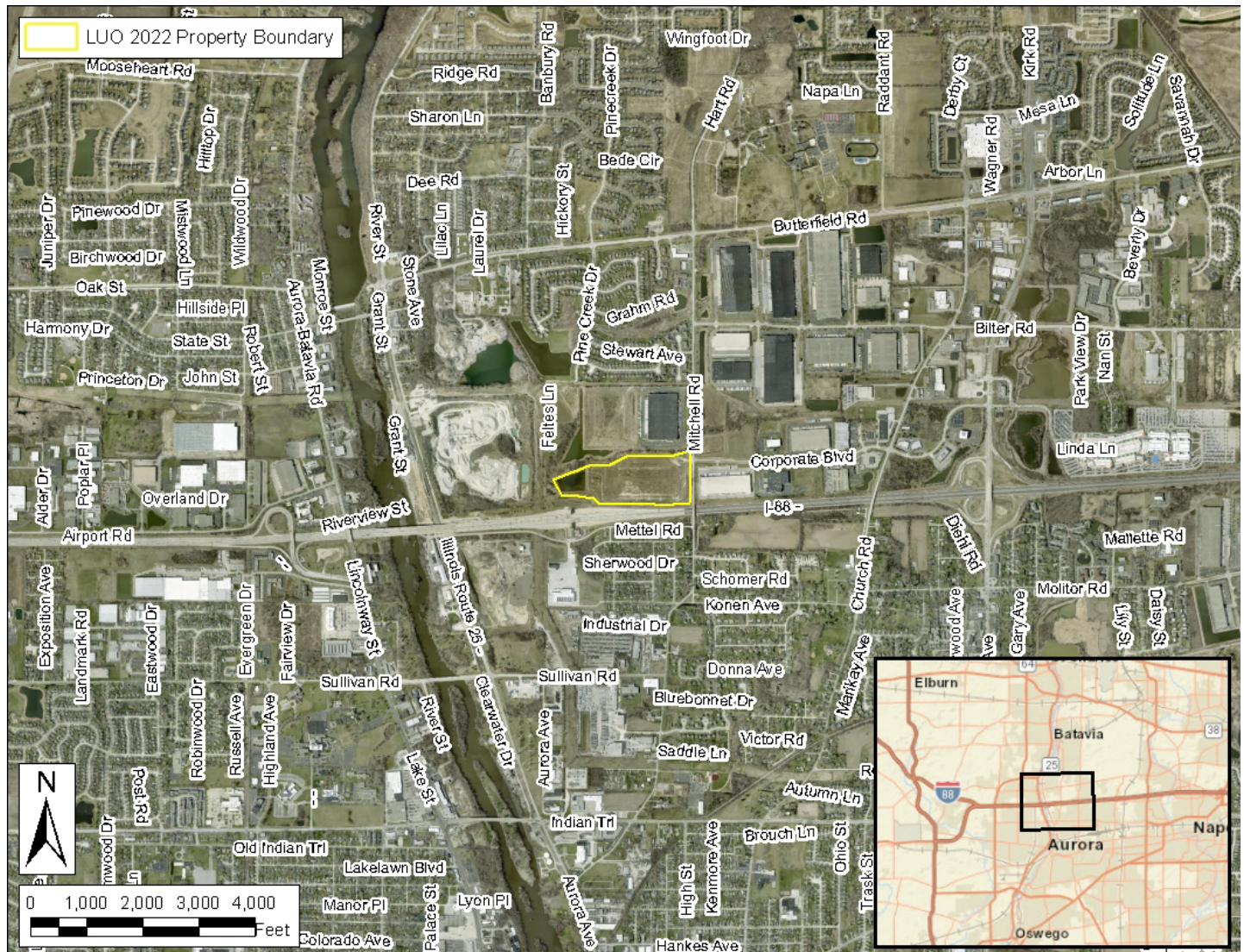


Figure 1: Plat Map with aerial background and parcel boundary

This site is in **Aurora** Township. The public land survey system identifies the site in **Section 3 in Township 38 North and Range 8 East**. The site is parcel #15-03-401-005 and #15-03-401-006 located at 400 Mitchell Rd in North Aurora.

LAND COVER IN THE EARLY 1800'S

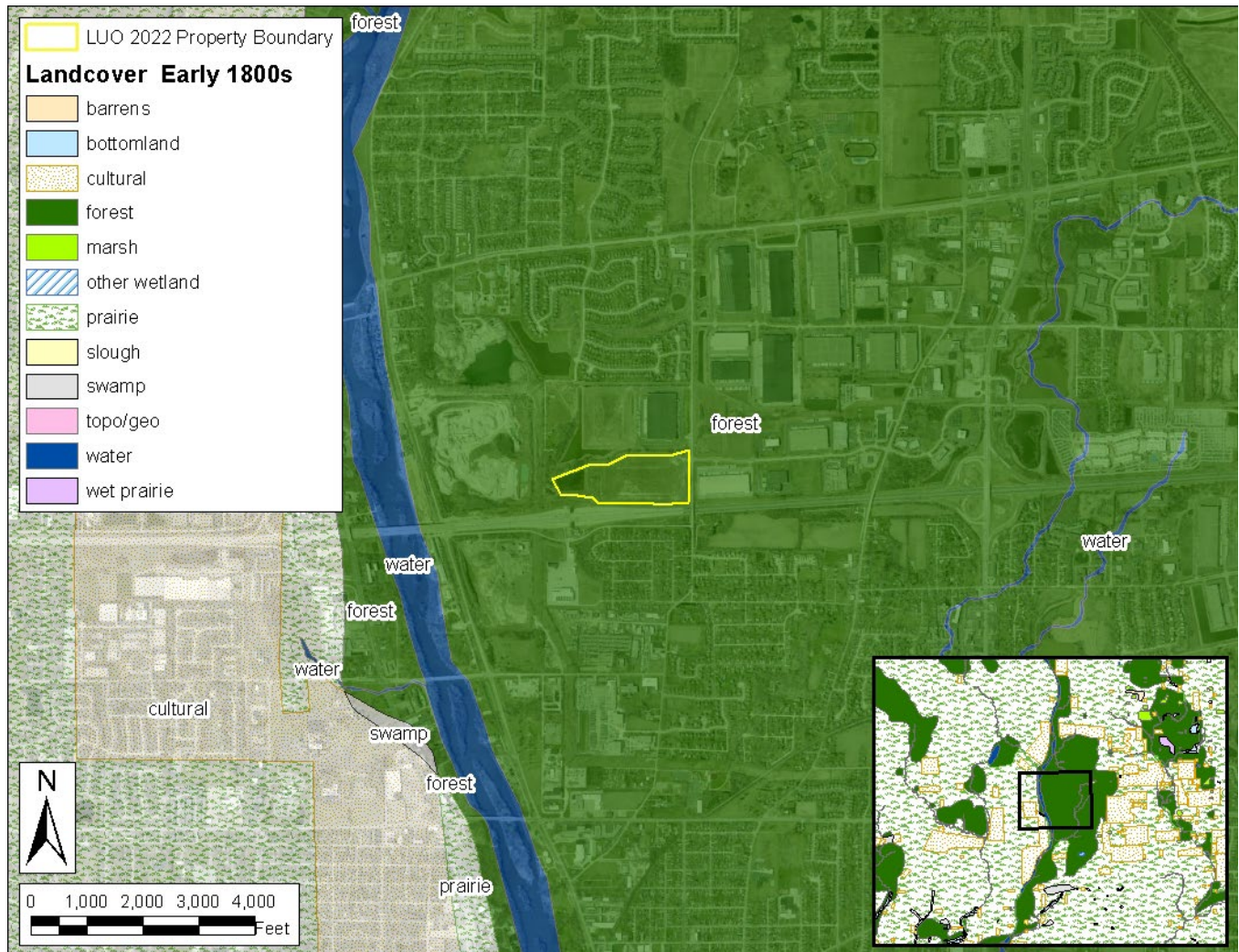


Figure 2: Land Cover of Illinois in the Early 1800's

The public land survey system represents one of the earliest detailed maps for Illinois. The surveys began in 1804 and were largely completed by 1843. The surveyors recorded the land cover and natural resource areas as they worked across the state. These plat maps and field notebooks contain a wealth of information about what the landscape was like before large numbers of settlers came into the state and began modifying the land.

Much of the landscape of Illinois in the early 1800's consisted of two different natural resource areas; prairie and forest. The forest category includes woodlands and savannas, typical of northeastern Illinois. Prairie and forest ecosystems are extremely valuable resources for many reasons. These areas:

- provide wildlife habitat and support biodiversity
- provide areas for recreational opportunities

- improve soil health and reduce soil loss
- improve air and water quality

The original 42 categories of natural resource areas were later simplified to 12 categories; barrens, bottomland, cultural (farms), forest, marsh, other wetlands, prairie, slough, swamp, special geographic features, wet prairie, and water. The maps do not represent exact site conditions, but represent the observations of individual surveyors as they crossed through the area.

This site is recorded as forest land cover on the early 1800's map. The Kane-DuPage Soil & Water Conservation District recommends preserving as much of the natural character of the site as possible, using native plants for landscaping, and removing and controlling invasive species.

GREEN INFRASTRUCTURE

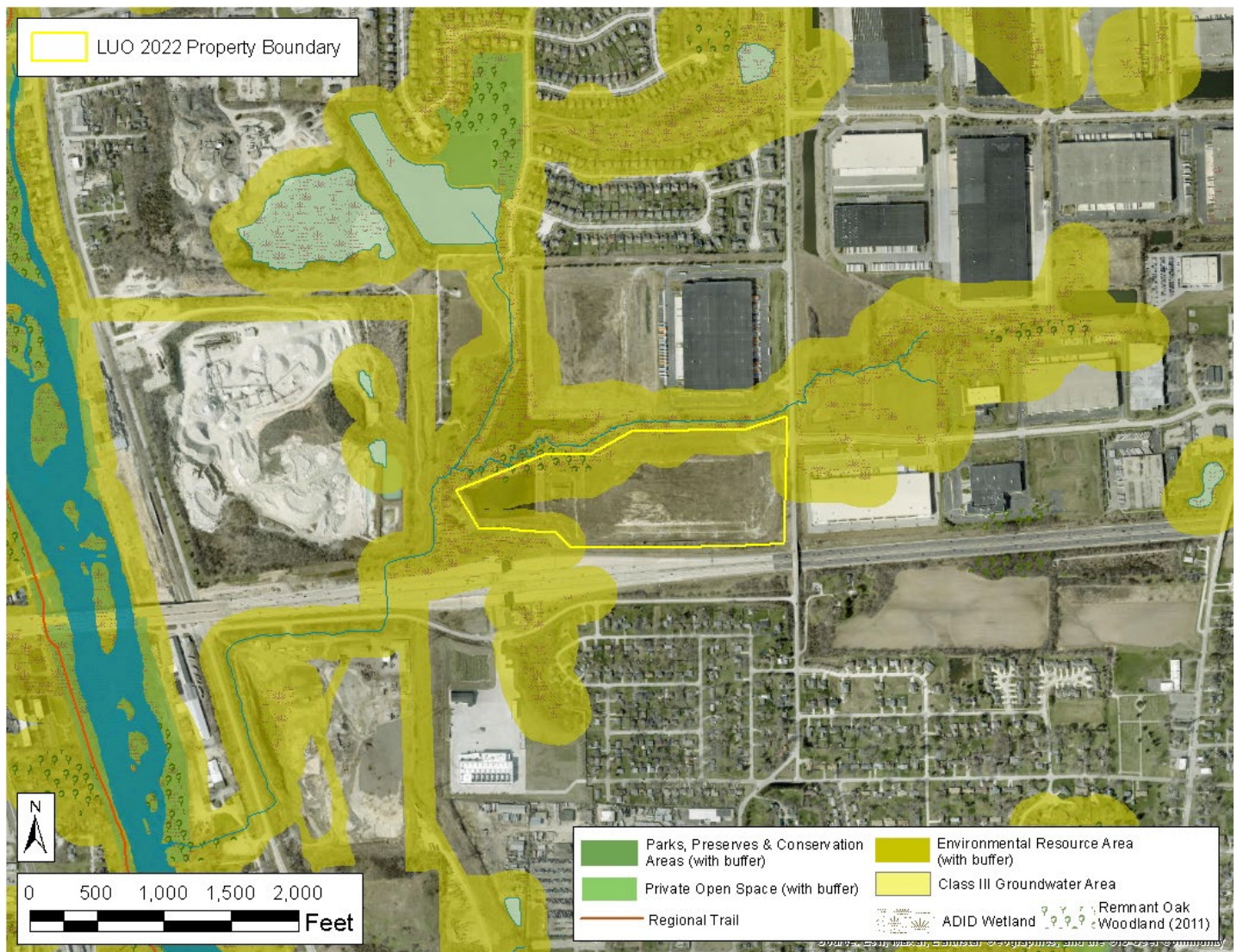


Figure 3: Kane County 2040 Green Infrastructure Plan site map

Green infrastructure is an interconnected system of natural areas and open spaces including woodlands, wetlands, trails, and parks, which are protected and managed for the ecological values and functions they provide to people and wildlife. The Kane County Green Infrastructure Plan includes analysis of existing natural resources in the county and recommendations for green infrastructure priorities and approaches. The goal is to lay the ground-work for green infrastructure planning and projects at the regional, community, neighborhood, and site level, (from the “Kane County 2040 Green Infrastructure Plan”).

The benefits of green infrastructure include:

- Preservation of habitat and diversity
- Water and soil conservation
- Flood storage and protection
- Improved public health
- Encourage local food production
- Economic benefits
- Mitigation and adaptation for climate change

This site includes one or more of the following priority areas in the “Kane County 2040 Green Infrastructure Plan”: wetlands, remnant oak woodlands, and environmental resource area (with buffer).

NATIONAL WETLAND INVENTORY (NWI)



Figure 4: National Wetland Inventory (NWI) Map

The National Wetland Inventory (NWI), conducted by the U.S. Fish and Wildlife Service, identifies significant wetlands throughout the country. All U.S. federal agencies define wetlands as follows, “Those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs and similar areas.” Other common wetlands located in this part of Illinois are fens, wet meadows, seasonally saturated soils, and farmed wetlands.

Wetlands are protected and regulated by federal, state, and local laws, without regard to size. Wetlands are valuable, productive, and diverse ecological systems and provide multiple benefits, including:

- controlling flooding by slowing the release of

excess water downstream or through the soil,

- cleansing water by filtering out sediment and pollutants,
- functioning as recharge areas for groundwater,
- providing essential breeding, rearing, and feeding habitat for many species of wildlife.

A review of the National Wetland Inventory indicates that there are no NWI wetlands on this site. Although the NWI is very thorough, it is not a complete inventory of all possible wetlands. Other regulated wetlands may be present.

The KDSWCD recommends contacting the U.S. Army Corps of Engineers and the Kane County Division of Environmental and Water Resources before commencing any construction activities that may impact wet areas or floodplains. Please see the Regulatory Agencies page near the end of the report for wetland regulation information.

ADVANCED IDENTIFICATION OF WETLANDS (ADID)



Figure 5: Advanced Identification of Wetlands (ADID), Kane County

Released in August of 2004, the Kane County Advanced Identification of Wetlands (ADID) study was a cooperative effort between federal, state, and local agencies to identify the location and quality of the wetlands of Kane County and to develop wetland protection strategies. ADID studies are a U.S. Environmental Protection Agency program to provide improved awareness of the locations, functions, and values of wetlands and other waters of the United States. This information can be used by federal, state, and local government to aid in zoning, permitting, and land acquisition decisions. In

addition, the information can provide data to agencies, landowners, and private citizens interested in restoration or protection of aquatic sites and resources. For more detailed information regarding wetlands in Kane County, please refer to the Advanced Identification of Wetlands (ADID) study at:

<http://dewprojects.countyofkane.org/adid/>

A review of the Kane County ADID map revealed that ADID wetlands were identified on this site. This wetland has been designated as having a high functional value.

WETLAND PHOTOS

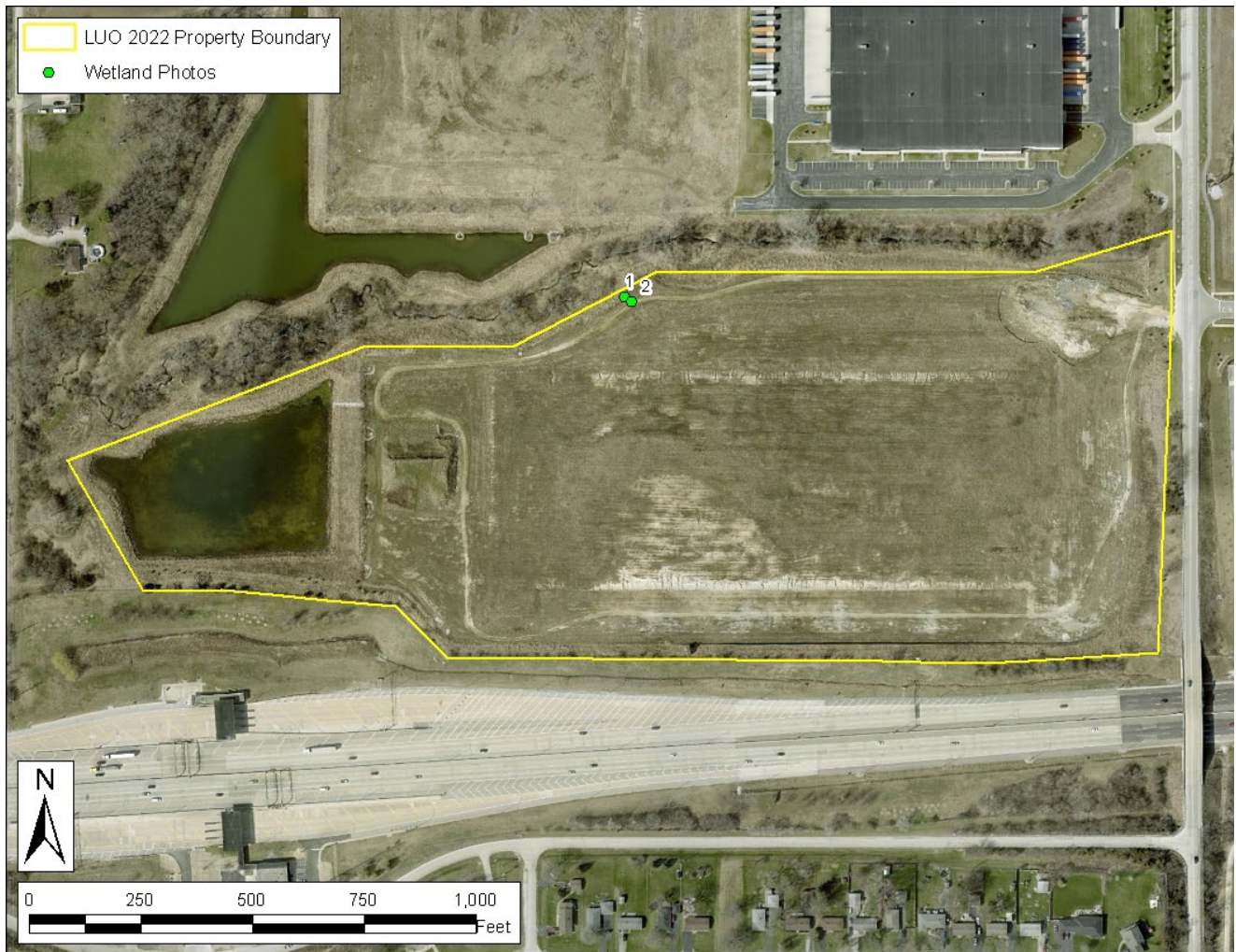


Figure 6: Wetland photos



Photo 1: Facing northwest



Photo 2: Facing west

FLOODPLAINS



Figure 7: Floodplain map - Federal Emergency Management Agency (FEMA)

Undeveloped floodplains provide many natural resources and functions of considerable economic, social, and environmental value. Floodplains often contain wetlands and other important ecological areas as part of a total functioning system that impacts directly on the quality of the local environment.

Here are a few of the benefits and functions of floodplains:

- natural flood storage and erosion control,
- water quality maintenance,
- groundwater recharge,
- nutrient filtration,

- biological productivity/wildlife habitat,
- recreational opportunities/aesthetic value.

Also, development in a floodplain has a hazardous risk of damage by high flood waters and stream overflow. For this reason, floodplains are generally unsuited to most development and structures.

According to the FEMA Flood Insurance Rate Map, **none** of this site is within the boundaries of a 100-year floodplain. Any development in the floodplain, other than restoration efforts, is generally unsuited and hazardous and will impede the beneficial functions of the floodplain. See the Regulatory Agencies page near the end of this report for information regarding floodplain regulations.

WATERSHEDS AND STREAMS

Watersheds are areas of land that eventually drain into a river or stream. Everyone lives in a watershed, no matter if a river or stream is nearby. Watersheds may be named according to its major river or stream. Watersheds, such as the Mississippi River watershed, may be extremely large, encompassing multiple states. Watersheds may also be subdivided into smaller units. Some very small watersheds may not contain a named stream. However, the water that drains from that watershed eventually reaches a stream or river. Watersheds may also be referred to as hydrologic units (HU) and may be identified by a number.

Kane County has been subdivided into three watersheds by federal and state agencies, based upon the drainage area of local rivers: the Kishwaukee River watershed in the northwest; a small portion of the Des Plaines River watershed, along the border with DuPage County; and the Fox River watershed, which occupies the central portion of the county. The Kishwaukee River watershed is part of the Rock River watershed and the Des Plaines River and Fox River watersheds are part of the Illinois River watershed. Both the Rock River and Illinois River are part of the greater Mississippi River watershed. These watersheds have been subdivided into smaller local watersheds for planning.

Local watershed management planning is an important effort that involves citizens of a watershed in the protection of their local water resources. Water quality is a reflection of its watershed.

Common Watershed Goals:

- Protect and restore natural resources
- Improve water quality
- Reduce flood damage
- Enhance and restore stream health
- Guide new development to benefit watershed goals
- Preserve and develop green infrastructure
- Enhance education and stewardship

There are many watershed plans that have already been developed in DuPage County. Please follow the link below to the DuPage County Stormwater Management Watershed Plans.

https://www.dupageco.org/EDP/Stormwater_Management/6597/

Rivers and Streams are necessary components of successfully functioning ecosystems. It is important to protect the beneficial functions and integrity of our local streams and rivers. Development near stream systems has the potential to increase flooding, especially in urban areas where there is a lot of impervious surface and a greater amount of stormwater runoff. Pollution is also an issue for stream systems in urban and rural areas. It is rare for any surface waters to be impacted by only one source of pollution. With few exceptions, every land-use activity is a potential source of nonpoint source water pollution (IEPA Nonpoint Source Pollution).

The Illinois Environmental Protection Agency (IEPA) provides the following in regards to nonpoint source pollution, "Nonpoint source pollution (NPS) occurs when runoff from rain and snowmelt carries pollutants into waterways such as rivers, streams, lakes, wetlands, and even groundwater. Examples of or sources of NPS pollution in Illinois include runoff from farm fields, livestock facilities, construction sites, lawns and gardens, city streets and parking lots, surface coal mines, and forestry. The major sources of NPS pollution in Illinois are agriculture, urban runoff, and habitat modification."

Nutrient management is of vital importance to the health of our rivers and streams. Nutrient load in our local streams and rivers has contributed to the Gulf of Mexico hypoxia, or a "dead zone" located where the Mississippi River meets the Gulf of Mexico. This dead zone has little to no biological activity. Yearly averages indicate the dead zone to be greater than 5,000 square miles in size. Illinois was required and has introduced a plan to reduce nutrient loss from point source pollution sources, such as wastewater treatment plants and industrial wastewater, as well as nonpoint pollution sources. Read Illinois's Plan for reducing nutrient loss here:

<https://www2.illinois.gov/epa/topics/water-quality/watershed-management/excess-nutrients/Pages/nutrient-loss-reduction-strategy.aspx>

AQUIFER SENSITIVITY

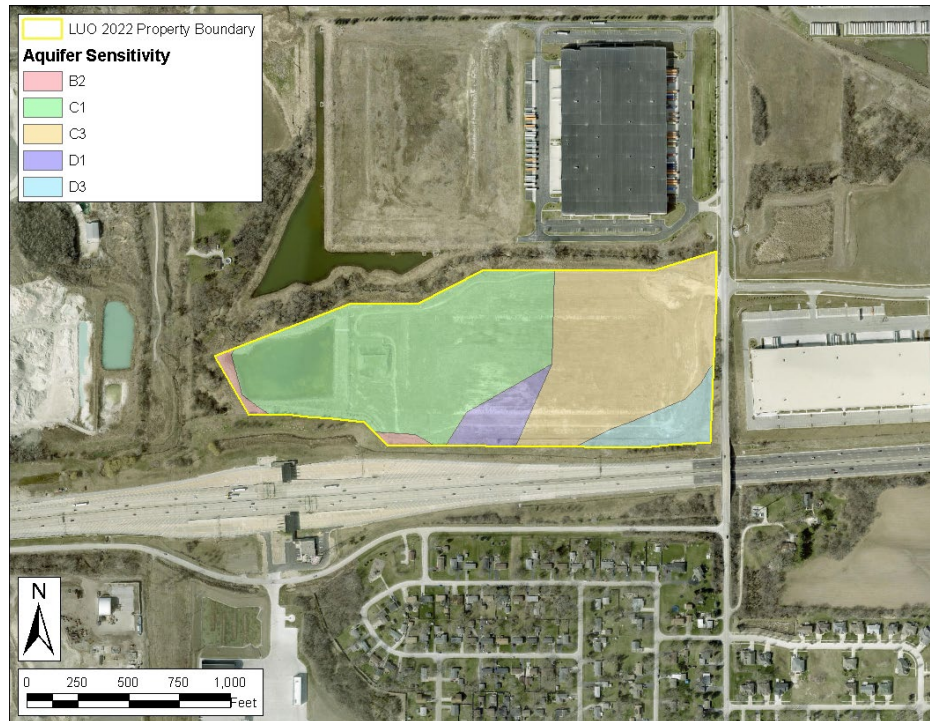


Figure 8: Aquifer Sensitivity to Contamination map

The map of Aquifer Sensitivity to Contamination is a representation of the potential vulnerability of aquifers (underground water sources) to contamination from pollutants at or near the surface of the ground. The U.S. Environmental Protection Agency (US EPA) defines aquifer sensitivity contamination potential as “a measure of the ease with which a contaminant applied on or near the land surface can migrate to an aquifer.”

Aquifers function as a storage area for groundwater, which makes them a valuable source of fresh water. Groundwater accounts for a considerable percentage of the drinking water in Kane County. The chart below shows the aquifer sensitivity classifications. **This site is classified as having a moderately high to moderately low potential for contamination.**

A1	Aquifers are greater than 50ft thick and within 5ft of the surface	C1	Aquifers are greater than 50ft thick and between 20 and 50ft below the surface
A2	Aquifers are greater than 50ft thick and between 5 and 20ft below the surface	C2	Aquifers are between 20 and 50ft thick and between 20 and 50ft below the surface
A3	Aquifers are between 20 and 50ft thick and within 5ft of the surface	C3	Sand and gravel aquifers are between 5 and 20ft thick, or high- permeability bedrock aquifers are between 15 and 20ft thick, both between 20 and 50ft below the surface
A4	Aquifers are between 20 and 50ft thick and between 5 and 20 feet below the surface	D1	Aquifers are greater than 50ft thick and between 20 and 50 ft below the surface
B1	Sand and gravel aquifers are between 5 and 20ft thick, or high-permeability bedrock aquifers are between 15 and 20ft thick, both within 5ft of the surface	D2	Aquifers are between 20 and 50ft thick and between 50 and 100ft below the surface
B2	Sand and gravel aquifers are between 5 and 20ft thick, or high-permeability bedrock aquifers are between 15 and 20ft thick, both between 5 and 20ft below the surface	D3	Sand and gravel aquifers are between 5 and 20ft thick, or high- permeability bedrock aquifers are between 15 and 20ft thick, both between 50 and 100ft below the surface
E1	Sand and gravel or high-permeability bedrock aquifers are not present within 100 ft of the land surface		

A = High Potential, B = Moderately High Potential, C=Moderate Potential, D = Moderately Low Potential, E = Low Potential

TOPOGRAPHY AND OVERLAND FLOW

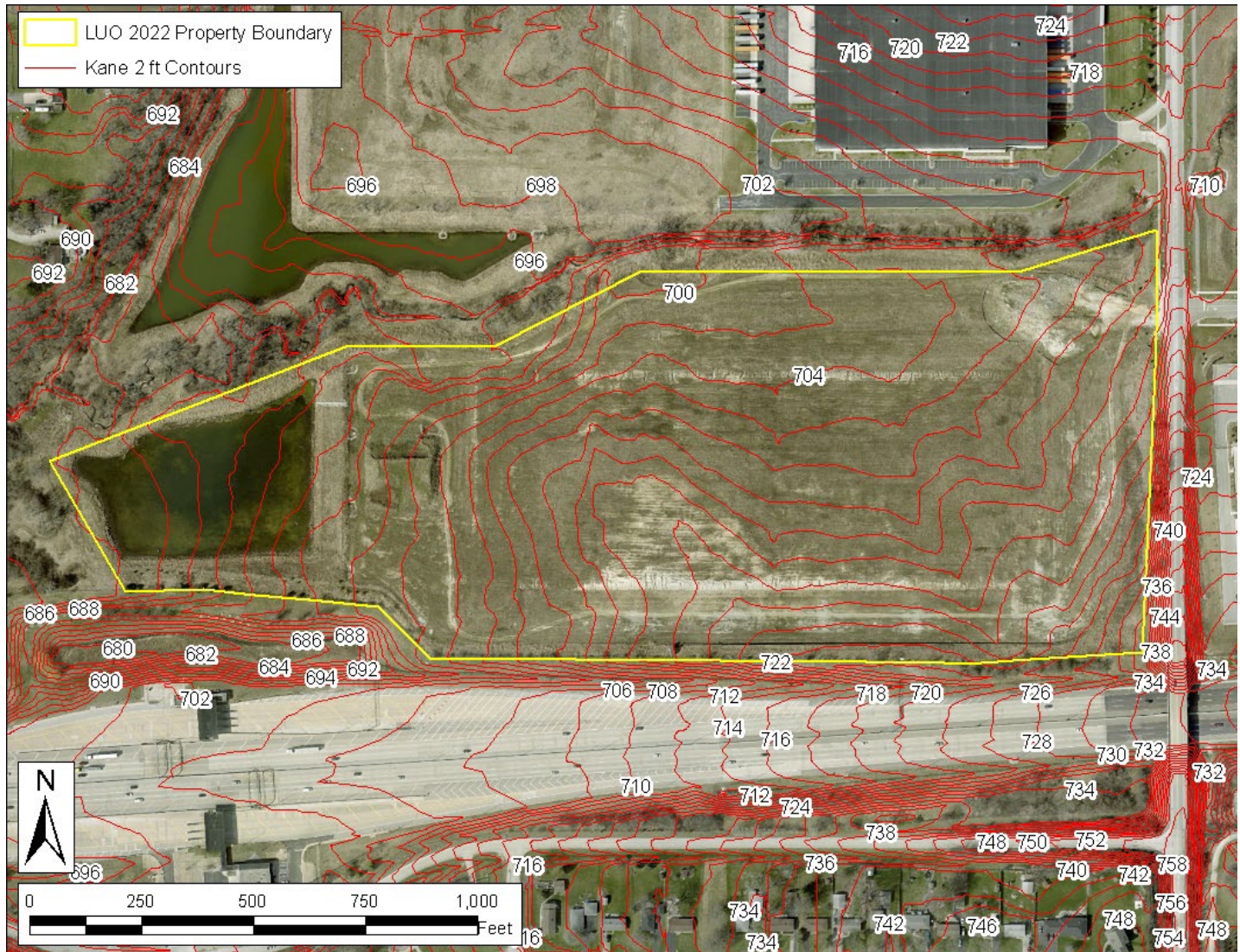


Figure 9: Topographic map showing contour lines

Topographic maps (contour maps) give information on the elevation of the land, which is important to determine slope steepness, natural water flow paths, and watershed information. The natural water flow path can determine where water leaves a property and where it may impact surrounding natural resources. Slope, along with soil erodibility factors, affect the potential of soil erosion on a site. Contour maps can also help determine the areas of potential flooding. It is important to consider the direction of water flow and erosion potential on all construction sites. Areas where water leaves the site should be monitored for sediment and other pollutants, which

could contaminate downstream waters.

The map above shows contour lines with 2 feet elevation distance between each line. The high point of this property is in the southeastern portion of the site at an elevation of approximately 730 feet above sea level. The property generally drains to the west via overland flow. The lowest elevation on the property is approximately 684 feet above sea level.

Please Note: This site's actual topography does not match the map. The site has been materially altered after the topological map information was gathered and produced.

STORMWATER MANAGEMENT

Managing stormwater and stormwater runoff is critical for all development. Stormwater runoff from a site usually increases as a result of soil compaction, more impervious surfaces, loss of vegetation, and soil degradation during construction activities. Increased runoff causes downstream flooding, soil erosion, sedimentation, and pollution of surface waters. The KDSWCD recommends the use of onsite stormwater management strategies whenever possible. These strategies include: stormwater retention and detention basins; bioswales, raingardens, and the use of natural depressions and vegetated swales; deep-rooted native plants; permeable pavers or permeable asphalt. Combinations of these and other practices may be able to retain stormwater onsite. The Illinois Environmental Protection Agency (IEPA) now

recommends that stormwater pollution prevention plans include post-construction stormwater management to keep as much stormwater on the site, as possible.

Site assessment with soil testing should help to determine what stormwater management practices are best for your site. Insufficient stormwater management has the potential to cause or aggravate flooding conditions on surrounding properties, or elsewhere in the watershed. Please refer to the Kane County Stormwater Ordinance for stormwater requirements and minimum standards.

<https://www.countyofkane.org/FDER/Pages/environmentalResources/waterResources.aspx>

SOIL EROSION

Soil erosion is the degradation of soil, mostly caused by the force of rain and the movement of water detaching soil particles and carrying the soil off the site. Factors that affect soil erosion are the slope of the land, the inherent properties of the soil, and the cover (or lack of cover) on the soil surface. Extra care must be taken to prevent or reduce soil erosion on construction sites containing highly erodible soils.

The potential for soil erosion during and after construction activities could have major impacts, both onsite and offsite. The erosion and resulting sedimentation may become a primary nonpoint source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, degrade water quality, and destroy aquatic ecosystems lower in the watershed. Soil erosion also increases the risk of flooding due to choking culverts, ditches, and storm sewers, and reduces the capacity of natural and man-made detention facilities.

Construction and development activities should include a soil erosion and sedimentation control plan. Erosion and sedimentation control measures include:

- staging the construction to minimize the amount of disturbed areas present at the same time,
- keeping the ground covered, either by mulch or vegetation, and
- keeping runoff velocities low.

Many construction sites are required to develop and follow a Stormwater Pollution Prevention Plan (SWPPP) in order to be in compliance with local, state, and federal laws regarding soil erosion and stormwater management. Soil erosion and sedimentation control plans, including maintenance responsibilities, should be clearly communicated to all contractors working on the site. Special care must be taken to protect any wetlands, streams, and other sensitive areas.

Please refer to the Illinois Urban Manual for erosion and sediment control information and technical guidance when creating erosion and sediment control plans. The practice standards and standard drawings from the Illinois Urban Manual represent the minimum standard in Illinois. Contact the KDSWCD for assistance in preparing a stormwater pollution prevention plan.

HIGHLY ERODIBLE LAND (HEL)

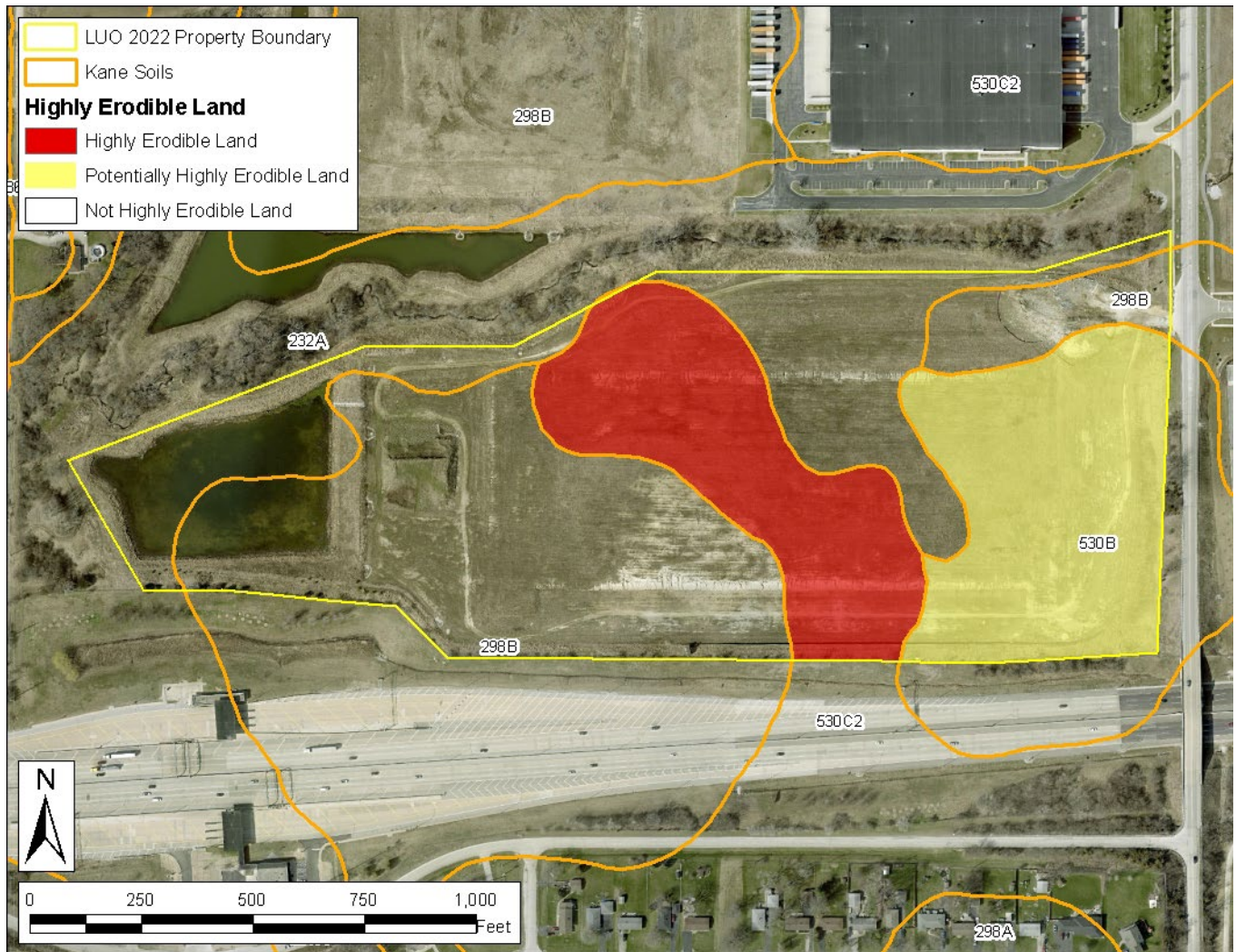


Figure 10: Highly Erodible Land map

Soils vary in their susceptibility to erosion. Highly erodible land (HEL) is land that can erode at excessive rates. Highly erodible land is generally sloping and contains soils that are susceptible to soil erosion by runoff and raindrop impact. The susceptibility to erosion and the highly erodible rating depend upon several factors and properties of the soil. Fine-textured soils high in clay have low erodibility values, because the soil particles are resistant to detachment. Coarse-textured soils, such as sandy soils also have low erodibility values because the water infiltrates and they have less runoff. Medium textured soils, such as loams, are moderately susceptible to detachment and they produce moderate runoff. Soils having a high silt content, like many soils in Kane County, are the most erodible of all soils. They are easily detached and

they tend to crust and produce large amounts and rates of runoff.

Other factors that affect the erodibility of soils include the force of the rainfall, the steepness and length of the slope of the land, and the amount of organic matter in the surface soil layer.

Highly Erodible Land (HEL) contains soils that have been determined by the USDA Natural Resources Conservation Service to be highly erodible. The HEL determination uses a formula involving the properties previously described, to determine the Soil Erodibility Index. Soils that have a Soil Erodibility Index above a certain value are considered highly erodible or potentially highly erodible. **Soils on this site are considered Highly Erodible Land (HEL) and Potentially Highly Erodible Land (PHEL) by the NRCS.**

SOILS & SOIL INTERPRETATIONS

Soils are our foundation for life and most of what we do and need depend upon the soil. Soil is a dynamic ecosystem of living things; plants, animals, and microscopic organisms. Soil is also a substance composed of various minerals and organic matter, interfused with lots of pore spaces which help move and store air and water. Soils are formed over hundreds and thousands of years, taking about 500 years to form an inch of topsoil. Soil is formed by the influences of climate, organisms (plants and animals), topography, the material in which it is developing (parent material), and time. There are thousands of soil series in the world. In Illinois alone, there are over 600 different soil series. Each soil series is unique in its content and its behavior for a particular use.

The different soils across the U.S. have been mapped and identified by the USDA Natural Resources Conservation Service (NRCS) in a soil survey. The soil map of this area (Figure 12: Soil Survey) indicates different soil map units. Each soil map unit and corresponding symbol represent a phase of a soil series. Phases include slope, erosion, flooding frequency, etc. of each soil. Each soil and associated phase have strengths and limitations for a variety of land uses such as septic systems, buildings site development, local roads, and many other uses. **See the Soil Map Units Table in the Soil Survey section for the composition of soil map units of the site. See the Soil Interpretations section for the soil interpretations for the proposed use of the site.**

How the soil is managed as a resource, can be either beneficial or detrimental for the environment or for any particular use. It is difficult to change the inherent properties of the soil, such as the mineral composition or the amount of sand, silt, or clay in the soil. However, it is easy to compact the soil and erode the soil so much that many of the soil functions, such as water storage, infiltration, rooting medium, carbon storage, and soil health can all be compromised or destroyed. Management techniques to protect the integrity and functions of the soil include:

- limiting traffic on the site to reduce compaction of the soil surface
- keeping the soil covered as much as possible, with deep rooted grasses or with mulch or other erosion control practices

- disturbing only the areas necessary for the footprint of structures and reducing or eliminating mass grading of sites

Soils and Onsite Waste Disposal

Soils are often used for onsite waste disposal or underground septic systems to dispose of sewage, especially for individual homes that are not connected to a municipal sewage system. No interpretive rating is given in this report for on-site wastewater disposal (septic systems). The detail of the soil information in the soil survey is not precise enough to determine suitability for the small area required for a septic system. **A Certified Professional Soil Classifier, in cooperation with the county department of public health, must conduct a soil evaluation to determine the suitability of the parcel for on-site wastewater disposal (i.e. septic system), as required by the State of Illinois.**

Soil Interpretation Ratings

The soil interpretation (limitation) ratings are used mainly for engineering designs for proposed uses, such as dwellings with or without basements, local streets and roads, small commercial buildings, etc. The ratings given are based on NRCS national criteria and are defined and used as follows:

Not Limited – This limitation rating indicates that the soil properties are generally favorable for the specified use and that any limitations are minor and easily overcome.

Somewhat Limited - This rating indicates that the soil properties and site features are unfavorable for the specified use, but that the limitations are moderate and can be overcome or minimized with special planning and design.

Very Limited - This indicates that one or more soil properties have severe limitations and are very unfavorable and difficult to overcome. A major increase in construction effort, special designs, or intensive maintenance is required. These costly measures may not be feasible for some soils that are rated as Very Limited.

Contact the KDSWCD for questions concerning the soil and refer to the **Illinois Urban Manual** for best management practices to protect the soil resource.

SOIL SURVEY

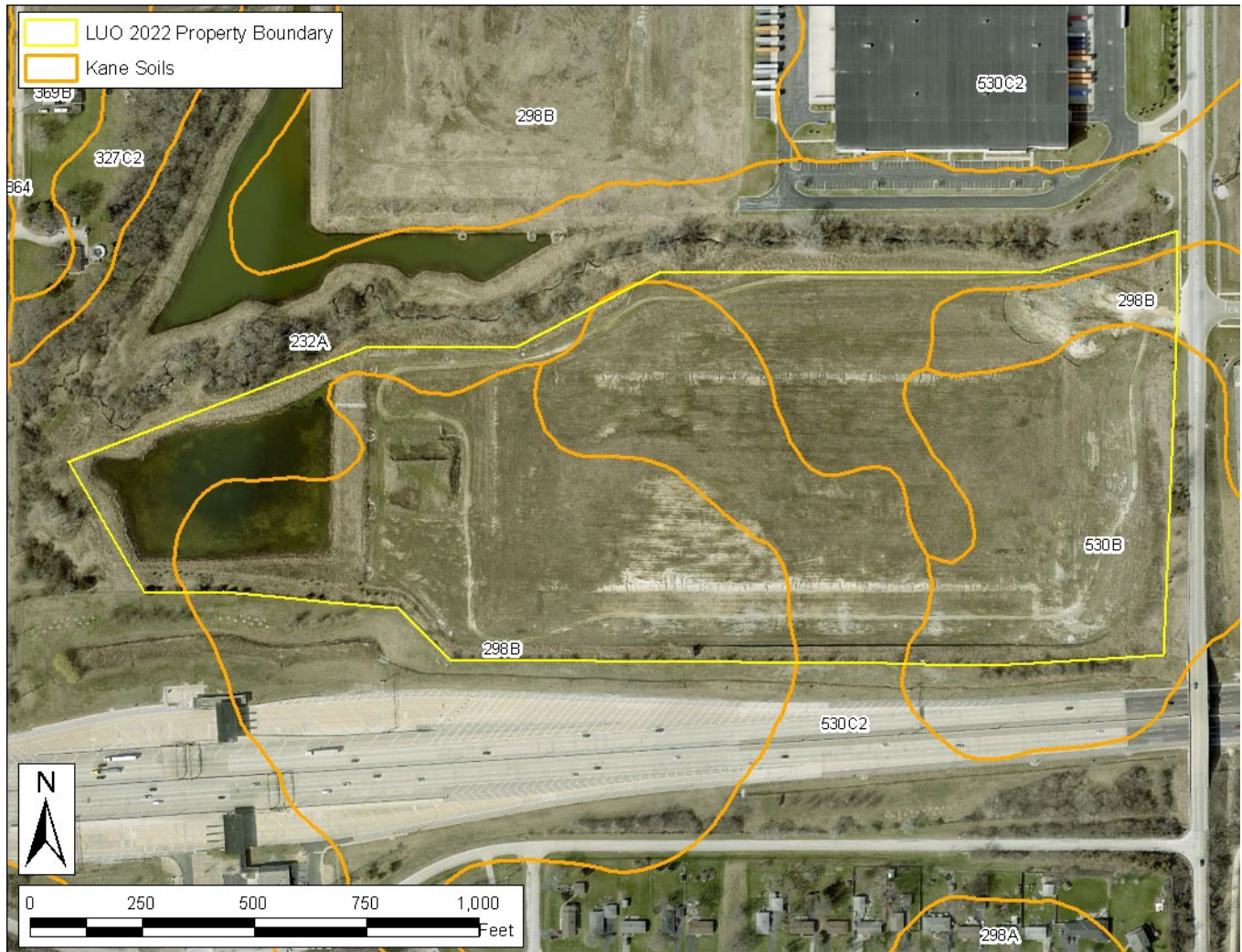


Figure 11: Soil Survey

The soil map unit symbol consists of a combination of numbers and letters which represent the interpretive phase of a soil series for an area of the landscape. Areas within the line of that symbol will have similar soil properties and interpretations.

Table 1: Soil Map Units

SOIL MAP UNIT SYMBOL	PERCENT OF PARCEL	ACRES
232A – Ashkum	22%	8.99
298B – Beecher	38%	14.92
530B – Ozaukee	21%	8.36
530C2 – Ozaukee	19%	7.45
	Total	39.72

All percentages and acreages are approximate.

The soil map in this report has been enlarged beyond the original scale. Enlargement of this map may cause a misunderstanding of the accuracy and precision of the mapping. When enlarged, maps do not show the small areas of contrasting soil that could have been identified if the mapping was completed at a larger scale. The depicted soil boundaries and interpretations derived from the map units do not eliminate the need of onsite sampling, testing, and detailed study of specific sites for intensive uses. Thus, this map and its interpretations are intended for planning purposes only.

The KDSWCD suggests to contact a certified professional soil classifier to conduct an onsite investigation for point-specific soil information to determine the capabilities and the limitations of the soil for a specific use.

SOIL MAP UNIT DESCRIPTIONS

The map units delineated on the detailed soil map in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in the report, along with the map, can be used to determine the composition and properties of a unit.

A map unit delineation of a soil map represents an area dominated by one or more major kinds of soil or miscellaneous area. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are

natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. The scale of the maps limits the detail that can be shown. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils. These minor components are inclusions within the named map unit.

LIST OF MAP UNITS

232A	Ashkum silty clay loam, 0 to 2 percent slopes
298B	Beecher silt loam, 2 to 4 percent slopes
530B	Ozaukee silt loam, 2 to 4 percent slopes
530C2	Ozaukee silt loam, 4 to 6 percent slopes eroded

SOIL INTERPRETATIONS – Small Commercial Buildings

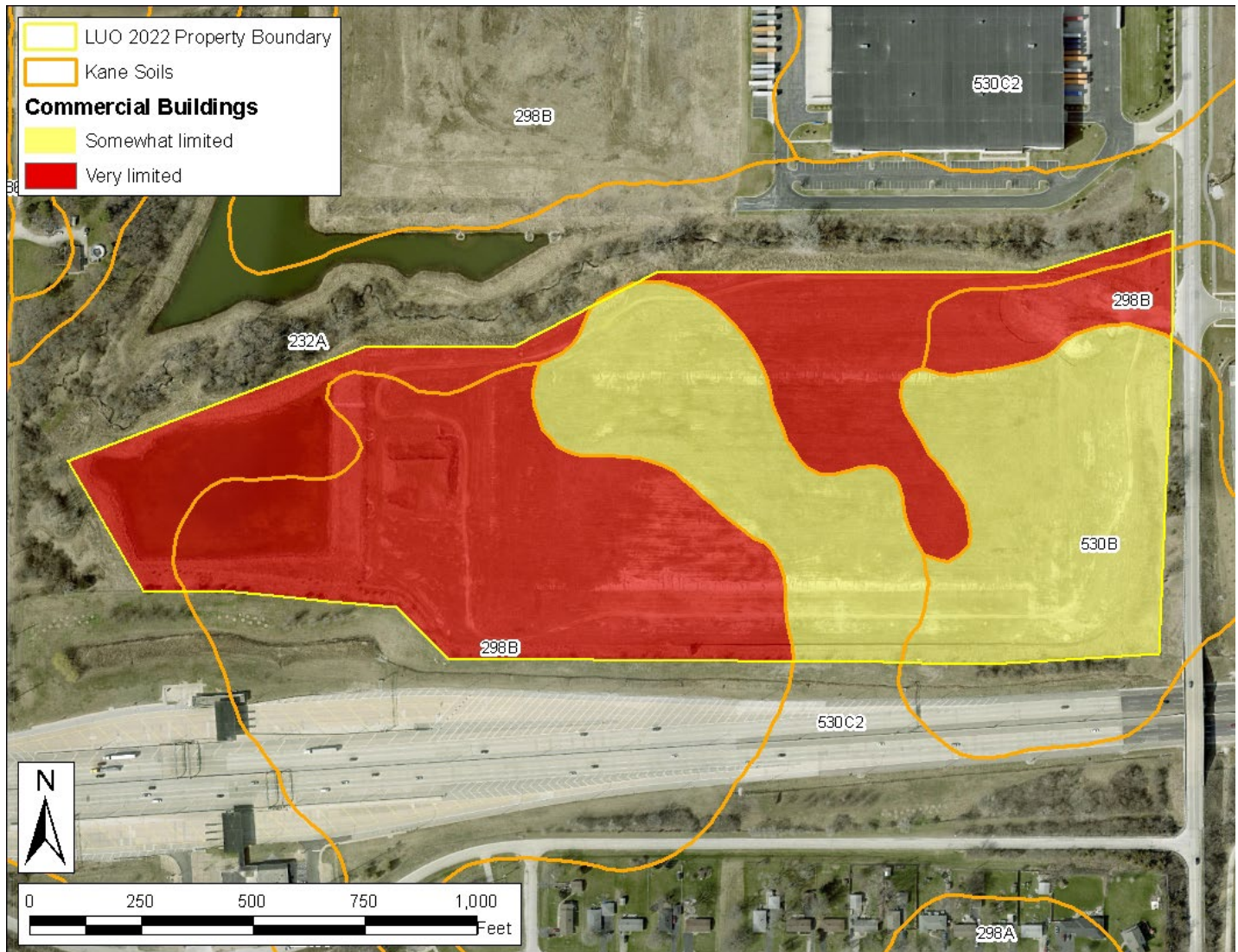


Figure 12: Soil Interpretations for Small Commercial Buildings

Small commercial buildings are structures that are less than three stories high and do not have basements. The foundation is assumed to consist of spread footings of reinforced concrete built on undisturbed soil at the depth of maximum frost penetration.

The ratings are based on the soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs. The properties that affect the load-supporting capacity include depth to water table, ponding, flooding, subsidence, linear extensibility, and compressibility. Compressibility is inferred from the Unified classification of the soil. The properties that affect

the ease and amount of excavation include flooding, depth to a water table, ponding, slope, depth to bedrock, hardness of bedrock, and the amount and size of rock fragments. **The high-water table is often a limiting factor in Kane County.**

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

SOIL INTERPRETATIONS – Shallow Excavations

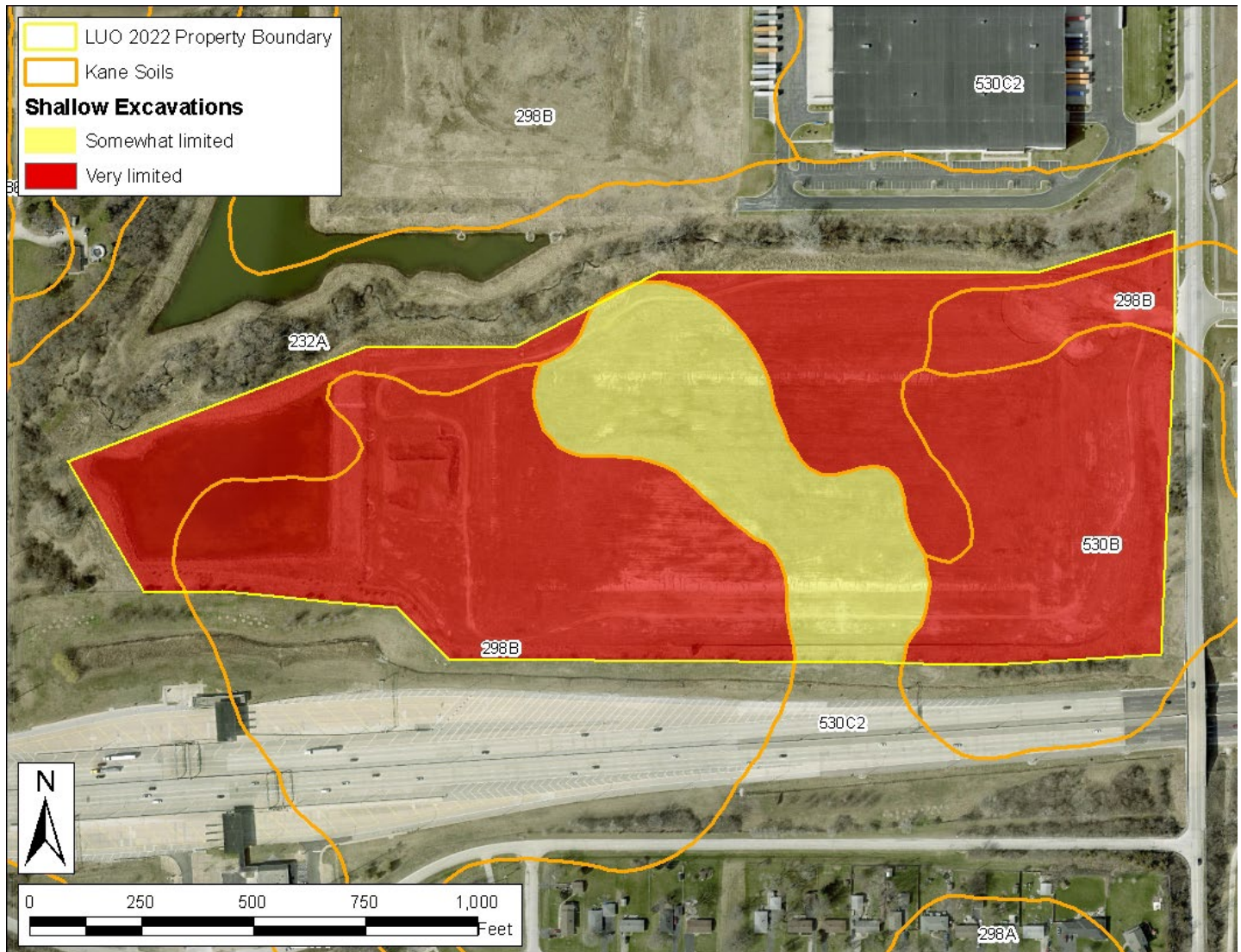


Figure 13: Soil Interpretations for Shallow Excavations

Shallow excavations are trenches or holes dug to a maximum depth of 5 or 6 feet for graves, utility lines, open ditches, or other purposes. The ratings are based on the soil properties that influence the ease of digging and the resistance to sloughing. Depth to bedrock, hardness of bedrock, the amount of large stones, and dense layers influence the ease of digging, filling, and compacting. Depth to the seasonal high-water table, flooding, and ponding may restrict the period when excavations can be made. Slope influences the ease of using machinery. Soil texture, depth to the water table, and linear extensibility (shrink-swell potential) influence the

resistance to sloughing. **The high-water table is often a limiting factor in Kane County.**

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

SOIL INTERPRETATIONS – Local Roads and Streets

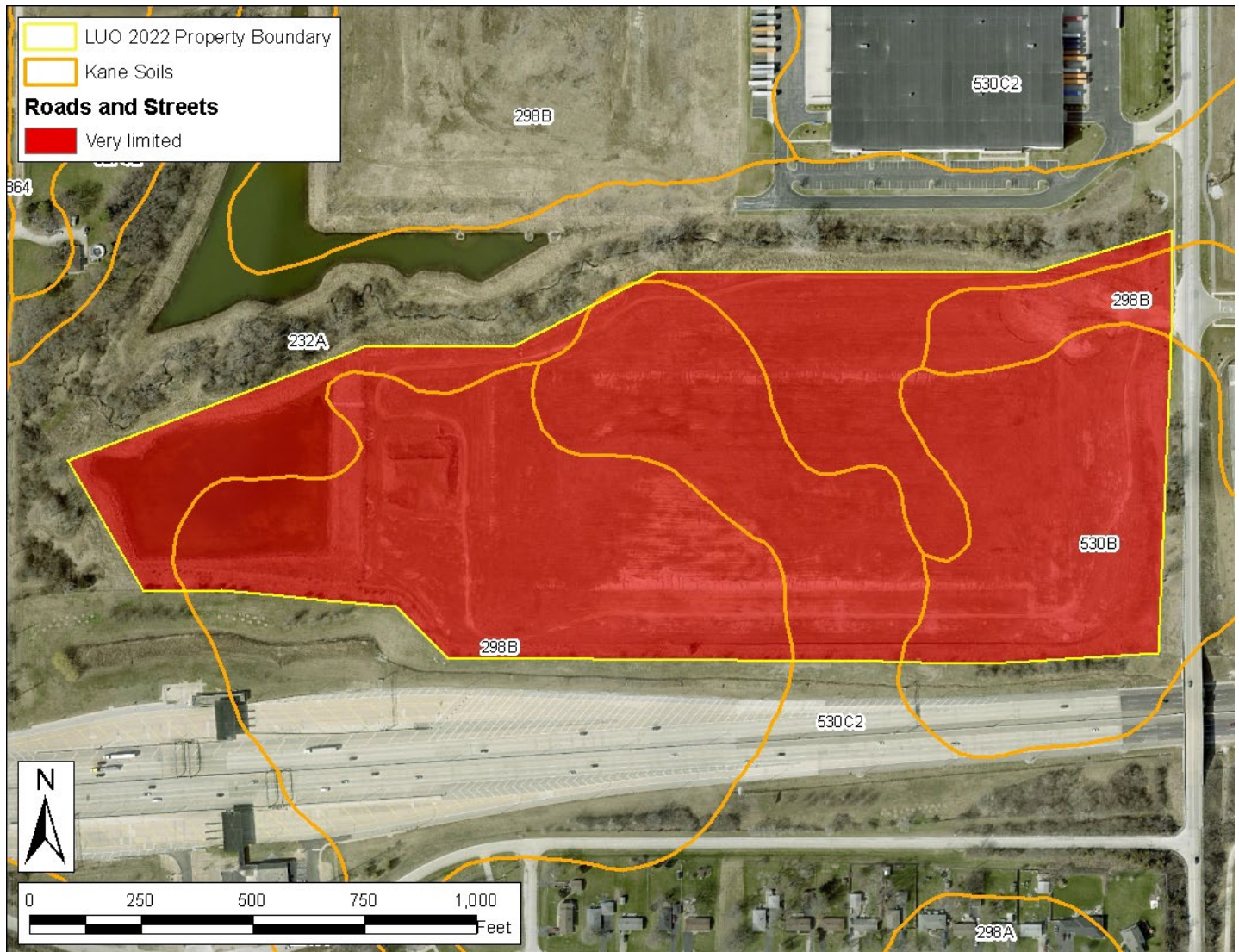


Figure 14: Soil Interpretations for Local Roads and Streets

Local roads and streets have an all-weather surface and carry automobile and light truck traffic all year. They have a subgrade of cut or fill soil material; a base of gravel, crushed rock, or soil material stabilized by lime or cement; and a surface of flexible material (asphalt), rigid material (concrete), or gravel with a binder.

The ratings are based on the soil properties that affect the ease of excavation and grading and the traffic-supporting capacity. The properties that affect the ease of excavation and grading are depth to bedrock or a cemented pan, hardness of bedrock or a cemented pan, depth to a water table, ponding, flooding, the amount of large stones, and slope. The properties that affect the traffic-supporting capacity

are soil strength (as inferred from the AASHTO group index number), subsidence, linear extensibility (shrink-swell potential), the potential for frost action, depth to a water table, and ponding. **The high-water table is often a limiting factor in Kane County.**

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

WATER TABLE

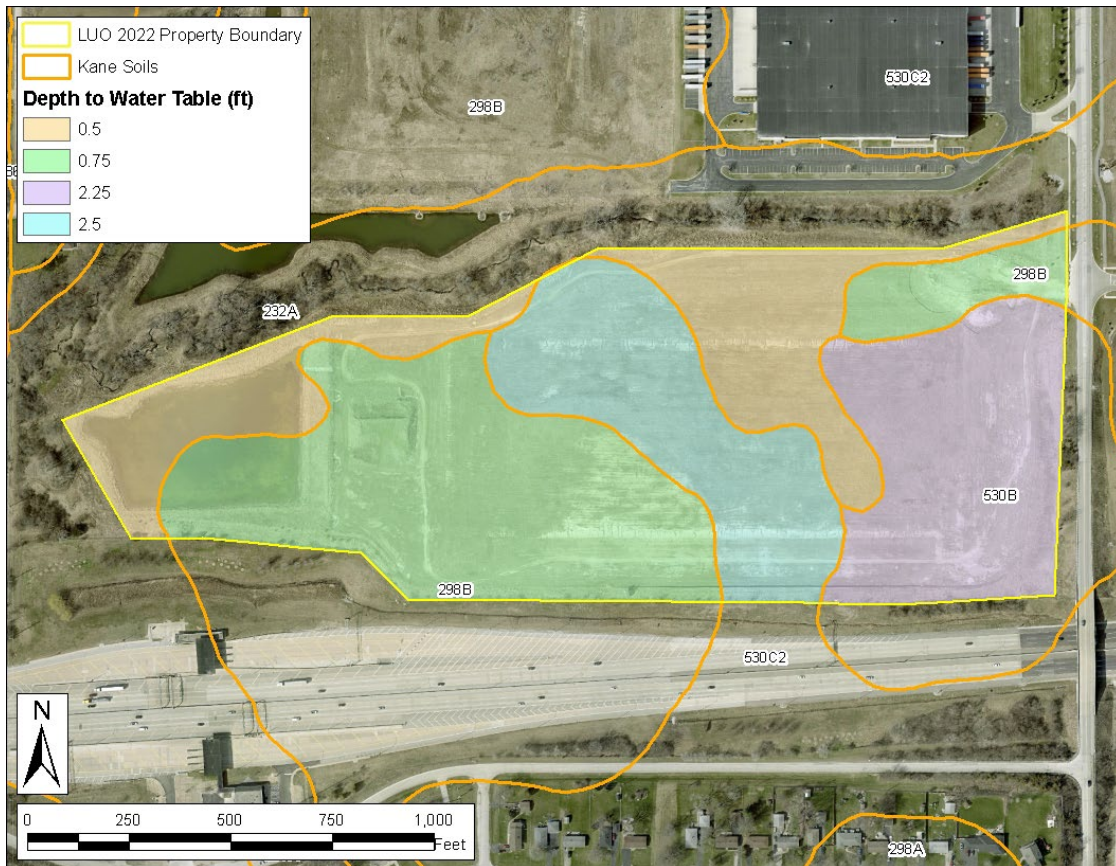


Figure 15: Map showing the depth to a seasonal high-water table

A seasonal high-water table, or the depth to a zone saturated with water in the soil during the wet season (typically spring through early summer), is present in most soils in Kane County, as it is in much of Illinois. The relatively low relief and flat landscape of the region slows the dissipation of water from the soil. This saturated zone fluctuates throughout the year and is closer to the surface in the spring and drops to deeper levels during summer and fall. Soils that are lower on the landscape are generally wetter than those soils higher on the landscape or on more sloping landscape positions. Some soils, especially those in landscape depressions and low-lying areas, have a water table above the soil surface. Water that occurs above the soil surface is considered “ponded” water. Ponding is different from flooding, as the water in ponded areas comes from water rising from below the soil surface or from runoff from adjacent areas. Flooding comes from the overflow of water from rivers and streams.

The duration of the seasonal high-water table may have been altered by artificial drainage systems,

especially those areas in cropland or former cropland. Even when soils are artificially drained, they will likely retain wet characteristics and the wetness will be difficult to eliminate entirely. However, artificial drainage may shorten the duration of the seasonal high-water table.

The wetness from the seasonal high-water table is a limiting property of the soil for many uses, especially homesites with or without basements, septic absorption fields, commercial buildings, and roads and streets. Most sites that are zoned for construction will require improved drainage, sump pumps, foundation drains, and other management practices to reduce the wetness. Any change to the natural drainage of the site has the potential to create flooding issues downstream from the site, so use caution in installing drainage systems.

The Soil Survey indicates a seasonal high-water table at a depth of 0.5 to 1.0 feet of the soil surface during the spring and early summer in most years, on the wettest soils of the site.

HYDRIC SOILS

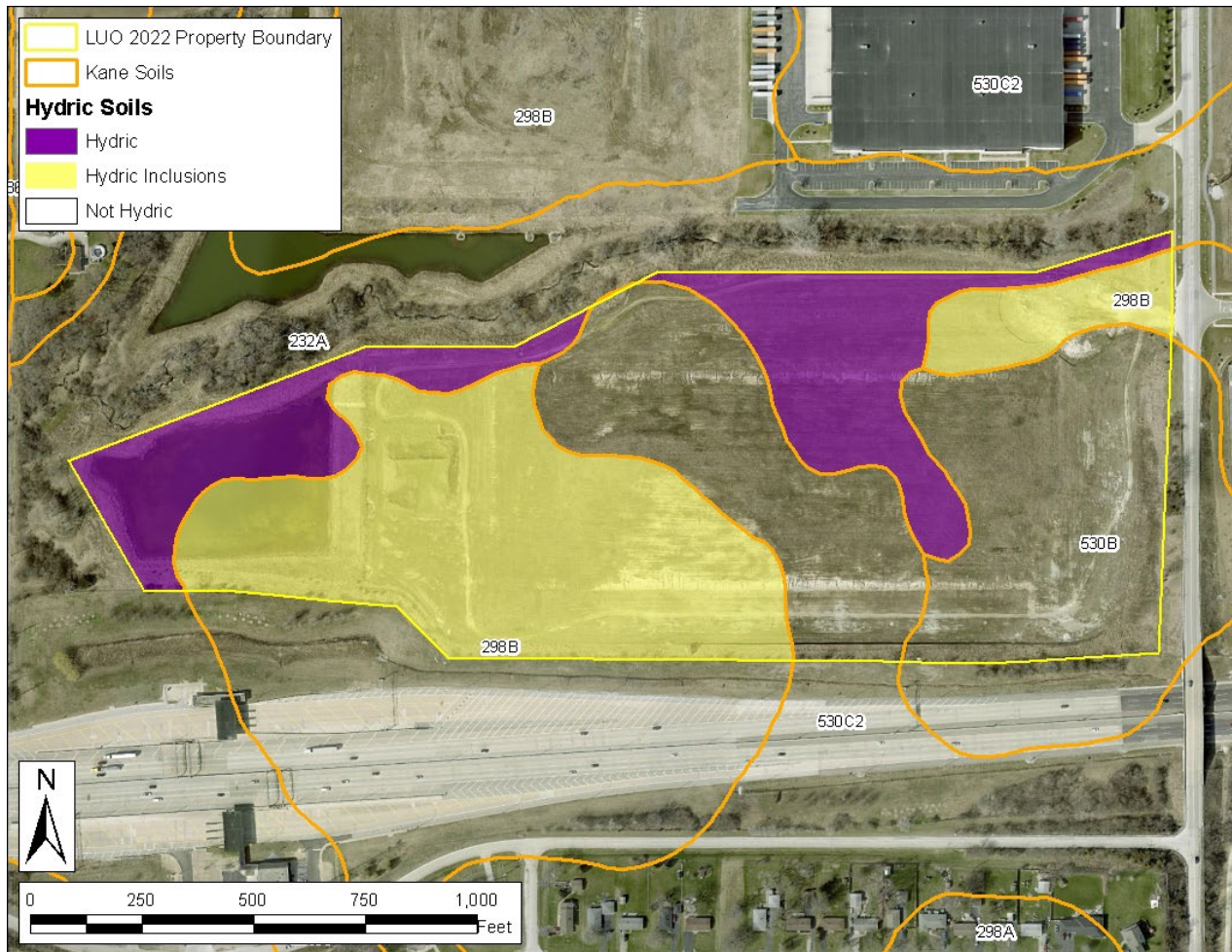


Figure 16: Hydric Soils map

Hydric Soils are wet soils that have a water table near the surface or above the surface, mostly in the spring and summer. The wetness is often a result of being on a lower position on the landscape. Many areas of hydric soils have been altered by artificial drainage systems. Even though they may have artificial drainage, they are still considered to meet the definition of a hydric soil. Although not all hydric soils are considered wetlands, hydric soils are a component of wetlands.

Even when hydric soils are artificially drained, they will likely retain wet characteristics and the wetness will be difficult to eliminate entirely. However, artificial drainage may shorten the duration of the seasonal high-water table. Most sites will require improved drainage, sump pumps, and other management practices to reduce the wetness. Any change to the natural drainage of the site has the potential to create flooding issues on and adjacent to

the site, so use caution in installing drainage systems. Some hydric soils are dominated by organic material (peat or muck) instead of mineral soil material and are not suitable construction sites, because of the low strength of the organic deposits. **Organic soils are extremely difficult to modify for other uses. Organic soils have been identified on this site.**

Hydric inclusions are small areas (inclusions) of hydric soils in the lower positions of a landscape dominated by higher, nonhydric soils and these inclusions are not identified on the soil map, given the map scale. However, hydric inclusions may still have a significant impact on your site.

The Soil Survey indicates that hydric soils or soils with hydric inclusions are on this site. A certified wetland determination may be needed prior to any earth disturbing activities. The KDSWCD recommends contacting the proper regulatory agencies shown near the end of this report.

REGULATORY INFORMATION

Wetlands, Rivers, Streams, and Other Waters: The laws of the United States, the State of Illinois, and local governments assign certain agencies specific and different regulatory roles to protect the waters within their jurisdictional boundaries. These roles include protection of navigation channels and harbors, protection against floodway encroachment, maintenance and enhancement of water quality, protection of fish and wildlife habitat, and protection of recreational resources. Unregulated use of waters could permanently destroy or alter the character of these valuable resources and adversely impact the public. Contact the proper regulatory authorities when planning any work associated with floodplains, wetlands, or other waters so that proper consideration and approval can be obtained.

Wetland and/or Floodplain Permit: Anyone proposing to dredge, fill, riprap, or otherwise alter the banks or beds of a floodplain or floodway; or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility of a lake, stream, or river subject to federal, state, or local regulatory jurisdiction should apply for agency approvals.

Construction Permit: Anyone disturbing an acre or more of land during proposed construction activities should apply for the NPDES General Construction Permit ILR10. Building and stormwater permits should also be obtained locally from municipal government and/or Kane County.

REGULATORY AGENCIES

Wetlands, Floodplains, Streams, & Other Waters:**U.S. Army Corps of Engineers, Chicago District,**

111 North Canal Street

Chicago, IL 60606-7206

(312) 353-6400

<http://www.lrc.usace.army.mil/>**Kane County Water Resources Division**

719 Batavia Avenue

Geneva, IL 60134

(630)232-3400

<https://www.countyofkane.org/FDER/Pages/environmentalResources/waterResources.aspx>**Illinois Department of Natural Resources, Office of Water Resources**

2050 W. Stearns Road

Bartlett, IL 60103

(847)608-3100

<https://www.dnr.illinois.gov/WaterResources/Pages/PermitPrograms.aspx>**NPDES General Construction Permit ILR10****Illinois Environmental Protection Agency, Division of Water Pollution Control**

1021 North Grand Avenue East

P.O. Box 19276

Springfield, Illinois 62794

(217)782-0610

<https://www2.illinois.gov/epa/topics/forms/water-forms/Pages/default.aspx>

The KDSWCD recommends early coordination with the regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stage. This could reduce time required to process necessary approvals. Please be advised that failure to coordinate with regulatory agencies could result in project shut down, fines and/or imprisonment.

CONTACTS**STATE AGENCIES****Illinois Department of Natural Resources**

1 Natural Resources Way
Springfield, Illinois 62702-1271
(217)782-6302
<http://dnr.state.il.us/>

Illinois Department of Transportation

2300 South Dirksen Parkway
Schaumburg, Illinois 62764-0001
(217)782-7820/(800)452-4368
<http://www.idot.illinois.gov/>

Illinois Environmental Protection Agency

1021 North Grand Avenue East
P.O. Box 19276
Springfield, Illinois 62794-9276
(217)782-3397
<http://www.epa.state.il.us/>

Illinois Natural History Survey

1816 South Oak Street MC652
Champaign, Illinois 61820
(217)333-6880
<http://www.inhs.uiuc.edu/>

COUNTY / LOCAL OFFICES**Kane County Government Center**

719 South Batavia Ave.
Geneva, IL 60134
(630)232-3400
<http://www.countyofkane.org/>

Kane County Development Department

(630)232-3492

Kane County Dept. of Environmental Management

(630)208-5118

Kane County Forest Preserve District

1996 South Kirk Road, Suite 320
Geneva, IL 60134
(630)232-5980
forestpreserve.countyofkane.org

Kane County Health Department

1240 North Highland Avenue
Aurora, IL 60506
(630)208-3801

Kane-DuPage Soil and Water Conservation District

2315 Dean Street Suite 100
St. Charles, Illinois 60175
(630)584-7960 ext. 3

FEDERAL AGENCIES**U. S. Army Corps of Engineers**

Regulatory Branch
231 S LaSalle Street, Suite 1500
Chicago, Illinois 60604
(312)846-5330
<http://www.usace.army.mil>

U.S. Environmental Protection Agency

Region 5
77 West Jackson Boulevard
Chicago, Illinois 60604
(312)353-2000 or (800)621-8431
<http://www.epa.gov/region5/>

U.S. Fish & Wildlife Service

Chicago Illinois Field Office
230 South Dearborn Suite 2938
Chicago, IL 60604
(847)298-3250
<http://www.fws.gov/>

U.S.D.A. Natural Resources Conservation Service

2315 Dean Street Suite 100
St. Charles, Illinois 60175
(630)584-7960 ext. 3
<http://www.il.nrcs.usda.gov/>

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- Berg, Richard C, Aquifer Sensitivity Classification for Illinois Using Depth to Uppermost Aquifer Material and Aquifer Thickness, Cir. 560, 2001, Illinois State Geological Survey
<https://isgs.illinois.edu/maps/county-maps/aquifer-sensitivity/kane> Authors: William S. Dey, Alec M. Davis, B. Brandon Curry
- County of Kane. Kane County 2040 Green Infrastructure Plan. Adopted December 10, 2013.
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- U.S. Dept of the Interior, Fish and Wildlife Service, National Wetlands Inventory, Photo Year 1983- 1984, Digitized 1985-1986.
- U.S. Geological Survey, Illinois Digital Orthophoto Quadrangles, 2006 photos, Published: Champaign, Illinois State Geological Survey, 2006.
- Base Layer Credits: Source: ESRI, DigitalGlobe, GeoEye, Eaststar Geographics, CNES/Airbus DS, USDA, USGS, AEROGriD, IGN and GIS User Community

EXECUTIVE SUMMARY**APPLICATION 22-119****January 20, 2023**

Petitioner: Pinnacle Engineering Group, 1051 E Main St, Suite 217, East Dundee, IL 60118

Contact Person: Brian Johnson, 847-551-5300

Unit of Government Responsible for Permits: Village of North Aurora

Acreage: 39.72

Area of Disturbance (acreage): 32.96

Location of Parcel: Section 3, Township 38N, Range 8E

Property Address/PIN#: 15-03-401-005, #15-03-401-006, located at 400 Mitchell Rd, in North Aurora

Existing Land Use: Mass-graded site with a detention basin

Proposed Land Use: Industrial/office building

NATURAL RESOURCE CONCERNS

Land Cover in the Early 1800's: This site is in an area previously identified as a forest. (See **page 5** for more information.)

Kane County Green Infrastructure Plan: This site is in an area indicated as an Environmental Resource Area (with buffer), Remnant Oak Woodland, and ADID Wetland. (See **page 6**.)

Wetlands: The National Wetland Inventory map does not indicate wetlands on this site, but the ADID wetland map does identify wetland areas on this site. If there are any indications of unidentified wetlands on this site, noticed during the proposed land use change, contact the appropriate county and federal wetland regulatory agencies (**page 24**.)

Floodplain: There are no floodplain areas identified on this site. (See **page 10**.)

Streams: There are no streams on this site. (See **page 11**.)

Aquifer Sensitivity: This site is classified as having a moderately high potential to moderately low potential for aquifer contamination. (See **page 12**.)

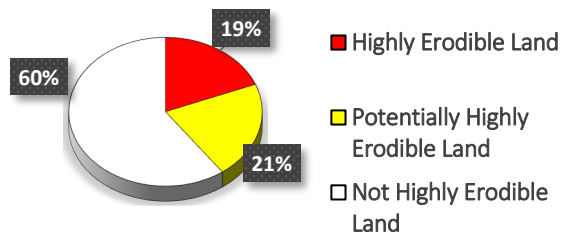
Topography and Overland Flow: The high point of this property is in the eastern portion of the site at an elevation of approximately 730 feet above sea level. The property generally drains to the west via overland flow. The lowest elevation on the property is approximately 684 feet above sea level. (See **page 13** for information regarding site topography and drainage.) Please Note: This site's actual topography does not match the map. The site has been materially altered after the topological map information was gathered and produced.

Stormwater Management: This site may or may not need a Stormwater Pollution Prevention Plan (SWPPP). Contact the KDSWCD for questions or assistance in developing a SWPPP. See **page 14** for information regarding stormwater management.

Soil Erosion: Many construction sites are required to develop and follow a Stormwater Pollution Prevention Plan (SWPPP) in order to be in compliance with local, state, and federal laws regarding soil erosion and stormwater management. Contact the KDSWCD for questions or assistance in developing a SWPPP. (See **page 14**.)

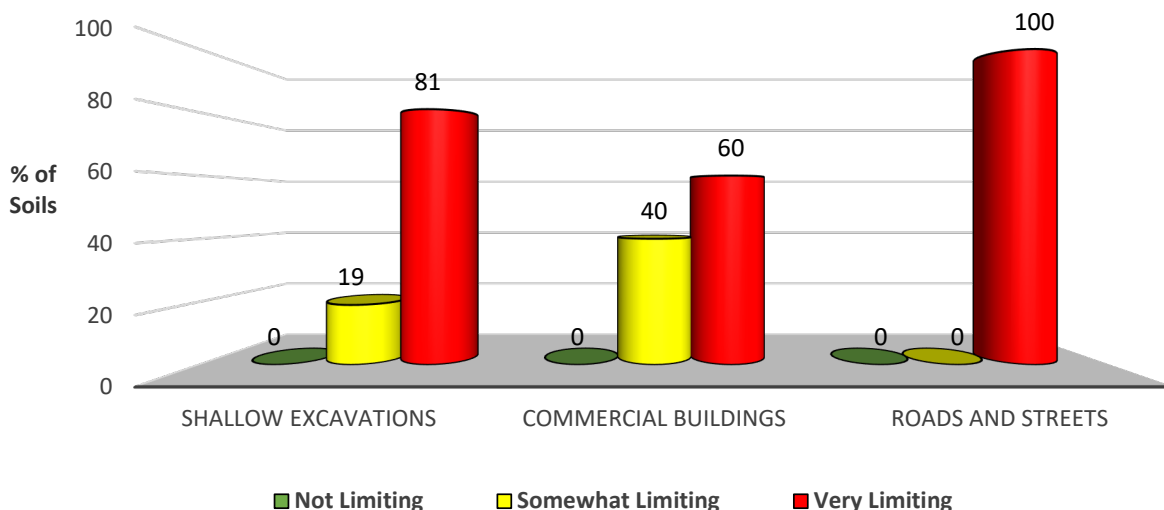
EXECUTIVE SUMMARY
APPLICATION 22-119
January 20, 2023

Highly Erodible Land: There are Highly and Potentially Highly Erodible Land identified on this site. (See [page 15](#).)

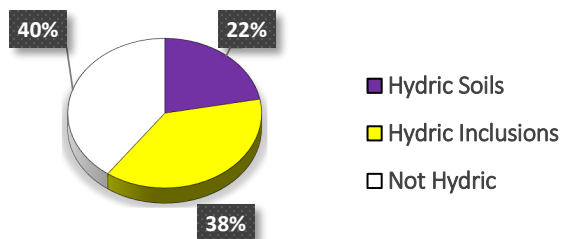


Regulations: Please note that additional permits are required for any development impacting wetlands, streams, or floodplain areas. (Please see [page 24](#) for regulation information.)

Soil Interpretations: Soils at this site may contain limitations for the proposed use. All information is from the Soil Survey of Kane County, Illinois. The limiting factors for this site are: **seasonal high-water table, dusty, unstable construction walls, too clayey, dense layer, shrink-swell, low strength, ponding, frost action.** (See [page 16](#) and attached [Soils Tables](#) on [page 17](#).)



Hydric Soils: There are hydric soils and/or soils with hydric inclusions identified on this site. (See [page 23](#).)



EXECUTIVE SUMMARY
APPLICATION 22-119
January 20, 2023

LAND USE OPINION

The most current natural resource data indicates the following concerns for this site: **Wetlands, Soil Limitations, Aquifer Sensitivity, High-water Table, Soil Erosion and Sediment Control, and Stormwater Management.** These concerns need to be managed, monitored, and/or considered in the planning and development of the site for the best possible results and for the least negative impact to the environment and natural resources.

Based on the information in this report, it is the opinion of the Kane-DuPage Soil and Water Conservation District Board that this site **is poorly suited** for the proposed land use change.

SITE INSPECTION

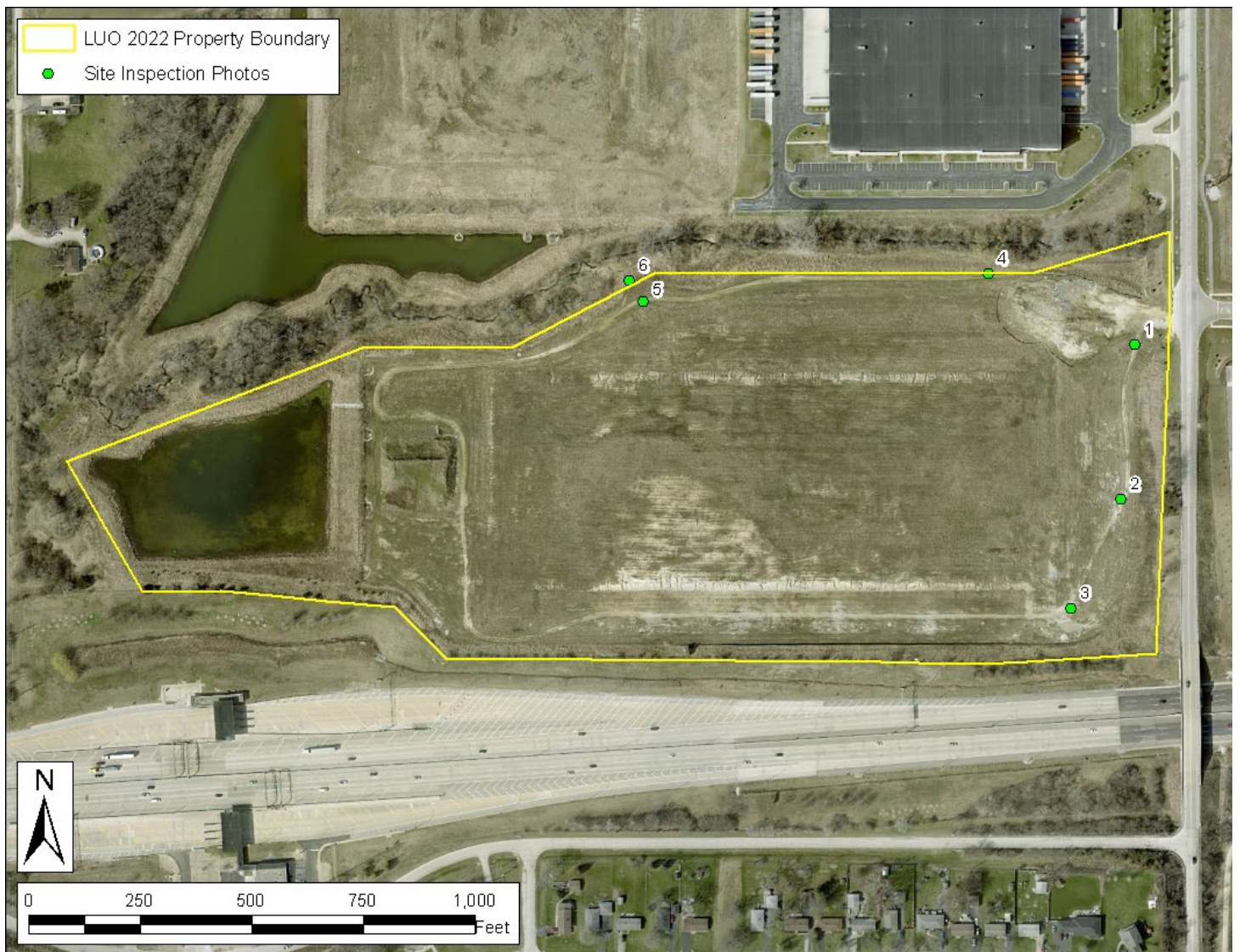


Figure 17: Location of site inspection photos

A site inspection was conducted by **Resource Analyst, Becky Monreal** on **January 19, 2023**. The following photos were taken during this inspection and reflect the site conditions at that time.

SITE INSPECTION PHOTOS



Photo 1 facing east



Photo 2 facing south



Photo 3 facing west



Photo 4 facing south east



Photo 5 facing south west



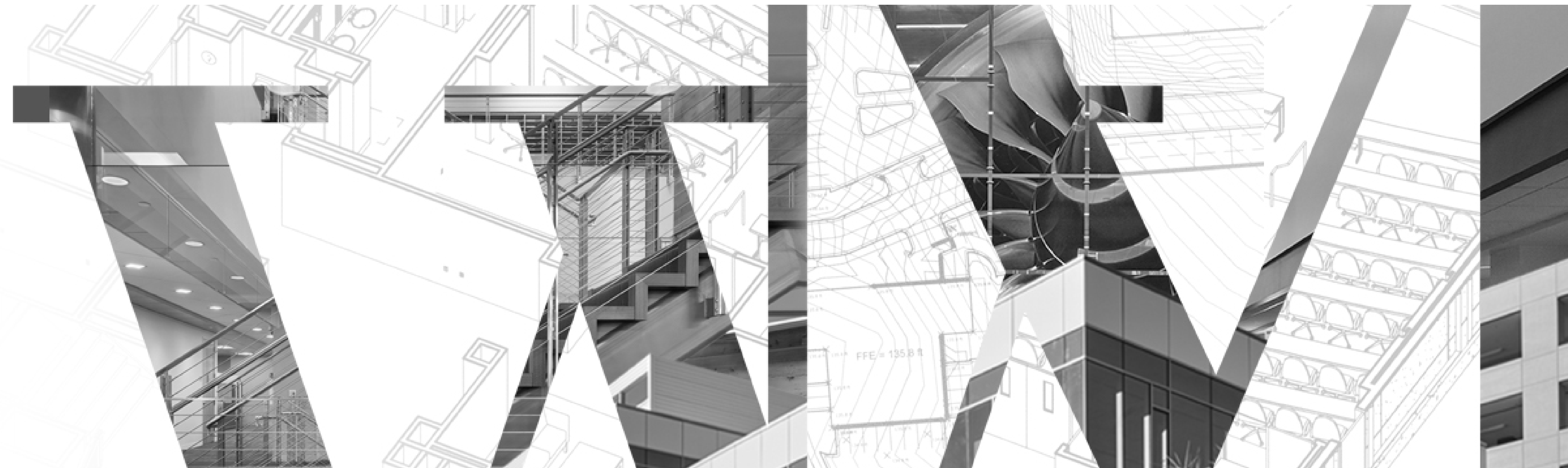
Photo 6 facing east



LIBERTY ILLINOIS, LP. CONCEPTUAL DESIGN

MITCHELL ROAD
NORTH AURORA, IL

CONCEPTUAL DESIGN
CHI22-0274-00
02.08.2023

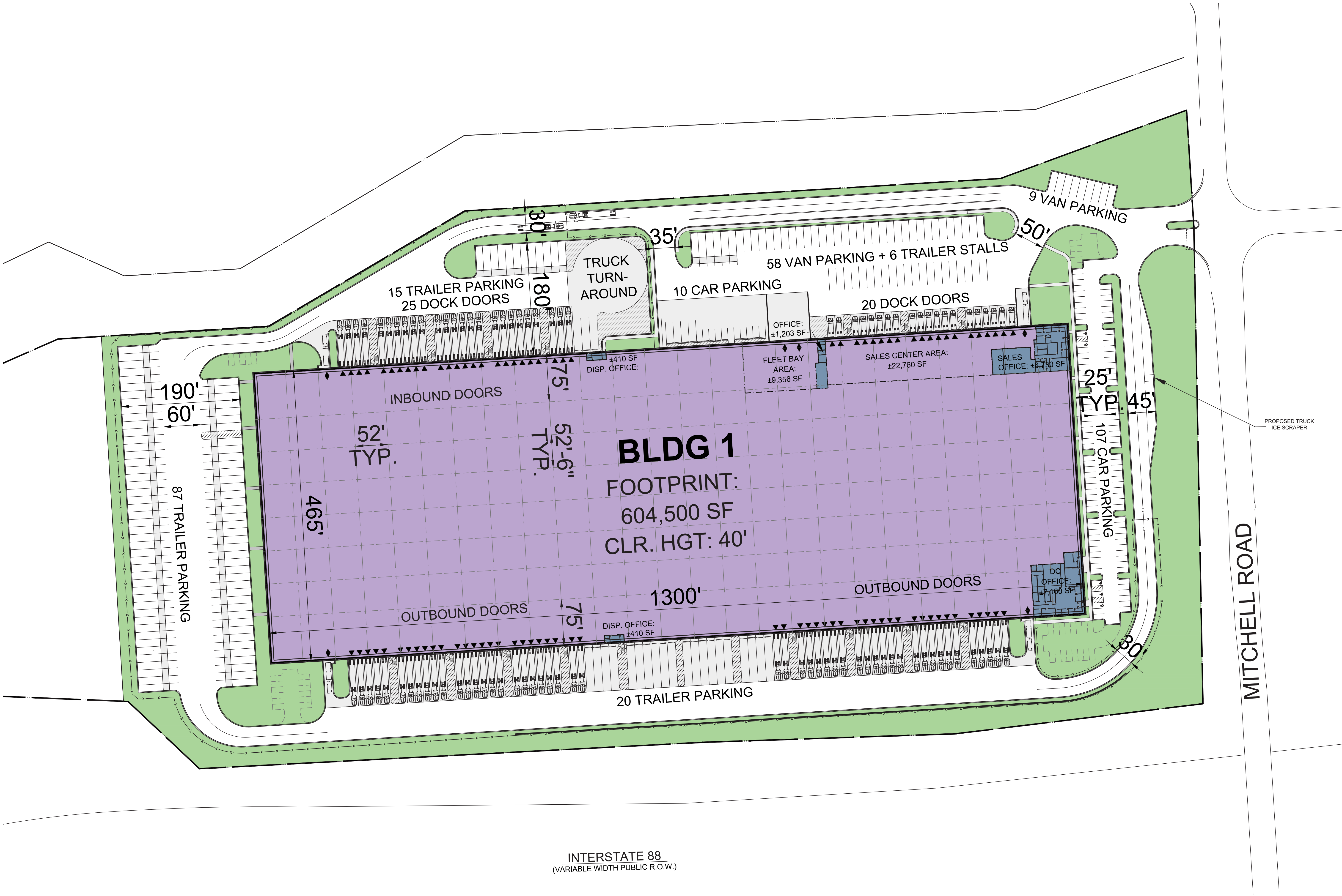


PROLOGIS

NORTH AURORA, ILLINOIS

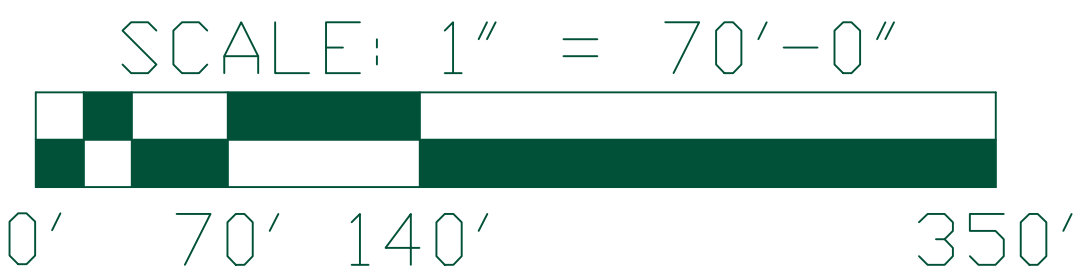
SITE PLAN | SCHEME 6

PROJECT DATA:			
SITE AREA:			
GROSS:		32.96 AC	
		1,435,907 SF	
BUILDING FOOTPRINT:			
BUILDING USE:		588,587 SF	
WAREHOUSE			
OFFICE	@ 3%	15,913 SF	
COVERAGE:			
GROSS:		42%	
PARKING REQUIRED:			
WAREHOUSE	1/5000 SF	118 STALLS	
OFFICE	1/500 SF	32 STALLS	
TOTAL		150 STALLS	
PARKING PROVIDED:			
AUTO:		117 STALLS	
		@0.19/1000 SF	
	REQ. ACCESSIBLE	5 STALLS	
FUTURE AUTO		37 STALLS	
TOTAL AUTO WITH FUTURE		154 STALLS	
TRAILERS:		127 STALLS	
VANS:		67 STALLS	
TRUCK DOCKS:			
▲ DOCK-HIGH DOORS		95	
◆ GRADE-LEVEL DOORS		6	



- LEGEND:
- PROPOSED BUILDING AREA
 - OFFICE AREA
 - DETENTION POND AREA
 - DOCK DOOR
 - FUTURE DOCK DOOR (KNOCK OUT)
 - DRIVE IN DOOR

NOTE:
THIS CONCEPTUAL PLAN IS FOR MARKETING PURPOSES ONLY, AND HAS BEEN PREPARED BASED ON PRELIMINARY AVAILABLE SITE INFORMATION DEEMED RELIABLE. ALL DIMENSIONS AND AREA CALCULATIONS ARE SUBJECT TO VERIFICATION BY A PROFESSIONAL ENGINEER FOR COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL REGULATIONS.



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

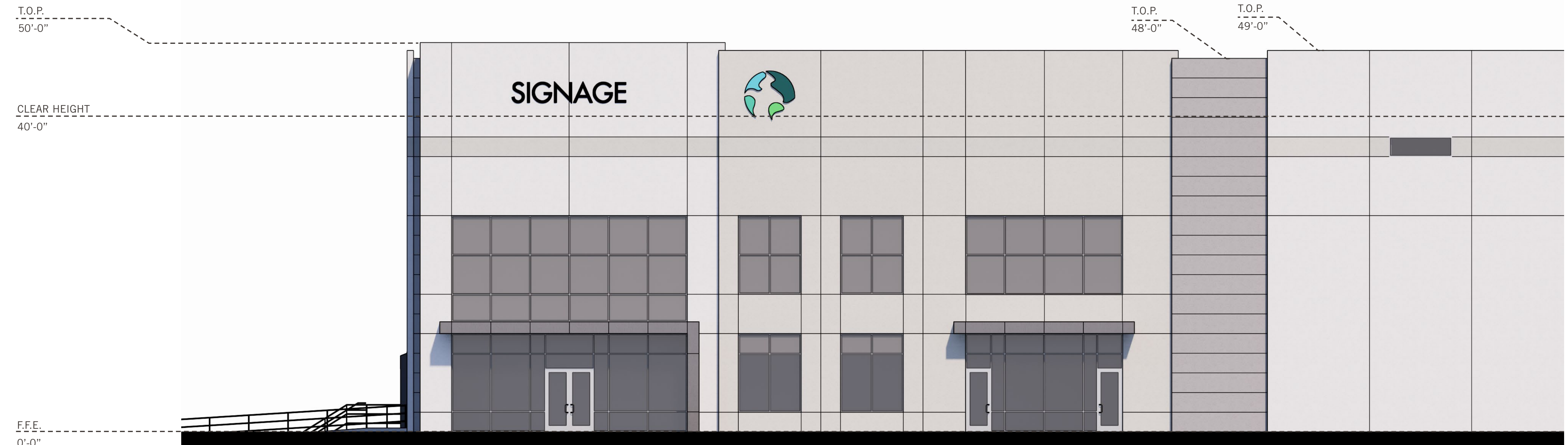
SCHEME 6 CONCEPTUAL SITE PLAN
LIBERTY ILLINOIS, LP. CONCEPTUAL DESIGN
MITCHELL ROAD, NORTH AURORA, IL - CHI22-0274-00

WARE MALCOMB

02.08.2023

PAGE 2





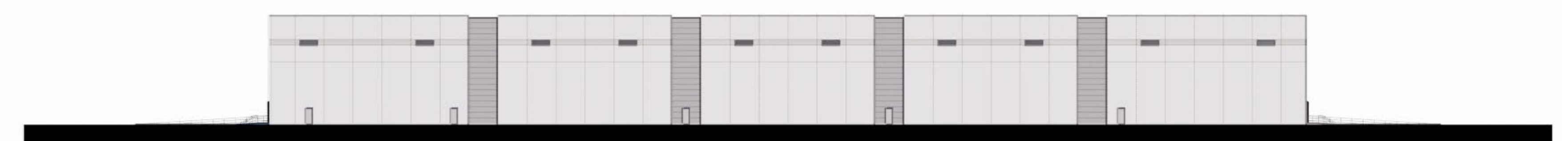
Enlarged East Conceptual Elevation 'A' - N.T.S.



East Conceptual Elevation - N.T.S.



North Conceptual Elevation - N.T.S.

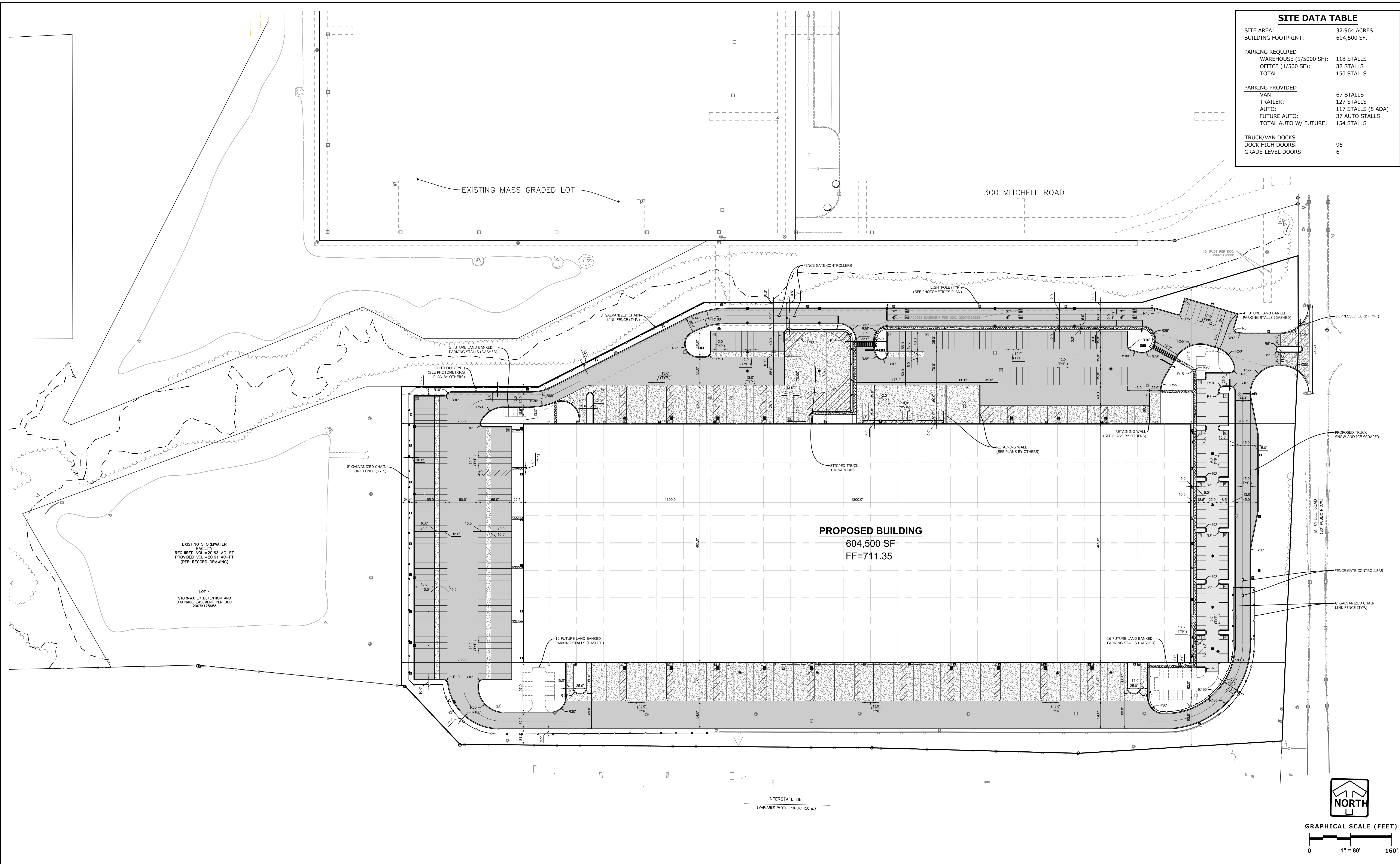


West Conceptual Elevation - N.T.S.

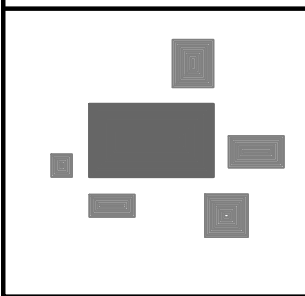


South Conceptual Elevation - N.T.S.

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DRAFTING
DESIGNED
DATE



SITE DATA TABLE	
SITE AREA:	32.964 ACRES
BUILDING FOOTPRINT:	604,500 SF.
PARKING REQUIRED	
WAREHOUSE (1/5000 SF):	118 STALLS
OFFICE (1/500 SF):	32 STALLS
TOTAL:	150 STALLS
PARKING PROVIDED	
VAN:	67 STALLS
TRAILER:	127 STALLS
AUTO:	117 STALLS (5 ADA)
FUTURE AUTO:	37 AUTO STALLS
TOTAL AUTO W/ FUTURE:	154 STALLS
TRUCK/VAN DOCKS	
DOCK HIGH DOORS:	95
GRADE-LEVEL DOORS:	6



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CHICAGO | MILWAUKEE | NATIONWIDE

400 MITCHELL ROAD
400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS	
1	P.U.D. SUBMITTAL 01/31/23
2	P.U.D. SUBMITTAL 02/10/23

SITE PLAN

PEJ JOB NO. 2122-00-IL	BDJ	SHEET
REG. PM	START DATE 12/15/22	1
SCALE 1" = 80'		OF
		1

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PROPOSED BUILDING
604,500 SF
FF=711.35

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NORTH AURORA, ILLINOIS

REVISIONS	

LANDSCAPE COLOR
EXHIBIT

400 MITCHELL ROAD - LANDSCAPE COLOR EXHIBIT

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PEG JOB No. 2132.00-11

BDJ

START DATE 12/15/22

SCALE 1" = 60'

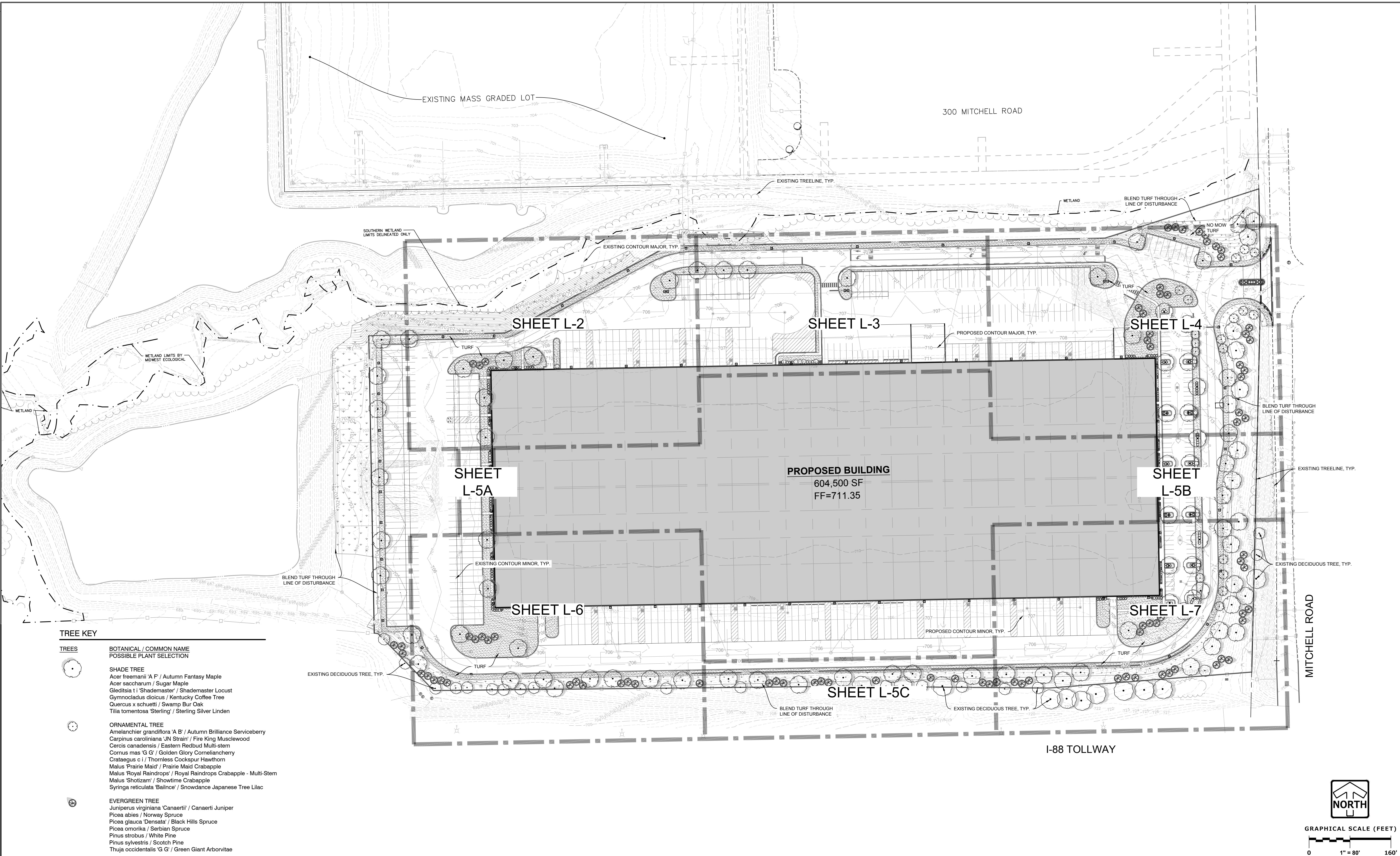
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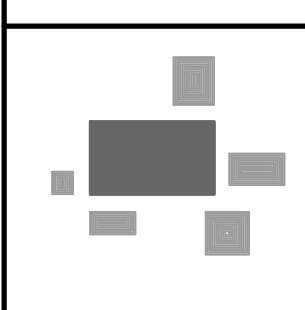
**NORTH**

GRAPHICAL SCALE (FEET)

0 1" = 100' 200'

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DESIGNED: JLS
DRAFTED: JLS
REVIEWED: LUB





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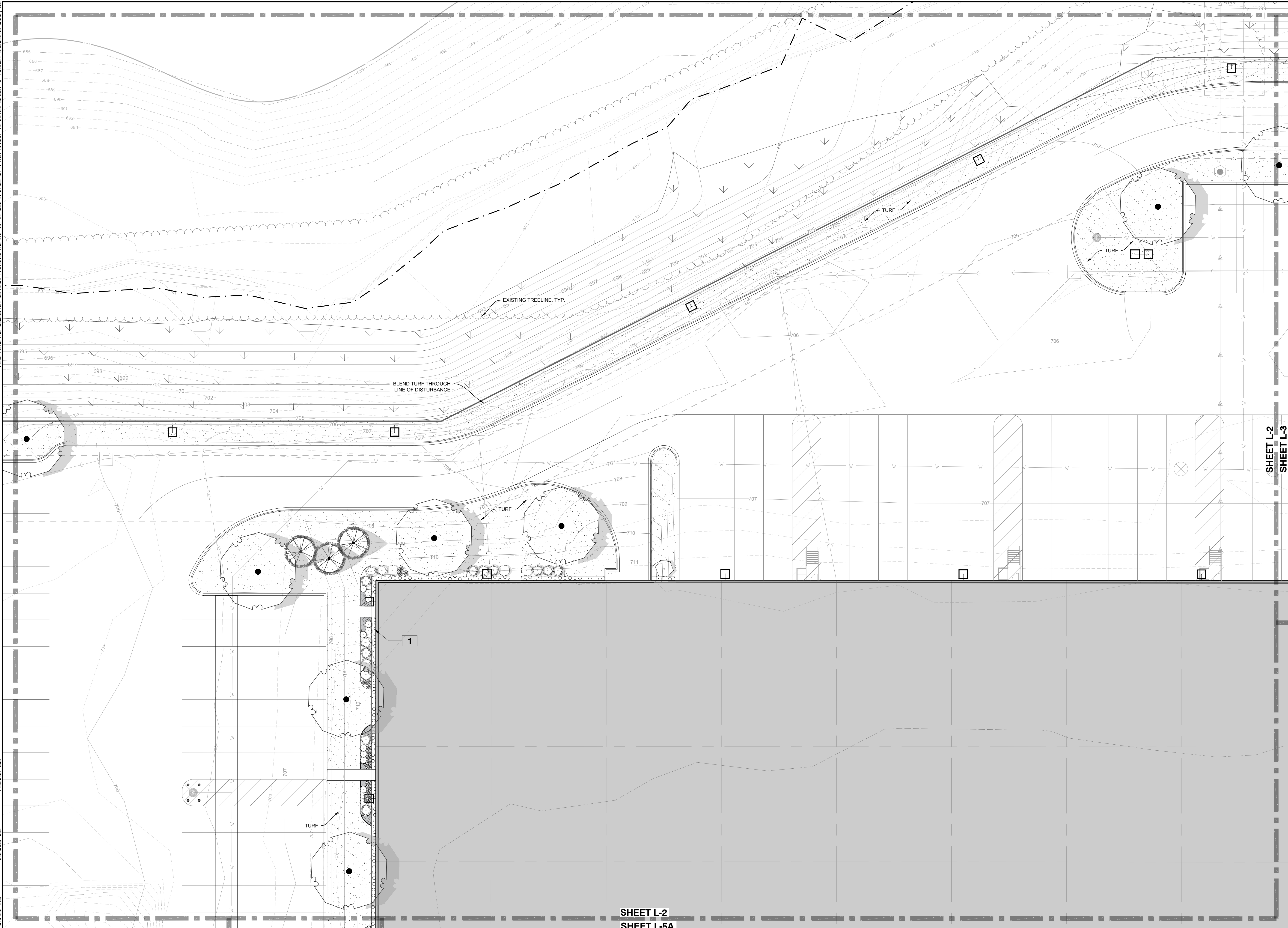
LANDSCAPE OVERVIEW

REG JOB No. 2122-00-11
REG PM BDI
START DATE 12/15/22
SCALE 1" = 80'

SHEET
L-1
OF
L-9

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DESIGNED: JSJ
DRAFTED: JSJ
REVIEWED: LUB



PLANT KEY

TREES

BOTANICAL / COMMON NAME
POSSIBLE PLANT SELECTION

SHADE TREE

Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

ORNAMENTAL TREE

Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadine
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c 'I' / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE

Juniperus virginiana 'Canaerti' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS

BOTANICAL / COMMON NAME

LARGE EVERGREEN SHRUB

Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'Bailohn' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

LARGE DECIDUOUS SHRUB

Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntoni' / Taunton Yew

MEDIUM DECIDUOUS SHRUB

Aronia m 'Elati' / Glossy Black Chokeberry
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac

LOW EVERGREEN SHRUB

Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffalo' / Buffalo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetspire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMNURPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac

TALL ORNAMENTAL GRASS

Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

SHORT ORNAMENTAL GRASS

Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

BOTANICAL / COMMON NAME

PERENNIALS
VARIOUS SPECIES

TURF

BOTANICAL / COMMON NAME

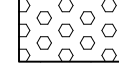
Turf Hydroseed /
Drought Tolerant Fescue Blend

Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL

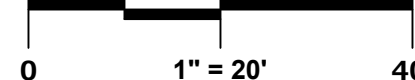
DESCRIPTION



1 RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)



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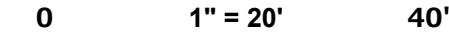
LANDSCAPE ENLARGEMENT

REC JOB No. 2132.00-11
BID
REG PM
START DATE 12/15/22
SCALE 1" = 20'

SHEET
L-2
OF
L-9

Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

1 RODENT STRIP- # 1 CLEAR STONE



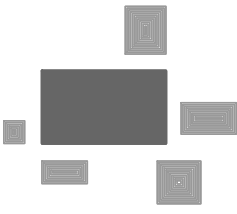
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SHEET L-3
SHEET L-4

DESIGNED: JUS

DRAFTED: JUS

REVIEWED: JUS



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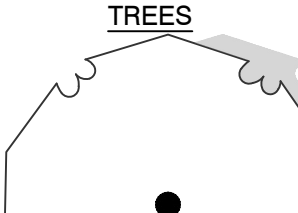
LANDSCAPE ENLARGEMENT

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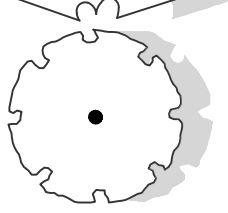
SHEET
L-4
OF
L-9

PLANT KEY

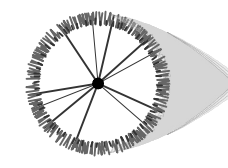
TREES



SHADE TREE
Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

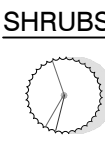


ORNAMENTAL TREE
Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadenberry
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c 'I' / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa r 'Bailance' / Snowdance Japanese Tree Lilac

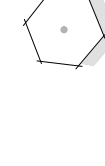


EVERGREEN TREE
Juniperus virginiana 'Canaertii' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae


SHRUBS




LARGE EVERGREEN SHRUB
Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'BailJoht' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae




LARGE DECIDUOUS SHRUB
Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark




MEDIUM EVERGREEN SHRUB
Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntoni' / Tauton Yew




MEDIUM DECIDUOUS SHRUB
Aronia m 'Elata' / Glossy Black Chokeberry
Hydrangea o 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac



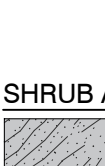
LOW EVERGREEN SHRUB
Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffalo' / Buffalo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae



SMALL DECIDUOUS SHRUB
Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetpire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMJURPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac

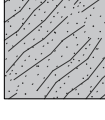


TALL ORNAMENTAL GRASS
Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

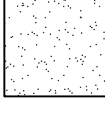


SHORT ORNAMENTAL GRASS
Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed


SHRUB AREAS



SHRUB AREAS
PERENNIALS
VARIOUS SPECIES

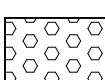


TURF
Turf Hydroseed /
Drought Tolerant Fescue Blend



Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	1 RODENT STRIP- # 1 CLEAR STONE

GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

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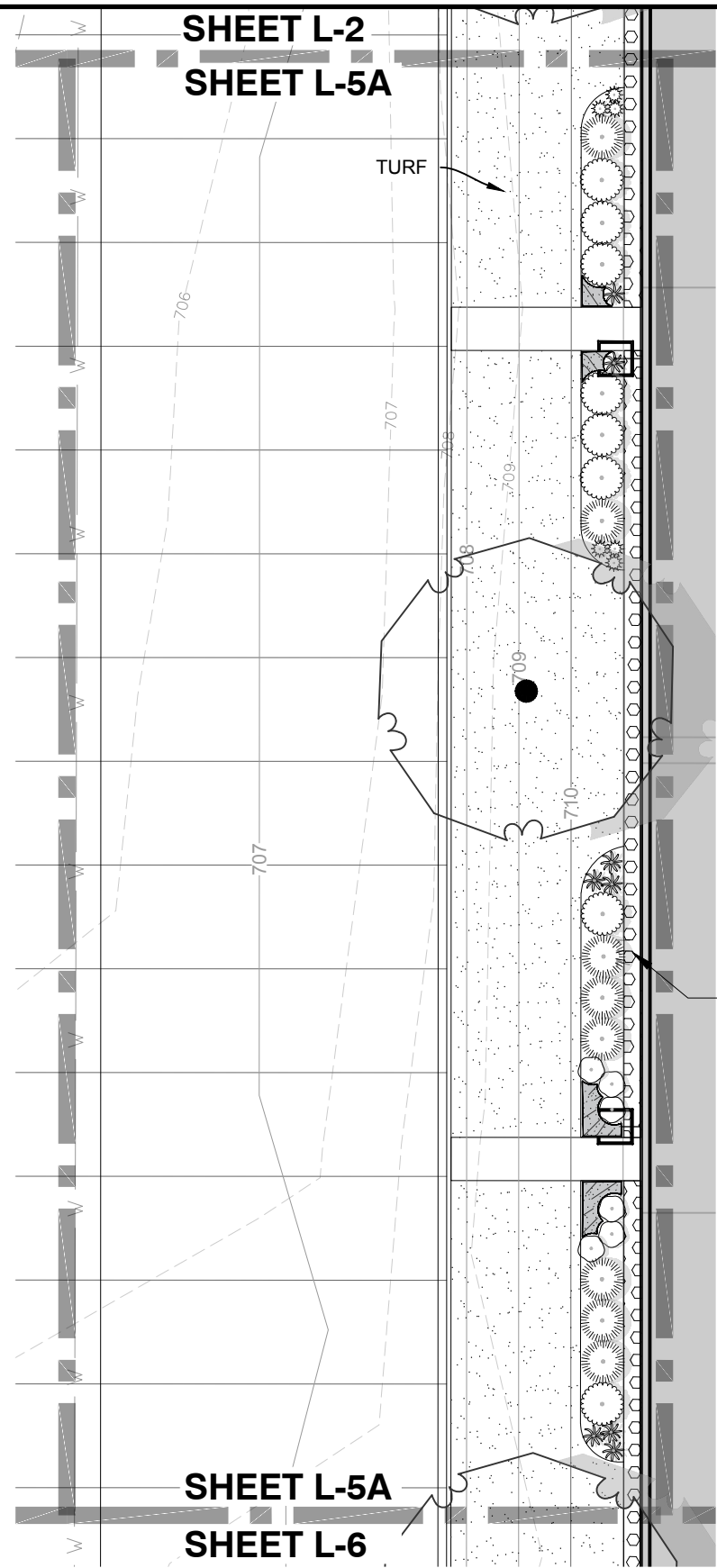
LANDSCAPE ENLARGEMENT

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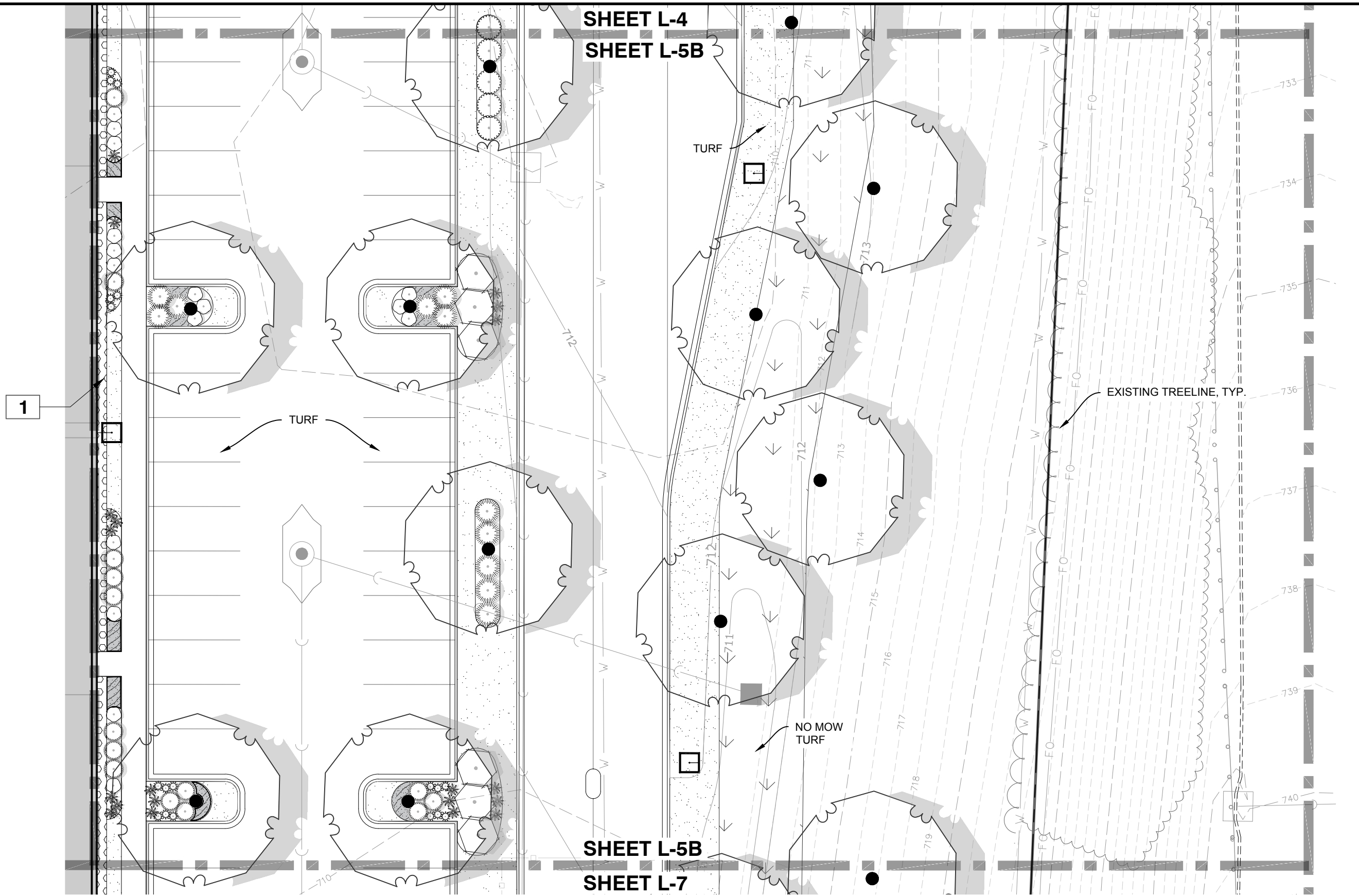
REVISED: DUB

DESIGNED: JSJ

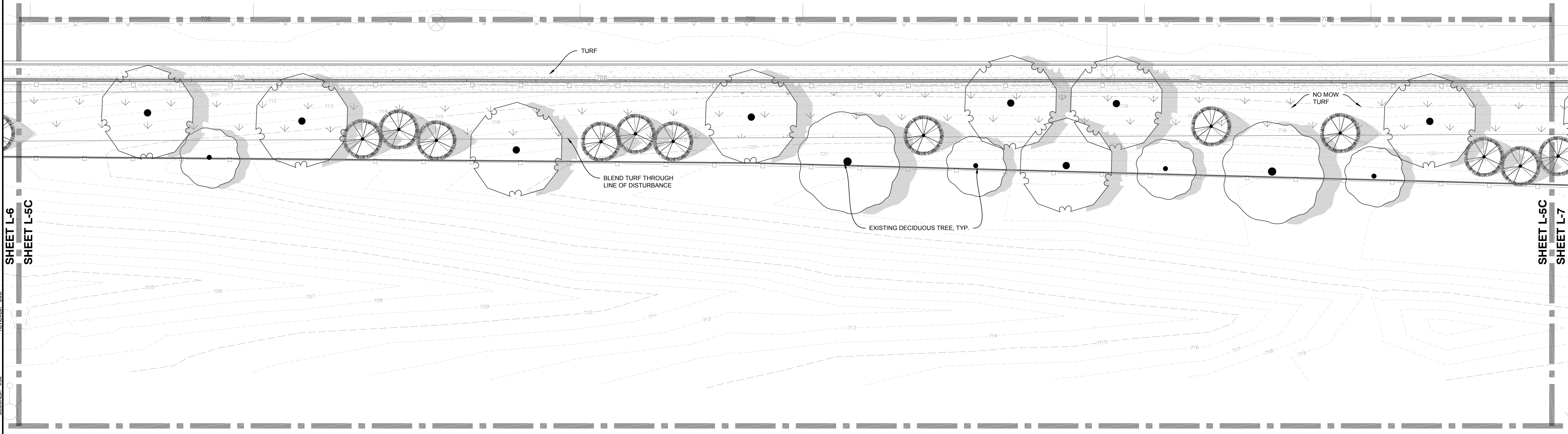
DRAFTED: JSJ



ENLARGEMENT L-5A
SCALE: 1"=20'



ENLARGEMENT L-5B
SCALE: 1"=20'



ENLARGEMENT L-5C
SCALE: 1"=20'

PLANT KEY

TREES

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
SHADE TREE	
Acer freemanii 'A F' / Autumn Fantasy Maple	
Acer saccharum / Sugar Maple	
Gleditsia t 'Shademaster' / Shademaster Locust	
Gymnocladus dioica / Kentucky Coffee Tree	
Quercus x schuetti / Swamp Bur Oak	
Tilia tomentosa 'Sterling' / Sterling Silver Linden	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
ORNAMENTAL TREE	
Amelanchier g 'A B' / Autumn Brilliance Serviceberry	
Carpinus c 'JN Strain' / Fire King Muscadenwood	
Cercis canadensis / Eastern Redbud Multi-stem	
Cornus mas 'G G' / Golden Glory Corneliancherry	
Crataegus c 'I' / Thornless Cockspur Hawthorn	
Malus 'Prairie Maid' / Prairie Maid Crabapple	
Malus 'R R' / Royal Raindrops Crabapple	
Malus 'Shotzart' / Showtime Crabapple	
Syringa 'Bailance' / Snowdance Japanese Tree Lilac	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
EVERGREEN TREE	
Juniperus virginiana 'Canaertii' / Canaerti Juniper	
Picea abies / Norway Spruce	
Picea glauca 'Densata' / Black Hills Spruce	
Picea omorika / Serbian Spruce	
Pinus strobus / White Pine	
Pinus sylvestris / Scotch Pine	
Thuja occidentalis 'G G' / Green Giant Arborvitae	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
SHRUBS	
LARGE EVERGREEN SHRUB	
Juniperus c 'JN. Select Blue' / Star Power Juniper	
Juniperus c 'Mountbatten' / Mountbatten Juniper	
Thuja occidentalis 'BailJohn' / Technito Arborvitae	
Thuja occidentalis 'Nigra' / Dark Green Arborvitae	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
LARGE DECIDUOUS SHRUB	
Aronia a 'Brilliantissima' / Brilliant Red Chokeberry	
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush	
Physocarpus o 'Center Glow' / Center Glow Ninebark	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
MEDIUM EVERGREEN SHRUB	
Juniperus c 'Sea Green' / Sea Green Juniper	
Juniperus c 'Sea of Gold' / Sea of Gold Juniper	
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper	
Picea abies 'Pumila' / Pumila Spruce	
Taxus x media 'Tauntonii' / Taunton Yew	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
MEDIUM DECIDUOUS SHRUB	
Aronia m 'Elata' / Glossy Black Chokeberry	
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea	
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose	
Salix purpurea 'C B' / Canyon Blue Arctic Willow	
Sambucus nigra 'Black Lace' / Black Lace Elderberry	
Syringa meyeri 'Palibin' / Dwarf Korean Lilac	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
LOW EVERGREEN SHRUB	
Juniperus h 'Youngstown' / Andorra Juniper	
Juniperus sabina 'Buffalo' / Buffalo Juniper	
Pinus mugo 'Slowmound' / Slowmound Mugo Pine	
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
SMALL DECIDUOUS SHRUB	
Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood	
Hydrangea paniculata 'Bobo' / Bobo Hydrangea	
Itea virginica 'Little Henry' / Little Henry Sweetpire	
Spiraea 'A W' / Anthony Waterer Spiraea	
Spiraea 'Magic Carpet' / Magic Carpet Spirea	
Syringa x 'SMNURPI' / Blooming Dwarf Pink Lilac	
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac	

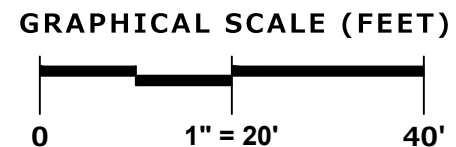
BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
TALL ORNAMENTAL GRASS	
Andropogon 'D W' / Dancing Wind Big Blue Stem	
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed	
Calamagrostis x 'Overdam' / Overdam Reed	
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus	
Panicum virgatum 'Northwind' / Northwind Switch	
Schizachyrium 'B H' / Blue Heaven Little Bluestem	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
SHORT ORNAMENTAL GRASS	
Deschampsia cespitosa / Tufted Hair Grass	
Eragrostis spectabilis / Purple Love Grass	
Sporobolus heterolepis 'Tara' / Prairie Dropseed	

BOTANICAL / COMMON NAME	POSSIBLE PLANT SELECTION
SHRUB AREAS	
PERENNIALS	
VARIOUS SPECIES	
TURF	
Turf Hydroseed /	
Drought Tolerant Fescue Blend	
Turf Hydroseed Low Grow /	
Reinders No Mow/Low Grow Mix	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	RODENT STRIP- # 1 CLEAR STONE



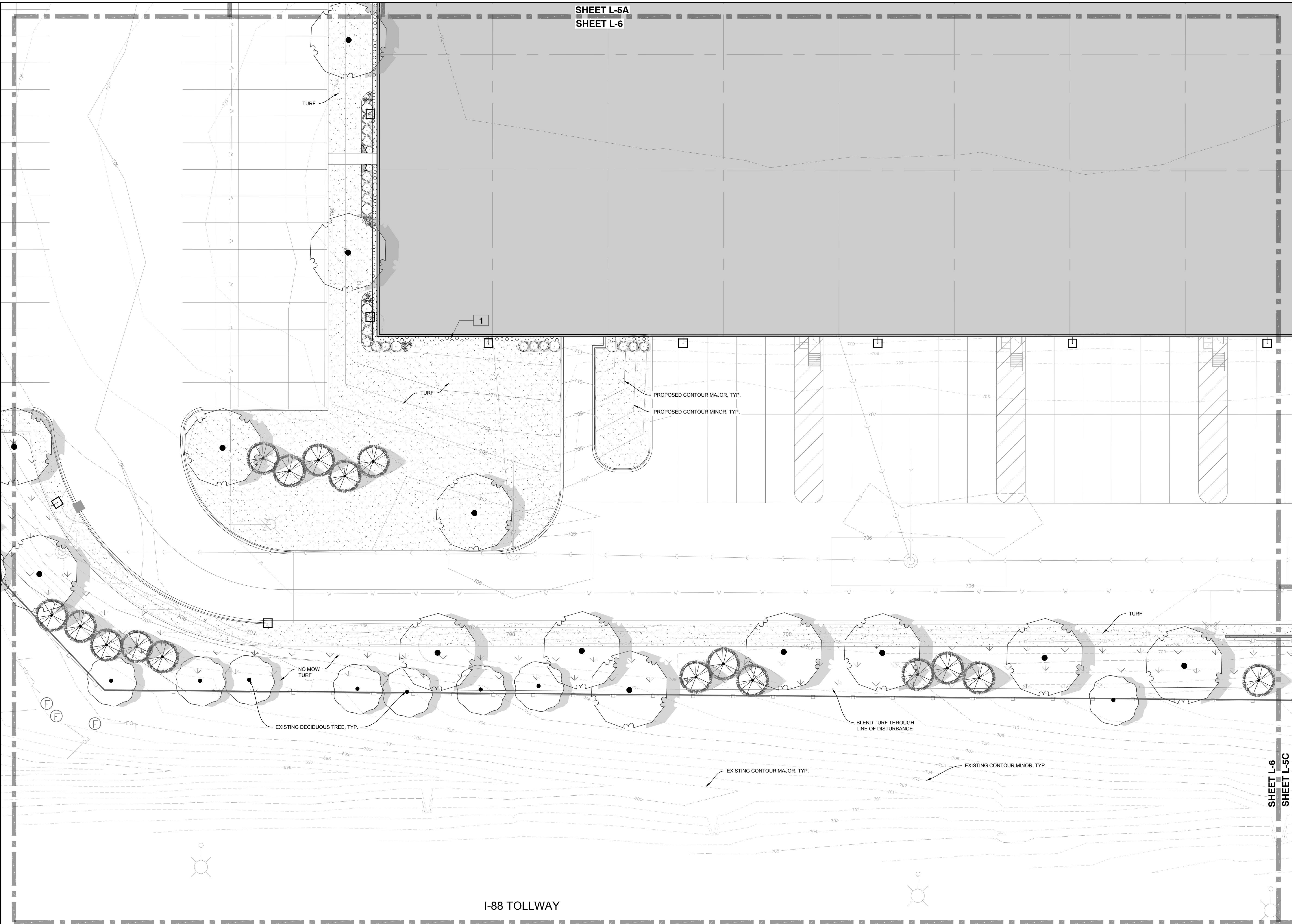
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REVIEWED: DUB

DESIGNED: JSJ

DRAWN: JSJ

SHEET L-5A
SHEET L-6



PLANT KEY

TREES

BOTANICAL / COMMON NAME
POSSIBLE PLANT SELECTION

SHADE TREE

Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t i 'Shademaster' / Shademaster Locust
Gymnocladus dioicus / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

ORNAMENTAL TREE

Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadewood
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c i / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa r 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE

Juniperus virginiana 'Canaerti' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS

BOTANICAL / COMMON NAME

LARGE EVERGREEN SHRUB

Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'BailJohn' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

LARGE DECIDUOUS SHRUB

Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntoni' / Tauton Yew

MEDIUM DECIDUOUS SHRUB

Aronia m 'Elata' / Glossy Black Chokeberry
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac

LOW EVERGREEN SHRUB

Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffalo' / Buffalo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

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Spiraea j 'Magic Carpet' / Magic Carpet Spirea
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SHORT ORNAMENTAL GRASS

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Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

BOTANICAL / COMMON NAME

PERENNIALS

VARIOUS SPECIES

TURF

BOTANICAL / COMMON NAME

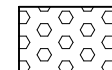
Turf Hydroseed /
Drought Tolerant Fescue Blend

Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL

DESCRIPTION



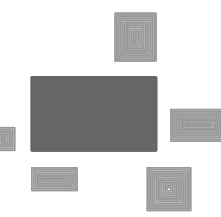
1 RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

I-88 TOLLWAY



PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

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NORTH AURORA, ILLINOIS

REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			

LANDSCAPE ENLARGEMENT

REG JOB No. 2122.00-LL

REG PM BJD

START DATE 12/15/22

SCALE 1" = 20'

SHEET

L-6

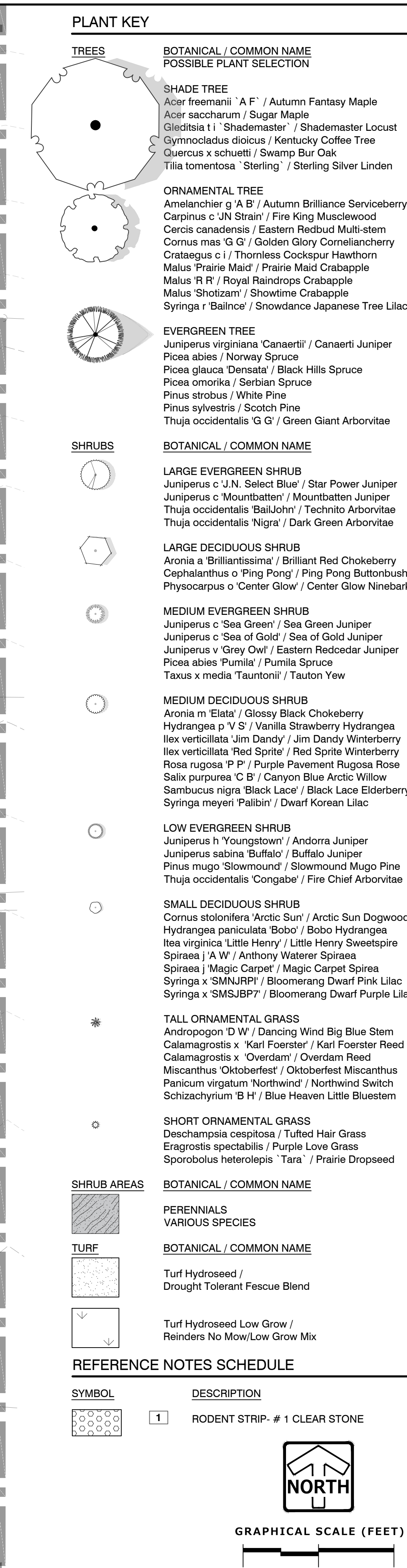
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LANDSCAPE ENLARGEMENT

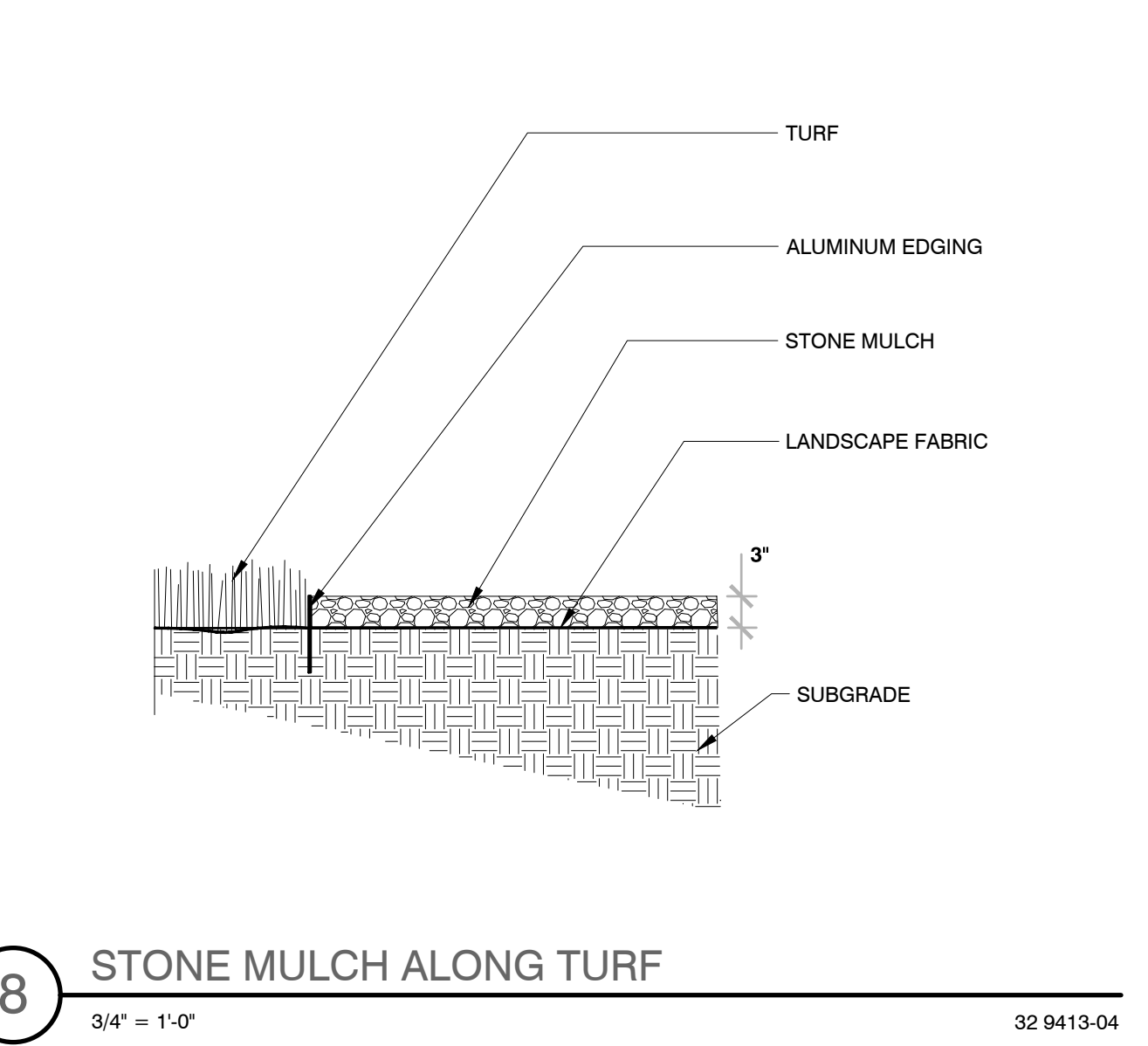
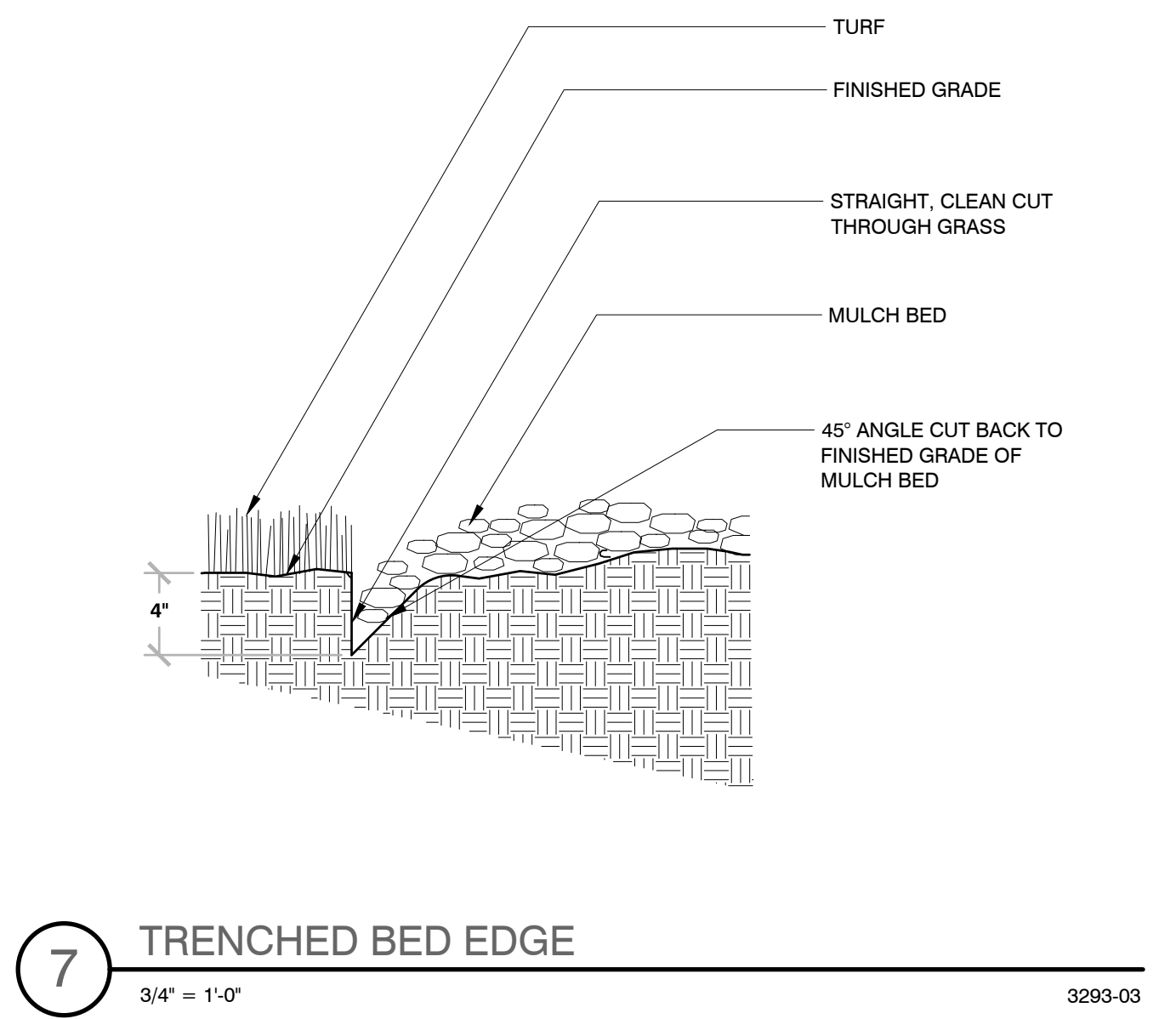
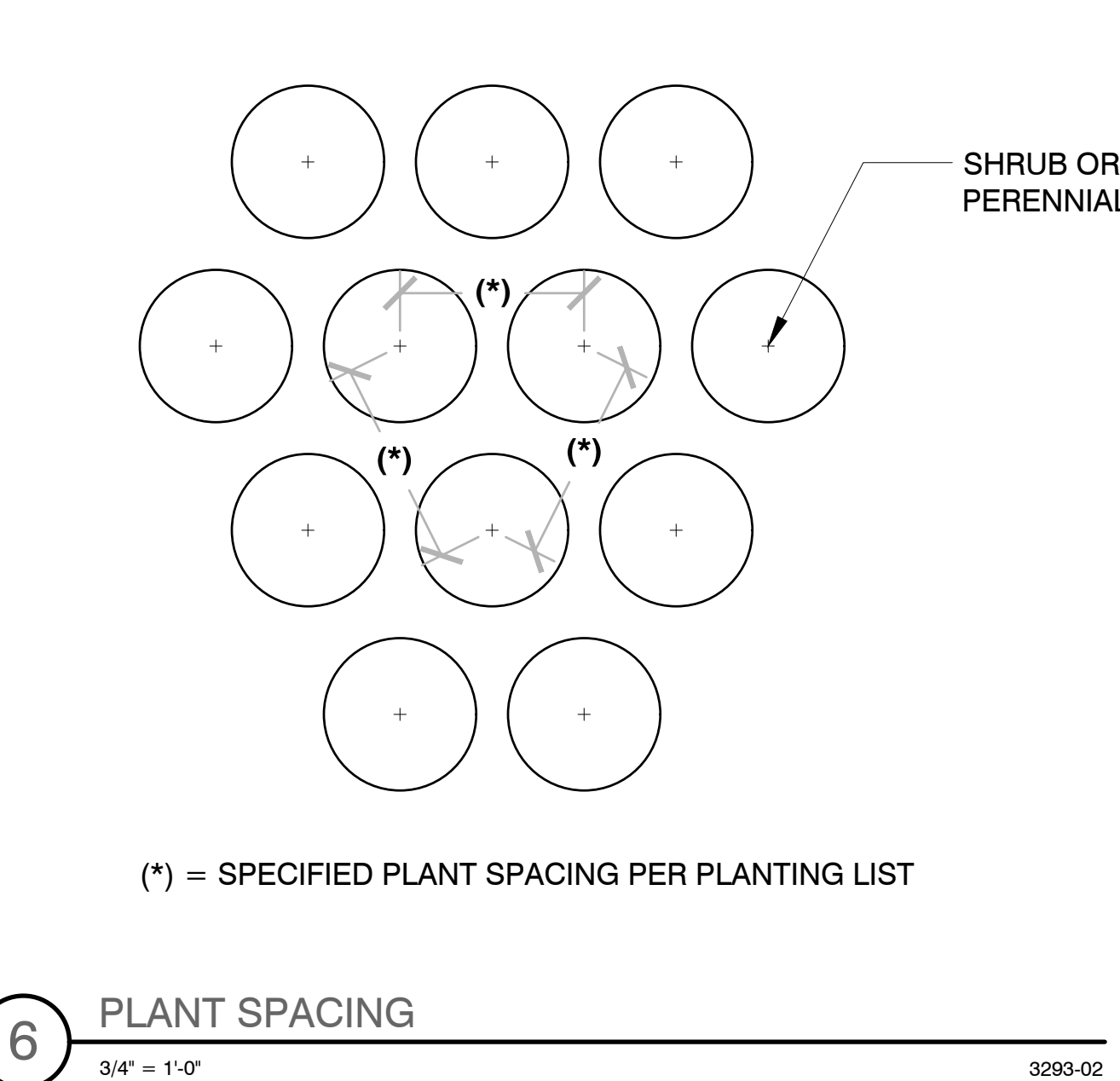
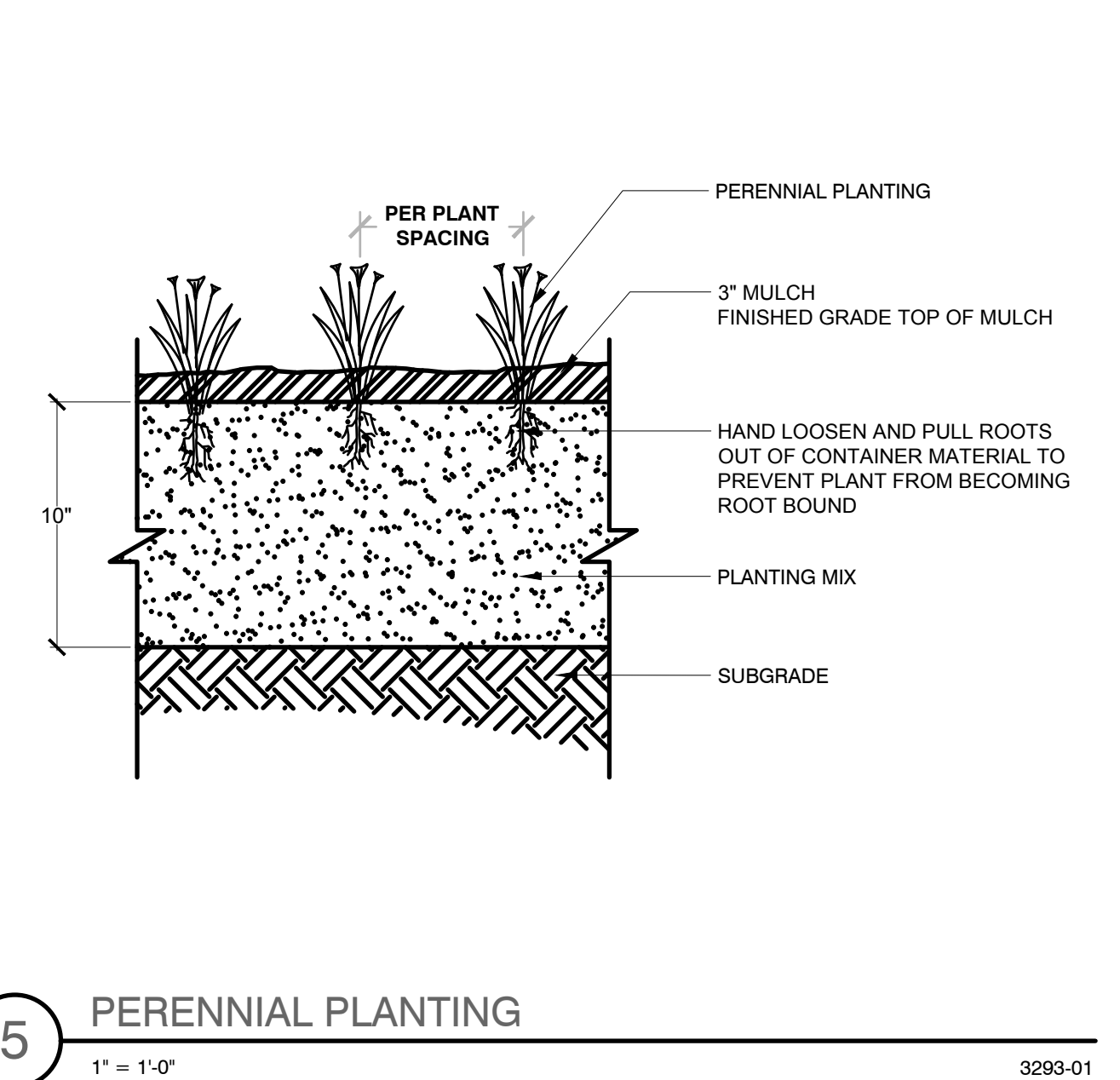
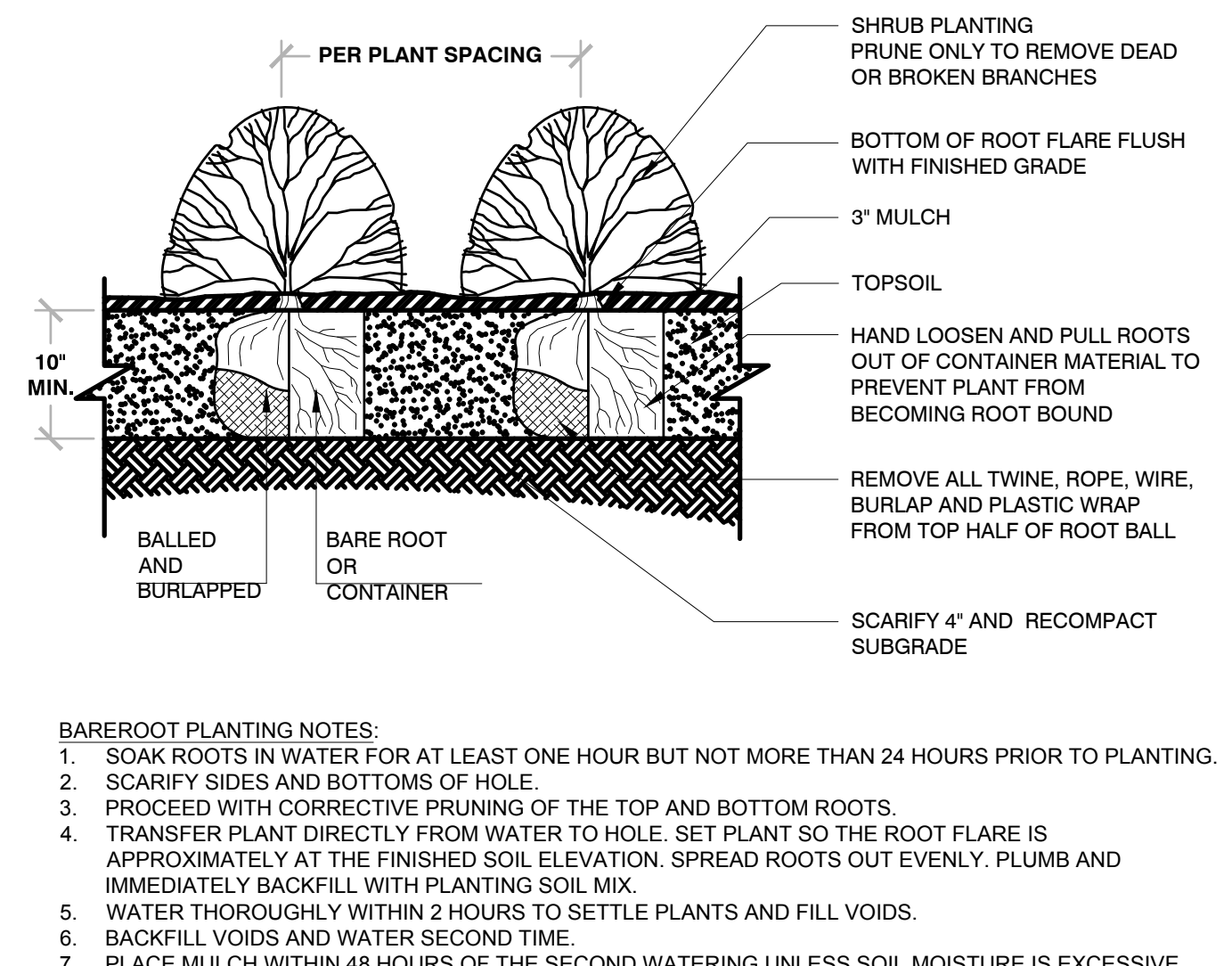
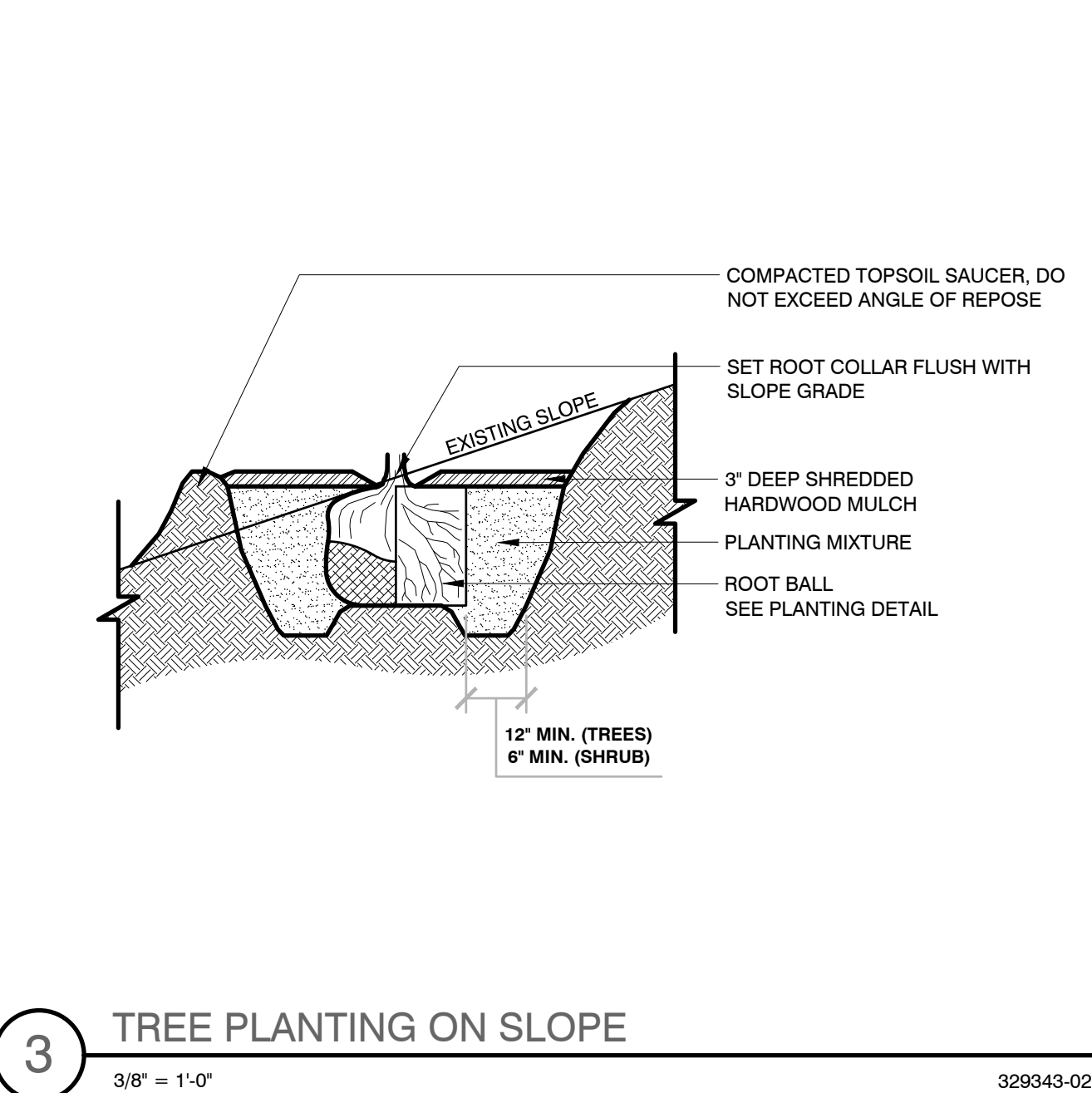
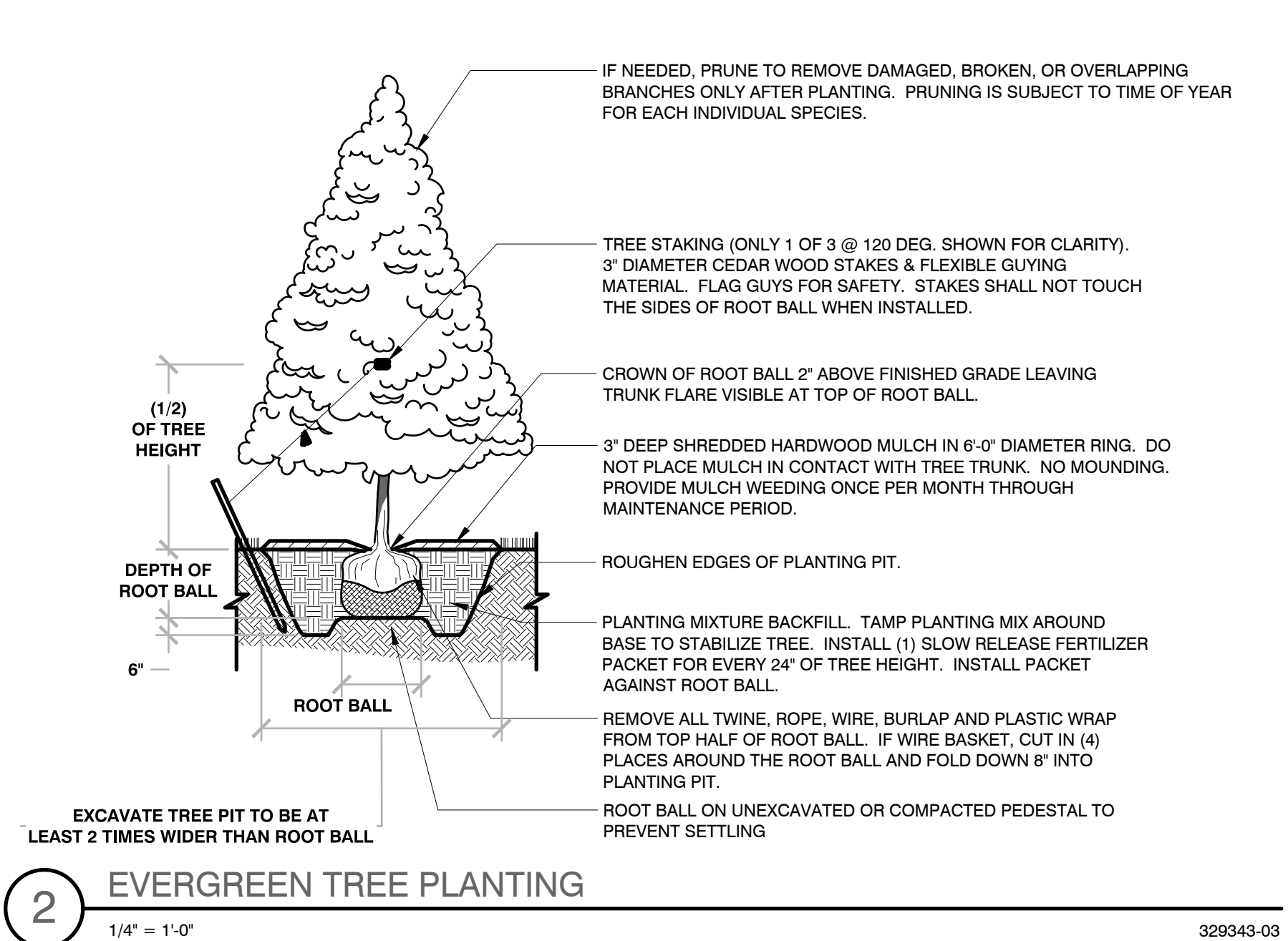
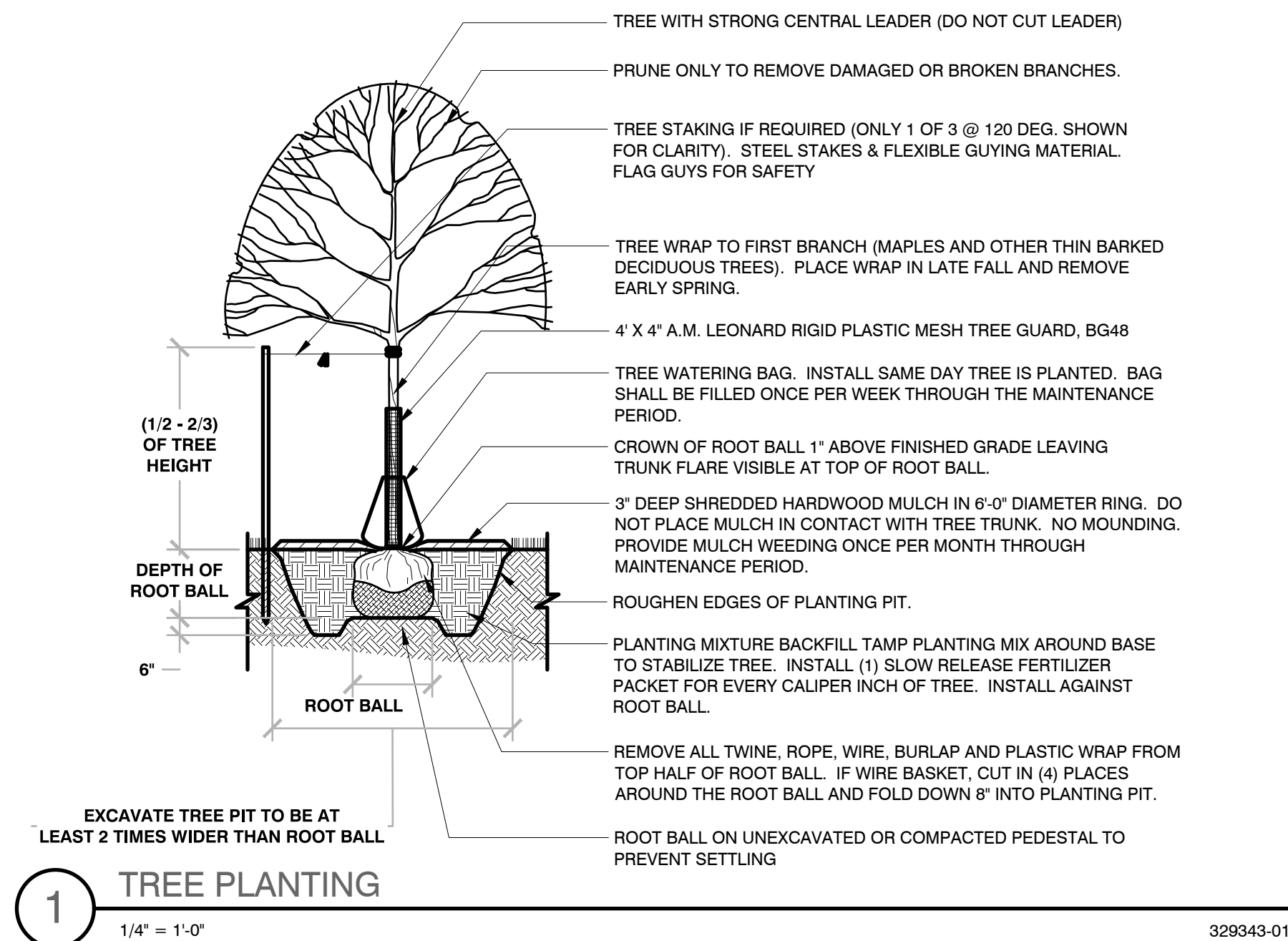
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DESIGNED: JUSJ
DRAWN: JUSJ
CHECKED: JUSJ
DATE: 01/15/22

DESIGNED: JUSJ
DRAWN: JUSJ
CHECKED: JUSJ
DATE: 01/15/22



REVISIONS			
1	P.U.D. SUBMITTAL	01/31/23	

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GENERAL PLANTING NOTES

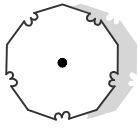
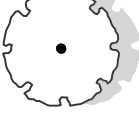
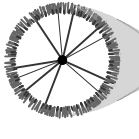
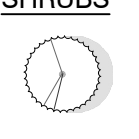

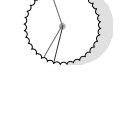


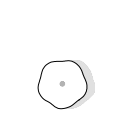

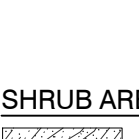
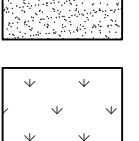
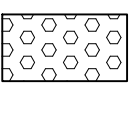
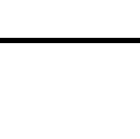

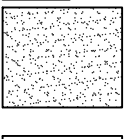
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL ¾ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT J.U.L.I.E.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

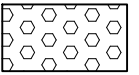
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

	LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
SECTION 14.5	GREEN SPACE 157,337 SQ FT • TREE 1/1000 SQ FT	158	194
SECTION 14.8	PARKING LOTS PERIMETER 1,260 FT • TREES • SHRUBS • EVERGREEN • NOTE: PARKING INTERIOR INCLUDED	32 158 20%	37 162 42%
SECTION 14.9	PARKING INTERIOR TREES • TREES • NOTE: PARKING AREA INCLUDED	14	14

PLANT SCHEDULE

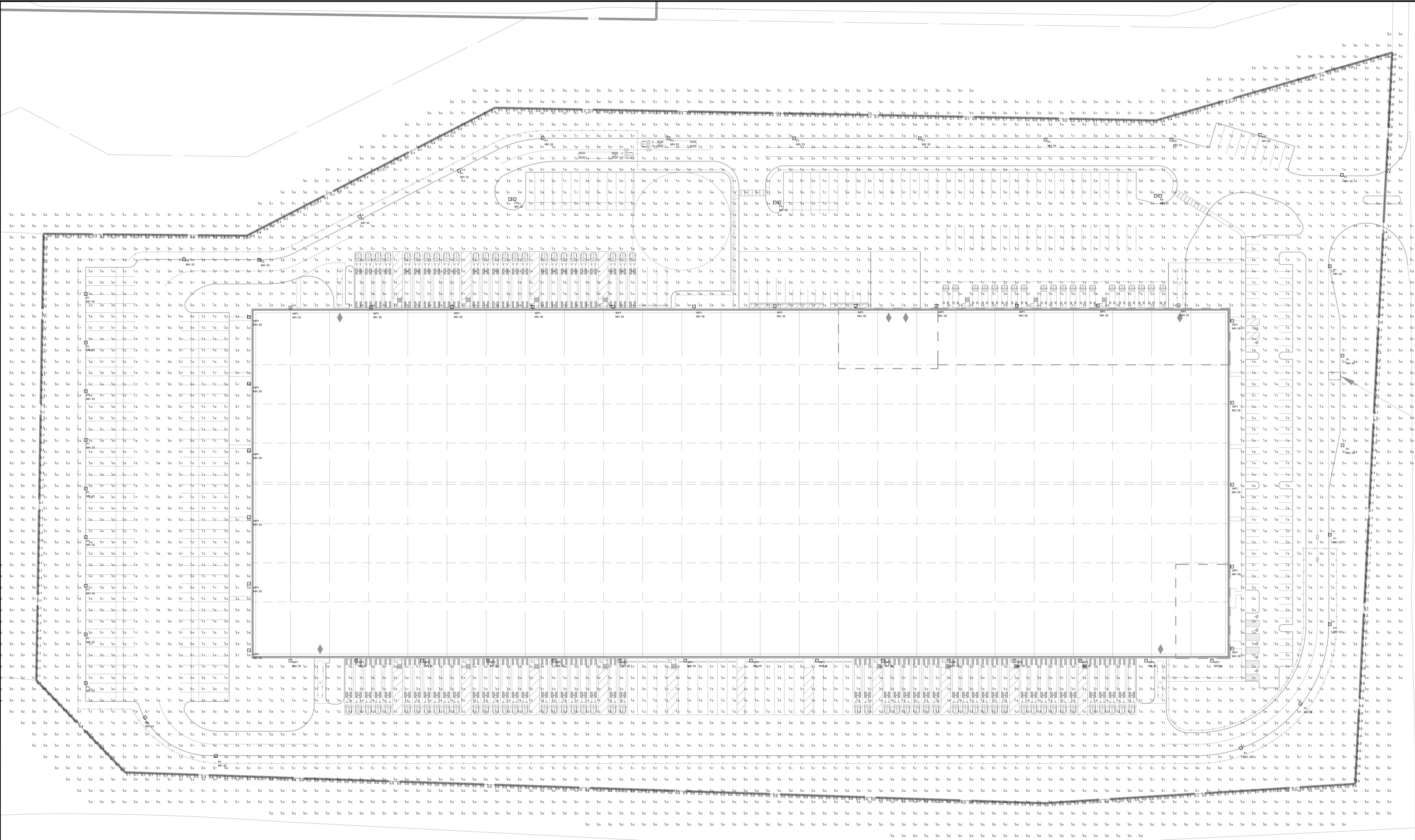
TREES	QTY	BOTANICAL NAME POSSIBLE VARIETIES	COMMON NAME	SIZE	REMARKS
	91	SHADE TREE			
		Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' Cal.	50' T x 40' W
		Acer saccharum	Sugar Maple	2.5' Cal.	60' T x 45' W
		Gleditsia triacanthos inermis 'Shademaster'	Shademaster Locust	2.5' Cal.	60' T x 50' W
		Gymnocladus dioicus	Kentucky Coffee Tree	2.5' Cal.	70' T x 45' W
	18	Quercus x schuetti	Swamp Bur Oak	2.5' Cal.	70' T x 65' W
		Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5' Cal.	45' T x 35' W
		ORNAMENTAL TREE			
		Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Ht.	20' T x 20' W
		Carpinus caroliniana 'JN Strain'	Fire King Musclewood	6' Ht.	30' T x 30' W
	85	Cercis canadensis	Eastern Redbud Multi-stem	6' Ht.	25' T x 25' W
		Cornus mas 'Golden Glory'	Golden Glory Corneliancherry	6' Ht.	17' T x 17' W
		Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	6' Ht.	15' T x 15' W
		Malus x 'Prairie Maid'	Prairie Maid Crabapple	6' Ht.	20' T x 25' W
		Malus x 'Royal Raindrops'	Royal Raindrops Crabapple - Multi-Stem	6' Ht.	20' T x 25' W
	2	Malus x 'Shotizam'	Showtime Crabapple	6' Ht.	25' T x 20' W
		Syringa reticulata 'Bailnce'	Snowdance Japanese Tree Lilac	6' Ht.	20' T x 20' W
		EVERGREEN TREE			
		Juniperus virginiana 'Canaerti'	Canaerti Juniper	6' Ht.	25' T x 13' W
		Picea abies	Norway Spruce	6' Ht.	60' T x 28' W
	20	Picea glauca 'Densata'	Black Hills Spruce	6' Ht.	30' T x 15' W
		Picea omorika	Serbian Spruce	6' Ht.	55' T x 23' W
		Pinus strobus	White Pine	6' Ht.	65' T x 30' W
		Pinus sylvestris	Scotch Pine	6' Ht.	45' T x 35' W
		Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	6' Ht.	50' T x 15' W
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	2	LARGE EVERGREEN SHRUB			
		Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4' Ht.	16' T x 8' W
		Juniperus chinensis 'Mountbatten'	Mountbatten Juniper	4' Ht.	15' T x 5' W
		Thuja occidentalis 'BailJohn'	Technito Arborvitae	4' Ht.	12' T x 5' W
		Thuja occidentalis 'Nigra'	Dark Green Arborvitae	4' Ht.	20' T x 8' W
	92	LARGE DECIDUOUS SHRUB			
		Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	3' Ht.	7' T x 6' W
		Cephalanthus occidentalis 'Ping Pong'	Ping Pong Buttonbush	3' Ht.	8' T x 8' W
		Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	3' Ht.	8' T x 8' W
		MEDIUM EVERGREEN SHRUB			
	54	Juniperus chinensis 'Sea Green'	Sea Green Juniper	18" Ht.	5' T x 5' W
		Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	18" Ht.	3' T x 4' W
		Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	18" Ht.	3' T x 5' W
		Picea abies 'Pumila'	Pumila Spruce	18" Ht.	3' T x 4' W
		Taxus x media 'Tauntonii'	Tauton Yew	18" Ht.	4' T x 5' W
	30	MEDIUM DECIDUOUS SHRUB			
		Aronia melanocarpa 'Elata'	Glossy Black Chokeberry	18" Ht.	5' T x 5' W
		Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18" Ht.	6' T x 5' W
		Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	18" Ht.	5' T x 5' W
		Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	18" Ht.	5' T x 5' W
	82	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	18" Ht.	5' T x 5' W
		Salix purpurea 'Canyon Blue'	Canyon Blue Arctic Willow	18" Ht.	5' T x 5' W
		Sambucus nigra 'Black Lace'	Black Lace Elderberry	18" Ht.	6' T x 6' W
		Syringa meyeri 'Palibin'	Dwarf Korean Lilac	18" Ht.	5' T x 5' W
		LOW EVERGREEN SHRUB			
	48	Juniperus horizontalis 'Youngstown'	Andorra Juniper	18" W	10" T x 60" W
		Juniperus sabina 'Buffalo'	Buffalo Juniper	18" W	1' T x 7' W
		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	18" W	3' T x 3' W
		Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	18" Ht.	2' T x 3' W
		SMALL DECIDUOUS SHRUB			
	122	Cornus stolonifera 'Arctic Sun'	Arctic Sun Dogwood	18" Ht.	3' T x 3' W
		Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18" Ht.	3' T x 4' W
		Itea virginica 'Little Henry'	Little Henry Sweetspire	18" Ht.	3' T x 3' W
		Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	18" Ht.	3' T x 4' W
		Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	18" Ht.	2' T x 3' W
	48	Syringa x 'SMNJRPJ'	Bloomerang Dwarf Pink Lilac	18" Ht.	4' T x 3' W
		Syringa x 'SMSJBP7'	Bloomerang Dwarf Purple Lilac	3 gal.	4' T x 3' W
		TALL ORNAMENTAL GRASS			
		Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem	1 gal.	36" T x 30" W
		Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.	36" T x 24" W
	508 sf	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24" T x 24" W
		Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W
		Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	42" T x 28" W
		Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem Grass	1 gal.	30" T x 28" W
		SHORT ORNAMENTAL GRASS			
	117,395 sf	Deschampsia cespitosa	Tufted Hair Grass	1 gal.	24" T x 30" W
		Eragrostis spectabilis	Purple Love Grass	1 gal.	24" T x 18" W
		Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	15" T x 20" W
		SHRUB AREAS			
		PERENNIALS	VARIOUS SPECIES	4.5" cont.	
TURF	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	124,316 sf	Turf Hydroseed	Drought Tolerant Fescue Blend		
		Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix		





REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	RODENT STRIP. # 1 CLEAR STONE	24.31 cy	8/L-8

REVISIONS			
1	P.U.D. SUBMITTAL	01/31/23	

LANDSCAPE GENERAL NOTES



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	BUG Rating
	25	P1	Single	RSX2 LED P4 50K R4 EGS	0.900	21681	189 5392	B3-U2-G3
	5	P2	Single	RSX2 LED P2 50K R2	0.900	17266	114.071	B2-U0-G2
	3	P3	Back-Back	RSX2 LED P4 50K R4 EGS	0.900	21681	189 5392	B3-U2-G3
	38	WP1	Single	RSX2 LED P4 50K R4 EGS	0.900	21681	189 5392	B3-U2-G3

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcType: 1			1.15	6.7	0.0	N.A.
PROPERTY LINE	Illuminance	Fc	0.10	0.5	0.0	N.A.
East Auto Parking	Illuminance	Fc	1.87	3.5	0.4	4.68
East Truck Road	Illuminance	Fc	2.38	4.5	1.4	3.21
North Dock and Trailer Parking	Illuminance	Fc	1.56	6.3	0.2	7.80
North Truck Road	Illuminance	Fc	1.86	6.2	0.5	3.72
PAVED AREA	Illuminance	Fc	1.80	6.7	0.2	9.00
South Dock Stalls	Illuminance	Fc	2.00	4.3	0.8	2.50
West Trailer Parking	Illuminance	Fc	1.87	5.1	0.4	4.68

EXTERIOR PHOTOMETRIC

SCALE

SCALE

ILLUMINATION RESULTS SHOWN ON THIS LIGHTING DESIGN ARE BASED ON PROJECT PARAMETERS PROVIDED TO JAN ELECTRIC LLC USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM THESE DESIGN PARAMETERS MAY AFFECT FIELD RESULTS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONAL ACCURACY ALONG WITH COMPLIANCE WITH ANY ELECTRICAL, LIGHTING, OR ENERGY CODE.

MITCHELL ROAD INDUSTRIAL PROJECT

400 MITCHELL ROAD

NORTH AURORA, IL

JAN ELECTRIC
COMMERCIAL & INDUSTRIAL

500 E. Plainfield Road
Countryside, IL 60525
O: (708) 639-4500
F: (708) 639-4477

DRAWN BY: MPM
DATE: 12/15/22
PAPER SIZE: 30x42
PLOT SCALE: 1:1
DWG SCALE: NOTED
JOB NUMBER:

SHEET NO.

E-0.1

12/19/22
FOR PERMIT
DESCRIPTION
1
REV

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC
2/10/2023 8:07 AM - Z:\Projects\2020\0132-00-ILL\312 - ENGINEERING\FINAL SHEETS\C-1 COVER SHEET.dwg
REVIEWED: BDJ
DESIGNED: AJS
DRAWN: AJS

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
INLET		
PRECAST FLARED END SECTION		
CONCRETE HEADWALL		
VALVE VAULT		
VALVE BOX		
FIRE HYDRANT		
BUFFALO BOX		
CLEANOUT		
SANITARY SEWER		
FORCE MAIN		
STORM SEWER		
WATER MAIN		
UTILITY CROSSING		
GRANULAR TRENCH BACKFILL		
LIGHTING		
ELECTRICAL CABLE		
ELECTRICAL TRANSFORMER OR PEDESTAL		
POWER POLE		
POWER POLE WITH LIGHT		
GUY WIRE		
STREET SIGN		
GAS MAIN		
TELEPHONE LINE		
CONTOUR		
SPOT ELEVATION		
WETLANDS		
FLOODWAY		
FLOODPLAIN		
HIGH WATER LEVEL (HWL)		
NORMAL WATER LEVEL (NWL)		
DIRECTION OF SURFACE FLOW		
DITCH OR SWALE		
DIVERSION SWALE		
OVERFLOW RELIEF ROUTING		
TREE WITH TRUNK SIZE		
SOIL BORING		
TOPSOIL PROBE		
FENCE LINE, TEMPORARY SILT		
FENCE LINE, WIRE		
FENCE LINE, CHAIN LINK OR IRON		
FENCE LINE, WOOD OR PLASTIC		
CONCRETE SIDEWALK		
CURB AND GUTTER		
DEPRESSED CURB		
REVERSE PITCH CURB & GUTTER		
EASEMENT LINE		
PROPERTY LINE		

ABBREVIATIONS

BL	BASE LINE	PC	POINT OF CURVATURE
C	LONG CHORD OF CURVE	PT	POINT OF TANGENCY
C & G	CURB AND GUTTER	PVI	POINT OF VERTICAL INTERSECTION
CB	CATCH BASIN	R	RADIUS
CL	CENTERLINE	ROW	RIGHT-OF-WAY
D	DEGREE OF CURVE	SAN	SANITARY SEWER
EP	EDGE OF PAVEMENT	ST	STORM SEWER
FF	FINISHED FLOOR	T	TANGENCY OF CURVE
FG	FINISHED GRADE	TB	TOP OF BANK
FL	FLOW LINE	TF	TOP OF FOUNDATION
FP	FLOODPLAIN	TP	TOP OF PIPE
FR	FRAME	TW	TOP OF SIDEWALK
FW	FLOODWAY	TW	TOP OF WALL
HWL	HIGH WATER LEVEL	BW	BOTTOM OF WALL
INV	INVERT	TC	TOP OF CURB
L	LENGTH OF CURVE	TDC	TOP OF DEPRESSED CURB
MH	MANHOLE	WM	WATER MAIN
NWL	NORMAL WATER LEVEL	Δ	INTERSECTION ANGLE



CONTACTS

PROLOGIS, INC. / LIBERTY ILLINOIS VENTURE, L.P.
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CHICAGO, IL 60654
(847) 292-3900

PINNACLE ENGINEERING GROUP, LLC
BRIAN D. JOHNSON, P.E., CPESC, SENIOR PROJECT MANAGER
1051 EAST MAIN STREET | SUITE 217
EAST DUNDEE, ILLINOIS 60118
(312) 551-5300

VILLAGE OF NORTH AURORA - PUBLIC WORKS
JOHN LASKOWSKI, PUBLIC WORKS DIRECTOR
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 897-8228

VILLAGE OF NORTH AURORA - COMMUNITY DEVELOPMENT
MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
25 EAST STATE STREET
NORTH AURORA, IL 60542
(630) 906-7372

UTILITY CONTACTS

ELECTRIC
COMED (800) 334-7661

NATURAL GAS
NICOR GAS (847) 443-8157

PHONE/CABLE/INTERNET
AT&T (877) 342-6686
COMCAST (800) 266-2278
DIRECTV (800) 531-5000
FRONTIER (800) 921-8102
METRONET (844) 692-6184

BENCHMARKS

REFERENCE BENCHMARKS

NGS MONUMENT IL KANE 32 39 8 (A13008), MONUMENT DESCRIBED AS LOCATED APPROXIMATELY 1.0 MI NORTHWEST OF NORTH AURORA, 2.5 MI SOUTHWEST OF BATAVIA IN SECTION 32, T39N, R8E. TO REACH FROM THE JUNCTION OF IL RT 31 AND MOOSEHEART RD PROCEED WEST ON MOOSEHEART RD APPROXIMATELY 0.7 MILES TO THE STATION LOCATED 65.4 FT NORTH OF CENTERLINE OF MOOSEHEART RD.

DATUM: NAVD88
ELEVATION: 730.75

SITE BENCHMARK 1

CUT CROSS IN CURB NEAR THE NORTHEAST CORNER OF THE SITE.
ELEVATION: 718.03

EXISTING CONDITIONS

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY PINNACLE ENGINEERING GROUP, LTD., INC. ON MAY 26, 2021. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

EXISTING WATER AND SANITARY SHOWN PER RECORD DRAWING. FIELD VERIFY BEFORE CONSTRUCTION.

PRELIMINARY ENGINEERING IMPROVEMENT PLANS

FOR

400 MITCHELL ROAD

400 MITCHELL ROAD

NORTH AURORA, ILLINOIS

PLANS PREPARED

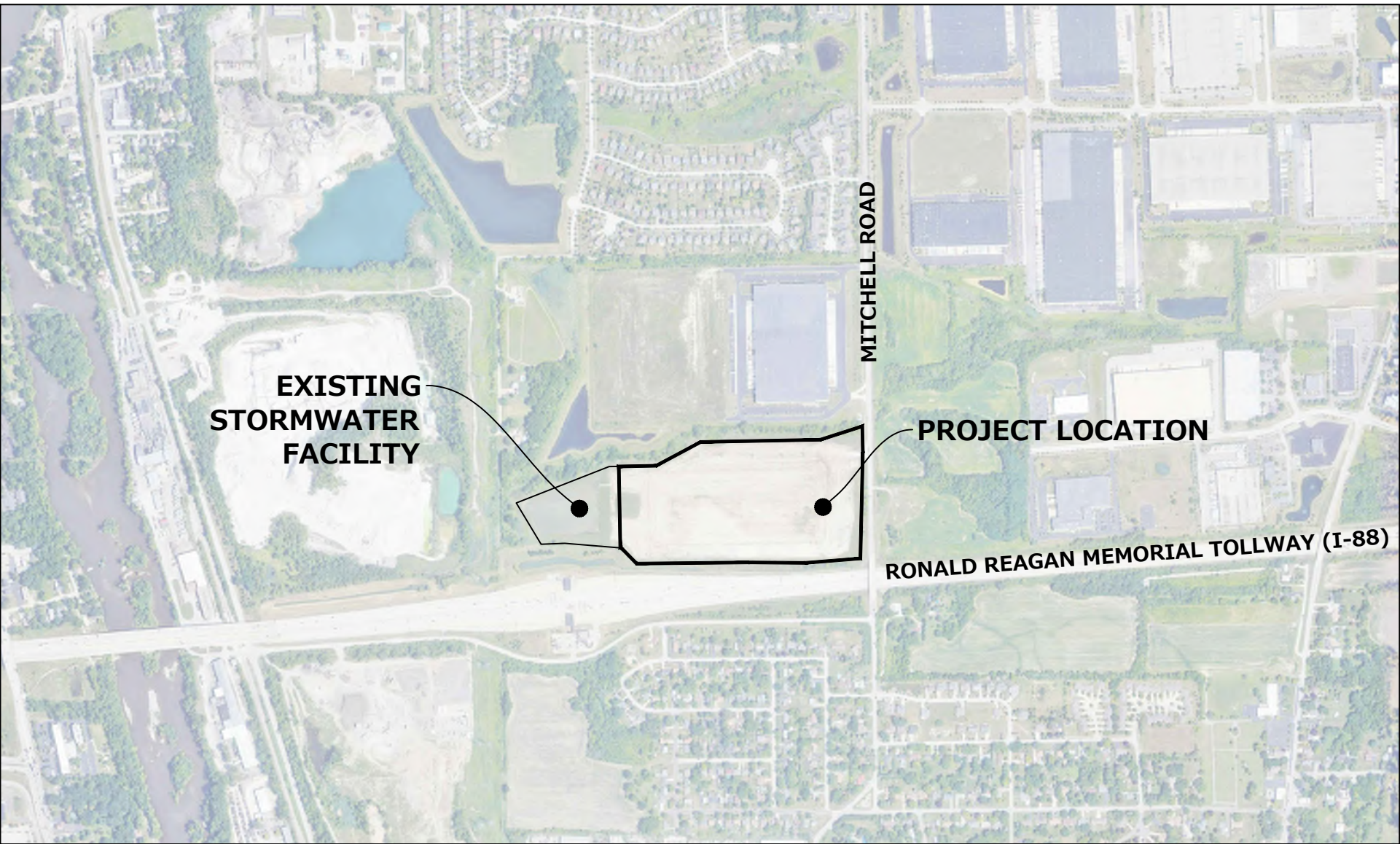
FOR

PROLOGIS/ LIBERTY ILLINOIS VENTURE, L.P.

321 N. CLARK STREET, SUITE 2625

CHICAGO, ILLINOIS 60654

(312) 292-3900



LOCATION MAP

SCALE: 1"=1000'

GENERAL NOTES

- THE VILLAGE OF NORTH AURORA BUILDING & ZONING DIVISION SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO EACH INSPECTION AT (630) 897-1457.
- ALL UTILITY COMPANIES, INCLUDING THE VILLAGE OF NORTH AURORA, SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY, OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
- PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS (LATEST EDITION):
 - VILLAGE OF NORTH AURORA, ILLINOIS UNIFIED DEVELOPMENT ORDINANCE.
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" BY ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
 - OTHER STANDARDS OR SPECIFICATIONS SPECIFICALLY REFERRED TO IN AN INDIVIDUAL PROVISION OF THESE STANDARDS AND SPECIFICATIONS.
 - "ILLINOIS URBAN MANUAL" AS PREPARED BY THE U.S. DEPT. OF AGRICULTURE & IL ASSOCIATION OF SOIL AND WATER CONSERVATION DISTRICTS.
 - KANE COUNTY "STORMWATER ORDINANCE" AS ADOPTED BY THE VILLAGE OF NORTH AURORA.
 - THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC.
 - ALL DOCUMENTS CITED IN THE ABOVE STANDARDS AND SPECIFICATIONS RELEVANT TO THE SUBJECT UNDER CONSIDERATION. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE REFERENCE ITEMS ABOVE AND ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MORE RESTRICTIVE PROVISION(S) SHALL APPLY.
- UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL PROVIDE FINAL "RECORD DRAWINGS" (1 MYLAR SEPIA REPRODUCIBLE, SIGNED AND SEALED BY THE ENGINEER) OF ALL UTILITIES WHICH INCLUDE THE LOCATIONS AND ELEVATIONS OF ALL MAINS, SERVICE LINES, STRUCTURES, PAVED AREAS, SITE GRADING, STREET LIGHTS AND CABLES, CURBS, AND MONUMENTS. FINAL RECORD DRAWINGS MUST ALSO INCLUDE A STATE PLANE COORDINATE SYSTEM TIE-IN. IN ADDITION TO THE DRAWINGS, AN ELECTRONIC FILE (IN DWG OR DGN FORMAT) OF THE RECORD DRAWINGS MUST BE SUBMITTED ON CD-ROM.

INDEX OF SHEETS

C-1	COVER SHEET
C-2	PROJECT SPECIFICATIONS
C-3	FOX METRO PROJECT SPECIFICATIONS
C-4	OVERALL EXISTING CONDITIONS & DEMOLITION PLAN
C-5 - C-6	EXISTING CONDITIONS & DEMOLITION PLAN
C-7	OVERALL SITE DIMENSIONAL & PAVING PLAN
C-8 - C-9	SITE DIMENSIONAL & PAVING PLAN
C-10	OVERALL GRADING PLAN
C-11 - C-12	GRADING PLAN
C-13	OVERALL UTILITY PLAN
C-14 - C-15	UTILITY PLAN
C-16	OVERALL SITE STABILIZATION PLAN
C-17 - C-18	SITE STABILIZATION PLAN
C-19 - C-21	CONSTRUCTION STANDARDS

DRAINAGE CERTIFICATE

I, BRIAN JOHNSON, HEREBY CERTIFY THAT ADEQUATE STORM WATER STORAGE AND DRAINAGE CAPACITY HAS BEEN PROVIDED FOR THIS DEVELOPMENT, SUCH THAT SURFACE WATER FROM THE DEVELOPMENT WILL NOT BE DIVERTED ONTO AND CAUSE DAMAGE TO THE ADJACENT PROPERTY FOR STORMS UP TO AND INCLUDING THE ONE HUNDRED (100) YEAR EVENT, AND THAT THE DESIGN PLANS ARE IN COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND VILLAGE ORDINANCES.

DATED THIS 15TH DAY OF DECEMBER, 2022.

Brian D. Johnson
ENGINEER

ISSUED FOR
PRELIM REVIEW

PINNACLE ENGINEERING GROUP, LLC ENGINEER'S LIMITATION	
PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.	
FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.	
PINNACLE ENGINEERING GROUP ILLINOIS DESIGN FIRM REGISTRATION NUMBER 184.006289-0010 035.003296	

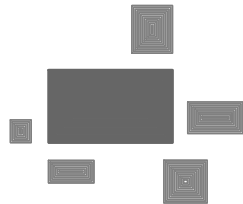
400 MITCHELL ROAD
400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS

1	P.U.D. SUBMITTAL	01/31/23	---	---	---
2	P.U.D. SUBMITTAL	02/10/23	---	---	---
			---	---	---
			---	---	---

COVER SHEET

SHEET
C-1
OF
C-21



PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

CHICAGO OFFICE:
1051 E. MAIN ST. | SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300
CHICAGO | MILWAUKEE | NATIONWIDE

COVER SHEET

www.pinnacle-engr.com

THESE PLANS AND DESIGN ARE COPYRIGHT-PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. REMOVED: BDL 3/10/2024 8:07 AM - Z:\P\0418\2020\1212-01-LL-1312 - ENGINEERING\NATURAL\SHEET-C-2 PROJECT DESIGNED: AJS DRAFTED: AJS

GENERAL NOTES	
1.	THE STANDARD SPECIFICATIONS LISTED ON THE COVER SHEET, THESE CONSTRUCTION PLANS, THE SPECIAL PROVISIONS, GENERAL CONDITIONS AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.
2.	NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE INDIVIDUAL SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORTED SAME TO THE ENGINEER. BEFORE DOING ANY WORK, OTHERWISE THE INDIVIDUAL SUBCONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE INDIVIDUAL SUBCONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE INDIVIDUAL SUBCONTRACTOR WILL BE CONSIDERED AT HIS OWN RISK AND EXPENSE IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
3.	ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE INDIVIDUAL SUBCONTRACTOR AND HIS SURETY FOR A PERIOD OF 24 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE VILLAGE. OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.
4.	BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL OF THE INDIVIDUAL SUBCONTRACTORS' WORK HAS BEEN APPROVED AND ACCEPTED, AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
5.	UPON AWARD OF THE CONTRACT AND WHEN REQUIRED BY THE OWNER, THE INDIVIDUAL SUBCONTRACTOR SHALL FURNISH LABOR, MATERIAL AND PERFORMANCE BOND IN THE PENAL SUM OF 100 PERCENT OF THE CONTRACT GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE APPROVED BY THE OWNER.
6.	THE INDIVIDUAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS INCLUDING THE USE AND ACCESS OF EXISTING STREETS. THE INDIVIDUAL SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. THE INDIVIDUAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREET OR ADJACENT PROPERTIES AND STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER.
7.	EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE INDIVIDUAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WITHIN CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE INDIVIDUAL SUBCONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT MAY BE RESOLVED.
8.	THE INDIVIDUAL SUBCONTRACTOR SHALL REVIEW AND DETERMINE ALL IMPROVEMENTS AND SHALL VERIFY ALL QUANTITIES AS PROVIDED BY THE ENGINEER OR OWNER FOR BIDDING PURPOSES. THE INDIVIDUAL SUBCONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACT PRICE SUBMITTED BY THE INDIVIDUAL SUBCONTRACTOR SHALL BE CONSIDERED AS A LUMP SUM FOR THE COMPLETE PROJECT UNLESS THERE IS A PLAN REVISION AND/OR WRITTEN CHANGE TO THE SCOPE OF WORK.
9.	WHENEVER THE PERFORMANCE OF WORK IS INDICATED ON THE PLANS, AND NO ITEM IS INCLUDED IN THE CONTRACT FOR PAYMENT, THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
10.	WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY BY THE RESPONSIBLE PARTY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
11.	THE INDIVIDUAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE I.D.O.T. STANDARD SPECIFICATIONS. ADEQUATE LIGHTING SHALL BE MAINTAINED FROM DUSK TO DAWN AT ALL LOCATIONS WHERE CONSTRUCTION OPERATIONS ARE IN PROGRESS. THE ENGINEER OR VILLAGE, ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE I.D.O.T. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
12.	ALL PERMANENT TYPE PAVEMENTS OR OTHER PERMANENT IMPROVEMENTS WHICH ABUT THE PROPOSED IMPROVEMENT AND MUST BE REMOVED, SHALL BE SAWED FULL DEPTH. PRIOR TO REMOVAL, ITEMS SHALL BE REPLACED WITH SIMILAR CONSTRUCTION MATERIALS. ITEMS SHALL BE TO THEIR ORIGINAL CONDITION OR BETTER. PAYMENT FOR SAWING SHALL BE INCLUDED IN THE COST FOR REMOVAL OF EACH ITEM AND REPLACEMENT WILL BE PAID UNDER THE RESPECTIVE ITEMS IN THE CONTRACT, UNLESS OTHERWISE INDICATED.
13.	REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE DISPOSED OF BY THE INDIVIDUAL SUBCONTRACTOR AT HIS OWN EXPENSE. IF THE INDIVIDUAL SUBCONTRACTOR, IF ON-SITE DISPOSAL IS NOT FEASIBLE, THE INDIVIDUAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN OFFSITE DUMP SITE AT HIS OWN EXPENSE.
14.	WHERE OVERHANGING BRANCHES INTERFERE WITH OPERATIONS OF CONSTRUCTION, SAID BRANCHES SHALL BE TRIMMED AND SEALED IN ACCORDANCE WITH ARTICLE 253.09 OF THE I.D.O.T. STANDARD SPECIFICATIONS, AND THE COST OF SAME SHALL BE INCIDENTAL TO THE CONTRACT. TREES SHALL BE REMOVED ONLY AFTER RECEIVING APPROVAL OF THE OWNER. THE OWNER SHALL DESIGNATE WHICH TREES ARE TO BE REMOVED.
15.	ALL EXISTING TRAFFIC SIGNS, STREET SIGNS, ETC., WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED FOR REMOVAL OR DISPOSAL, SHALL BE REMOVED AND RESET BY THE INDIVIDUAL SUBCONTRACTOR IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATIONS AT LOCATIONS AS DESIGNATED BY THE ENGINEER. THIS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. DAMAGE TO THESE ITEMS SHALL BE REPAIRED BY THE INDIVIDUAL SUBCONTRACTOR AT HIS OWN EXPENSE. ALL SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE VILLAGE AS APPROPRIATE. ALL MAIL BOXES THAT INTERFERE WITH CONSTRUCTION SHALL BE SIMILARLY RELOCATED AT NO ADDITIONAL COST.
16.	NOTIFY THE ENGINEER OF ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS. FIELD TILE SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. A RECORD OF THE LOCATION OF ALL FIELD TILE OR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
17.	DURING CONSTRUCTION OPERATIONS THE INDIVIDUAL SUBCONTRACTOR SHALL INSURE POSITIVE DRAINAGE AT THE CONCLUSION OF EACH DAY. DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER ACCEPTABLE METHOD. THE INDIVIDUAL SUBCONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADJUDICATED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.
18.	IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL SUBCONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
19.	THE INDIVIDUAL SUBCONTRACTOR SHALL COMPLY WITH AND OBSERVE THE RULES AND REGULATIONS OF O.S.H.A. AND APPROPRIATE AUTHORITIES REGARDING SAFETY PROVISIONS.
20.	THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE INDIVIDUAL SUBCONTRACTOR. THE INDIVIDUAL SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
21.	ALL INDIVIDUAL SUBCONTRACTORS AND THEIR SUBCONTRACTORS OR ANY TIER SHALL INDEMNIFY THE OWNER, ENGINEER, ARCHITECT, AND VILLAGE OF NORTH AURORA FROM ALL LIABILITY RESULTING FROM ANY NEGLIGENCE OR OMISSION WITH THEIR CONSTRUCTION, INSTALLATION, AND TESTING OF WORK ON THIS PROJECT AND SHALL NAME THEM AS ADDITIONAL INSURED ON THEIR COMMERCIAL GENERAL LIABILITY POLICIES FOR CLAIMS ARISING OUT OF THE WORK ON THIS PROJECT. A PROPER CERTIFICATE OF INSURANCE SHALL BE ISSUED PRIOR TO THE START OF CONSTRUCTION.
22.	ELECTRIC, TELEPHONE, NATURAL GAS, AND OTHER UTILITY COMPANIES HAVE UNDERGROUND AND/OR OVERHEAD SERVICE FACILITIES IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATIONS.
23.	THE INDIVIDUAL SUBCONTRACTOR TO HAVE A COMPETENT SUPERINTENDENT ON THE PROJECT SITE AT ALL TIMES IRRESPECTIVE OF THE AMOUNT OF WORK SUBMITT THE SUPERINTENDENT SHALL BE CAPABLE OF READING AND UNDERSTANDING THE PLANS AND SPECIFICATIONS. SHALL HAVE FULL AUTHORITY TO EXECUTE ORDERS TO EXPEDITE THE PROJECT, AND SHALL BE RESPONSIBLE FOR SCHEDULING AND HAVE CONTROL OF ALL WORK AS THE AGENT OF THE INDIVIDUAL SUBCONTRACTOR. FAILURE TO COMPLY WITH THIS PROVISION WILL RESULT IN A SUSPENSION OF WORK.
24.	THE INDIVIDUAL SUBCONTRACTOR SHALL KEEP A SET OF "APPROVED" CONSTRUCTION PLANS ON THE JOB SITE, AND SHALL MAINTAIN (AS INDICATED HEREIN AND ELSEWHERE WITHIN THESE CONSTRUCTION NOTES, SPECIFICATIONS, AND PLANS) A LEGIBLE RECORD ON SAID PLANS OF AND FIELD TILE ENCOUNTERED, ANY MODIFICATIONS TO ALIGNMENT AND/OR TO PLANS AND SPECIFICATIONS OF PROPOSED IMPROVEMENTS, ETC. UPON COMPLETION OF THE INDIVIDUAL SUBCONTRACTORS' WORK, SAID PLANS AND INFORMATION SHALL BE PROVIDED TO ENGINEER. FINAL CONTRACT PAYMENT SHALL NOT COME DUE UNTIL THIS INFORMATION IS RECEIVED BY THE ENGINEER.

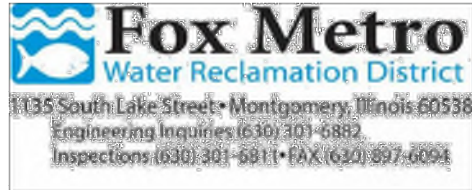
EARTHWORK	
1.	WORK UNDER THIS SECTION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: A. CLEARING AND REMOVAL OF ALL UNDESIRABLE TREES AND OTHER VEGETATIVE GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE AS DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM OF 12 INCHES IN DIAMETER. WHEN REMOVED BY THE OWNER, TREES AND BRUSH REMOVED MAY BE BURIED ONSITE IN FUTURE YARD AND OPEN SPACE AREAS. IF ADEQUATE AND APPROPRIATE SPACE IS NOT AVAILABLE FOR ONSITE BURIAL, THE TREES AND BRUSH SHALL BE DISPOSED OF OFFSITE. B. STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING AREA, RIGHT-OF-WAY, BUILDING PAD, AND OTHER DESIGNATED STRUCTURAL AREAS. C. STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS. INSPECTING MATERIAL TO BE STOCKPILED TO CONDUCE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SEQUENCE TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS, OVERLAND DRAINAGE SWALES (FLOOD ROUTING AREAS), PROPOSED UTILITY LOCATIONS, UTILITY EASEMENTS, OR ON THE RIGHT-OF-WAY. D. REMOVING UNSUITABLE MATERIAL FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD, AND OTHER DESIGNATED AREAS. E. DEMOLITION AND REMOVAL OF EXISTING PAVEMENTS INCLUDING OFFSITE DISPOSAL OF SAME, AT A DOWNSITE AS SELECTED BY THE CONTRACTOR. ONSITE DISPOSAL MAY BE ALLOWED IF APPROVED BY THE OWNER. F. CLAY CUT AND CLAY FILL WITH COMPACTATION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD, AND OTHER DESIGNATED AREAS. G. EXCAVATION AND GRADING OF THE OPEN SPACE AND/OR YARD AREAS PER PLAN INCLUDING DESIGNATED DETENTION BASIN GRADING, CONSTRUCTION OF BERMS, ETC. H. PLACEMENT AND COMPACTION OF CLAY OR OTHER MATERIAL TO CORRECT DEFICIENCIES AS REQUIRED BY THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE CORRECT REPLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS. I. PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS. J. IF REQUIRED, REMOVAL, FROSTITE AND DISPOSAL OF ANY EXCESS OR UNSUITABLE MATERIAL UPON COMPLETION OF MASS GRADING. K. MOVEMENT AND COMPACTION OF SPOIL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES. L. BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. M. FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS SECTIONS SHOWN IN THESE PLANS, AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS AT LOCATIONS DESIGNATED IN THE CONTRACT DOCUMENTS. N. SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE SOIL EROSION CONTROL SPECIFICATIONS INCLUDED WITHIN THE CONTRACT DOCUMENTS.
2.	THE QUANTITIES GIVEN IN THE ENGINEER'S SUMMARY FOR EARTHWORK ARE INTENDED AS A GUIDE FOR THE CONTRACTOR IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS A LUMP SUM FOR THE COMPLETE PROJECT. CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
3.	PRIOR TO ONSET OF MASS GRADING OPERATIONS, THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF FENCE PENCING, ETC. TO PROTECT ADJACENT PROPERTIES FROM MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE.
4.	PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, A TREE PROTECTION FENCE SHALL BE ERCTED AROUND ANY TREE DESIGNATED ON THE PLANS TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRY ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
5.	THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL, REPLACEMENT, MODIFICATION AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.
6.	A QUALIFIED SOILS ENGINEER SHALL REGULARLY INSPECT THE EXCAVATION OF ANY OPEN WATER AREAS TO INSURE THAT THEY WILL BE CAPABLE OF MAINTAINING DESIGNED NORMAL WATER LEVELS. GRAVEL OR SAND SEAMS OR OTHER CONDITIONS WHICH MAY BE ENCOUNTERED, AND WHICH MAY Warrant OR AS DESIGNATED BY THE ENGINEER OR VILLAGE, ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE I.D.O.T. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
7.	THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORMWATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
8.	THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADE. TOPSOIL OF THE THICKNESS SHOWN IN THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS IS TO BE PLACED BEFORE FINISHED GRADE ELEVATIONS ARE ACHIEVED.
9.	THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN FINE UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES; IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE ALLOWED WITH APPROVAL FROM SOILS ENGINEER. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
10.	EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, PARKING AREAS, AND OTHER STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
11.	EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF EIGHTY FIVE PERCENT (85%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
12.	THE SURFACE VEGETATION, TOPSOIL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHOULD BE STRIPPED FROM ALL AREAS TO RECEIVE CLAY FILL. IF THE UNDERLYING SUBGRADE SOILS RUT DEEPER THAN ONE INCH UNDER THE CONSTRUCTION EQUIPMENT OR IF THE MOISTURE CONTENT EXCEEDS THAT OF THE ENGINEER UPON COMPLETION OF THE PROJECT, THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
13.	ALL PAVEMENT SUBGRADE SHALL HAVE A MINIMUM IIR OF 3.0 AS DETERMINED BY THE SOILS ENGINEER. THE PROPOSED PAVEMENT DESIGN HAS BEEN BASED ON A MINIMUM IIR OF 3.0; THEREFORE, IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT PROVIDE A MINIMUM IIR OF 3.0, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH, AS DETERMINED BY THE SOILS ENGINEER AND THE ENGINEER.
14.	PRIOR TO UTILITY CONSTRUCTION, PROPOSED PAVEMENT AREAS, BUILDING PADS, DRIVEWAYS AND SIDEWALKS, AND YARD/OPEN SPACE AREAS SHALL BE ROUGH EXCAVATED OR FILLED TO PLUS OR MINUS ONE FOOT OF DESIGN SUBGRADE ELEVATION BY THE CONTRACTOR.
15.	COMPLETED GRADING FOR PROPOSED BUILDING PADS, AS WELL AS PROPOSED SUBGRADE AREAS FOR PAVEMENT, DRIVEWAYS AND SIDEWALKS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS 0.1 FOOT OF DESIGN SUBGRADE ELEVATIONS.
16.	THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.
17.	UPON COMPLETION OF THE SURFACE IMPROVEMENTS, AND EXCEPT WHERE OTHERWISE NOTED, THE EXCAVATION CONTRACTOR SHALL RESPAED A MINIMUM OF 6 INCHES OF TOPSOIL ON ALL DESIGNATED OPEN SPACE, PARKWAY, LANDSCAPE, AND OTHER NON-STRUCTURAL AREAS PER PLAN. SAID DESIGNATED AREAS TO BE RESPAED BY THE EXCAVATION CONTRACTOR SHALL BE AS INDICATED WITHIN THE CONTRACT DOCUMENTS. TOPSOIL SHALL BE RESPAED ON THE REMAINING AREAS BY THE LANDSCAPE CONTRACTOR.
18.	RIPRAP MATERIAL IS TO BE PROVIDED IN CONJUNCTION WITH THE EARTHWORK IMPROVEMENTS SHALL CONFORM TO SECTION 281 OF THE I.D.O.T. SPECIFICATIONS.
19.	SOIL BORING REPORTS, AVAILABLE AT THE OFFICE OF THE ENGINEER AND THE OWNER, ARE SOLELY FOR INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE CONTRACTOR SHALL MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.
20.	IF SHOWN ON THE PLANS, OPEN AREAS TO BE SEEDDED SHALL BE SEEDDED IN ACCORDANCE WITH THE SOIL EROSION CONTROL SPECIFICATIONS AND FINAL LANDSCAPE PLAN.
21.	IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
22.	CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE THAT SOILS ENGINEER SHALL BE ON SITE DURING ALL EARTHWORK OPERATIONS, PAVING, AND CONCRETE PREPARATION AND POUR.

UNDERGROUND UTILITIES	
1.	WORK UNDER THIS SECTION SHALL INCLUDE TRENCHING, AUGERING AND INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION, AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
2.	ALL SEWER AND WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS," 2014 EDITION AND THE STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND ORDINANCES OF THE MUNICIPALITY.
3.	ROUGH GRADING TO WITHIN ONE FOOT OF FINISHED SUBGRADE SHALL BE COMPLETED BY THE EARTHWORK CONTRACTOR PRIOR TO COMMENCEMENT OF UNDERGROUND UTILITY INSTALLATION.
4.	ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT, EXISTING DRIVEWAYS AND SIDEWALKS, PROPOSED DRIVEWAYS AND SIDEWALKS WHERE DESIGNATED BY THE OWNER AND AT A 1:1 SLOPE ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE EXISTING UTILITIES ARE ENCOUNTERED, SHALL BE BACKFILLED WITH SELECT GRANULAR IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS.
5.	"BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: A. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE. B. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING INTO TWO FEET OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION. C. WITH A PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND-SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
6.	ALL FLOOR DRAINS AND FLOOR DRAIN PUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORMWATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND BUT NOT INTO THE SANITARY SEWER.
7.	SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS UNLESS SPECIFIED OTHERWISE ON THE PLANS: A. POLYVINYL CHLORIDE PLASTIC GRAVITY SEWER PIPE (PVC) CONFORMING TO ASTM DESIGNATION D-3034 FOR SANITARY SEWERS, WITH A MINIMUM OF 12 INCHES OF WALL THICKNESS, AND CONFORMING TO ASTM DESIGNATION F-679 FOR PIPE OF 18 INCH TO 24 INCH DIAMETER, WITH AN SDR OF 26, WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM DESIGNATION D-3212. THE GASKET SHALL COMPLY WITH ASTM F-477. B. WATER MAIN QUALITY C-900 PRESSURE PIPE IN ACCORDANCE WITH AWWA C900 (OR 18) FOR SIZES 4 INCH TO 12 INCH DIAMETER OR AWWA C900 (OR 18) FOR SIZES 14 INCH TO 48 INCH DIAMETER. PVC PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D-3139 AND F-477.
8.	ALL SANITARY SEWER MANHOLES SHALL HAVE ECCENTRIC CONES. COLE OPENINGS SHALL BE CENTERED PARALLEL TO THE MAINLINE FLOW. ALL STRUCTURE SECTIONS AND ADJUSTING RINGS SHALL BE SECURELY SEALED TO EACH OTHER OR TO THE CONE SECTION OR TOP BARREL SECTION OF THE MANHOLE USING A USABLE, RESILIENT, FLEXIBLE, NON-HARDENING PREFORMED, BUTADIENE MASTIC (RAN-NEK, OR APPROVED EQUAL). THIS MASTIC SHALL BE APPLIED IN SUCH A MANNER THAT NO SURFACE WATER OR GROUND WATER INFLOW CAN ENTER THE MANHOLE THROUGH GAPS BETWEEN BARREL SECTIONS OR ADJUSTING RINGS. SANITARY SEWER MANHOLES SHALL BE 4 FOOT DIAMETER PRECAST STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS SHEET). ALL SANITARY SEWER MANHOLES SHALL INCORPORATE THE USE OF EXTERNAL CHIMNEY SEALS (SEE CONSTRUCTION STANDARDS).
9.	ALL SANITARY SEWERS, STORM SEWERS, AND SEWER SERVICES IN SEPARATE SEWER AREAS SHALL BE INSTALLED ON A GRANULAR CRUSHED STONE BEDDING CLASS 5A (I.D.O.T. GRADATION CA-1.1), CONFORMING TO ASTM D-2321, WITH A MINIMUM THICKNESS EQUAL TO ONE FOURTH OF THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN 4 INCHES NOR MORE THAN 8 INCHES. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE IN ALL CASES (UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DETAILS). FOR PVC SANITARY SEWER, THE BEDDING SHALL EXTEND TO 1 FOOT ABOVE THE TOP OF THE PIPE. BEDDING MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-33 FOR SOUNDNESS AND ASTM C-67 FOR GRADATION. COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER, WATER MAIN, ETC. SEE MWED GENERAL NOTE 6 FOR SANITARY AND STORM BEDDING REQUIREMENTS IN COMBINED SEWER AREAS.
10.	ALL SANITARY SERVICE CONNECTIONS TO MAINLINE SEWER SHALL BE MADE WITH PRECAST WYES OR TEES MANUFACTURED SPECIFICALLY FOR THAT PURPOSE. SANITARY SEWER SERVICE MATERIAL TO BE SAME AS MAINLINE SEWER UNLESS SPECIFICALLY INDICATED OTHERWISE.
11.	SANITARY SERVICES SHALL BE LAID TO A MINIMUM GRADE OF 1.00 PERCENT. THE END OF EACH SERVICE SHALL BE SEALED WITH A MANUFACTURER'S WATERTIGHT PLUG. SANITARY SERVICE STUBS SHALL BE MARKED IN ACCORDANCE WITH CONSTRUCTION NOTES.
12.	UNLESS OTHERWISE INDICATED STORM SEWER SHALL BE HOPE ADS N12 HP FOR SIZES 12"-30". PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2736 AND AASHTO MP-21. FOR PIPE 36"-60" PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2881 AND AASHTO MP-21. PIPE SHALL BE JOINED WITH AN INTERIOR AND SPIGOT JOINT MEETING THE REQUIREMENTS OF ASTM F2736 OR F2881, FOR THE RESPECTIVE DIAMETERS. 12"-60" SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. SPIGOTS SHALL HAVE GASKETS MEETING THE REQUIREMENTS OF ASTM F477. GASKET SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE, PROTECTIVE WRAFF TO ENSURE THE GASKET IS FREE FROM DEBRIS. JOINT LUBRICANT SHALL BE USED ON THE GASKET AND BELL DURING JOINT ASSEMBLY. SHALL BE KEPT ON HAND FOR THE CONSTRUCTION PLANS. HOWEVER, THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
13.	STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). WHERE NOTED ON THE PLANS OR CONSTRUCTION STANDARDS, MANHOLES SHALL INCORPORATE WATERSTOP GASKETS AT ALL PIPE PENETRATIONS.
14.	WATER MAIN SHALL BE DUCTILE IRON PIPE CLASS 52 CONFORMING TO ANSI A-21.51 OR AWWA C-151. RUBBER GASKET JOINTS SHALL CONFORM TO ANSI A-21.11 OR AWWA C-111. COVER FROM FINISHED GRADE TO TOP OF WATER MAIN SHALL BE 6.0'.
15.	WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. HOWEVER, THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
16.	UNLESS NOTED OTHERWISE, GATE VALVES IN ACCORDANCE WITH VILLAGE STANDARDS, SHALL BE USED WHEREVER VALVES ARE CALLED FOR. VALVES SHALL BE IRON BODY, BRONZE MOUNTED, PARALLEL RESILIENT SEAT VALVES PER AWWA C-509. ALL VALVES SHALL BE RATED FOR 300 PSI TEST PRESSURE AND 200 PSI WORKING PRESSURE.
17.	VALVE VAULTS SHALL BE USED AT LOCATIONS SHOWN ON THE PLANS. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS SHEET).
18.	HYDRANTS SHALL BE OF THE MANUFACTURE AND EQUIPPED WITH AUXILIARY VALVES AND VALVE BOXES IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD. EACH HYDRANT SHALL BE EQUIPPED WITH TWO 2-1/2 INCH HOSE NOZZLE AND ONE 4-1/2 INCH PUMPER PORT. HOSE THREADS SHALL BE THE STANDARD OF THE MUNICIPALITY. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). ALL FIRE HYDRANTS SHALL BE SET 3 FEET TO 7 FEET FROM BACK OF CURB.
19.	WATER SERVICES SHALL BE LAID NOT LESS THAN 5.5 FEET BELOW GRADE.
20.	THRUST BLOCKING SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. COST SHALL BE MERGED WITH UNIT PRICE FOR INSTALLED PIPE. RETAINER GLANDS OR MEGA-LOG FITTINGS MAY BE USED AS AN ALTERNATE IF APPROVED BY THE MUNICIPALITY.
21.	ALL WATER MAINS SHALL HAVE COMPACTED (CA-6) GRANULAR BEDDING, A MINIMUM OF 4 INCHES BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. COST FOR BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE WATER MAIN.
22.	WHENEVER POSSIBLE, A WATER MAIN MUST BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN OR SEWER LINE. SHOULD LOCAL CONDITIONS EXIST WHICH WOULD PREVENT A LATERAL SEPARATION OF 10 FEET, A WATER MAIN MAY BE LAID CLOSER THAN 10 FEET TO A STORM OR SANITARY SEWER PROVIDED THAT THE WATER MAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER, AND IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELFL OCATED TO ONE SIDE OF THE SEWER. IF IT IS IMPOSSIBLE TO OBTAIN THE LATERAL SEPARATION OR THE WATER MAIN IS LAID AT LEAST 10 FEET, IN MAKING SUCH CROSSINGS, CENTER A LENGTH OF WATER MAIN PIPE OVER/UNDER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. WHERE A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED, ALONG WITH MEANS TO SUPPORT THE LARGER SIZED SEWER LINES TO PREVENT THEIR SETTLING AND BREAKING THE WATER MAIN.
23.	WHENEVER WATER MAINS MUST CROSS HOUSE SEWERS, STORM SEWERS OR SANITARY SEWERS, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE INVERT OF THE WATER MAIN IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION MUST BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN 10 FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. THIS MUST BE MEASURED AS THE NORMAL DISTANCE FROM THE WATER MAIN TO THE DRAIN OR SEWER. IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED ABOVE, OR IF IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER OR DRAIN, THEN THE SEWER MUST BE CONSTRUCTED OF WATER MAIN TYPE MATERIAL. THIS CONSTRUCTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN IS AT LEAST 10 FEET. IN MAKING SUCH CROSSINGS, CENTER A LENGTH OF WATER MAIN PIPE OVER/UNDER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. WHERE A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED, ALONG WITH MEANS TO SUPPORT THE LARGER SIZED SEWER LINES TO PREVENT THEIR SETTLING AND BREAKING THE WATER MAIN.

UNDERGROUND UTILITIES (CONT'D)	
24.	WATER AND SANITARY BUILDING SERVICES SHALL BE IN SEPARATE TRENCHES WITH A MINIMUM OF 10 FEET HORIZONTAL SEPARATION; OR IF THE SANITARY SEWER AND WATER SERVICES ARE INSTALLED IN THE SAME TRENCH, THE WATER SERVICE IS TO BE PLACED ON A SOLID SHELF A MINIMUM OF 18 INCH ABOVE THE SANITARY SERVICE AND THE SANITARY SEWER SERVICE SHALL BE CONSTRUCTED WITH EITHER PVC SCH-40 AND SOLVENT CEMENT, DUCTILE IRON, OR SIMILAR TYPE MATERIAL AS APPROVED BY THE VILLAGE BUILDING DEPARTMENT.
25.	THE UNDERGROUND CONTRACTOR SHALL PLACE AND MOUND EXCESS EXCAVATED TRENCH MATERIAL ADJACENT TO THE TRENCHES IN AN ORDERLY FASHION SO AS NOT TO CREATE A HAZARD OR OBSTRUCTION, AND TO MAINTAIN THE SITE IN A WORKABLE CONDITION. THE DISPOSAL AND PLACEMENT OF ALL EXCESS TRENCH MATERIAL SHALL BE THE RESPONSIBILITY OF THE EARTH EXCAVATING CONTRACTOR.
26.	THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS.
27.	ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.
28.	FRAMES AND LIDS (OR GRATES) FOR SANITARY, WATER MAIN AND STORM SEWER STRUCTURES SHALL BE AS INDICATED WITHIN THESE IMPROVEMENT PLANS. (SEE CONSTRUCTION STANDARDS).
29.	ALL STRUCTURES SHALL HAVE A MINIMUM OF 3 INCHES AND A MAXIMUM OF 6 INCHES OF ADJUSTING RINGS (2 RINGS MAXIMUM).
30.	ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISHED GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES (FRAMES AND GRATES) ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL GROUND GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.
31.	THE CONTRACTOR SHALL INSTALL A 2 IN. X 4 IN. X 8 FT. POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE, STORM SERVICE, AND WATER MAIN SERVICE, AS WELL AS SANITARY MANHOLES, STORM MANHOLES, CATCH BASINS, INLETS, AND VALVE VAULTS WITHIN TURT AREAS. THE POST SHALL EXTEND A MINIMUM 4 FEET ABOVE THE GROUND. THE TOP 12 INCHES OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-RED; WATER MAIN-BLUE; STORM-GREEN.
32.	SANITARY SEWERS INCLUDING MANHOLES AND SERVICE LINES SHALL BE SUBJECTED TO EITHER AN INFILTRATION TEST OR AIR TEST, AND APPLICABLE DEFLECTION TEST BY THE CONTRACTOR. ALLOWABLE INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER OF PIPE PER MILE PER DAY. THE CONTRACTOR SHALL COORDINATE ALL TESTING SO THAT IT CAN BE WITNESSED BY THE VILLAGE ENGINEER, AND VILLAGE PUBLIC WORKS DEPARTMENT AS APPROPRIATE. TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION, SECTION 31-1. IN ADDITION, VACUUM TESTING OF A MANHOLE SHALL BE REQUIRED PER ASTM C-1244.
33.	THE MAIN LINE SANITARY AND STORM SEWER SHALL BE TELEVIEWED PRIOR TO ACCEPTANCE AND A VIDEO TAPE SHALL BE PROVIDED TO THE VILLAGE. ALL NECESSARY CORRECTIVE WORK SHALL BE PERFORMED BY THE CONTRACTOR WITHOUT DELAY. COST FOR TELEVIEWING AND FURNISHING VIDEO TAPE AND VIDEO WORK SHALL BE INCIDENTAL TO THE CONTRACT (MERGED INTO UNIT PRICE OF THE SEWER PIPE).
34.	ALL WATER MAINS SHALL BE SUBJECTED TO A PRESSURE TEST BY THE CONTRACTOR. HYDROSTATIC PRESSURE TEST AND LEAKAGE SHALL BE BASED ON 150 PSI FOR 6 HOURS WITNESSED BY THE VILLAGE ENGINEER. WATER MAINS SHALL BE CHLORINATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
35.	THE UNDERGROUND CONTRACTOR SHALL CONSIDER INCIDENTAL TO THE CONTRACT ANY CHLORINATION AND TESTING OF EXISTING WATER MAIN WHERE ANY PORTION OF THE INCLUSION OF SUCH MAINS IS INDICATED ON THE DRAWINGS. IN THE EVENT THAT THE PRESSURE TESTS INVOLVING EXISTING MAINS FAIL, AND SUCH FAILURES ARE ATTRIBUTABLE TO DEFECTIVE ORIGINAL WORKMANSHIP AND MATERIAL, THEN THE CONTRACTOR SHALL BE ENTITLED TO ADDITIONAL PAYMENT FOR CORRECTING THE DEFICIENCIES.
36.	THE CONTRACTOR SHALL MAINTAIN A LEGIBLE RECORD ON A SET OF CONSTRUCTION PLANS INFORMATION CONCERNING ALL MANHOLES, WYES AND SERVICES, VALVE BOXES, CURB BOXES, ETC. SUCH THAT THEY CAN BE LOCATED IN THE FIELD IN A MANNER ACCESSIBLE TO THE APPLICABLE GOVERNMENTAL AGENCY. FINAL CONTRACT PAYMENT SHALL NOT COME DUE UNTIL THIS INFORMATION IS RECEIVED BY THE ENGINEER.
37.	ALL CATCH BASINS, SUMPS, DETENTION BASINS AND OTHER AREAS ACCUMULATING SEDIMENT ARE TO BE CLEANED AT THE END OF THE PROJECT PRIOR TO FINAL ACCEPTANCE. CLEANING MAY ALSO BE REQUIRED DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT IF IT IS DETERMINED THAT THE SILT AND DEBRIS TRAPS ARE NOT FUNCTIONING PROPERLY OR EXCESS DEBRIS HAS COLLECTED.
38.	IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

PAVING, CURBS & WALKS	
1.	WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION; FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE, FINER, CLEAN-UP, AND ALL RELATED WORK.
2.	ALL PAVING, SIDEWALK, AND CURB AND GUTTER WORK SHALL BE DONE IN ACCORDANCE WITH THE I.D.O.T. STANDARD SPECIFICATIONS AND PER THE VILLAGE OF NORTH AURORA CONSTRUCTION STANDARDS AND DETAILS.
3.	PAVEMENT SUBGRADE AND BASE COURSE SHALL BE PROOF-ROLLED AND WITNESSED BY THE VILLAGE ENGINEER PRIOR TO PLACEMENTS OF THE AGGREGATE BASE AND HOT-MIX ASPHALT BINDER COURSE.
4.	SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP OF SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS. THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES, NO CLAIMS FOR EXCESS TONNAGE OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
5.	THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BASE COURSE, HOT-MIX ASPHALT BINDER COURSE, AND HOT-MIX ASPHALT SURFACE COURSE. OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS. A PRIME COAT OF THE TYPE AND AT THE RATE SPECIFIED ON THE CONSTRUCTION PLANS SHALL BE APPLIED TO THE SUB-BASE COURSE AND THE I.D.O.T. STANDARD SPECIFICATIONS FOR THE FORECAST CALLS FOR RISING TEMPERATURES. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUBGRADE PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS. THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES, NO CLAIMS FOR EXCESS TONNAGE OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
6.	THE MAXIMUM SIZED AGGREGATE FOR THE HOT-MIX ASPHALT SURFACE COURSE MIXTURE SHALL BE 3/8 INCH. THE HOT

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. 2/4/2024 8:07 AM - Z:\Projects\2020\1232-00-IL-312 - ENGINEERING\FINAL\SHEET\C-2 PROJECT SPECIFICATIONS.dwg REVISED: BDJ DRAFTED: AJS DESIGNED: AJS



Rev: 2/11/2021

GENERAL NOTES
FOR SANITARY SEWER CONSTRUCTION IN THE FOX METRO WATER
RECLAMATION DISTRICT

- All sanitary sewer construction shall be performed in accordance with the "Fox Metro Water Reclamation District Sewer Use Ordinance No. 685", the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
- Final-approved set of plans and specifications must be kept on the job site. Failure to do this may result in a fine and/or be considered cause to stop the job.
- Contractors for all sanitary public sewer extension projects shall notify the District's Engineering Department twenty-four (24) hours prior to the start of work. Notification shall be done via telephone at (630) 301-6882, or by email at submittals@foxmetro.org.
- For service connection inspections, call 630-301-6811 by 3:00 p.m. the day prior to the requested inspection time.
- To prevent any possible infiltration, inflow or debris from entering the downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor, as indicated on the final-approved plans. The placement of the plug(s) shall not interrupt the service of any user. This plug is to be removed only upon approval by the District or the city/village, and only after any construction drainage and/or debris has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the sanitary system.
- All sanitary sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois", including all manholes shall be vacuum tested (manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
- When connecting to an existing public sewer where a tee or wye is not provided, an "Inserta Tee" fitting must be installed. The minimum distance between fittings is four (4) feet center to center.
- Installation of a tee/wye on an existing main is prohibited. The angle of any new connection shall not exceed 1/1 or 45 degrees.
- Only "Infi-Shield", "Adaptor-Seal", and "Wrapid Seal" or approved equal chimney seals shall be installed on all manholes.
- Only PVC transition fittings shall be used in all new construction when joining PVC pipes which are damaged, disturbed during construction or have different outside diameters. Refer to Fox Metro "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
- All existing sanitary interceptor (15" in diameter or greater) manhole frames located within any proposed development will be required to be adjusted to grade. Under no circumstances may the vertical height of the adjusting rings exceed eight (8) inches (two total). Extreme care should be taken when working near all sanitary manholes.
- Approved cast iron or concrete cleanout enclosures are required over the top of all cleanout covers in areas deemed necessary by the District.
- Ductile iron and cast iron pipe are not allowed for the use of gravity sewers in the District.
- Landscaping within any District easement is prohibited without review and subsequent plan approval.
- District easements shall be graded so that the ground surface does not exceed a six (6) percent gradient in all directions.
- All building drains/sewers shall be overhead or "hung" through the basement wall of any new building.
- All sanitary risers shall be required to be constructed to a depth of no greater than six (6) to seven (7) feet at the right of way. If a conflict arises between a sanitary sewer and a water line, IEPA water & sewer separation requirements take precedent.
- Whether any grease removal system is newly constructed or "retrofitted" to an existing building, a minimum of 1% slope and 3.5' of cover for pipes are required.
- Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
- All manhole barrel sections (including those sections of existing manholes which have been exposed during construction) shall be required to be externally sealed with a "6" or "9" wide (min.) wrap meeting the requirements of ASTM C-877, "type II or "type III.
- All sags, leaks, pipe defects, or other related issues with any newly televised sanitary sewer shall be repaired by the contractor at the discretion of the District. Approval of repairs will need to be confirmed in writing by the appropriate municipality, or re-televised by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.
- Any contractor, who consistently fails to perform in accordance with the District's standards and specifications as provided on the plans, may be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
- The District shall televise all sewers eight (8) inches in diameter or greater. In order to access each manhole, the developer is responsible for providing a smooth, level area of sufficient width along the sanitary sewer system.
- During televising, if any newly constructed public sewer requires "heavy cleaning", additional charges may be incurred by the developer.
- Full-sized cleanouts are required on all building sewers.



Rev: 2/11/2021

FOX METRO WATER RECLAMATION DISTRICT
MANHOLE / SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS

1. PIPE & FITTINGS

Pipe and fittings used in sanitary sewer construction shall be polyvinyl chloride (PVC) pipe. PVC pipe and fittings dated over one-year-old shall not be permitted for use. **No solvent-welded joints shall be allowed outside of the foundation wall of any building.**

The types of PVC pipe and fittings that shall be used in the District include:

- Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM – SDR series), conforming to ASTM Numbers D-1784 (cell classification), D-3034, D-3212 (joint spec), and F-477 (gaskets).
- Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM – SDR series), conforming to ASTM Numbers D-1784 (cell classification), D-2241, D-3139 (joint spec), and F-477 (gaskets).
- Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (AWWA DR-series) conforming to AWWA C-900 and ASTM Numbers D-1784 (cell classification), D-3139 (joint spec), F-477 & F-913 (gaskets).

All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D-1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based upon the depth of cover, as also shown in the table below:

Depth of Cover	Pipe Diameter	Minimum Thickness	National Standard	Minimum Pipe Stiffness
3.5' - <15'	6" - 12"	SDR 26	ASTM D-3034 ASTM D-2241	115
3.5' - <20'	6" - 12"	SDR 21	ASTM D-2241	224
3.5' - <30'	6" - 12"	DR-18	AWWA C-900	364
3.5' - <30'	14"	DR-18	AWWA C-905	364

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Fittings in sizes through twelve (12) inches shall have elastomeric joints and minimum socket depths as specified in each respective section. Fittings above twelve (12) inches shall be molded or fabricated with elastomeric joints in accordance with ASTM standards D-1784 and D-3139 incorporating the manufacturer's standard pipe bells and gaskets. Gaskets shall conform to ASTM F-477 and ASTM F-913.

The District reserves the right to approve/reject all pipe and fittings on a case-by-case basis.

2. BEDDING, HAUNCHING, AND INITIAL BACKFILL

Bedding material shall be CA-7 Class 1A, as outlined in ASTM D-2321 and shall be certified by the manufacturer and approved by the District prior to installation, to have the following characteristics:

- Description: Shall be crushed stone or crushed gravel, as produced by mechanical means.
- Gradation: Shall meet the IDOT gradation of CA-7, Class 1A.
- Plasticity Index: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T 90.
- Specific Gravity: Shall have a specific gravity (dry) of greater than 2.45.

LABORATORY TEST

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before installation of PVC plastic pipe. Tests shall be conducted in accordance with Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading" per ASTM D2412.

PIPE INSTALLATION AND FIELD TESTING

1. INSTALLATION

If the invert of any overhead sewer exceeds two (2) feet above the footing, plate compaction of the CA-7 Class 1A aggregate shall be required in twelve (12) inch lifts.

Trench widths should be stable or supported, provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place haunching and other embedment materials. The minimum trench width shall be 32" **plus** the outside diameter of the pipe and the maximum trench width shall be 48" **plus** the outside diameter of the pipe.

Pipe size shall be a minimum of eight (8) inches for public sewers and six (6) inches for building sewers.

Pipes shall be laid in a manner which provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. Bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked in around pipe by hand to provide uniform support, then around and over the crown of the pipe by a minimum of twelve (12) inches. The granular embedment material shall be placed and consolidated along the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.

PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions.

Service connections to new mains shall be with a tee/wye fitting with a six (6) inch branch and shall connect to the main at a (max.) forty-five (45) degree angle. Where no tee/wye exists, an Inserta Tee brand fitting shall be required.

Cast iron enclosures shall be required for all sanitary sewer service cleanouts located in any paved surface. Locations of said cleanouts and covers shall be limited to a spacing of no greater than one hundred (100) feet.

Either 4" X 6" rubber or non-shear couplings shall be used to connect the building drain to the building sewer. If using a rubber fitting, the four-inch pipe shall be inserted six (6) to twelve (12) inches inside of the six inch building sewer.

Whether any grease removal system (GRS) is newly constructed or retrofitted to an existing building, all District guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to.

All building drains/sewers shall be overhead or "hung" through the wall of any basement.

Full-sized cleanouts shall be installed five (5) feet from the foundation wall.

2. TESTING

Before final acceptance, all public sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois" ("see item #2 under "Manhole Installation and Field Testing" below for vacuum testing).

All pipelines constructed of polyvinyl chloride (PVC) shall be subject to air exfiltration, deflection, vacuum and televising tests.

The deflection test shall be performed no sooner than thirty (30) days after the backfilling operation and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the internal pipe diameter. All pipes exceeding this deflection shall be considered to have reached the limit of its serviceability and shall be re-laid or replaced by the contractor at their sole expense.

The cost of all deflection testing shall be borne by the contractor and shall be accomplished by pulling a mandrel, sphere, or pin-type "go / no go" device, with a diameter equal to ninety-five

3

(95) percent of the un-deflected inside diameter of the flexible pipe through the pipeline. Pipe shall be constructed so that the internal diameter does not decrease by more than five (5) percent.

All sanitary sewer (public or private) having a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all sanitary testing (air & vacuum) has been received by the District. Any defects in said sewer shall be excavated, then repaired, at the contractor's or developer's sole expense. Caution should be taken before constructing roads, curbs, sidewalks or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact the District prior to installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction or extraneous expenses.

MANHOLE INSTALLATION AND FIELD TESTING

1. INSTALLATION

All manhole castings, adjusting rings and manhole sections shall be set in butyl rope. The inside joints of manhole sections, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.

Each manhole cone and barrel section joint shall also be externally sealed with a "6" or "9" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, "type II or "type III.

Pipe connections to all manholes through openings (cast or core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for Resilient Connectors between Reinforced Concrete Manhole Structures and Pipes".

A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal.

Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), or an approved equal will be allowed. Do not use unapproved seals.

When a new manhole is approved to be constructed on an existing public sewer, only Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be installed. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. This work shall be inspected by the District.

2. TESTING

Each new manhole shall be vacuum tested after manhole is at finished grade. The manhole frame, adjusting rings and chimney seals shall be in place when testing. All lift holes shall be plugged with a non-shrinking grout. No grout shall be placed in the horizontal joints before, after or during testing in order to achieve a passing test result. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:

*Forty-eight (48) inches Diameter - sixty (60) seconds

*Sixty (60) inches Diameter – seventy-five (75) seconds

*Seventy-two (72) inches Diameter - ninety (90) seconds

*Manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed).

The contractor shall provide all material and equipment necessary for testing. Should the manhole fail the vacuum test, the structure shall be disassembled to a point that said leak can be repaired with butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES

1. PIPES

Pipe connections of dissimilar materials where no hub exists shall be made with a non-shear coupling.

Existing non-PVC building sewers or "stubs" may not be used in connection with new buildings where a District connection permit is requested. In such cases, said building sewer or "stub" will either need to be removed to within one foot (1') of the public sewer and then replaced with appropriate PVC material. Any existing sanitary sewer main or service, which is required to be lined, shall be repaired with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, D5813, D790 and D2990. Said CIPP shall be installed using the inversion method only. Hot water or steam shall be used to cure all liners.

Building sewers shall be permanently abandoned using one of following two methods.

- Removed to within one (1) foot of the public sewer and plugged using a mechanical plug and mortar. This is the preferred method. If this is not feasible, see item two below.
- The building sewer connection shall be sealed within the public sewer with a four (4) foot minimum length cured in place pipe (C.I.P.P.) liner with hydrophilic gaskets.

5

Where a newly constructed public sewer needs to be repaired due to damage having occurred during construction, Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be required. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within thirty (30) feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.

2. MANHOLES

Each manhole, which has been disturbed in any way, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a "6" or "9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, "type II or "type III.

A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), or approved equal will be allowed.



Rev: 2/11/2021

CONTRACTOR NOTICE
Fox Metro Water Reclamation District
IMPORTANT – PLEASE READ!

The following list represents costly problems or violations that commonly occur during or after construction. Our goal is to make everyone aware of these problems and hopefully reduce unnecessary delays, expenses, and fines.

In order to perform new construction or repair work on any private sanitary or water service, the following must be completed before work may commence:

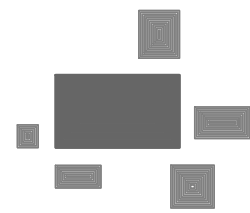
- A \$25,000 license & permit bond made out to "Fox Metro Water Reclamation District" must be received and approved for new construction or repair work. Please instruct your insurance company to call out the work to be performed as "sanitary sewer construction".
- A District permit for new construction or a repair permit needs to be issued.
- An inspection is required by the District. To save a \$50 same day inspection fee, please provide twenty-four (24) hour notice.

- All **public sanitary sewer construction** must have an IEPA permit **and** plan approval letter on file at the District prior to commencing. Please provide our office with 48-hour notification to verify this before starting construction.
- To prevent unnecessary flow or discharge into the existing sanitary system, all new sanitary construction must be securely plugged and maintained by the contractor. The plug(s) may only be removed after permission has been obtained from the municipality or from the District's engineering department. All construction drainage must be properly removed from the new sanitary sewer system.
- All newly proposed private building sewer construction must have a connection permit from the District. In addition, this work shall be inspected by the District. Please call (630) 301-6811 by 3:00 pm the day prior to the requested inspection time. No building sewers shall be installed until all proposed public sewers have been tested and approved by the District and a final recorded subdivision plat is submitted.

- All domestic water service installations (except for the Village of Oswego and the United City of Yorkville) are to be inspected by the District. **Any final connection(s) to any building, made by any plumber or excavator, shall also be inspected by the District. Do not backfill this connection before this inspection is completed.**
- All sanitary manholes are to be sealed (exterior of chimney & barrels) and vacuum tested. Any disruption of these manholes will break the seal(s), requiring a costly resealing and retesting process. Please stay clear of all manholes.

For questions regarding permitting and construction, call the District's engineering department at (630) 301-6882. For questions regarding inspections or to report violations, open manholes, or other issues please call (630) 301-6811.

IF CONFLICT ARISES BETWEEN FOX METRO WATER RECLAMATION DISTRICT PROJECT SPECIFICATIONS AND UNDERGROUND UTILITIES NOTES, THE MORE STRINGENT SHALL APPLY.



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400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS

1	P.U.D. SUBMITTAL	01/31/23	—	—	—
2	P.U.D. SUBMITTAL	02/10/23	—	—	—
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FOX METRO PROJECT
SPECIFICATIONS

PER JOB NO. 2122-00-11
BID
REG. PM
START DATE 12/15/22
SCALE
NONE

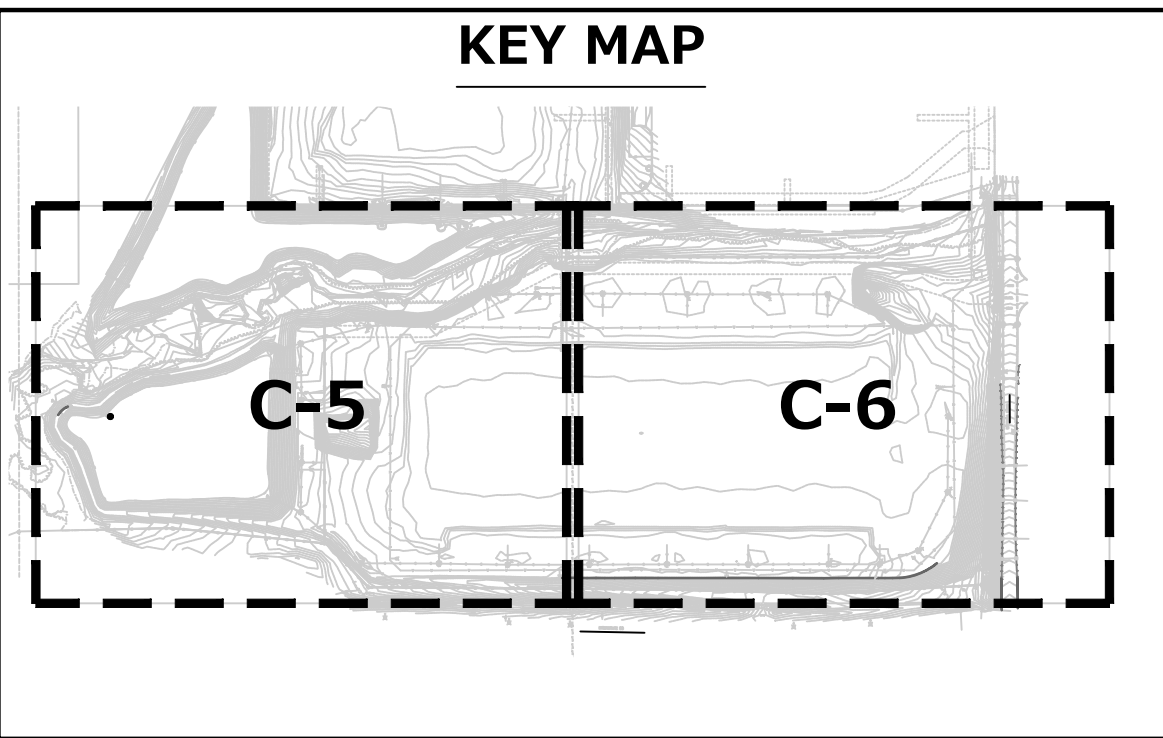
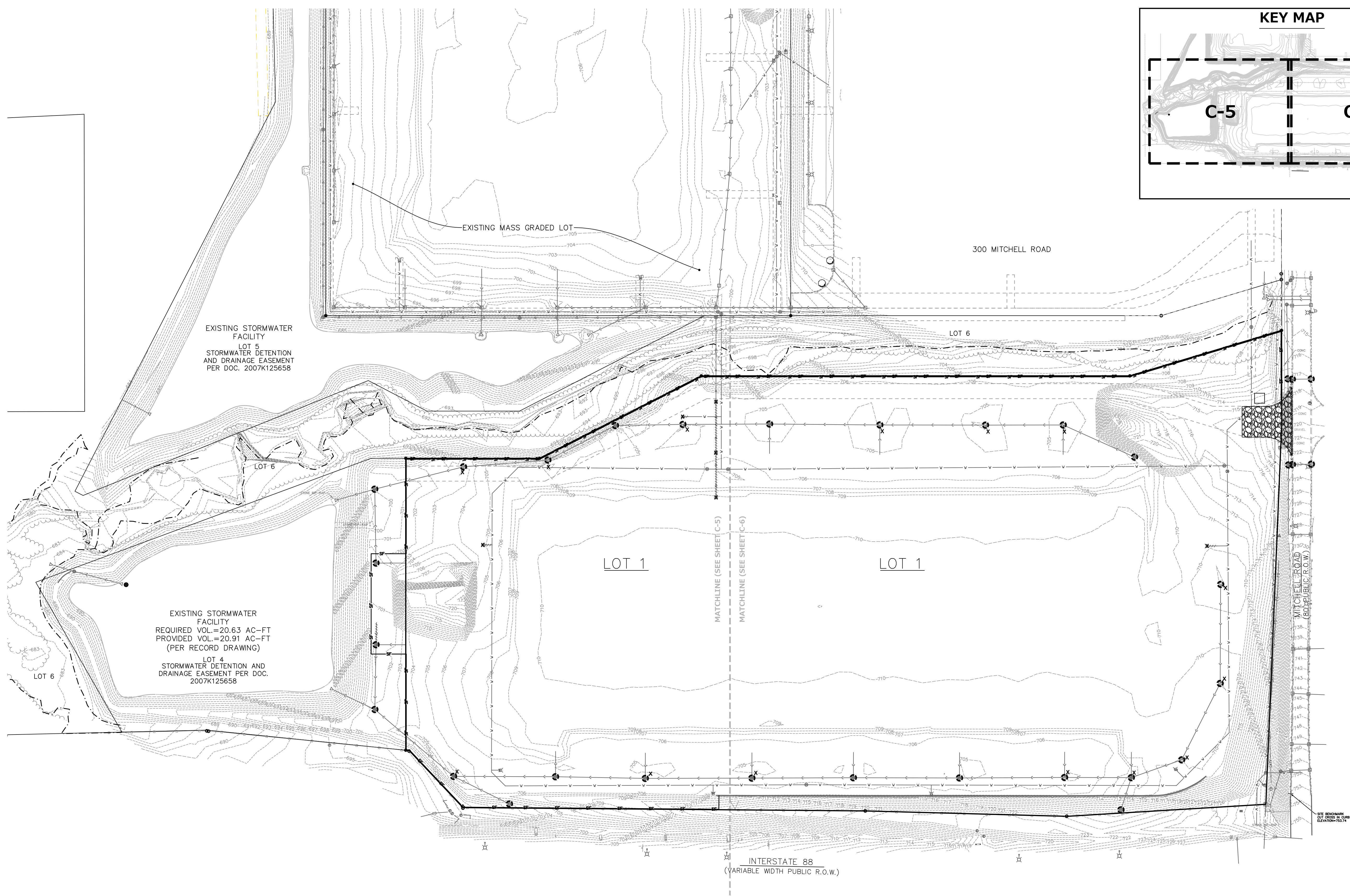
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OF
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FOX METRO PROJECT SPECIFICATIONS

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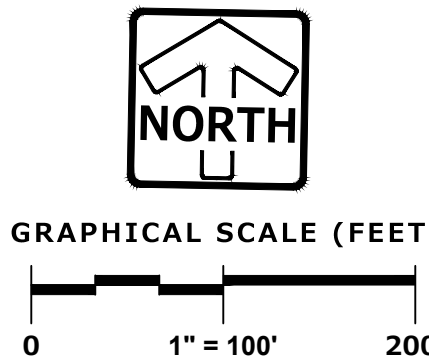
- DEMOLITION NOTES**
1. CONTRACTOR SHALL CONTACT 811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL OF ALL STRUCTURES, FOUNDATIONS, SIDEWALKS, PAVEMENT, DRIVES, DRAINAGE STRUCTURES, UTILITIES, BRUSH/TREE CLEARING ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN AN APPROVED LOCATION.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 4. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY DRAIN TILES AND NOTIFYING ENGINEER PRIOR TO RELOCATION.
 6. ALL EXISTING INFORMATION AND EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES.
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 9. PRIOR TO DEMOLITION OCCURRING, ALL SPECIFIED EROSION CONTROL PRACTICES SHALL BE INSTALLED.
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 11. CONTRACTOR SHALL SAW-CUT (FULL DEPTH) ALL EXISTING HARD SURFACES WHERE A PORTION OF THE HARD SURFACE SHALL REMAIN AND OTHER BE REMOVED. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 12. CONTRACTOR SHALL MAINTAIN AND KEEP CLEAN ALL EXISTING ROADS, SIDEWALKS, WALKING PATHS, AND SITE ACCESS TO ENSURE THE SAFETY OF THE SURROUNDS PUBLIC AND BUSINESSES.

NOTE:
EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY PINNACLE ENGINEERING GROUP, LTD., INC. ON MAY 26, 2021. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

EXISTING WATER AND SANITARY SHOWN PER RECORD DRAWING. FIELD VERIFY BEFORE CONSTRUCTION.

DEMOLITION LEGEND

- FULL DEPTH PAVEMENT REMOVAL
- PIPE / UTILITY REMOVAL
- SITE FEATURE TO BE REMOVED
- SILT FENCE
- CONSTRUCTION FENCE
- INLET PROTECTION



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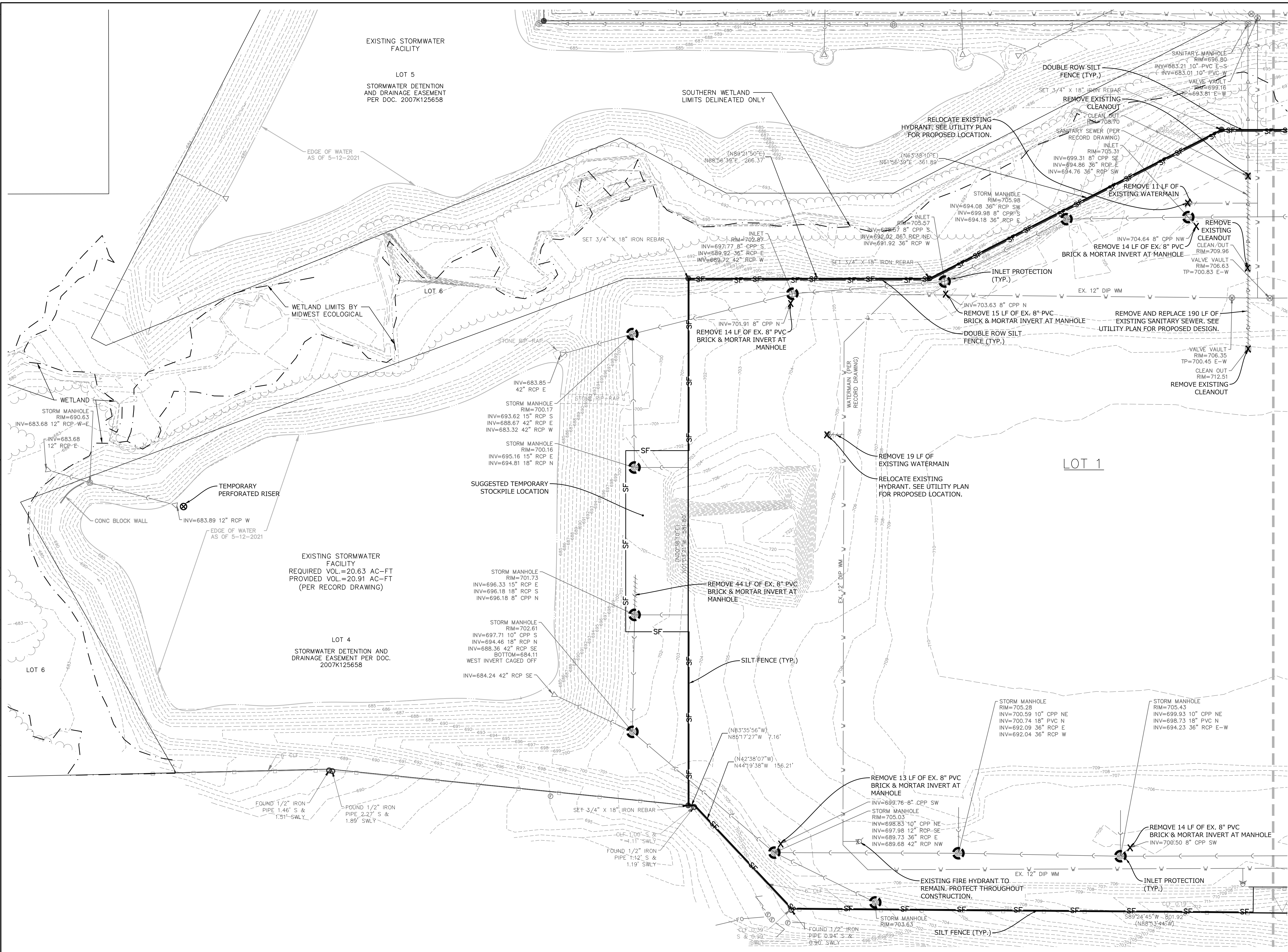
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400 MITCHELL ROAD
NORTH AURORA, ILLINOIS**

REVISIONS			
1	P.U.D. SUBMITTAL	01/31/23	
2	P.U.D. SUBMITTAL	02/10/23	

**OVERALL EXISTING
CONDITIONS &
DEMOLITION PLAN**

PEG JOB NO. 2122-00-IL
REG. NO. BDJ
START DATE 12/15/22
SCALE 1" = 100'
SHEET
C-4
OF
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2/10/2023 8:08 AM - Z:\Projects\2020\1132-00-ILL\312 - ENGINEERING\FINAL SHEET\C-3 DEMOLITION PLAN.dwg DESIGNED: AJS DRAFTED: AJS REVIEWED: BDJ



MATCHLINE (SEE SHEET C-6)

DEMOLITION NOTES

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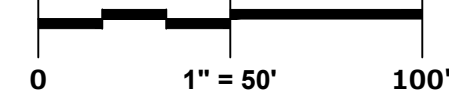
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EXISTING WATER AND SANITARY SHOWN PER RECORD DRAWING. FIELD VERIFY BEFORE CONSTRUCTION.

DEMOLITION LEGEND

- FULL DEPTH PAVEMENT REMOVAL
- PIPE / UTILITY REMOVAL
- SITE FEATURE TO BE REMOVED
- SILT FENCE
- CONSTRUCTION FENCE
- INLET PROTECTION



GRAPHICAL SCALE (FEET)



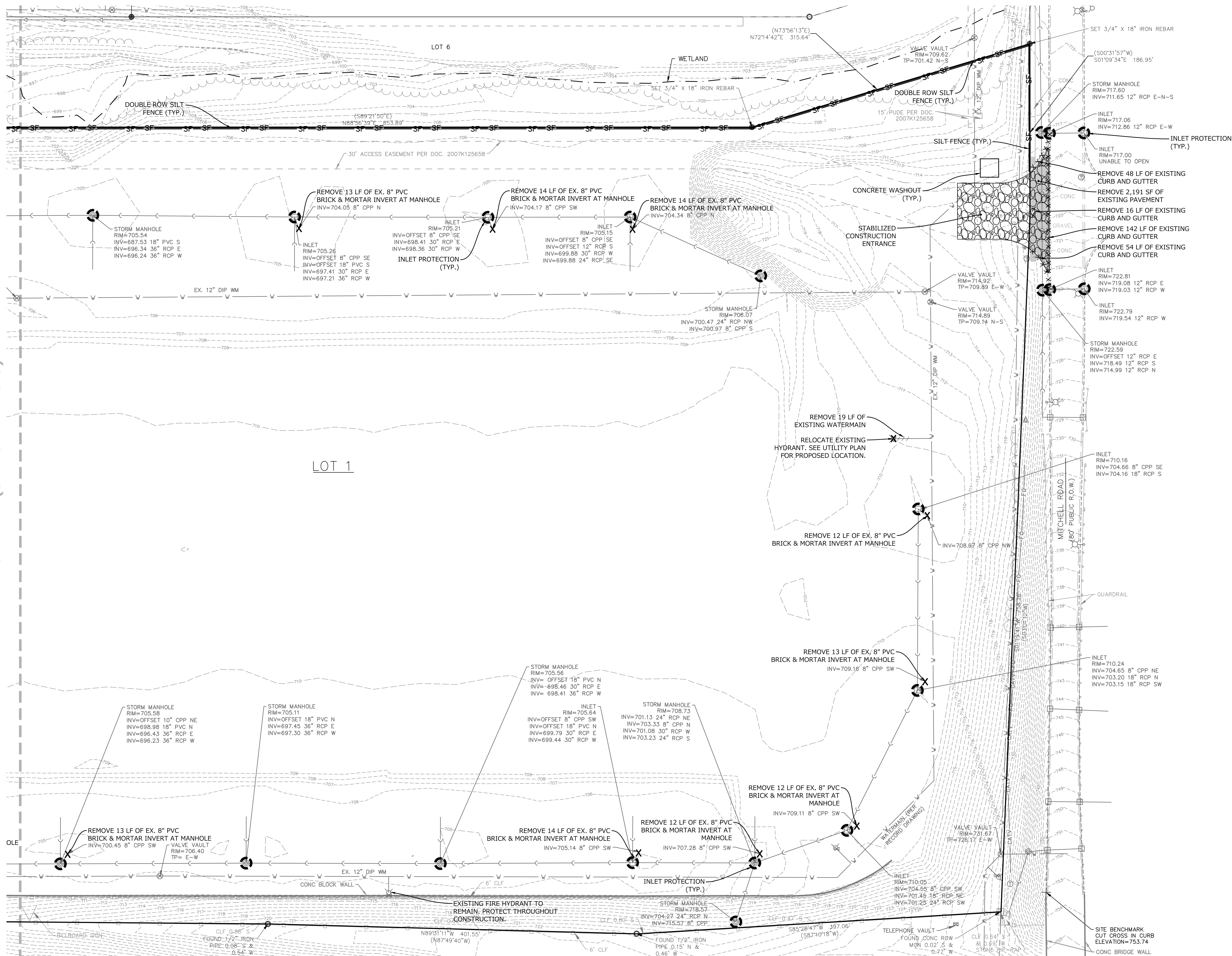
REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

EXISTING CONDITIONS & DEMOLITION PLAN

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MATCHLINE (SEE SHEET C-5)



DEMOLITION NOTES

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DEMOLITION LEGEND

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- PIPE / UTILITY REMOVAL
- SITE FEATURE TO BE REMOVED
- SILT FENCE
- CONSTRUCTION FENCE
- INLET PROTECTION



GRAPHICAL SCALE (FEET)

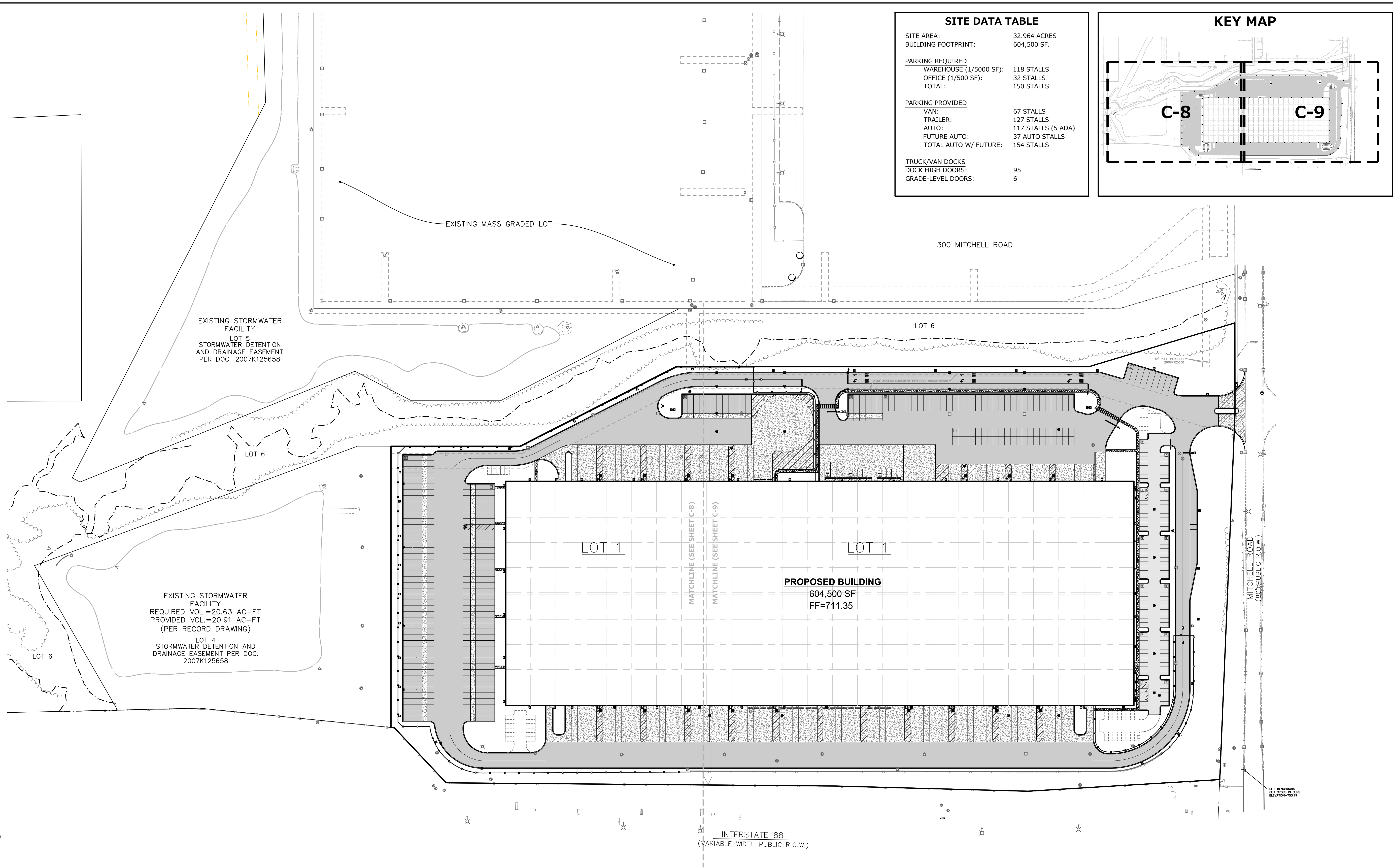
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REVISIONS

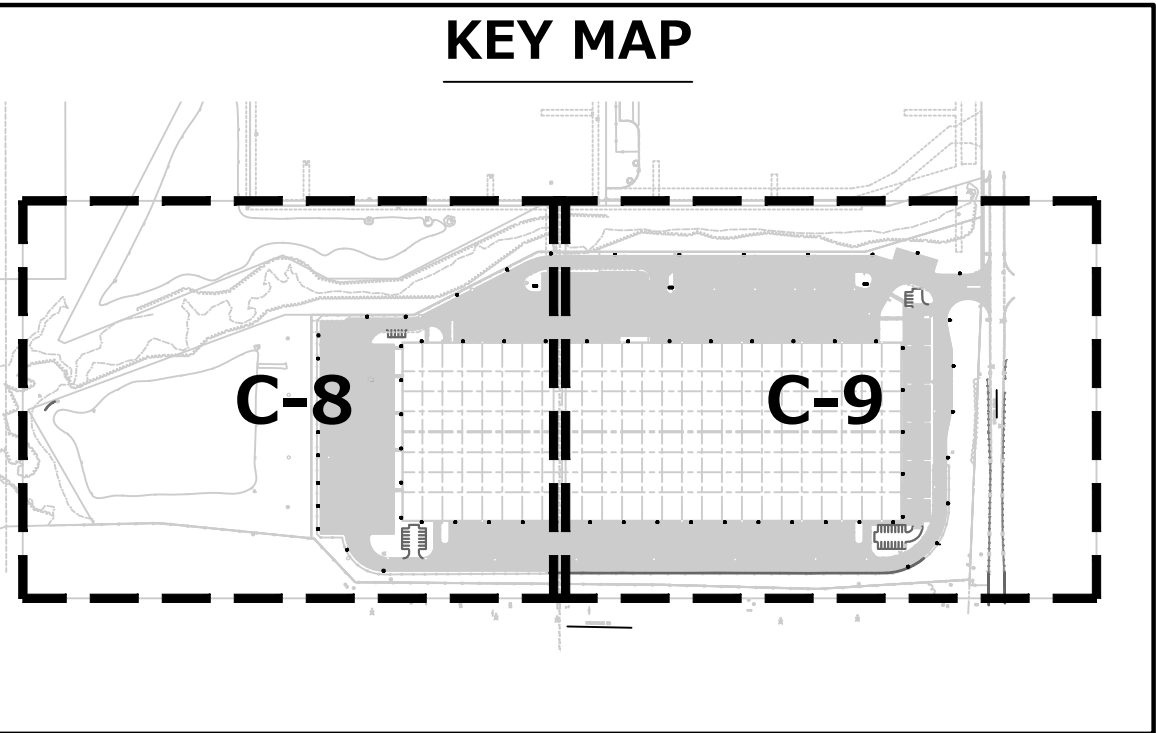
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EXISTING CONDITIONS & DEMOLITION PLAN

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AUS



SITE DATA TABLE	
SITE AREA:	32.964 ACRES
BUILDING FOOTPRINT:	604,500 SF.
PARKING REQUIRED	
WAREHOUSE (1/5000 SF):	118 STALLS
OFFICE (1/500 SF):	32 STALLS
TOTAL:	150 STALLS
PARKING PROVIDED	
VAN:	67 STALLS
TRAILER:	127 STALLS
AUTO:	117 STALLS (5 ADA)
FUTURE AUTO:	37 AUTO STALLS
TOTAL AUTO W/ FUTURE:	154 STALLS
TRUCK/VAN DOCKS	
DOCK HIGH DOORS:	95
GRADE-LEVEL DOORS:	6



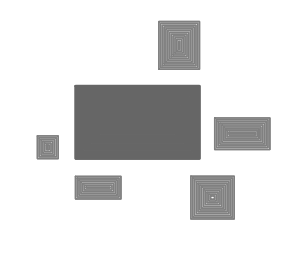
- #### SITE DIMENSIONAL AND PAVING NOTES
- ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
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 - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMP AND HANDICAP STRIPING.
 - REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.

PAVING LEGEND	
	CONCRETE APRON
8"	PORTLAND CEMENT CONCRETE
WITH 6"x6" W2.1 x 86A WWF	
6"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
	CONCRETE PAVEMENT
6"	PORTLAND CEMENT CONCRETE
WITH 6"x6" W2.1 x 86A WWF	
6"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
	LIGHT DUTY ASPHALT PAVEMENT
1.5"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm
NOMINAL SIZE, PG64-22	
2.5"	BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm
NOMINAL SIZE, PG64-22	
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
10"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	HEAVY DUTY ASPHALT PAVEMENT
2"	BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm
NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)	
5"	BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm
NOMINAL SIZE, PG64-22	
0.3	GAL/SY BITUMINOUS PRIME COAT (MC-30)
12"	COMP. CA-6 AGGREGATE SUBBASE, TYPE B
	SIDEWALK
5"	PORTLAND CEMENT CONCRETE (UNREINFORCED)
4"	COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
*NOTE: FINAL PAVEMENT SECTIONS TO BE DETERMINED BY OWNER AND/OR GEOTECH RECOMMENDATIONS	
	B-6.12 CURB & GUTTER
	REVERSE PITCH B-6.12 CURB & GUTTER
	DEPRESSED B-6.12 CURB & GUTTER
	18 PARKING STALL COUNT (NOT TO BE PAINTED)

- #### STRIPING/SIGNAGE LEGEND
- 4" WHITE LINE
 - 4" YELLOW LINE
 - 4" DOUBLE YELLOW LINE
 - YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS
 - 24" WIDE WHITE STOP BAR
 - R1-1 STOP SIGN (30"x30")
 - R7-8 & R7-1101 HANDICAP PARKING & \$350 FINE SIGNS



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'



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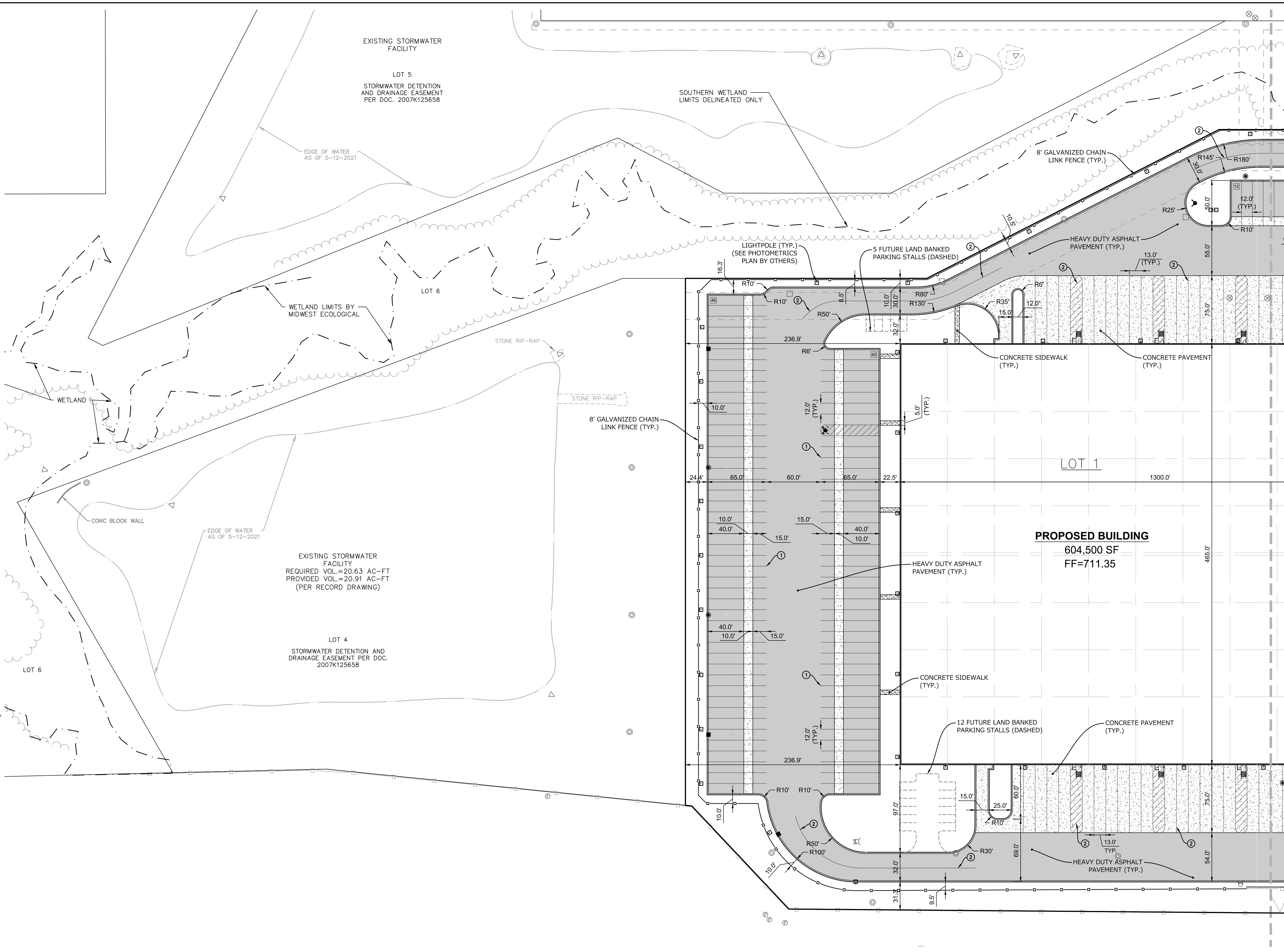
REVISIONS	
1	P.U.D. SUBMITTAL 01/31/23
2	P.U.D. SUBMITTAL 02/10/23

OVERALL SITE
DIMENSIONAL & PAVING
PLAN

PEB JOB No. 2122-00-IL
PEB PM B/DJ
START DATE 12/15/22
SCALE 1" = 100'

SHEET
C-7
OF
C-21

2/10/2024 8:08 AM - 2: Projects\2020\1132-00-IL\1132 - ENGINEERING\FINAL\Sheet\C-4 SITE DIMENSIONAL & PAVING PLAN
DESIGNED: AJS
DRAFTED: AJS
REVIEWED: BDJ
PENN ENGINEERING



SITE DIMENSIONAL AND PAVING NOTES

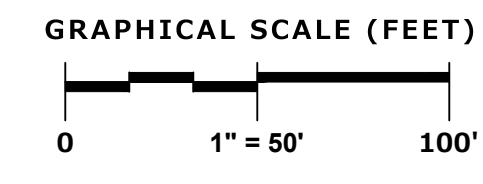
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WITH 6"x6" W2.1 x 86A.WWF
6" COMP. CA-6 AGGREGATE BASE COURSE, TYPE B
- CONCRETE PAVEMENT**
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2.5" BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22
0.3 GAL/SY BITUMINOUS PRIME COAT (MC-30)
12" COMP. CA-6 AGGREGATE SUBBASE, TYPE B
- HEAVY DUTY ASPHALT PAVEMENT**
2" BIT. SURFACE COURSE, HMA, MIX D, N50, 9.5mm NOMINAL SIZE, PG64-22 (R.A.S. NOT PERMITTED)
5" BIT. BINDER COURSE, HMA, IL-19, N50, 19.0mm NOMINAL SIZE, PG64-22
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- B-6.12 CURB & GUTTER
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STRIPING/SIGNAGE LEGEND

- 4" WHITE LINE
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1	P.U.D. SUBMITTAL	01/31/23
2	P.U.D. SUBMITTAL	02/10/23

SITE DIMENSIONAL & PAVING PLAN

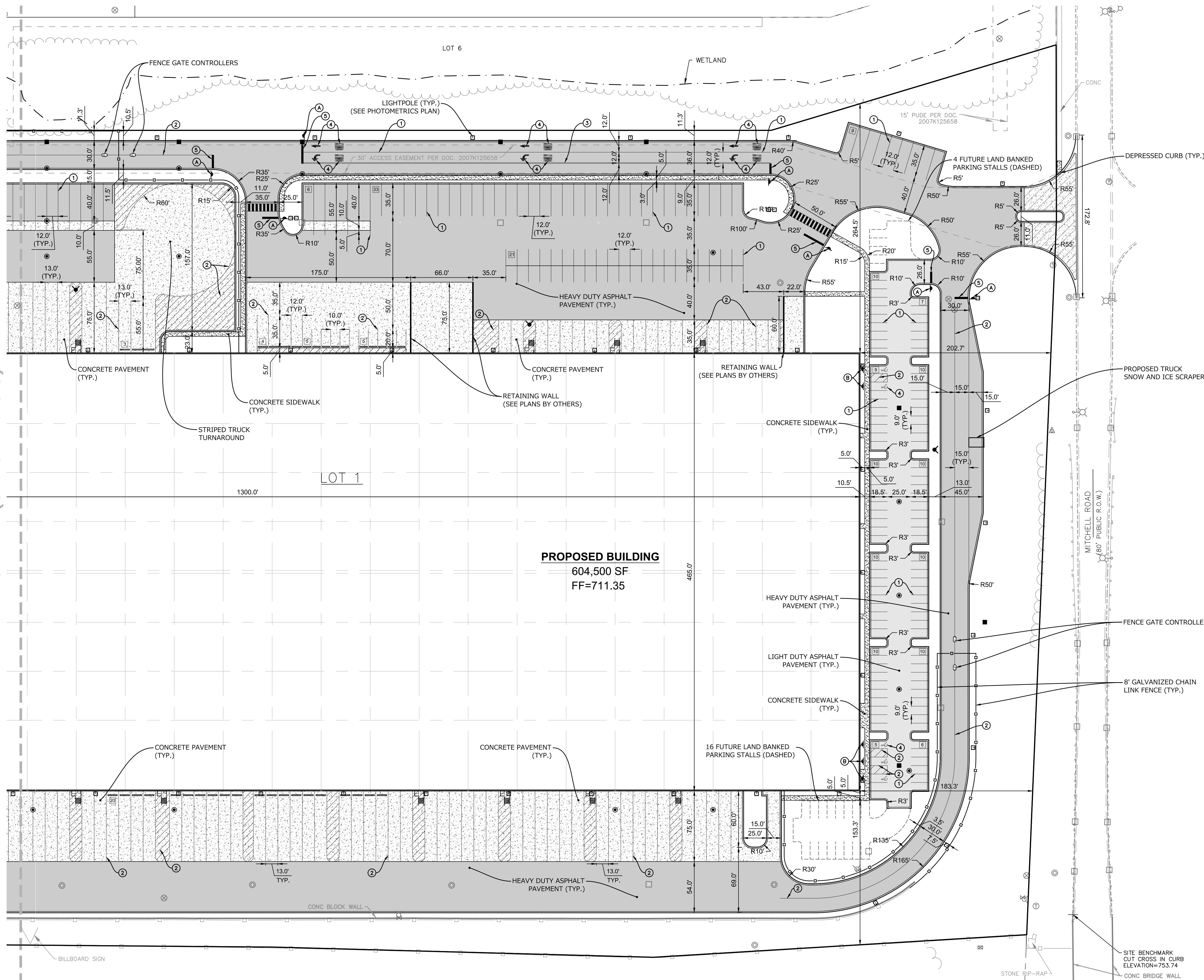
PEJ JOB NO. 2132-00-IL
PEJ PM BDJ
START DATE 12/15/22
SCALE 1" = 50'

SHEET C-8 OF C-21

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7/10/2023 8:08 AM - Z:\Projects\2020\1122-00-IL-1312 - ENGINEERING\FINAL\SHEET\C-4 SITE DIMENSIONAL & PAVING PLAN
DESIGNED: BDL
REVIEWED: AJS
DRAFTED: AJS
Pinnacle Engineering

MATCHLINE (SEE SHEET C-8)



SITE DIMENSIONAL AND PAVING NOTES

1. ALL PROPOSED CURB SHALL BE B-6.12 CURB & GUTTER UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
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PAVING LEGEND

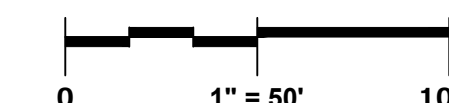
- CONCRETE APRON**
8" PORTLAND CEMENT CONCRETE
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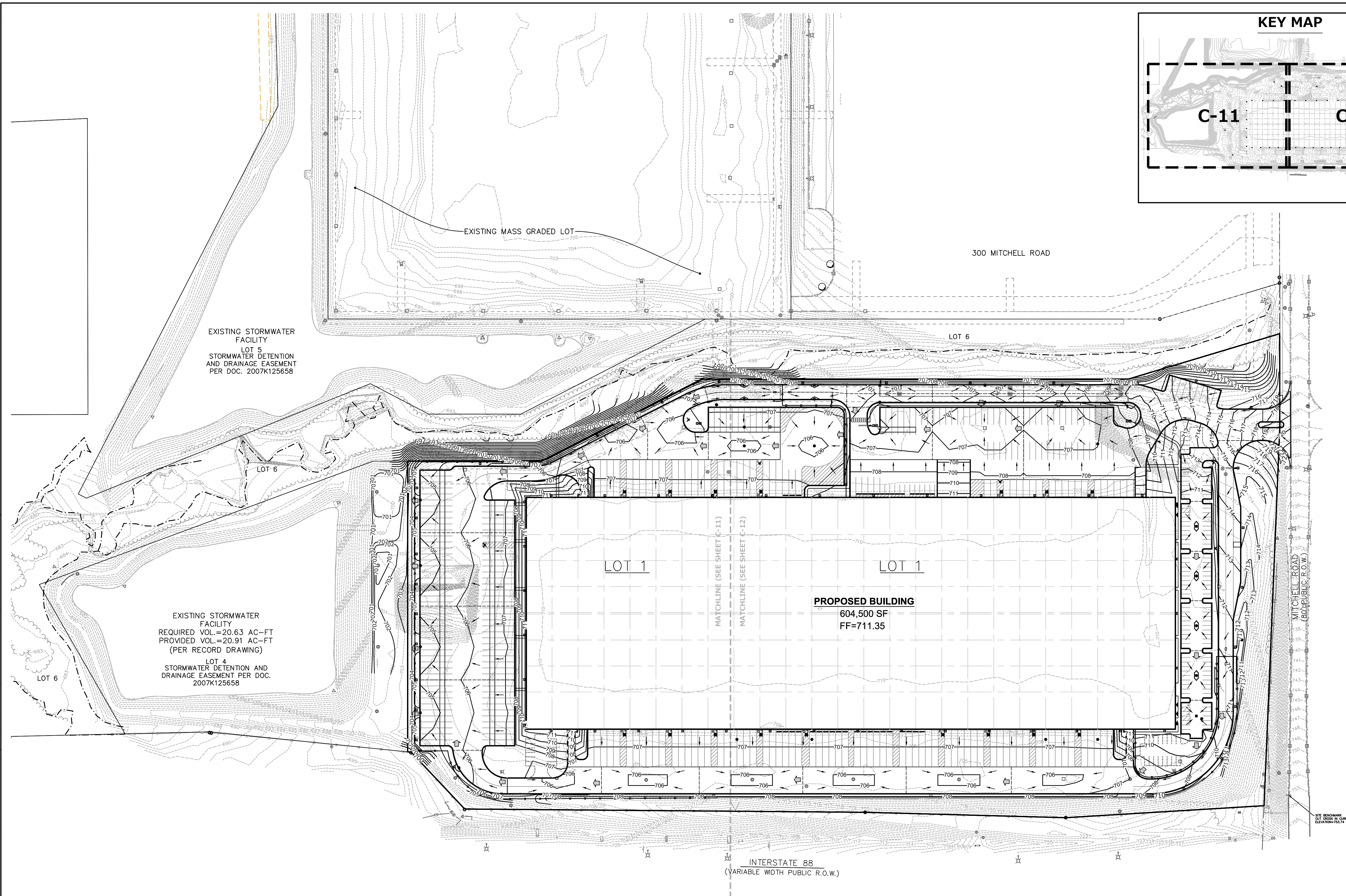
GRAPHICAL SCALE (FEET)



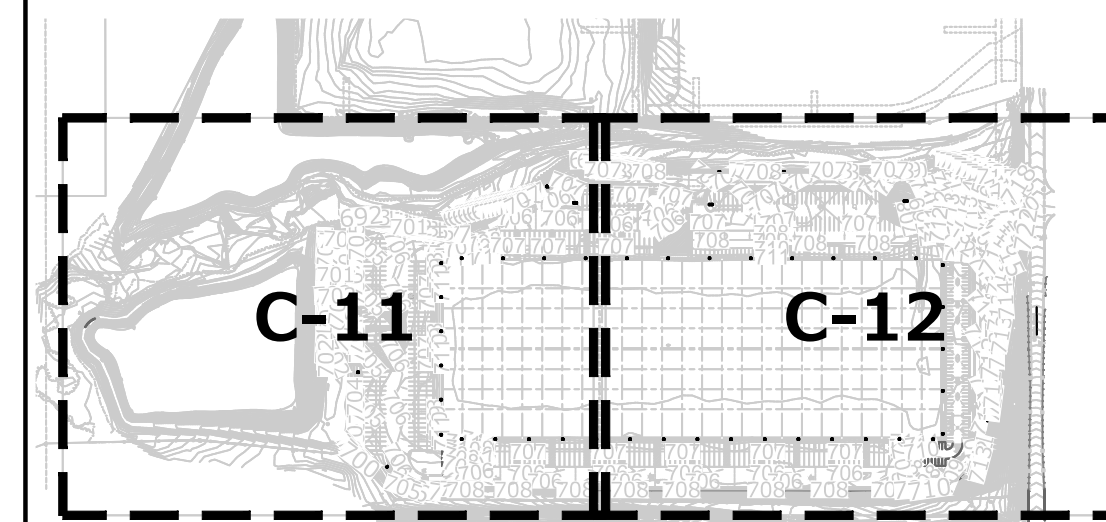
REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

SITE DIMENSIONAL & PAVING PLAN



KEY MAP



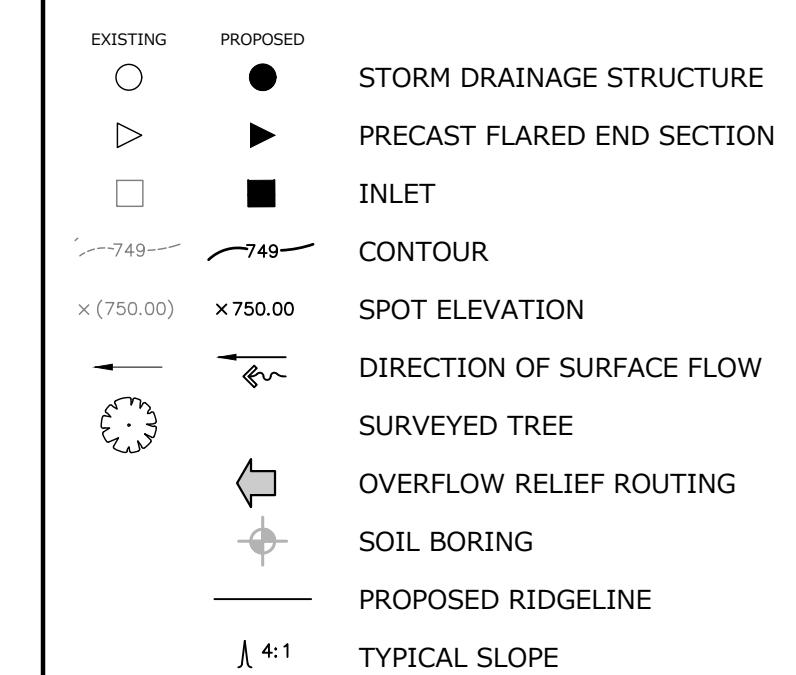
GRADING NOTES

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6. REFER TO CONSTRUCTION DETAILS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
7. ALL EXISTING AND PROPOSED CONTOURS ARE SHOWN IN 1' INCREMENTS.
8. CONTRACTOR SHALL NOT BLOCK DRAINAGE.
9. CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE.
10. CONTRACTOR SHALL REFER TO PLAIN SPECIFICATIONS, SOIL EROSION CONTROL PLAN, AND SWPPP PRIOR TO CONSTRUCTION FOR WATER QUALITY REQUIREMENTS ASSOCIATED WITH LAND DISTURBANCE.
11. WOVEN GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF IUM MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1, CLASS 1 WITH AN APPARENT OPENING SIZE OF 0.5 MM.

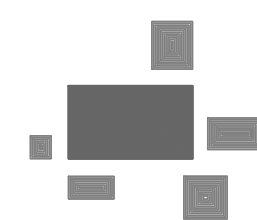
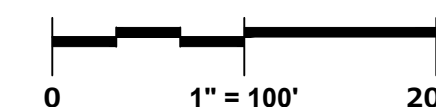
ELEVATIONS

1. CONTOURS ARE SHOWN AS FINISHED GRADE.
2. SPOT ELEVATIONS ARE SHOWN AS FLOW LINE ALONG THE CURB AND GUTTER AND FINISHED GRADE ELSE WHERE UNLESS SPECIFIED AS BELOW:
 - EP = EDGE OF PAVEMENT
 - TC = TOP OF CURB
 - ME = MATCH EXISTING
 - TD= TOP OF DEPRESSED CURB
 - TS = TOP OF SIDEWALK

LEGEND



GRAPHICAL SCALE (FEET)



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2	P.U.D. SUBMITTAL	02/10/23			

OVERALL GRADING PLAN

EG JOB No. **2132.00-IL**

EG PM BDJ
START DATE 12/15/22

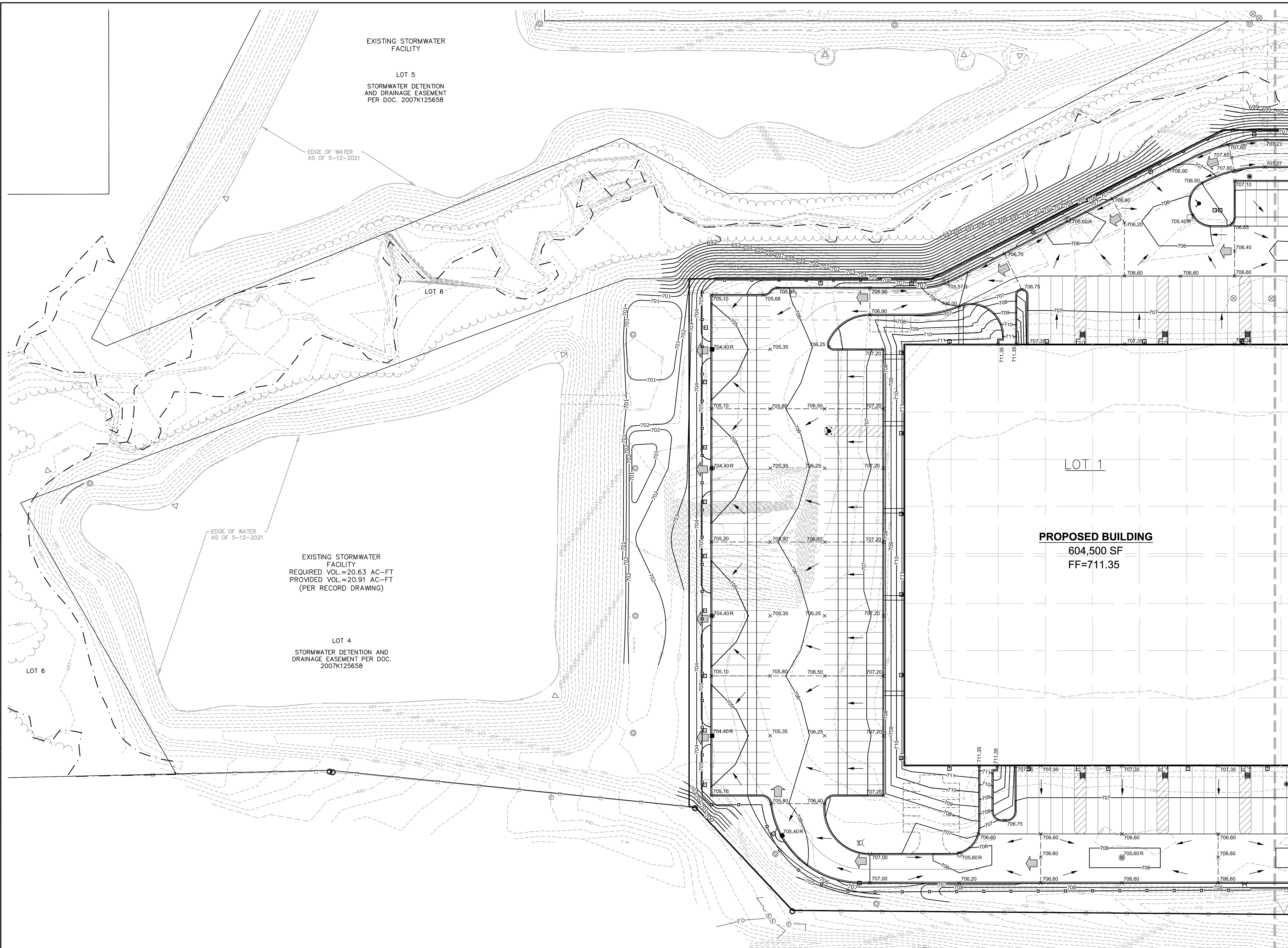
SHEET
C-10
OF
C-21

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OVERALL GRADING PLAN

2/10/2020 10:08:08 AM - Z:\Projects\2020\1122-00-IL\312 - ENGINEERING\FINAL SHEETS\C-5 GRADING PLAN.dwg DRAFTS DESIGNED 2/10/2020 10:08:08 AM - Z:\Projects\2020\1122-00-IL\312 - ENGINEERING\FINAL SHEETS\C-5 GRADING PLAN.dwg THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC



- ### GRADING NOTES
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TS = TOP OF SIDEWALK

LEGEND

EXISTING	PROPOSED	STORM DRAINAGE STRUCTURE
		PRECAST FLARED END SECTION
		INLET
		CONTOUR
		SPOT ELEVATION
		DIRECTION OF SURFACE FLOW
		SURVEYED TREE
		OVERFLOW RELIEF ROUTING
		SOIL BORING
		PROPOSED RIDGELINE
		TYPICAL SLOPE

MATCHLINE (SEE SHEET C-12)

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1	P.U.D. SUBMITTAL	01/31/23
2	P.U.D. SUBMITTAL	02/10/23

GRADING PLAN

GRAPHICAL SCALE (FEET)
0 1" = 50' 100'

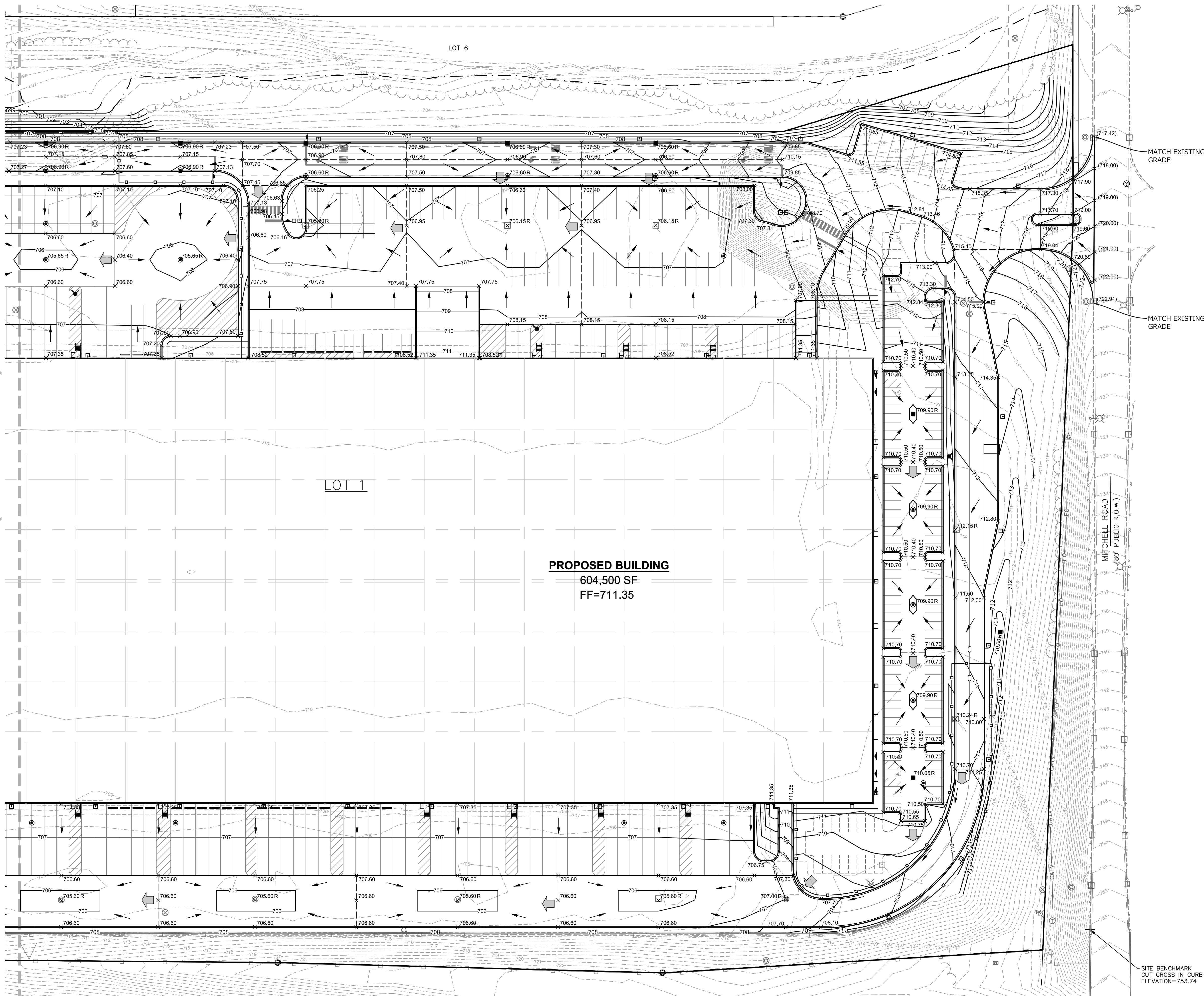
PEJ JOB NO. 2122-00-IL
PEJ PM BJD
START DATE 12/15/22
SCALE 1" = 50'

SHEET
C-11
OF
C-21

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DRAFTED
DESIGNED
AISC

MATCHLINE (SEE SHEET C-11)



GRADING NOTES

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ELEVATIONS

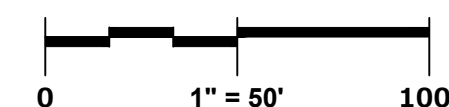
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LEGEND

EXISTING	PROPOSED	STORM DRAINAGE STRUCTURE
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		INLET
		CONTOUR
		SPOT ELEVATION
		DIRECTION OF SURFACE FLOW
		SURVEYED TREE
		OVERFLOW RELIEF ROUTING
		SOIL BORING
		PROPOSED RIDGELINE
		TYPICAL SLOPE



GRAPHICAL SCALE (FEET)

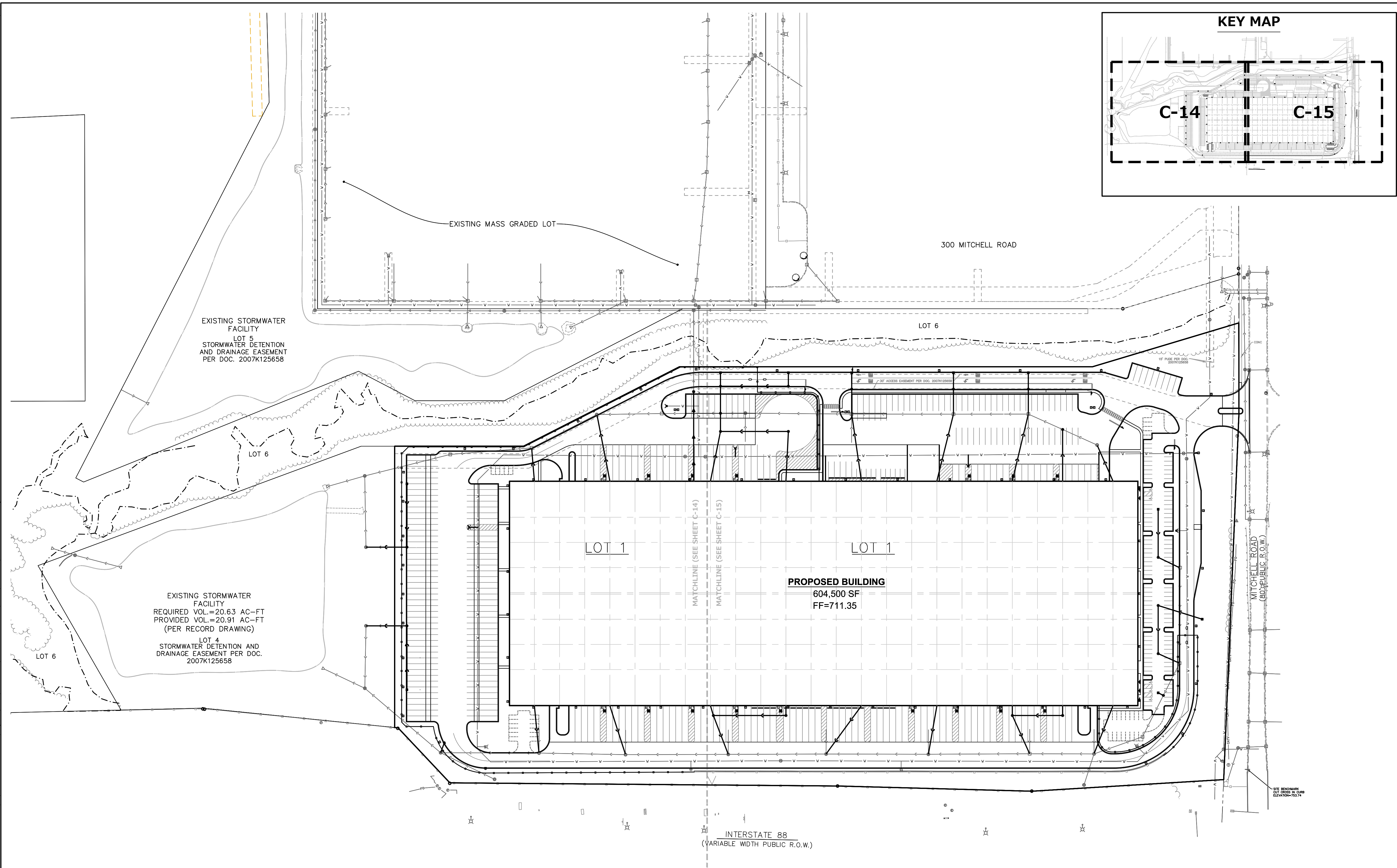


REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

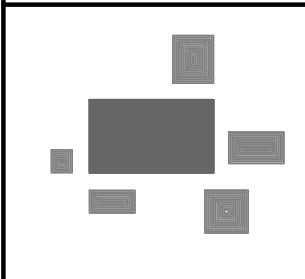
GRADING PLAN

2/10/2023 8:08 AM - 2: Projects 2020\1132-00-IL\1312 - ENGINEERING\FINAL SHEETS\C-6 UTILITY PLAN.dwg
REVIEWED: BDJ
DESIGNED: AJS
DRAFTED: AJS



- ### UTILITY NOTES
- CONTRACTOR SHALL CONTACT 811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR UTILITY CONSTRUCTION.
 - ALL EXISTING INFORMATION AND EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES.
 - ALL UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
 - ALL MANHOLES AND VALVE VAULTS SHALL BE PER VILLAGE OF NORTH AURORA AND "WATER," "STORM SEWER," OR "SANITARY SEWER" CAST INTO THE LID. ALL OPEN LIDS OR GRATES SHALL HAVE THE WORDS "DRAINS TO RIVER, DUMP NO WASTE" PERMANENTLY INSCRIBED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 - CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF ALL BUILDING SERVICES WITH ARCHITECTURAL AND MEP PLANS.
 - CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE.
 - ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS OF ALL ELECTRIC, GAS, AND TELEPHONE SERVICES PRIOR TO START OF CONSTRUCTION. ALL UTILITY SLEEVES AND PIPE SHALL BE INCLUDED IN BID.
 - CONTRACTOR SHALL LOCATE ALL EXISTING SEWER AND WATERMAIN LOCATION, SIZE, ELEVATION, AND CONDITION AT POINTS OF CONNECTION AND WHERE PROPOSED UTILITIES SHALL CROSS OR POTENTIALLY COME IN CONFLICT WITH EXISTING LINES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING IS SHOWN FOR REFERENCE ONLY. REFER TO PHOTOMETRICS PLAN FOR CONSTRUCTION.
 - UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CITY, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IDOT. IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.
 - ALL OPEN LID STORM STRUCTURES SHALL HAVE NEENAH R-2540 LIDS, UNLESS OTHERWISE NOTED.

LEGEND	
EXISTING	PROPOSED



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400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

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2	P.U.D. SUBMITTAL 02/10/23

OVERALL UTILITY PLAN



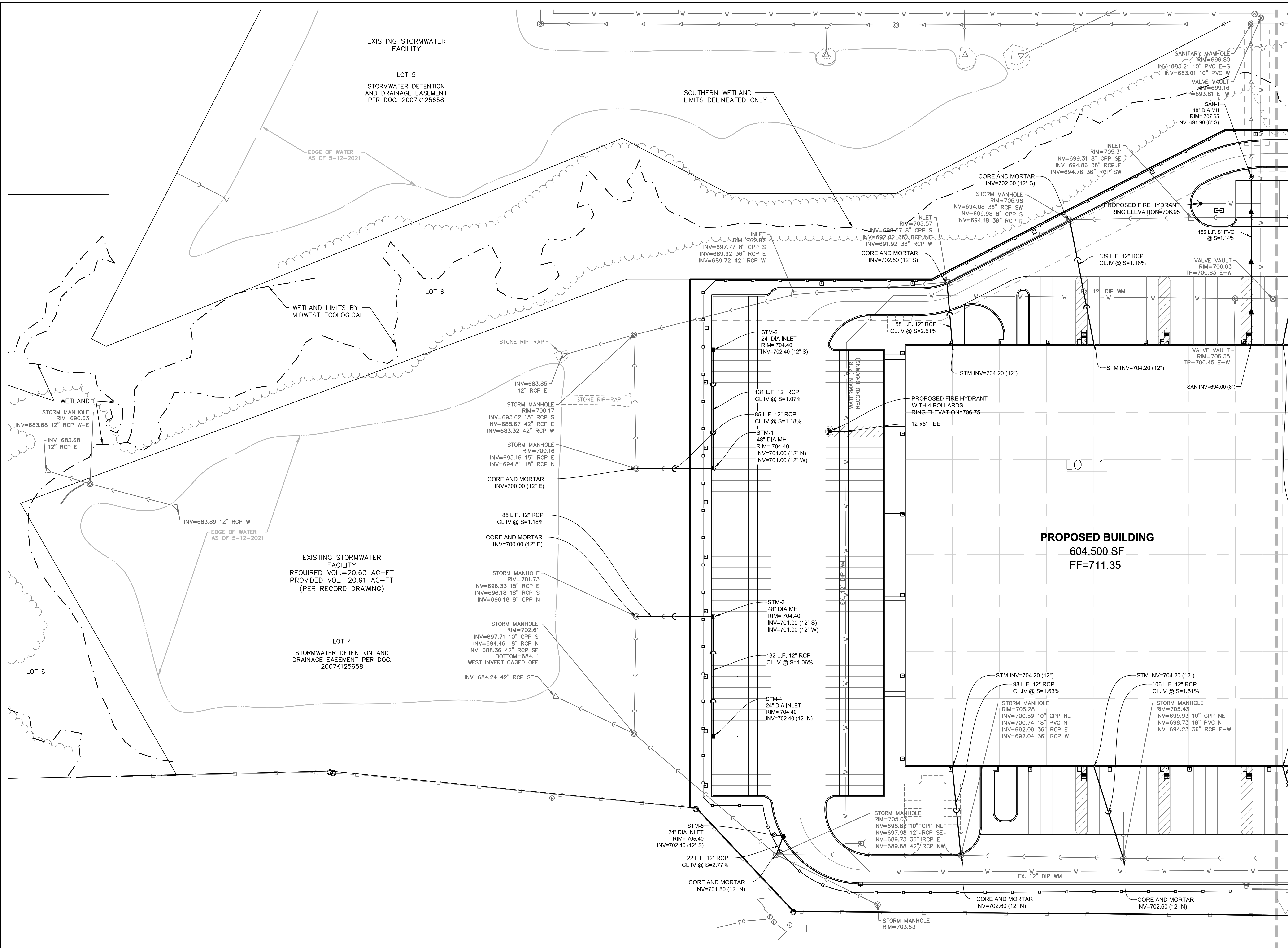
NORTH

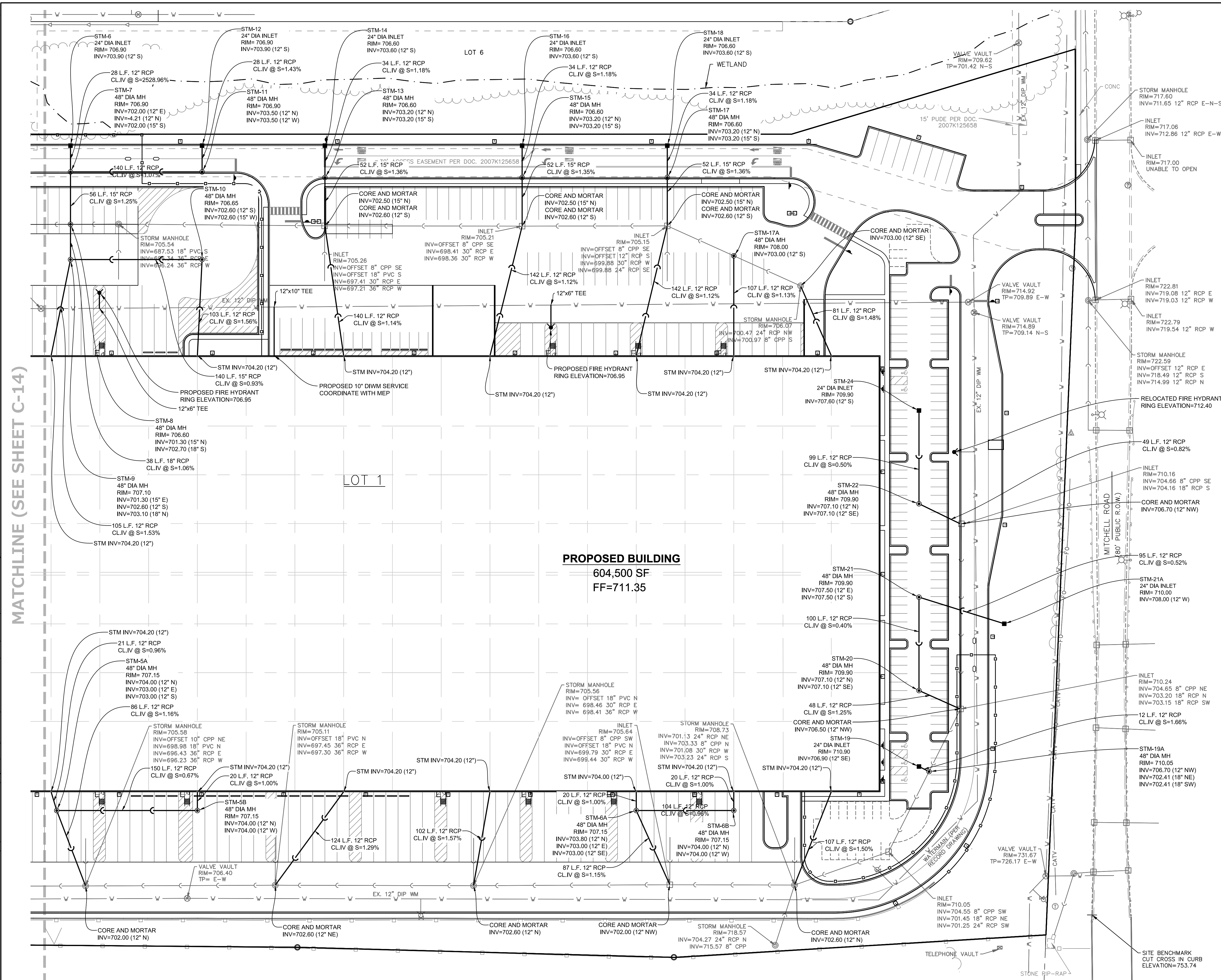
GRAPHICAL SCALE (FEET)

0 1" = 100' 200'

PEJ JOB No. 2132-00-IL
BDJ
PEG PM
START DATE 12/15/22
SCALE 1" = 100'

SHEET
C-13
OF
C-21





0	1" = 50'	100'
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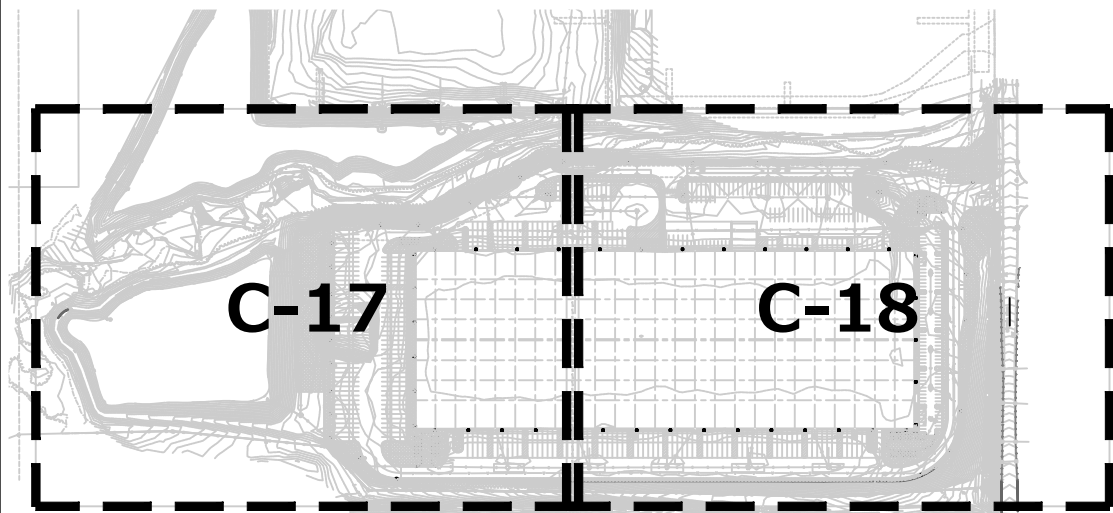
400 MITCHELL ROAD - UTILITY PLAN

4/10/2023 8:09 AM - Z:\Projects\2020\1132-00-IL-312 - ENGINEERING\FINAL SHEETS\C-7 SITE STABILIZATION PLAN.dwg
DESIGNED: AJS
DRAFTED: AJS
REVIEWED: BDJ
FORN

SEQUENCE OF CONSTRUCTION ACTIVITIES

1. INSTALLATION OF SOIL EROSION AND SEDIMENT CONSTROL MEASURES
 - a) SILT FENCE INSTALLATION.
 - b) STABILIZED CONSTRUCTION ENTRANCE.
 - c) INSTALL INLET PROTECTION ON EXISTING OPEN GRATES.
2. TREE REMOVAL WHERE NECESSARY (CLEAR & GRUB).
3. DEMOLITION OF EXISTING BUILDING & PARKING LOT.
4. CONSTRUCT SEDIMENT TRAPPING DEVICES. (EX. POND)
5. STRIP TOPSOIL, STOCKPILE TOPSOIL AND GRADE SITE.
6. TEMPORARY STABILIZE TOPSOIL STOCKPILES (SEED AND SILT FENCE AROUND TOE OF SLOPE).
7. CONSTRUCT PROPOSED BUILDING.
8. INSTALL STORM SEWER, WATER MAIN, AND ASSOCIATED INLET & OUTLET PROTECTION.
9. TEMPORARILY STABILIZE ALL AREAS INCLUDING AREAS THAT HAVE REACHED TEMPORARY GRADE.
10. INSTALL STRUCTURES AND FINAL GRADE OPEN SPACE.
11. PERMANENTLY STABILIZE OPEN SPACE.

KEY MAP



SITE STABILIZATION NOTES

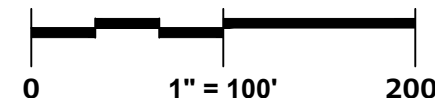
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- SEED & BLANKET
NORTH AMERICAN GREEN SC-150 BLANKET (SEE LANDSCAPE PLAN FOR SEED MIX)
- RIP RAP
- INLET PROTECTION
- SILT FENCE
- CONSTRUCTION FENCE
- PERFORATED RISER W/ FILTER FABRIC



GRAPHICAL SCALE (FEET)

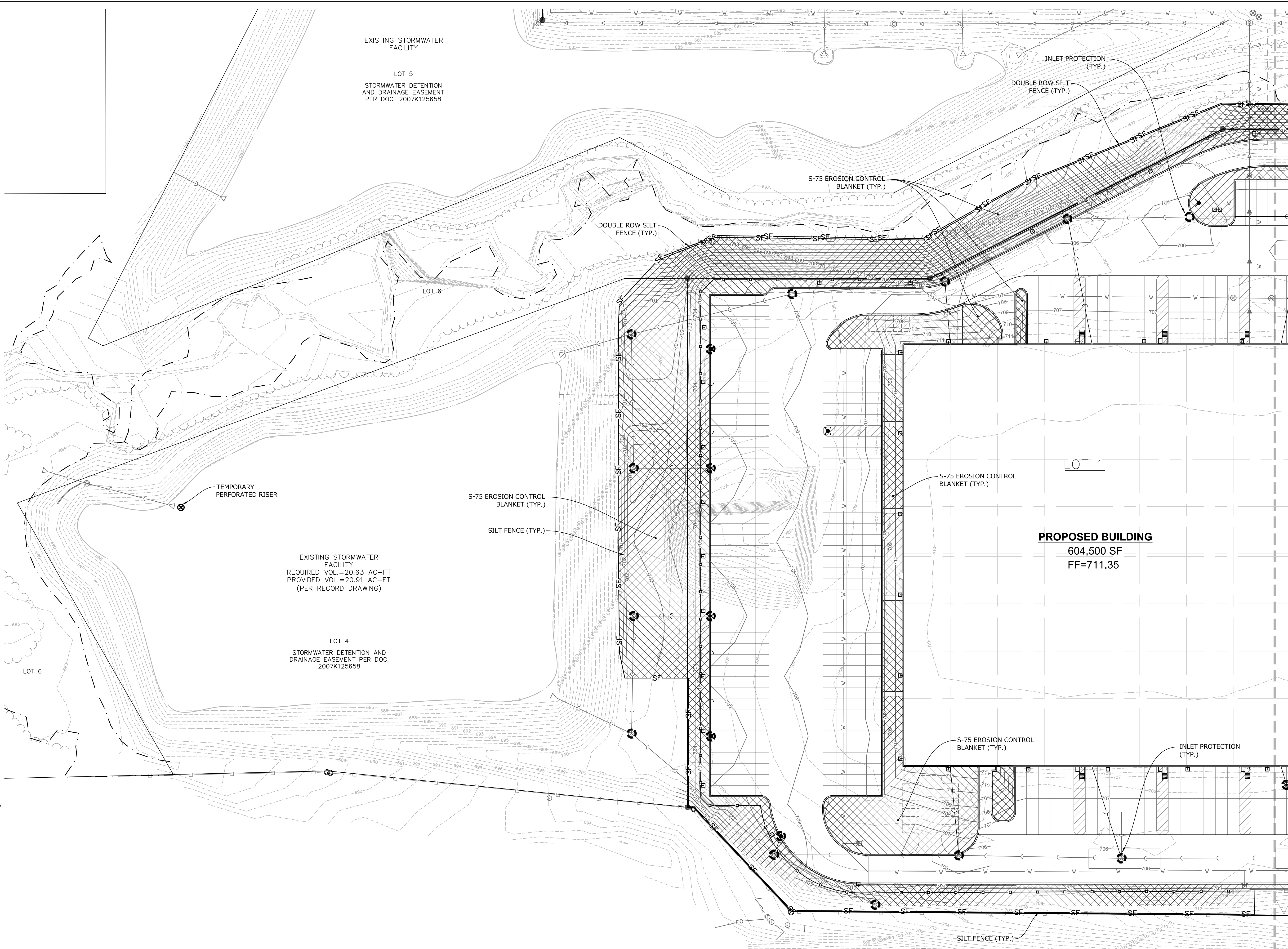


REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

OVERALL SITE STABILIZATION PLAN

2/10/2020 10:09 AM - Z:\Projects\2020\1122-00-LL-112 - ENGINEERING\FINAL SHEETS\C-7 SITE STABILIZATION
DRAFTS
DESIGNED
DATE
A/E



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	SILT FENCE
	CONSTRUCTION FENCE
	PERFORATED RISER W/ FILTER FABRIC



GRAPHICAL SCALE (FEET)
0 1" = 50' 100'

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400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

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1	P.U.D. SUBMITTAL 01/31/23
2	P.U.D. SUBMITTAL 02/10/23

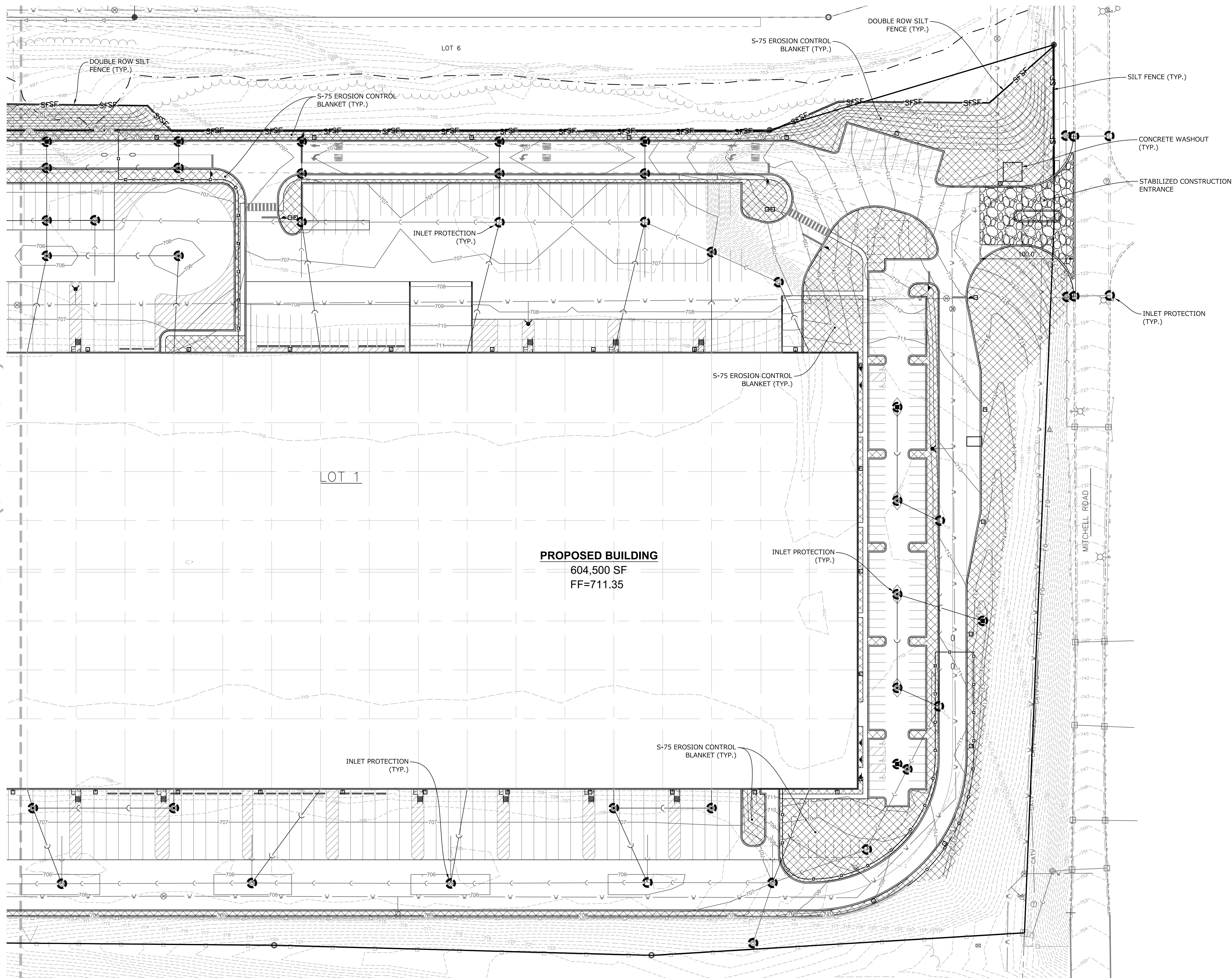
SITE STABILIZATION PLAN

PEJ JOB No. 2122-00-LL
BDJ
PEG PM
START DATE 12/15/22
SCALE 1" = 50'

SHEET
C-17
OF
C-21

2/10/2020 8:09 AM - Z:\Projects\2020\1132-00-LL\112 - ENGINEERING\FINAL SHEETS\C-7 SITE STABILIZATION
DRAFTING
DESIGNED
DATE
A/E

MATCHLINE (SEE SHEET C-17)



SITE STABILIZATION NOTES

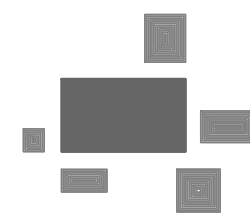
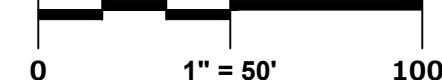
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GRAPHICAL SCALE (FEET)



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REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

SITE STABILIZATION PLAN

PEJ JOB NO. 2132-00-LL
BID
REG. NO. 12/15/22
START DATE 12/15/22
SCALE 1" = 50'

SHEET
C-18
OF
C-21

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400 MITCHELL ROAD - SITE STABILIZATION PLAN

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REVISIONS	DATE: NOVEMBER 2003	VILLAGE OF NORTH AURORA SUBDIVISION CONTROL ORDINANCE STANDARD DRAWINGS	
SEPTEMBER 2006	SCALE: NONE		
	DRAWN BY: G. NIOS	SILT FENCE CONSTRUCTION DETAIL	NO.

Diagram illustrating the construction of a road shoulder using aggregate over geotextile fabric.

Top View:

- EXISTING ROAD
- AGGREGATE OVER GEOTEXTILE FABRIC
- 50' MIN. LENGTH
- 12' MIN.
- 14' MIN.

Side View:

- 20'
- 10'
- 20'
- SLOPE
- 6'
- 3' TO 6" WASHED OR CLEAR STONE
- EXISTING PAVEMENT

PROFILE VIEW

NOTES:

1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WIDNR TECHNICAL STANDARD 1057.
2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3-INCH SIEVE
4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 692 GEOTEXTILE, TYPE 1 OR 2, CLASS 1 OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC, AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 50-FEET LONG.
6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

Typical Curb Box Inlet Filter

Typical Flat/Rectangular/Rolled Curb Inlet Filter

Typical Round Inlet Filter

IDOT Inlet Filter Specifications

Material Property	Test Method	Value (min/ave)
• Nonflexible Concrete/Steel Inlet Bag Specs (2 ft min wall)		
Length Tensile	ASTM D 4882	200 lbf
Flexure Strength	ASTM D 4882	400psi
Trip potential Tear	ASTM D 4533	45 lbf
UV Resistance	ASTM D 4305	30% at 500 hrs
Age Open Size (400)	ASTM D 4751	50 in/min (242 mm)
Permeability	ASTM D 4881	2.0 Darcy
Water Flow Rate	ASTM D 4881	145 gpm/sqft
• Polyester Outer Reservoir Bag Specifications		
Weight	ASTM D 3776	4.50 oz/sqyd +/- 5%
Thickness	ASTM D 3777	600 +/- 200
• Frame Construction		
ANS Structural Steel: 11 Gauge; Zinc Plated	ASTM A 578	Tensile Strength = 58,000 psi Yield Strength = 36,000 psi

INSTALLATION

- REMOVE GRATE
- IMPLY FLEXITORM INLET FILTER INTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

CONSTRUCTION ENTRANCE

T&E CONSTRUCTION ENTRANCE-WI 07-01-12

The diagram illustrates a cross-section of a temporary topsoil stockpile. The stockpile is a trapezoidal shape with a top width of 10 feet and a bottom width of 10 feet. The left side of the stockpile has a slope of 3:1, indicated by a vertical line labeled '3' and a horizontal line labeled '1'. A silt fence, represented by a line with cross-hatching, is shown extending around the perimeter of the stockpile. A label points to the silt fence with the text: 'SILT FENCE TO EXTEND AROUND PERIMETER OF TOPSOIL STOCKPILE, OR TO EXTEND AROUND DOWNSTREAM PORTION IF STOCKPILE IS ON SLOPE.' The original ground surface is shown as a dashed line below the stockpile. A label points to this line with the text: 'ORIGINAL GROUND SURFACE'. The stockpile is labeled 'TOPSOIL STOCKPILE' with an arrow pointing to it. The bottom width of the stockpile is labeled '10''.

SILT FENCE TO EXTEND AROUND PERIMETER OF TOPSOIL STOCKPILE, OR TO EXTEND AROUND DOWNSTREAM PORTION IF STOCKPILE IS ON SLOPE.

3
1

TOPSOIL STOCKPILE

10'

ORIGINAL GROUND SURFACE

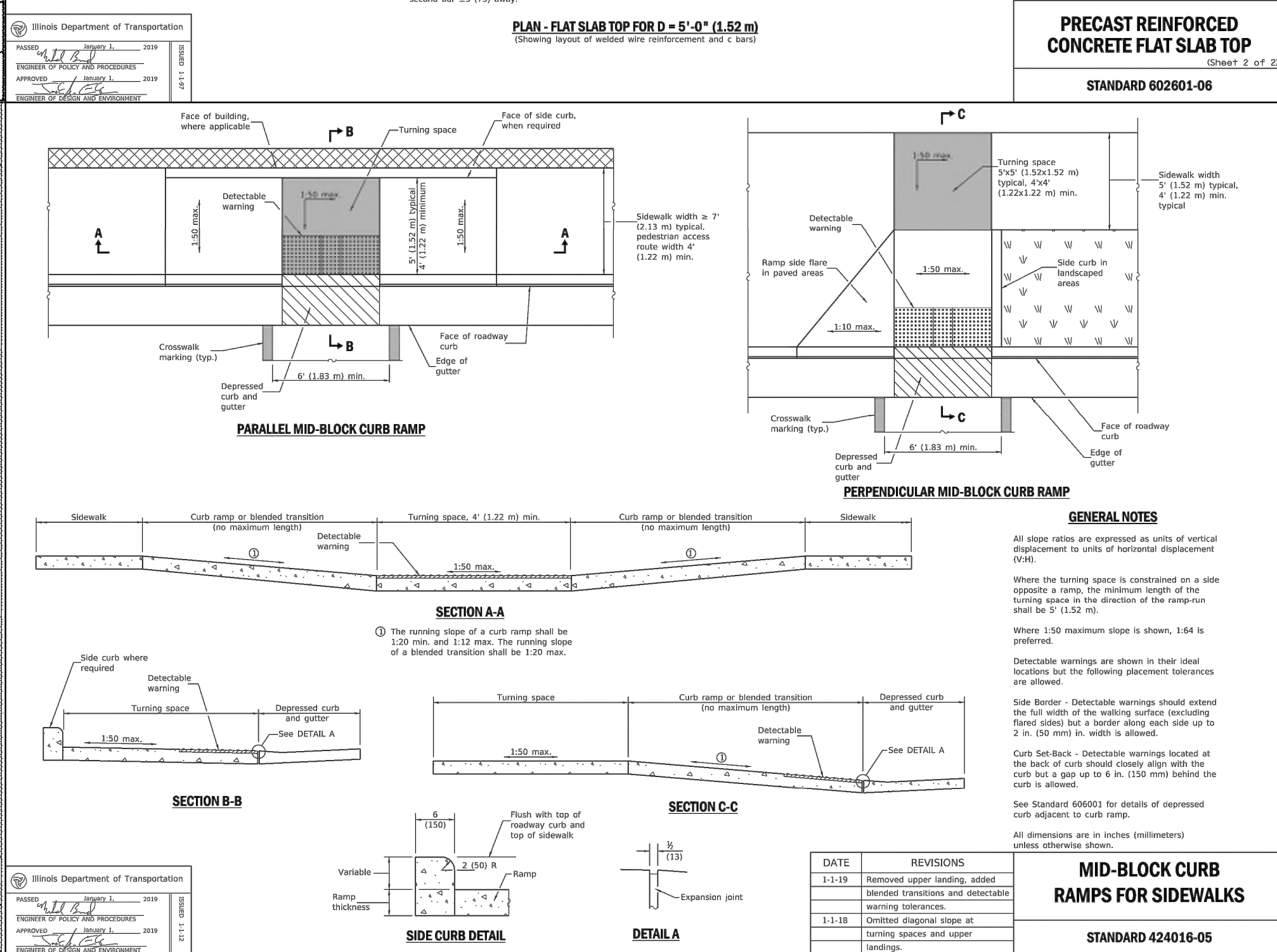
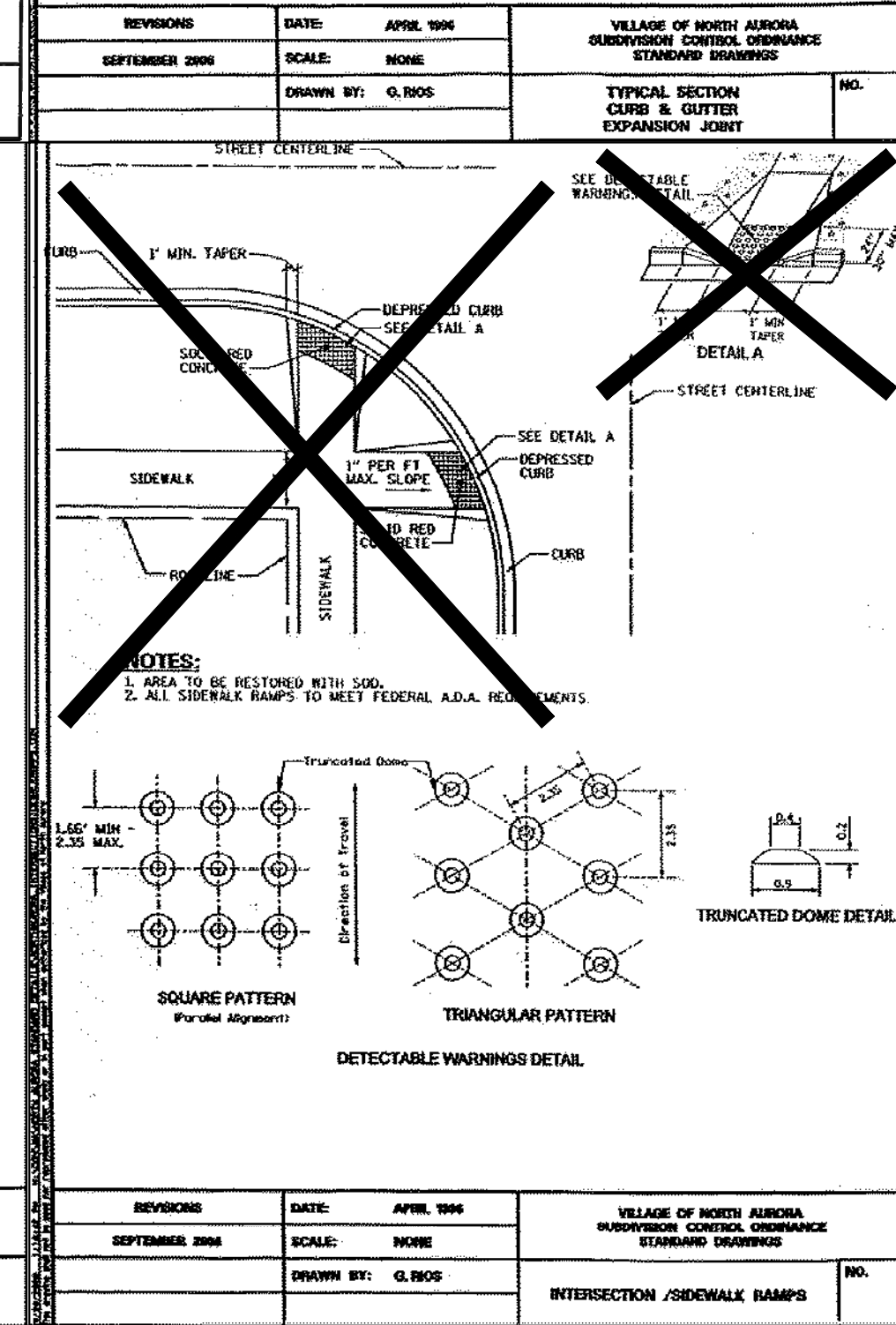
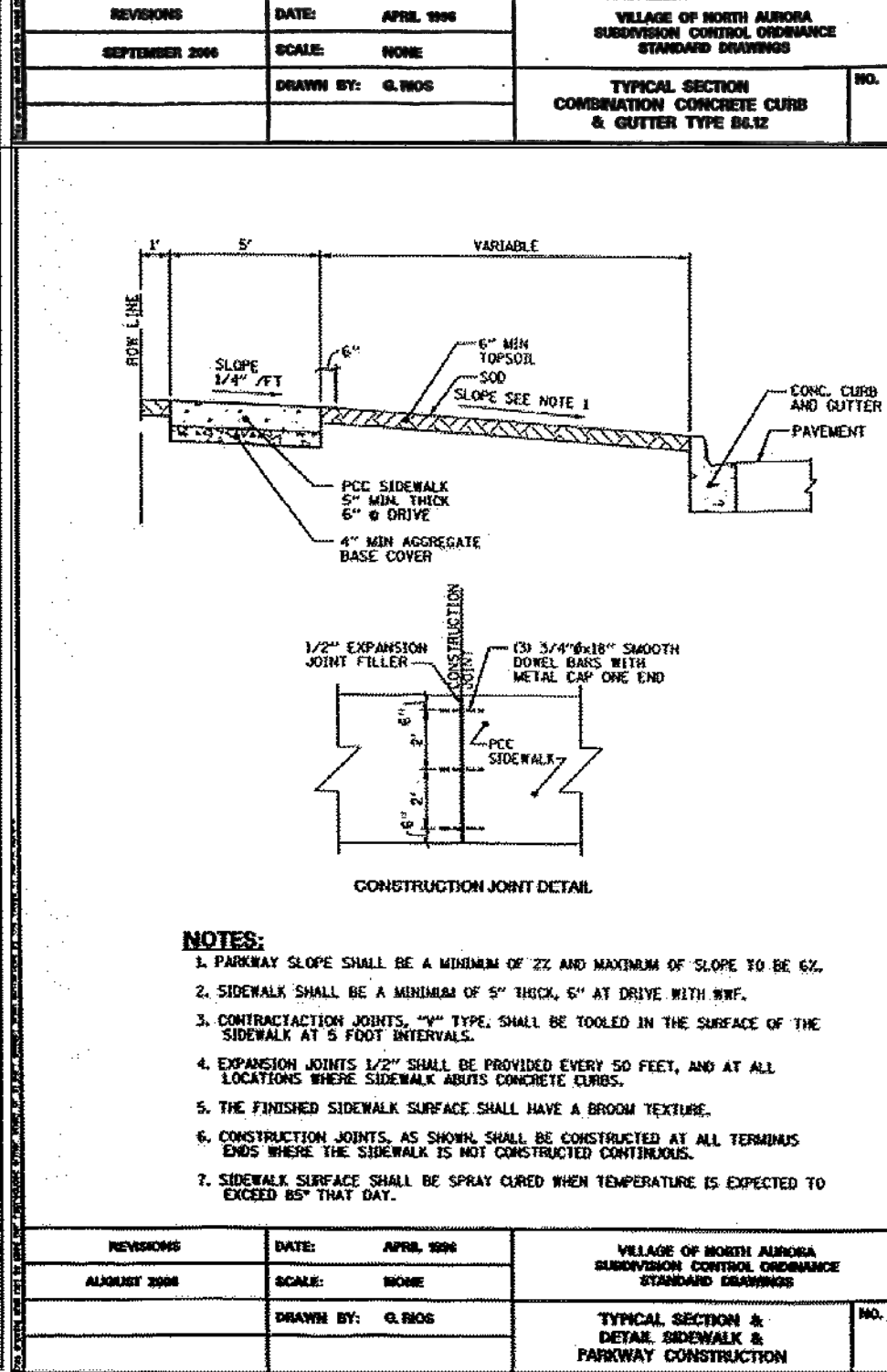
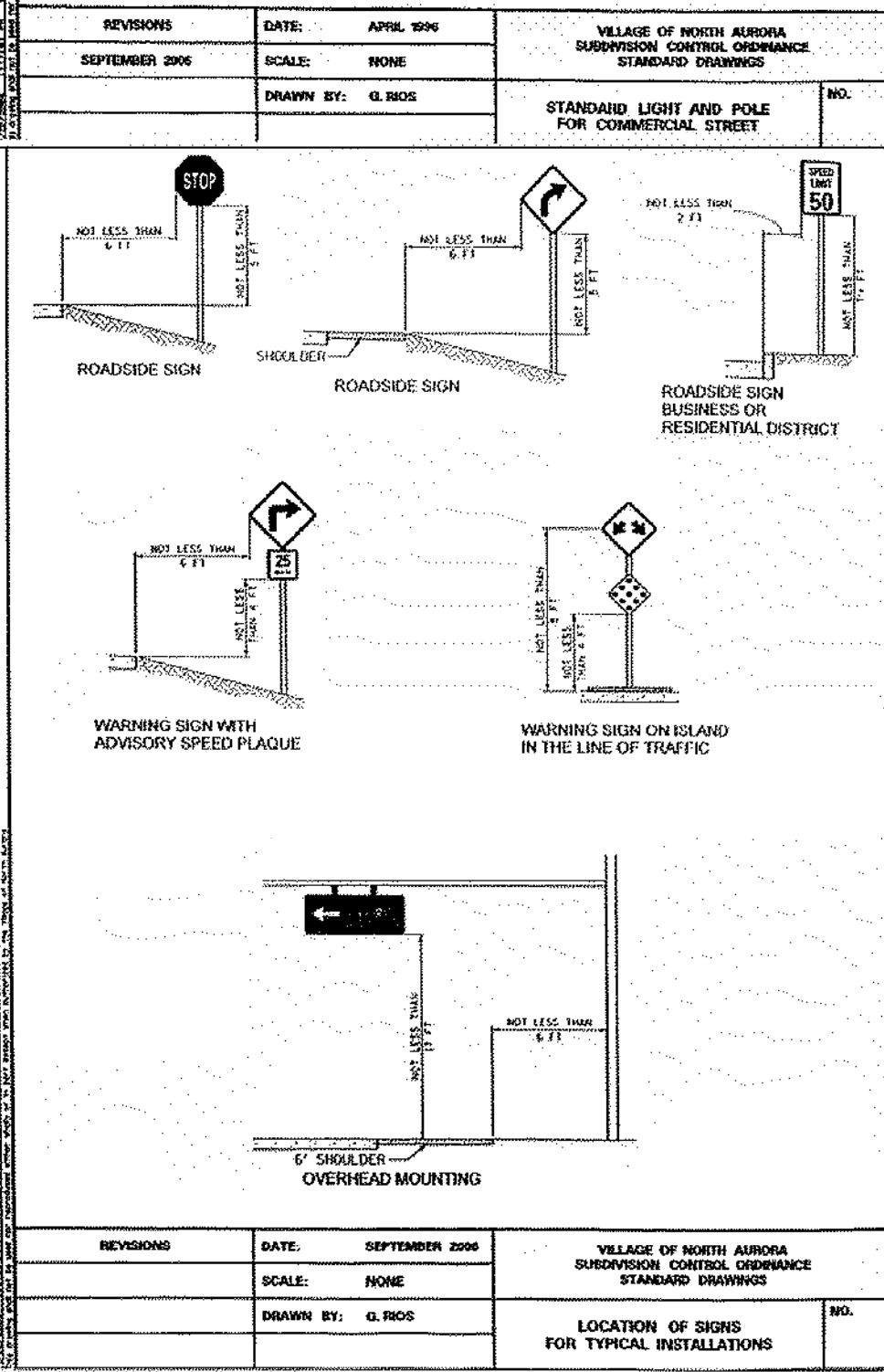
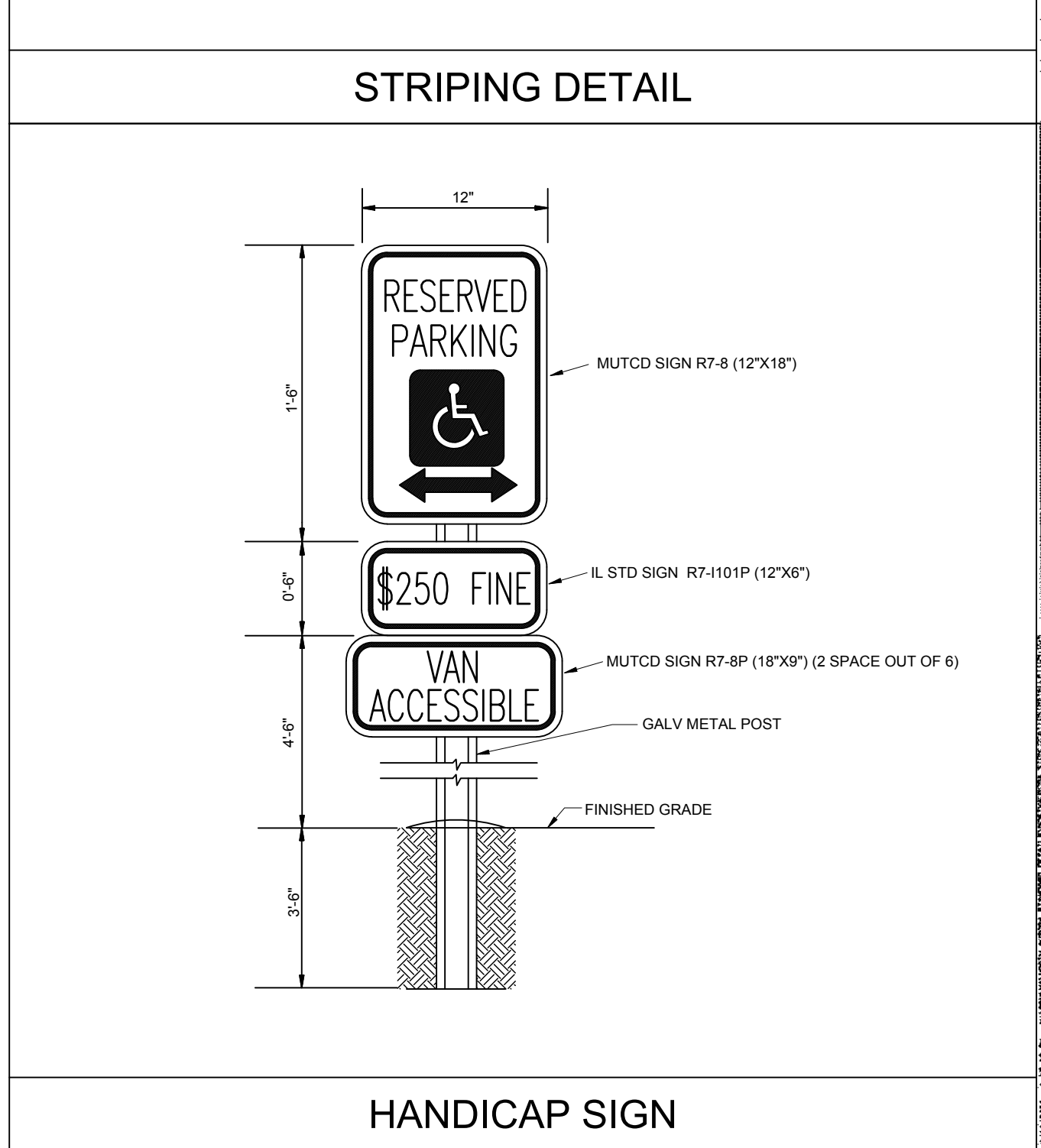
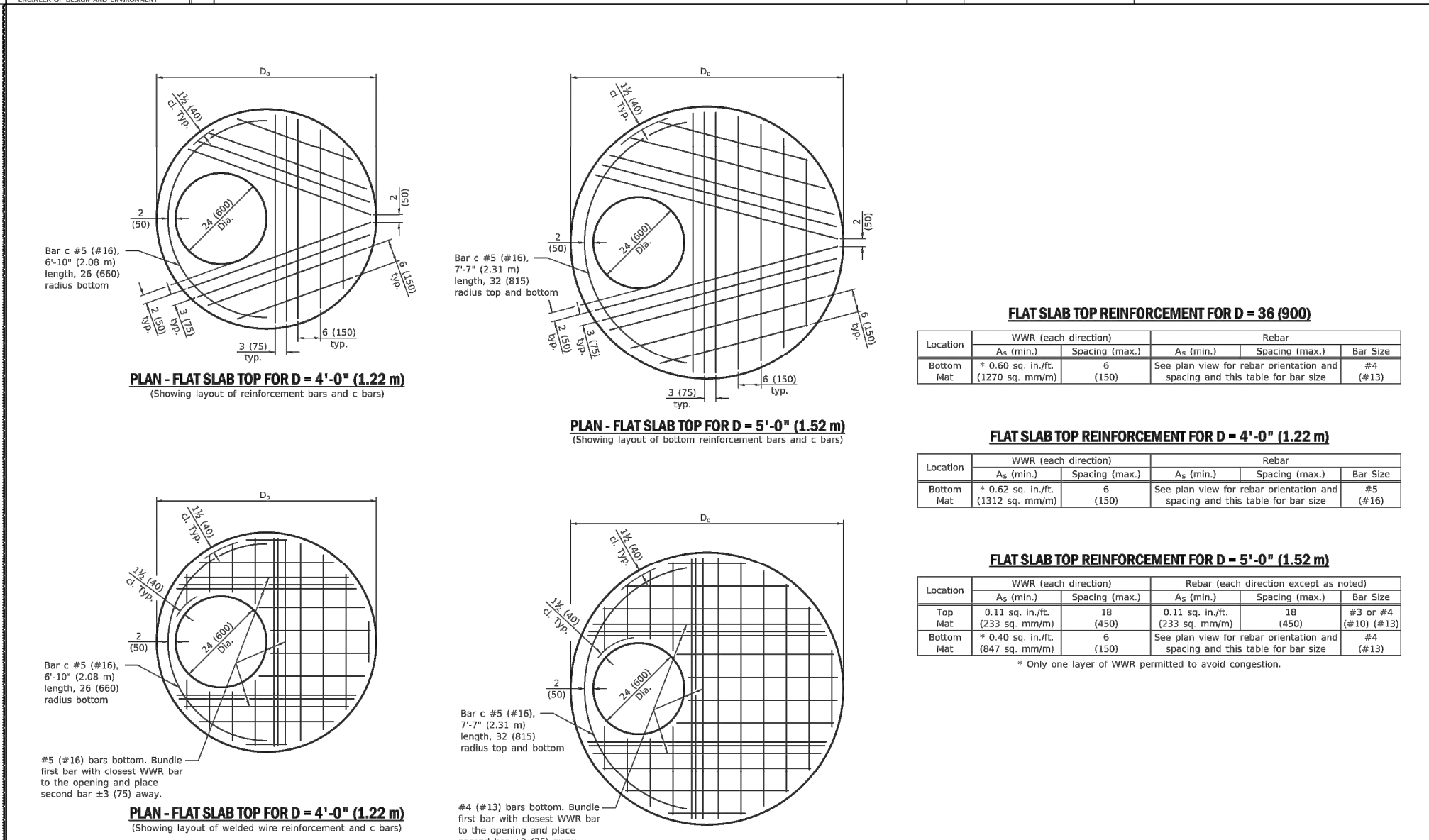
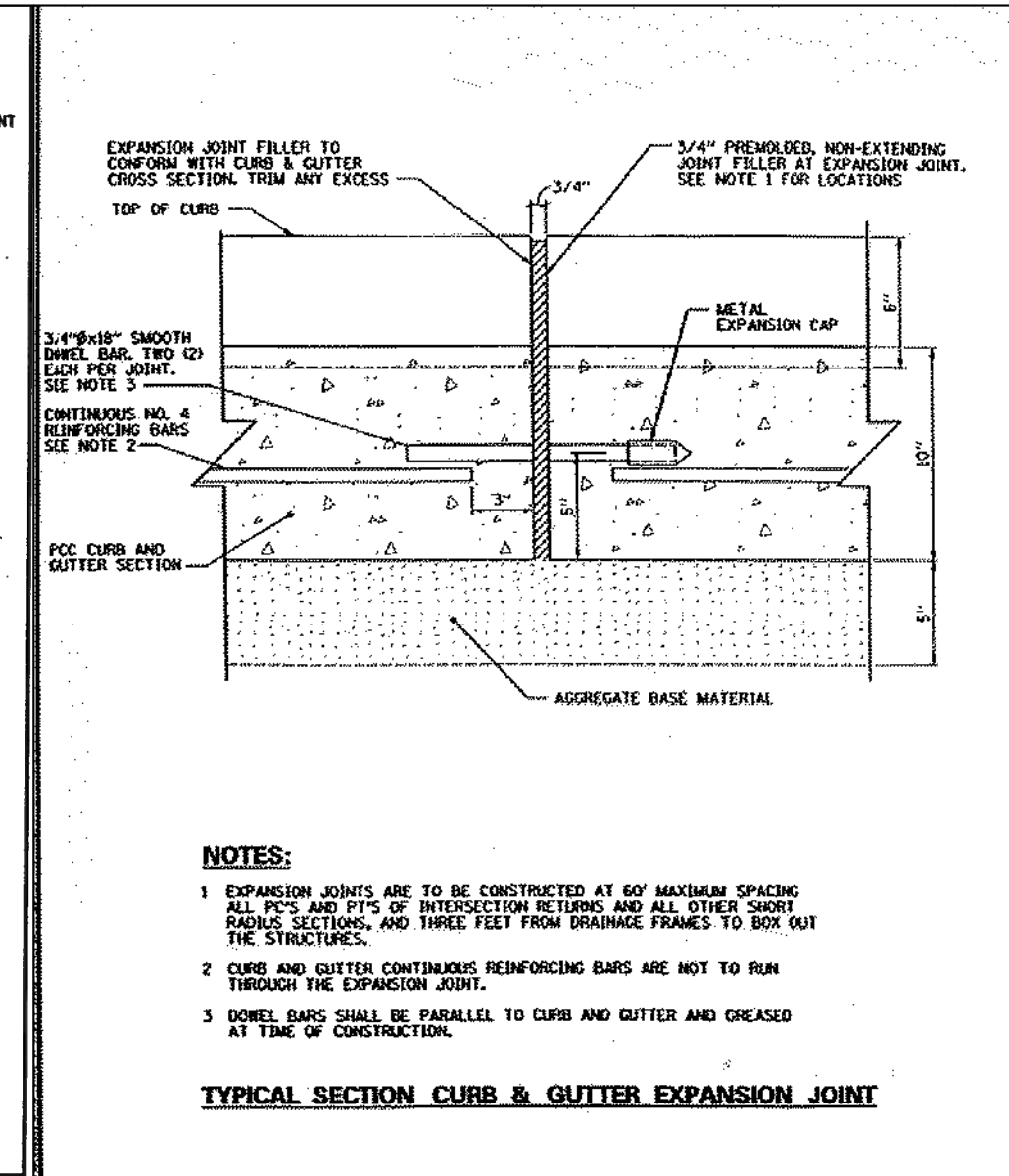
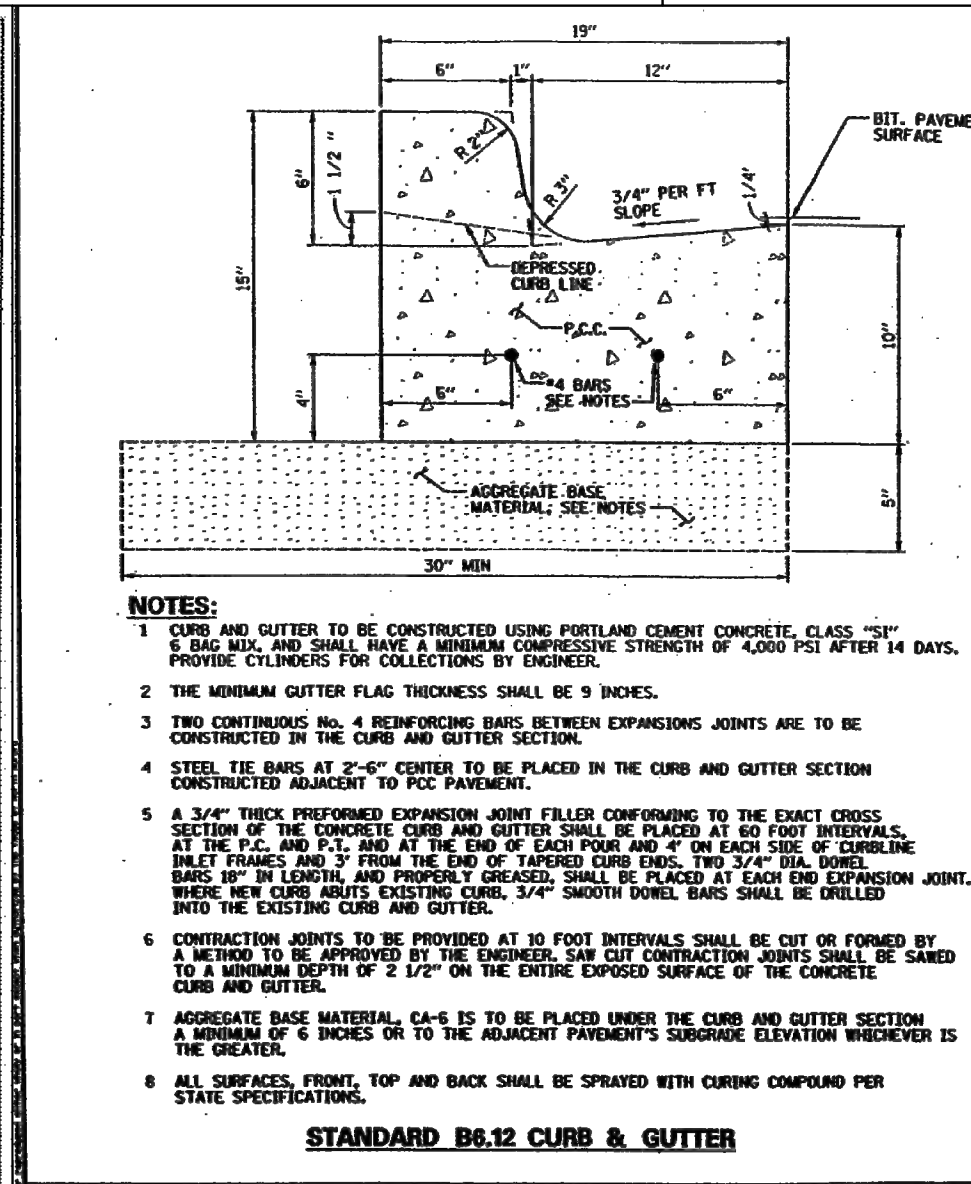
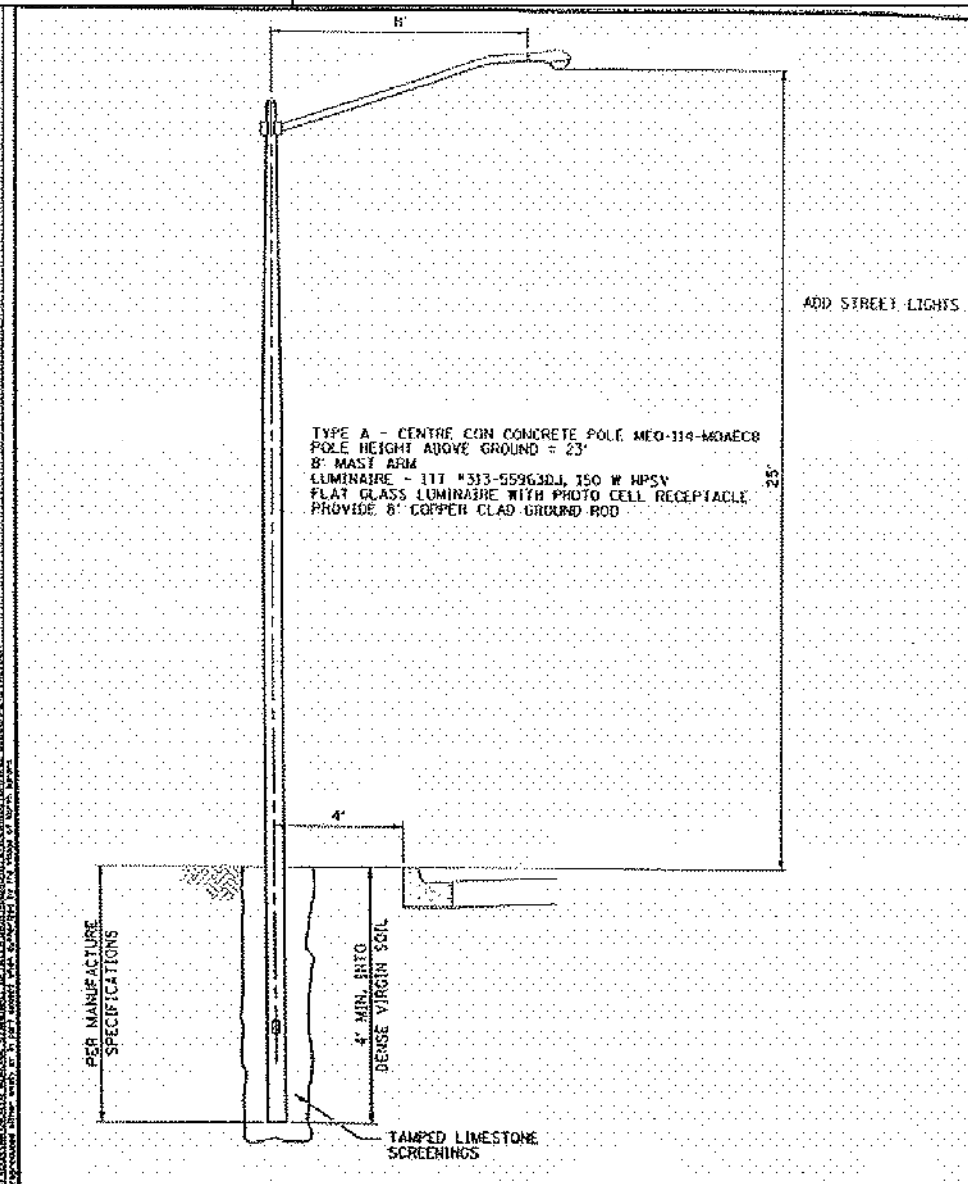
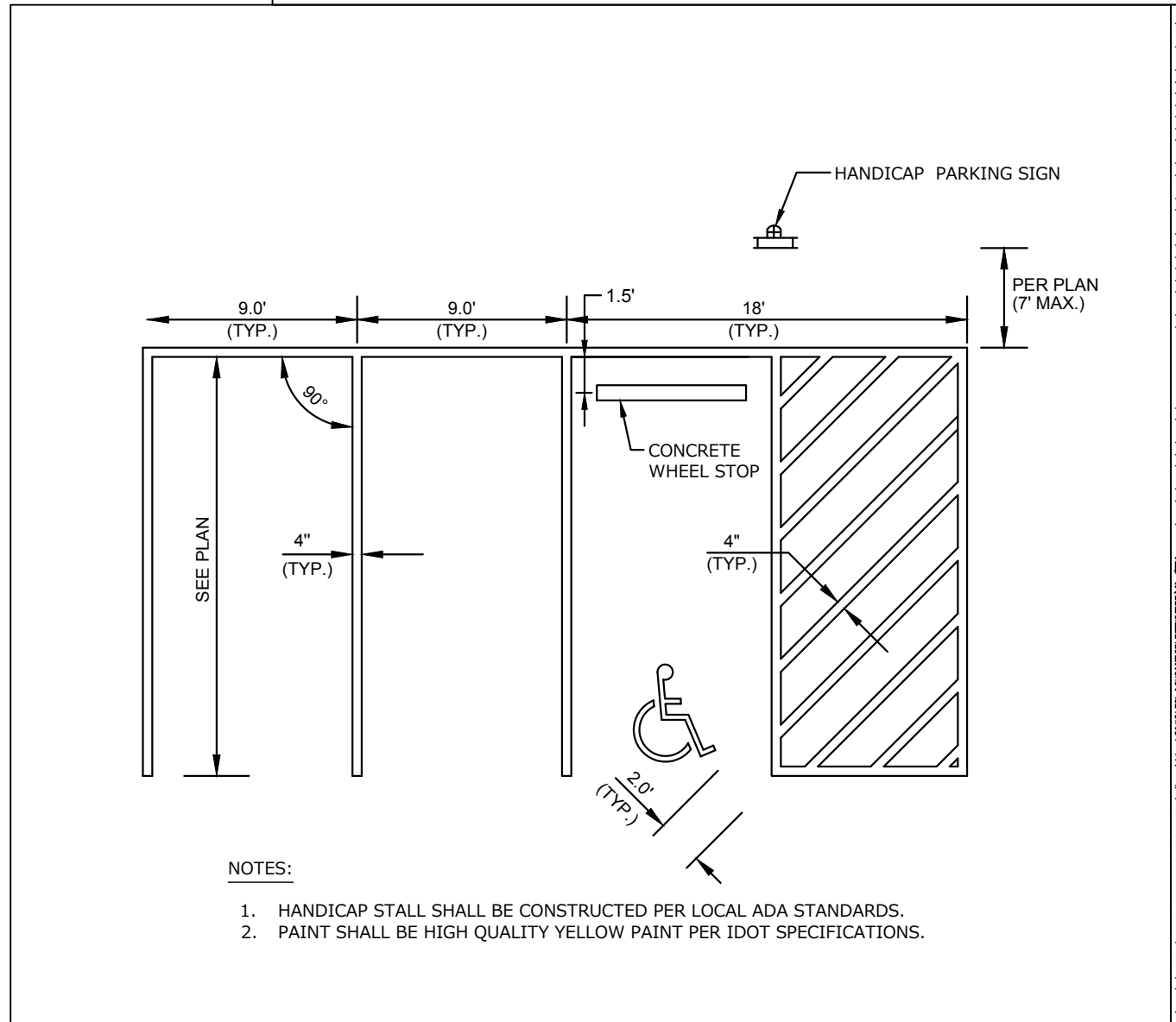
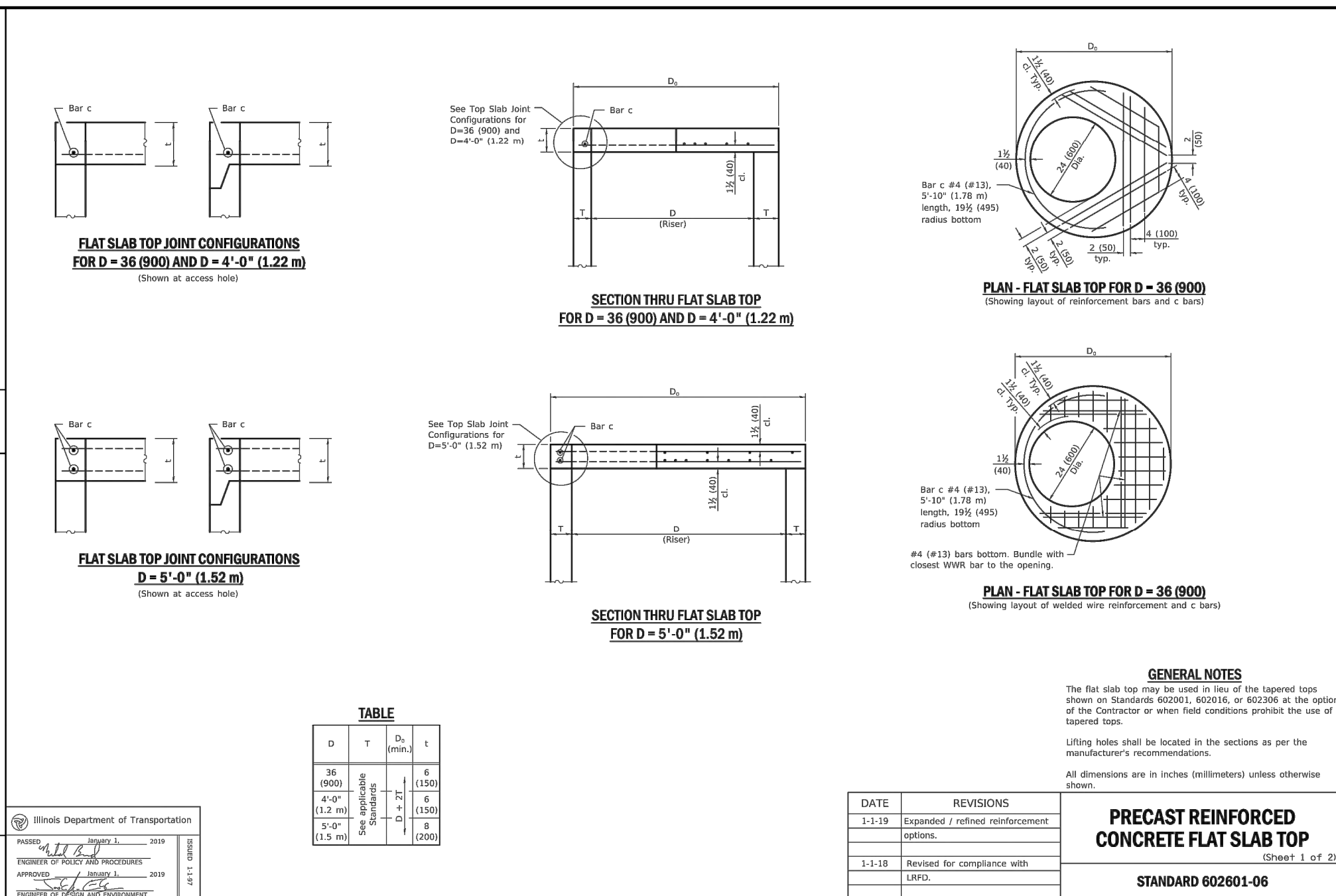
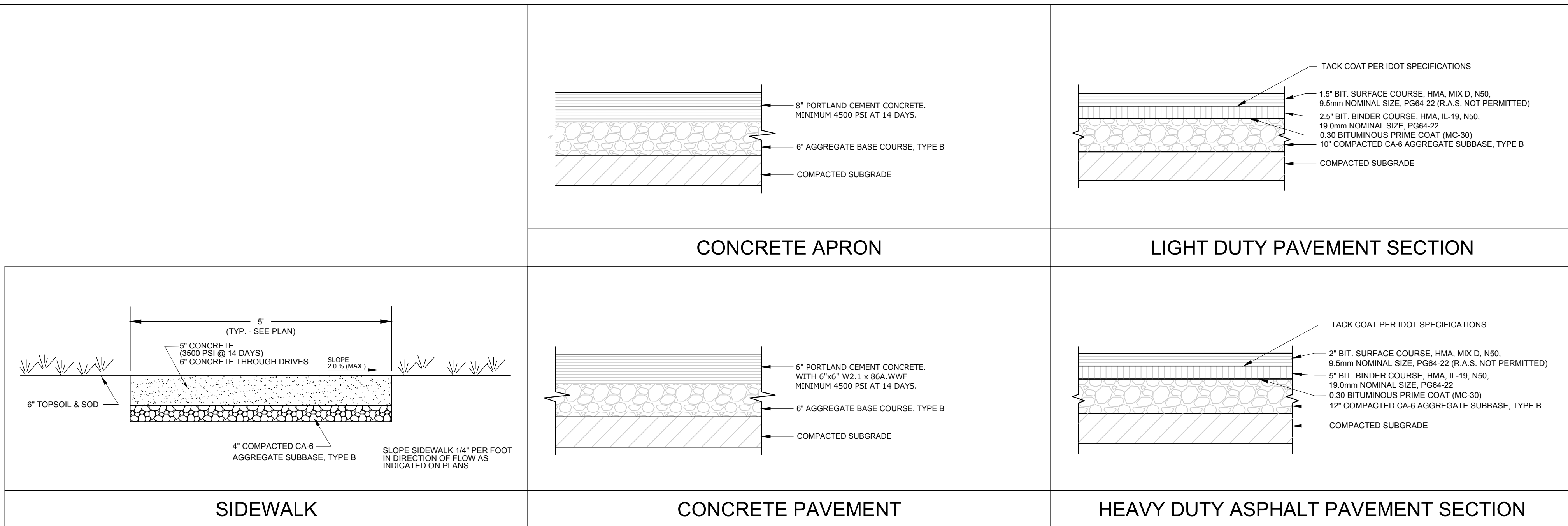
TEMPORARY TOPSOIL STOCKPILE

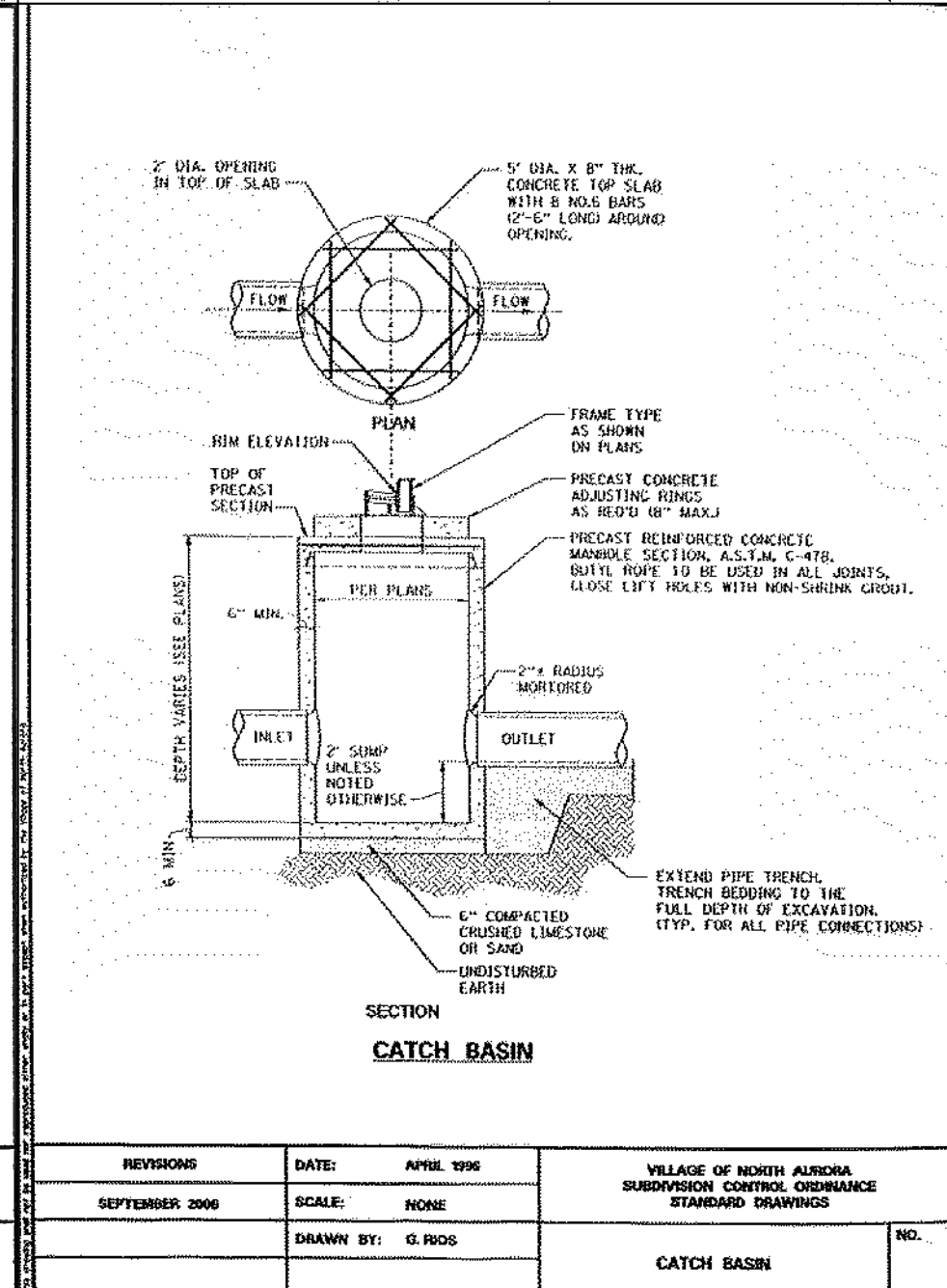
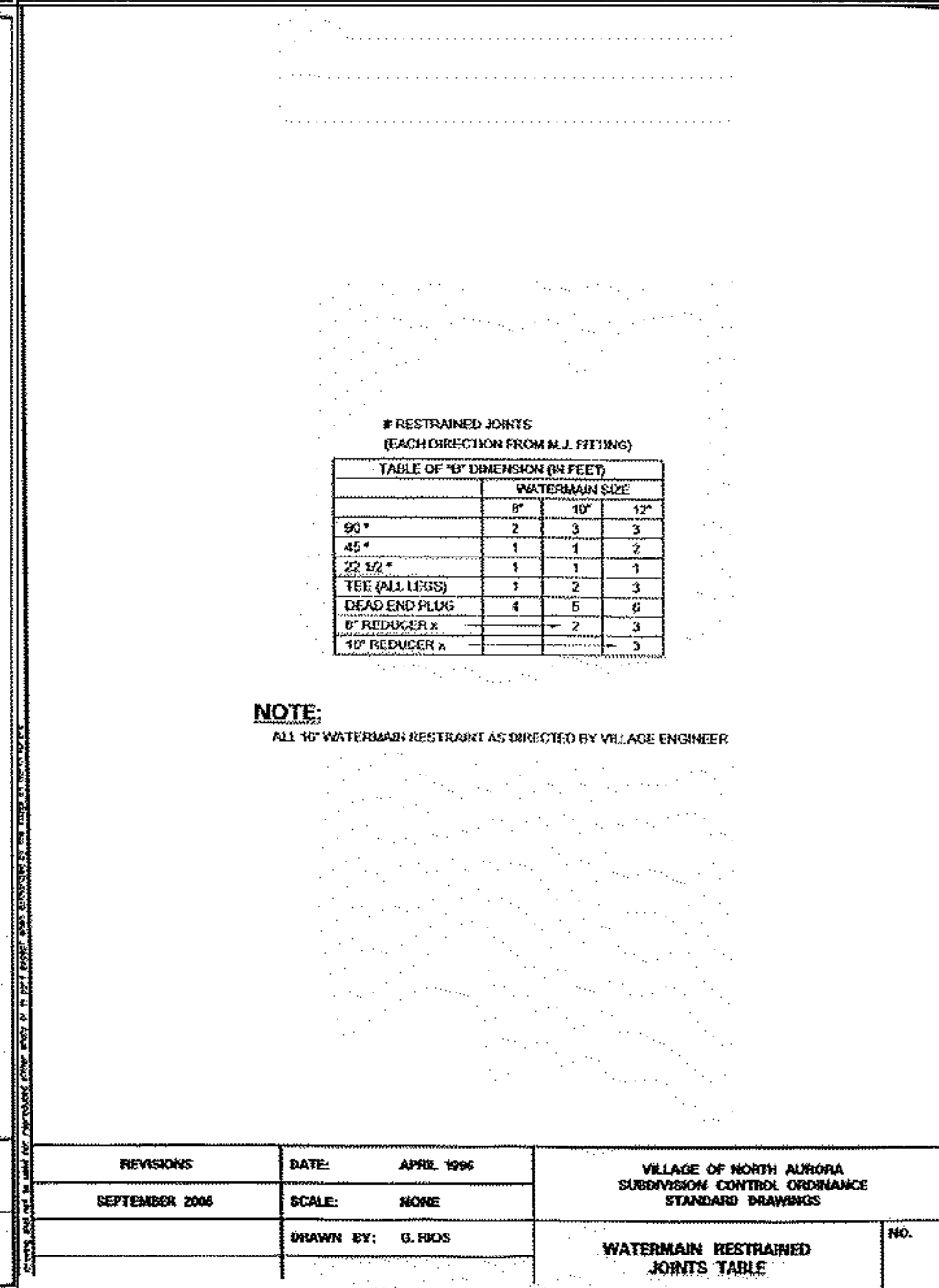
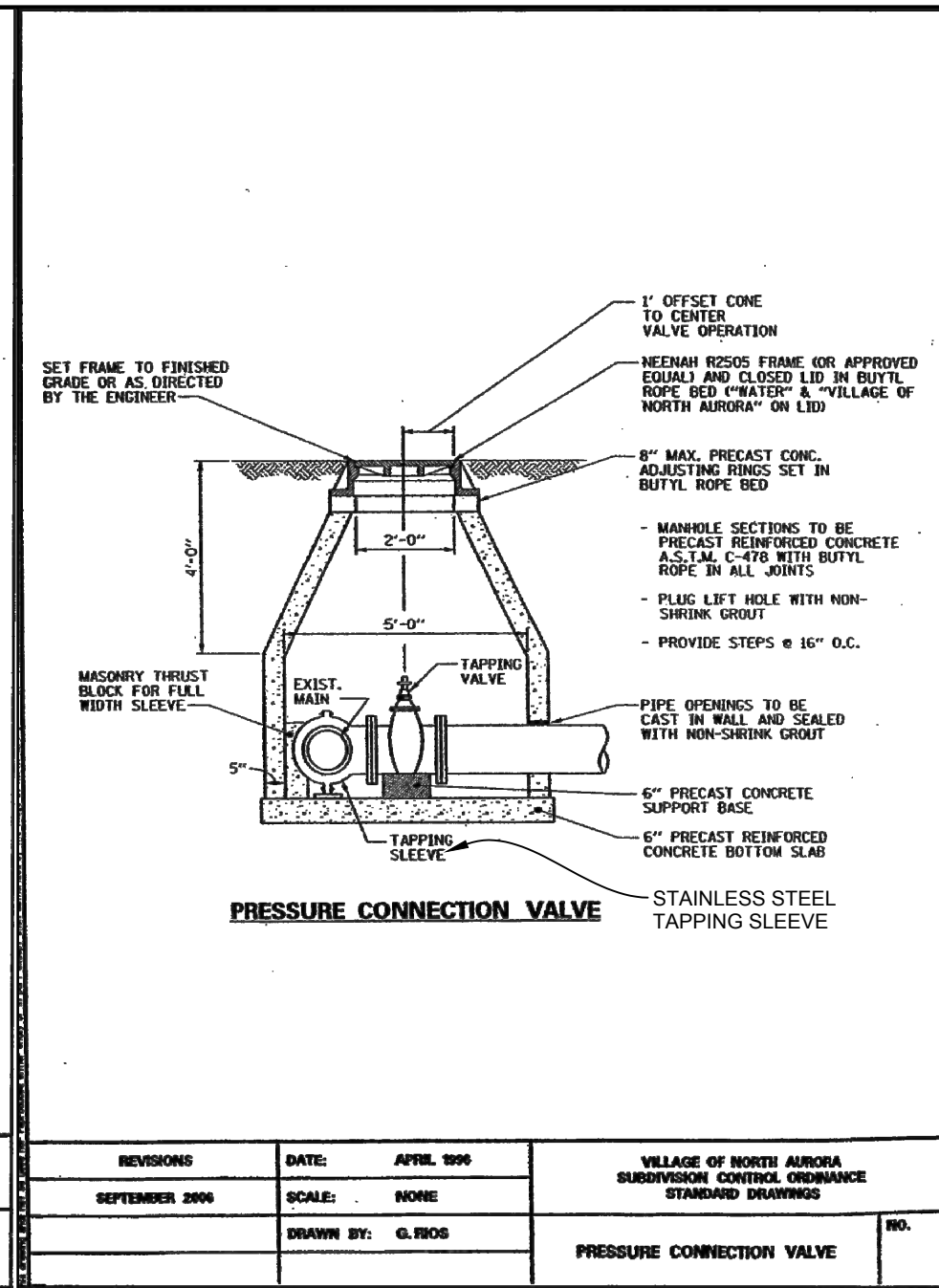
INLET AND SEDIMENT CONTROL

	<ol style="list-style-type: none">1. PREPARE SWPPP AND ACQUIRE NPDES AND OTHER PERTINENT PERMITS. UPDATE SWPPP AS NECESSARY THROUGHOUT CONSTRUCTION UNTIL FINAL STABILIZATION.2. CONDUCT EROSION AND SEDIMENT CONTROL PRECONSTRUCTION MEETING WITH APPROPRIATE AGENCIES AND CONTRACTORS.3. INSTALL STABILIZED CONSTRUCTION ENTRANCE.4. INSTALL PERIMETER SEDIMENT CONTROL MEASURES.5. INSTALL PROTECTION FOR EXISTING INLET AND OUTLET STRUCTURES, IF NECESSARY.6. BEGIN SEDIMENT AND EROSION CONTROL OBSERVATIONS ON A WEEKLY BASIS, AS WELL AS AFTER EVERY 1/2" PRECIPITATION EVENT.7. REMOVE EXISTING VEGETATION AS NEEDED FOR GRADING. VEGETATION SHOULD REMAIN IN AREAS THAT WILL NOT UNDERGO INITIAL GRADING.8. EXCAVATE DETENTION PONDS AND TEMPORARY SEDIMENT TRAPS AND BASINS.9. SEED AND BLANKET DETENTION PONDS; INSTALL SILT FENCE AROUND TOPS OF SLOPE.10. CONDUCT SITE GRADING, INCLUDING STABILIZATION OF ALL STEEP SLOPES, DRAINAGE CHANNELS, AND ALL DISTURBED AREAS AS THEY ARE COMPLETED; I.E., SEED, BLANKET, MULCH, RIPRAP, ETC.11. STABILIZE TOPSOIL STOCKPILES WITH PERIMETER PROTECTION AND TEMPORARY SEED IF NOT IN USE FOR OVER 14 DAYS.12. CONDUCT UTILITY INSTALLATION AND INSTALLATION OF INLET AND OUTFALL PROTECTION; I.E., RIPRAP, INSTALLATION OF STANDPIPES, ETC.13. TEMPORARILY SEED ALL AREAS THAT WILL NOT BE WORKED ON FOR OVER 14 DAYS.14. CONDUCT ROAD AND CURB INSTALLATION; CONDUCT CONCRETE WASHOUT INSTALLATION. IMPLEMENT STREET CLEANING PROGRAM.15. CONDUCT BUILDING CONSTRUCTION AND PERMANENT SEEDING AS AREAS ARE COMPLETED.16. SUBMIT "NOT" (NOTICE OF TERMINATION) AFTER SITE CONSTRUCTION IS COMPLETE AND ALL AREAS ARE FINALLY STABILIZED WITH OVER 70% VEGETATIVE COVER. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
--	--

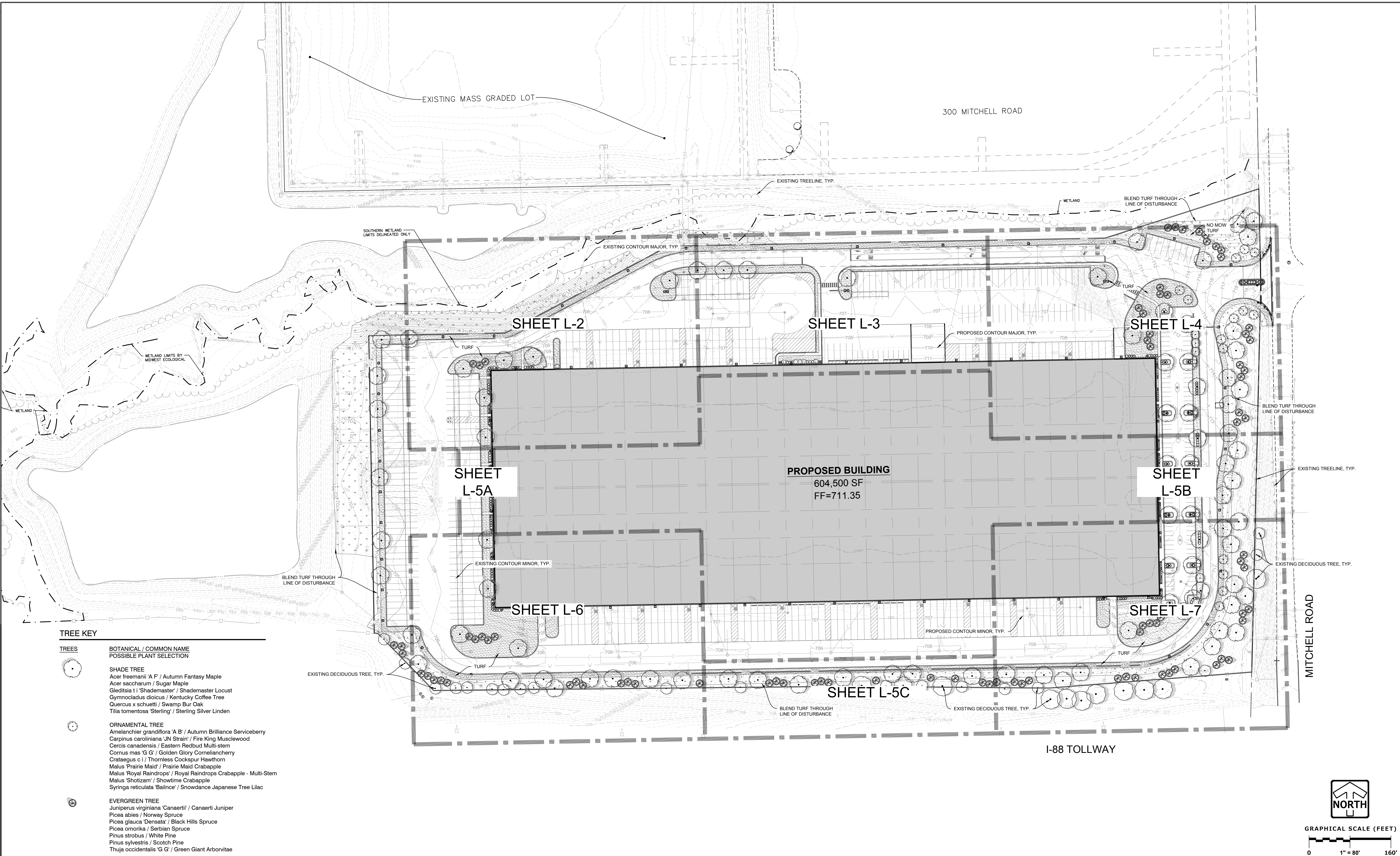
SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

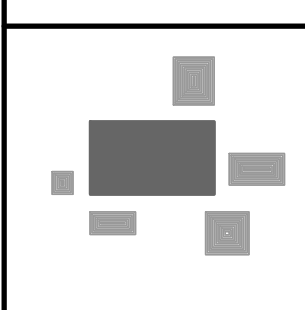
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DESIGNED: JLS
DRAFTED: JLS
REVIEWED: LUB





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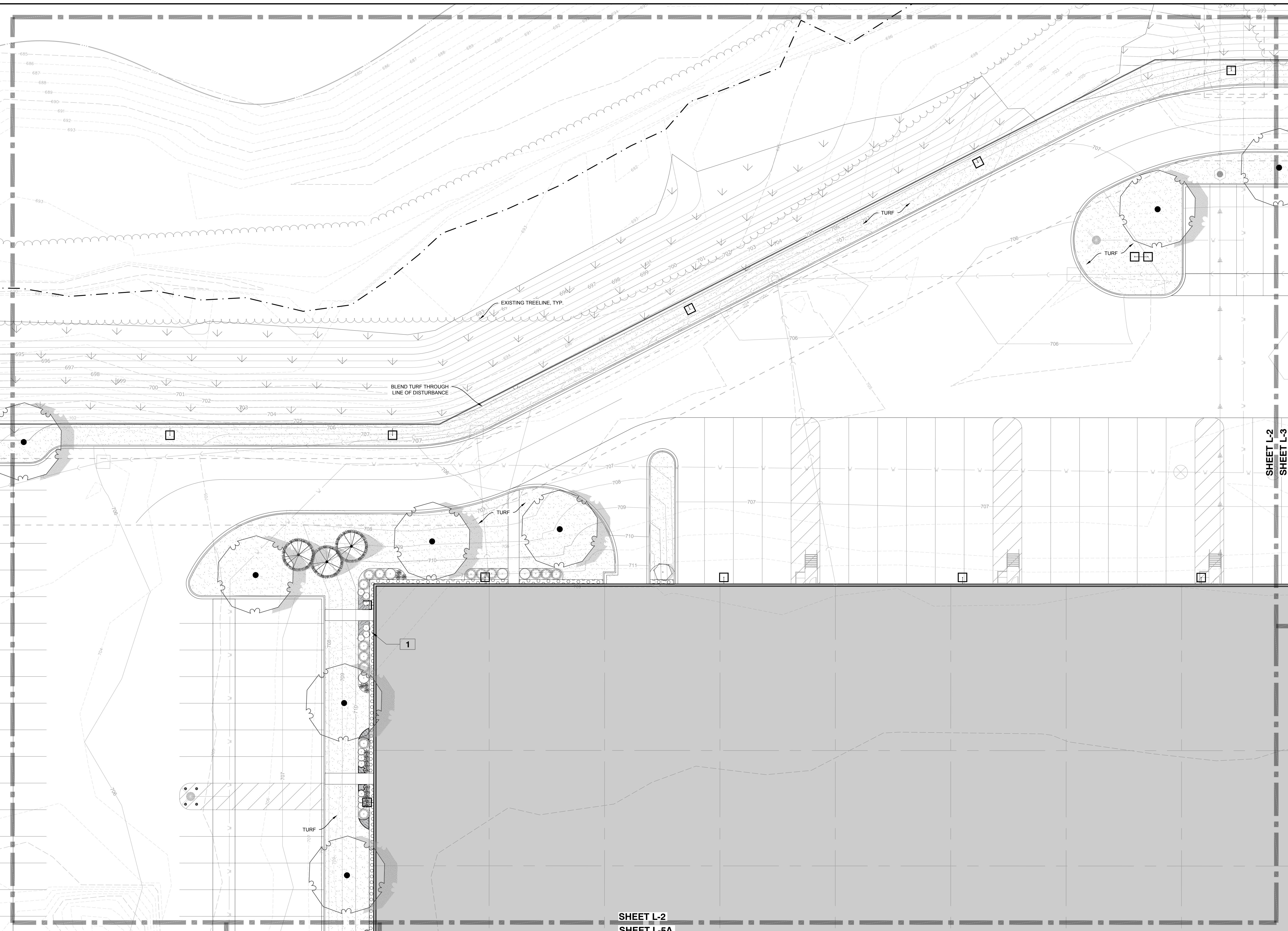
REVISIONS		
1	P.U.D. SUBMITTAL	01/31/23
2	P.U.D. SUBMITTAL	02/10/23

LANDSCAPE OVERVIEW

REG JOB NO. 2122-00-11	BID	SHEET
REG PM	START DATE 12/15/22	L-1
SCALE 1" = 80'		OF
		L-9

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DESIGNED: JSJ
DRAFTED: JSJ
REVIEWED: LUB



PLANT KEY

TREES

BOTANICAL / COMMON NAME
POSSIBLE PLANT SELECTION

SHADE TREE

Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

ORNAMENTAL TREE

Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadine
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c 'I' / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa r 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE

Juniperus virginiana 'Canaerti' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS

BOTANICAL / COMMON NAME

LARGE EVERGREEN SHRUB

Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'Bailohn' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

LARGE DECIDUOUS SHRUB

Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntoni' / Taunton Yew

MEDIUM DECIDUOUS SHRUB

Aronia m 'Elati' / Glossy Black Chokeberry
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac

LOW EVERGREEN SHRUB

Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffalo' / Buffalo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetspire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMNURPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac

TALL ORNAMENTAL GRASS

Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

SHORT ORNAMENTAL GRASS

Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

BOTANICAL / COMMON NAME

PERENNIALS

VARIOUS SPECIES

TURF

BOTANICAL / COMMON NAME

Turf Hydroseed /

Drought Tolerant Fescue Blend

Turf Hydroseed Low Grow /

Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL

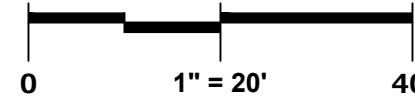
DESCRIPTION

1

RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)



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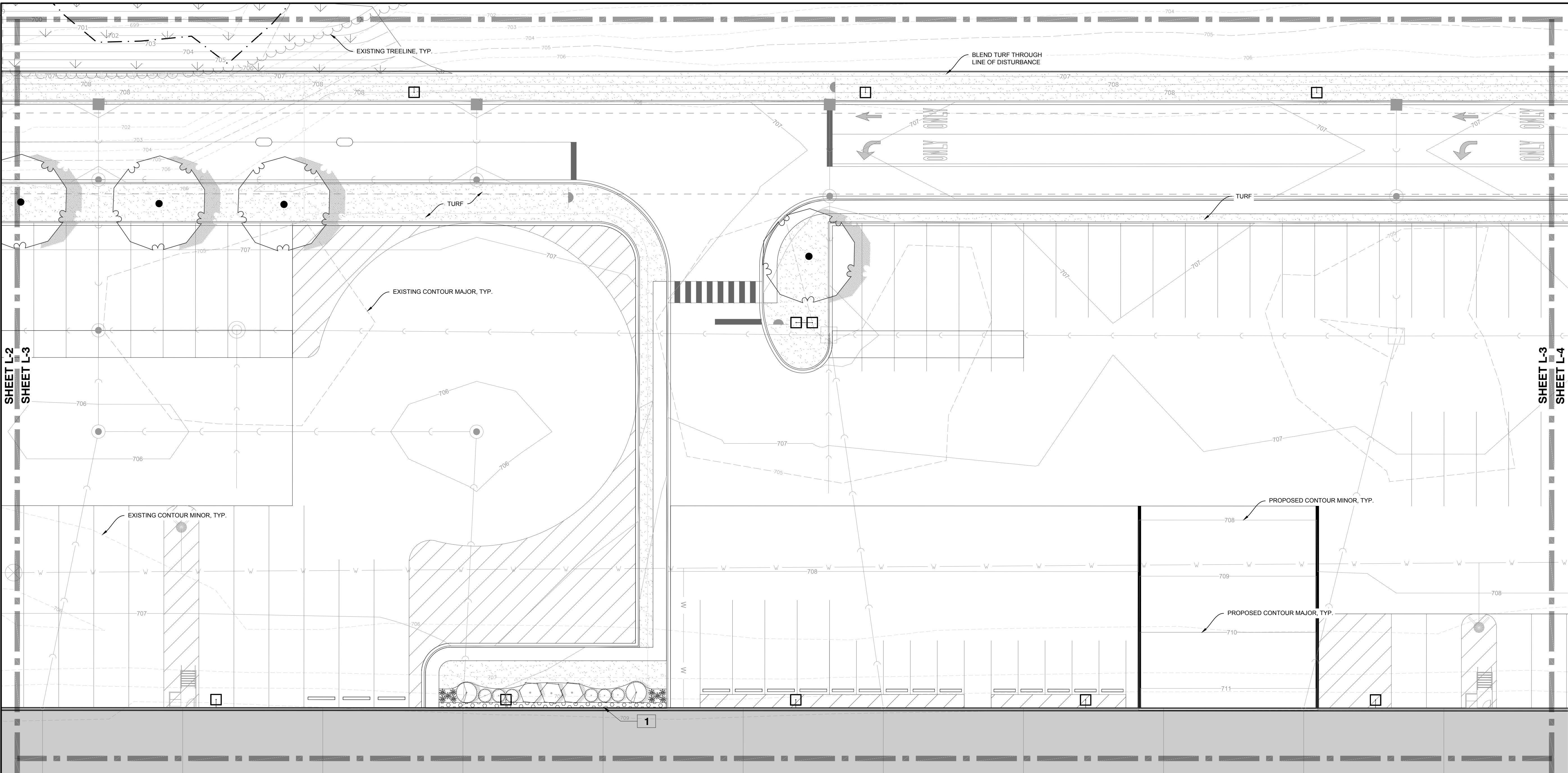
REVISIONS	
1	P.U.D. SUBMITTAL 01/31/23
2	P.U.D. SUBMITTAL 02/10/23

LANDSCAPE ENLARGEMENT

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BID
REG PM
START DATE 12/15/22
SCALE 1" = 20'

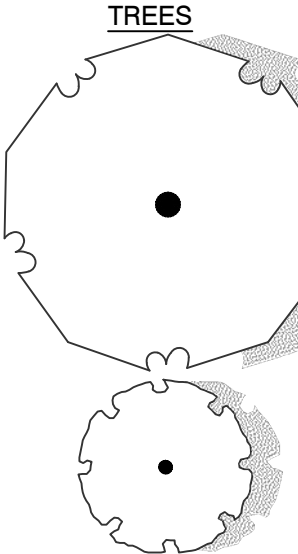
SHEET
L-2
OF
L-9

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PLANT KEY

TREES



- BOTANICAL / COMMON NAME**
POSSIBLE PLANT SELECTION
- SHADE TREE**
Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden
- ORNAMENTAL TREE**
Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadenedo
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c 'I' / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa r 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE

- Juniperus virginiana 'Canaertii' / Canaerti Juniper
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Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS



- BOTANICAL / COMMON NAME**
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Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'BailJoht' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

- LARGE DECIDUOUS SHRUB**
Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

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Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntonii' / Taunton Yew

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Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
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Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
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Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

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Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetpire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMJURPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJBP7' / Blooming Dwarf Purple Lilac

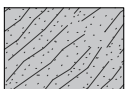
TALL ORNAMENTAL GRASS

- Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

SHORT ORNAMENTAL GRASS

- Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

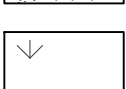


- BOTANICAL / COMMON NAME**
- PERENNIALS**
VARIOUS SPECIES

TURF



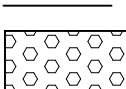
- BOTANICAL / COMMON NAME**
- Turf Hydroseed /
Drought Tolerant Fescue Blend



- Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

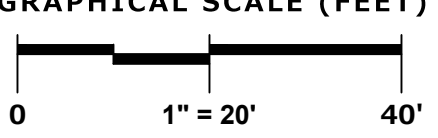
SYMBOL



- DESCRIPTION**
- 1 RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)



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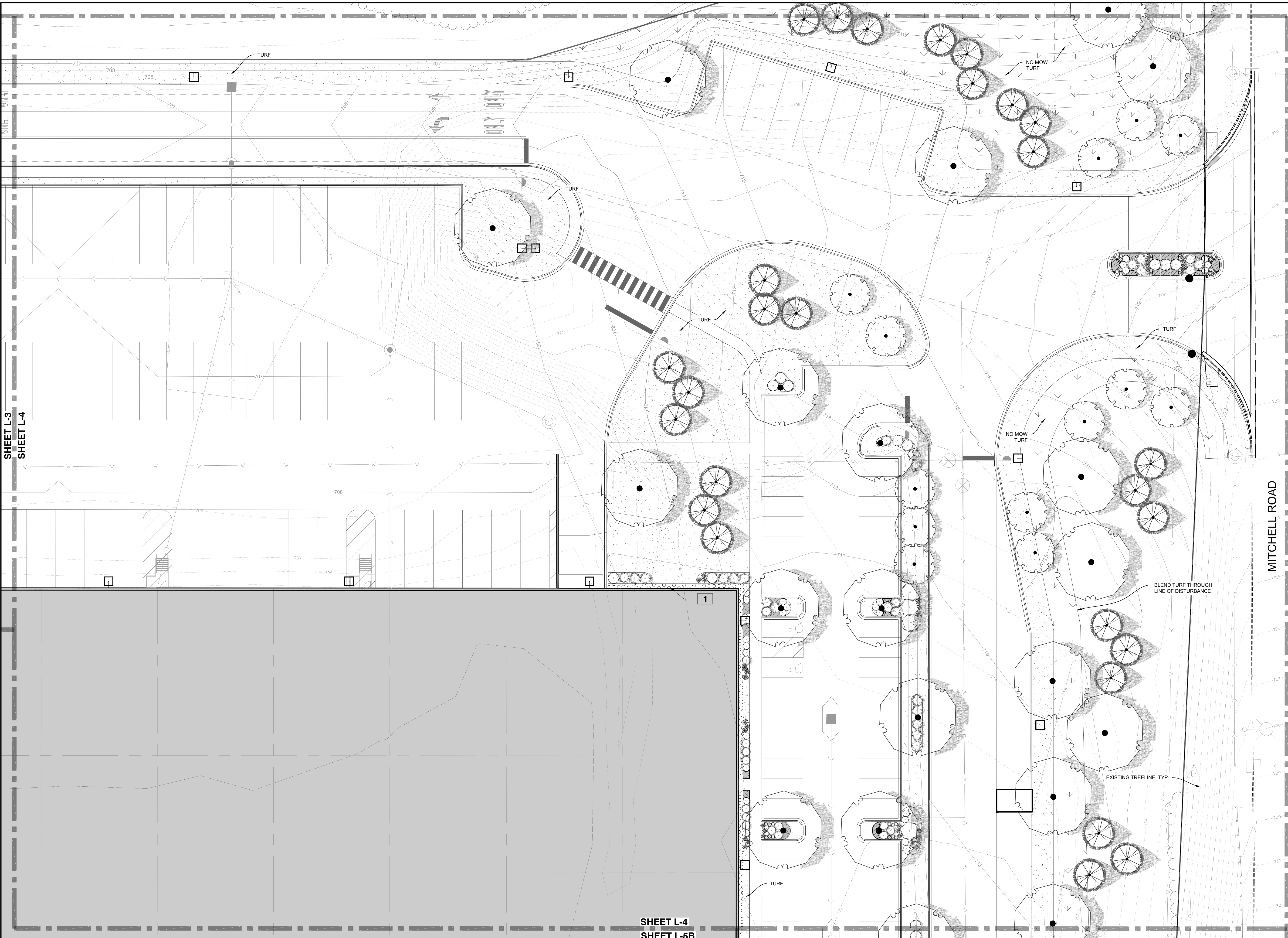
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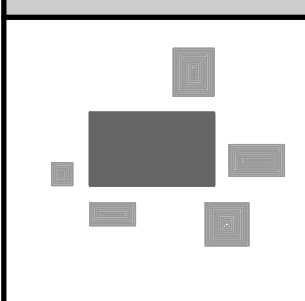
REC JOB No. 2132.00-11
REG PM
START DATE 12/15/22
SCALE 1" = 20'

SHEET
L-3
OF
L-9

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REVIEWED: JUB
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LANDSCAPE ENLARGEMENT

GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

1

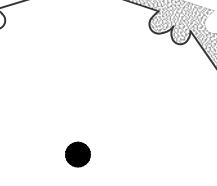
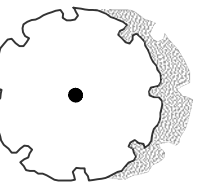
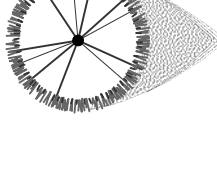
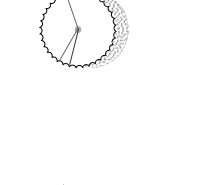



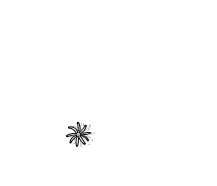
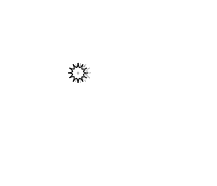
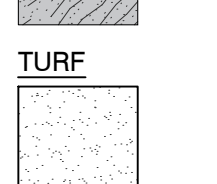
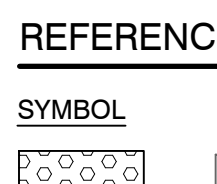



RODENT STRIP- # 1 CLEAR STONE

NORTH

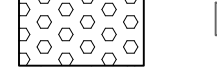
1" = 20'

SHEET
L-4
OF
L-9

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PLANT KEY	
TREES	BOTANICAL / COMMON NAME POSSIBLE PLANT SELECTION
	SHADE TREE Acer freemanii 'A F' / Autumn Fantasy Maple Acer saccharum / Sugar Maple Gleditsia t 'Shademaster' / Shademaster Locust Gymnocladus dioica / Kentucky Coffee Tree Quercus x schuetti / Swamp Bur Oak Tilia tomentosa 'Sterling' / Sterling Silver Linden
	ORNAMENTAL TREE Amelanchier g 'A B' / Autumn Brilliance Serviceberry Carpinus c 'JN Strain' / Fire King Muscadenberry Cercis canadensis / Eastern Redbud Multi-stem Cornus mas 'G G' / Golden Glory Corneliancherry Crataegus c 'I' / Thornless Cockspur Hawthorn Malus 'Prairie Maid' / Prairie Maid Crabapple Malus 'R R' / Royal Raindrops Crabapple Malus 'Shotzart' / Showtime Crabapple Syringa 'Bailance' / Snowdance Japanese Tree Lilac
	EVERGREEN TREE Juniperus virginiana 'Canaertii' / Canaertii Juniper Picea abies / Norway Spruce Picea glauca 'Densata' / Black Hills Spruce Picea omorika / Serbian Spruce Pinus strobus / White Pine Pinus sylvestris / Scotch Pine Thuja occidentalis 'G G' / Green Giant Arborvitae
SHRUBS	BOTANICAL / COMMON NAME
	LARGE EVERGREEN SHRUB Juniperus c 'JN. Select Blue' / Star Power Juniper Juniperus c 'Mountbatten' / Mountbatten Juniper Thuja occidentalis 'BailJohn' / Technito Arborvitae Thuja occidentalis 'Nigra' / Dark Green Arborvitae
	LARGE DECIDUOUS SHRUB Aronia a 'Brilliantissima' / Brilliant Red Chokeberry Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush Physocarpus o 'Center Glow' / Center Glow Ninebark
	MEDIUM EVERGREEN SHRUB Juniperus c 'Sea Green' / Sea Green Juniper Juniperus c 'Sea of Gold' / Sea of Gold Juniper Juniperus v 'Grey Owl' / Eastern Redcedar Juniper Picea abies 'Pumila' / Pumila Spruce Taxus x media 'Tauntoni' / Taunton Yew
	MEDIUM DECIDUOUS SHRUB Aronia m 'Elata' / Glossy Black Chokeberry Hydrangea o 'V S' / Vanilla Strawberry Hydrangea Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry Ilex verticillata 'Red Sprite' / Red Sprite Winterberry Rosa rugosa 'P P' / Purple Pavement Rugosa Rose Salix purpurea 'C B' / Canyon Blue Arctic Willow Sambucus nigra 'Black Lace' / Black Lace Elderberry Syringa meyeri 'Palibin' / Dwarf Korean Lilac
	LOW EVERGREEN SHRUB Juniperus h 'Youngstown' / Andorra Juniper Juniperus sabina 'Buffalo' / Buffalo Juniper Pinus mugo 'Slowmound' / Slowmound Mugo Pine Thuja occidentalis 'Congabe' / Fire Chief Arborvitae
	SMALL DECIDUOUS SHRUB Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood Hydrangea paniculata 'Bobo' / Bobo Hydrangea Itea virginica 'Little Henry' / Little Henry Sweetpire Spiraea j 'A W' / Anthony Waterer Spiraea Spiraea j 'Magic Carpet' / Magic Carpet Spiraea Syringa x 'SMURPHY' / Blooming Dwarf Pink Lilac Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac
	TALL ORNAMENTAL GRASS Andropogon 'D W' / Dancing Wind Big Blue Stem Calamagrostis x 'Karl Foerster' / Karl Foerster Reed Calamagrostis x 'Overdam' / Overdam Reed Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus Panicum virgatum 'Northwind' / Northwind Switch Schizachyrium 'B H' / Blue Heaven Little Bluestem
	SHORT ORNAMENTAL GRASS Deschampsia cespitosa / Tufted Hair Grass Eragrostis spectabilis / Purple Love Grass Sporobolus heterolepis 'Tara' / Prairie Dropseed
SHRUB AREAS	BOTANICAL / COMMON NAME
	PERENNIALS VARIOUS SPECIES
TURF	BOTANICAL / COMMON NAME
	Turf Hydroseed / Drought Tolerant Fescue Blend
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

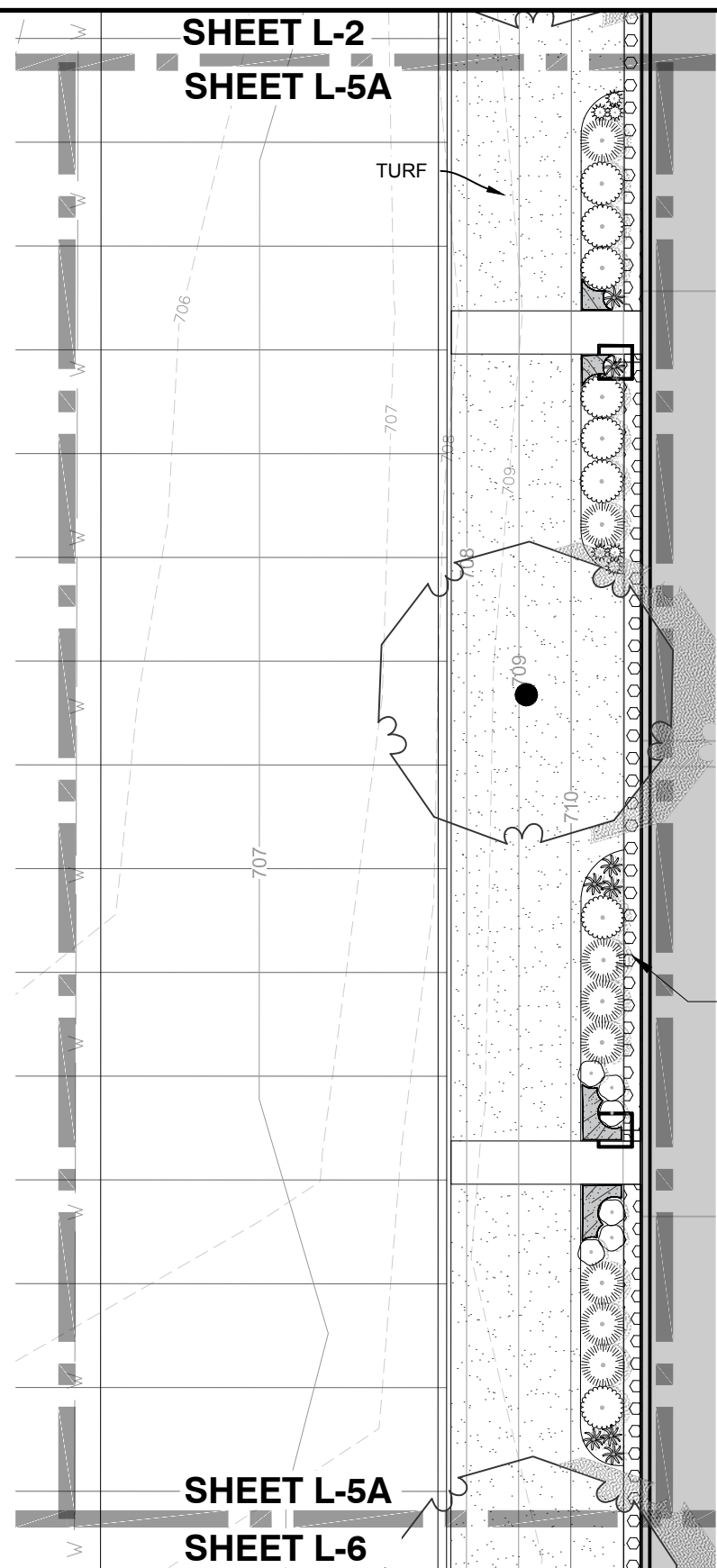
SYMBOL	DESCRIPTION
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GRAPHICAL SCALE (FEET)

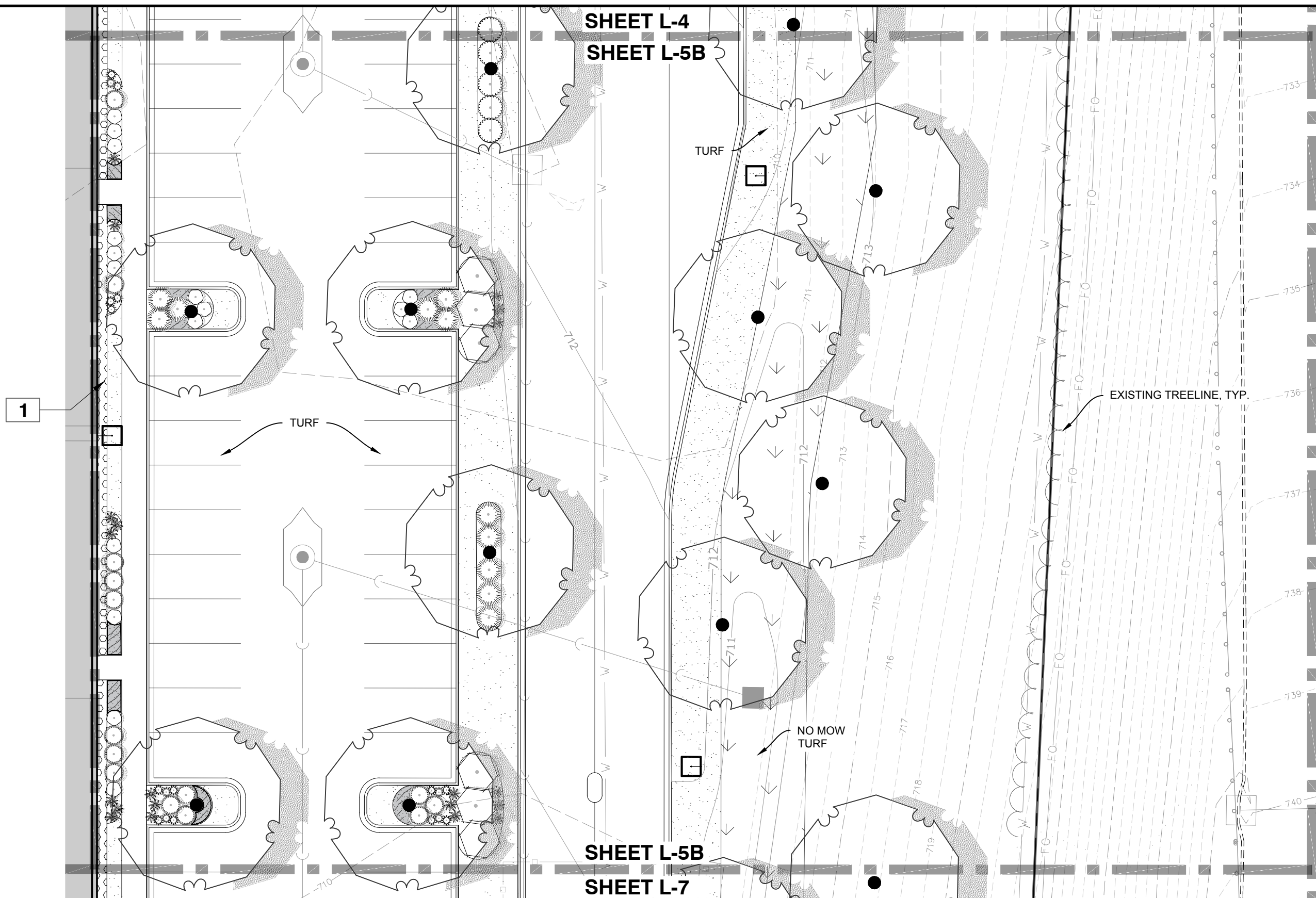
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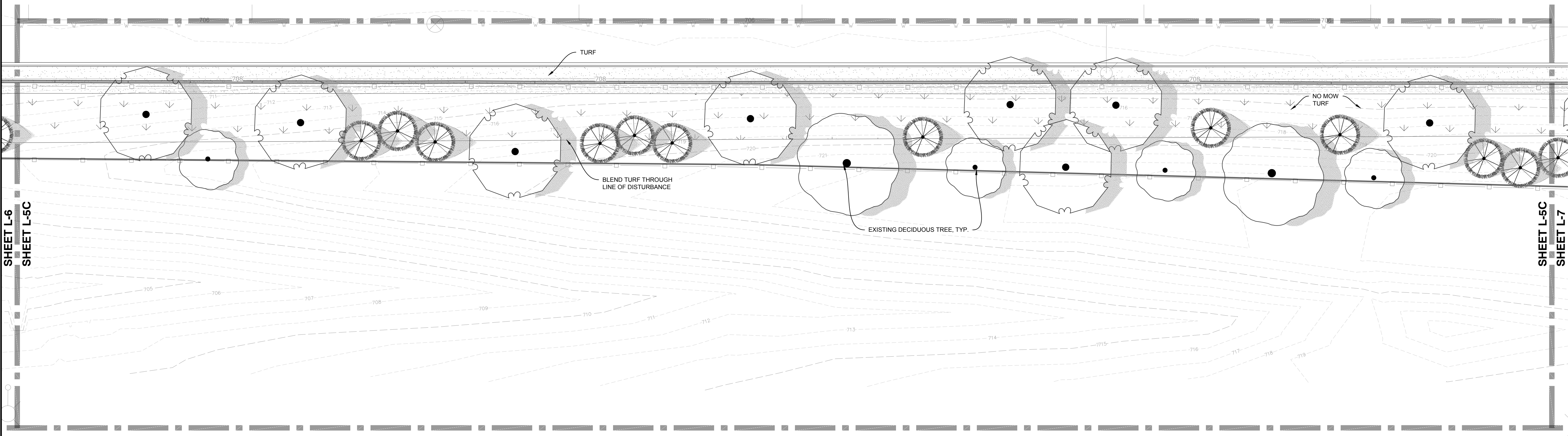
DESIGNED: JSJ
DRAWN: JSJ
CHECKED: JSJ
APPROVED: JSJ



ENLARGEMENT L-5A
SCALE: 1"=20'



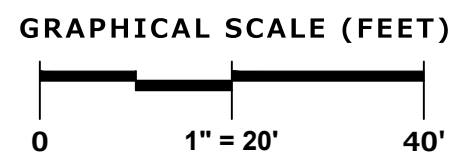
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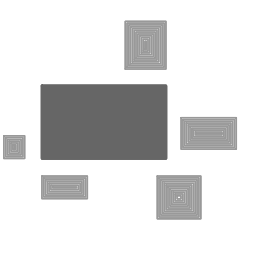


ENLARGEMENT L-5C
SCALE: 1"=20'

PLANT KEY	
TREES	BOTANICAL / COMMON NAME POSSIBLE PLANT SELECTION
	SHADE TREE Acer freemanii 'A F' / Autumn Fantasy Maple Acer saccharum / Sugar Maple Gleditsia t 'Shademaster' / Shademaster Locust Gymnocladus dioica / Kentucky Coffee Tree Quercus x schuetti / Swamp Bur Oak Tilia tomentosa 'Sterling' / Sterling Silver Linden
	ORNAMENTAL TREE Amelanchier g 'A B' / Autumn Brilliance Serviceberry Carpinus c 'JN Strain' / Fire King Muscadine Cercis canadensis / Eastern Redbud Multi-stem Cornus mas 'G G' / Golden Glory Corneliancherry Crataegus c 'I' / Thornless Cockspur Hawthorn Malus 'Prairie Maid' / Prairie Maid Crabapple Malus 'R R' / Royal Raindrops Crabapple Malus 'Shotzart' / Showtime Crabapple Syringa r 'Bailance' / Snowdance Japanese Tree Lilac
SHRUBS	EVERGREEN TREE Juniperus virginiana 'Canaertii' / Canaerti Juniper Picea abies / Norway Spruce Picea glauca 'Densata' / Black Hills Spruce Picea omorika / Serbian Spruce Pinus strobus / White Pine Pinus sylvestris / Scotch Pine Thuja occidentalis 'G G' / Green Giant Arborvitae
	BOTANICAL / COMMON NAME LARGE EVERGREEN SHRUB Juniperus c 'JN. Select Blue' / Star Power Juniper Juniperus c 'Mountbatten' / Mountbatten Juniper Thuja occidentalis 'BailJohn' / Technito Arborvitae Thuja occidentalis 'Nigra' / Dark Green Arborvitae
	LARGE DECIDUOUS SHRUB Aronia a 'Brilliantissima' / Brilliant Red Chokeberry Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush Physocarpus o 'Center Glow' / Center Glow Ninebark
SHRUB AREAS	MEDIUM EVERGREEN SHRUB Juniperus c 'Sea Green' / Sea Green Juniper Juniperus c 'Sea of Gold' / Sea of Gold Juniper Juniperus v 'Grey Owl' / Eastern Redcedar Juniper Picea abies 'Pumila' / Pumila Spruce Taxus x media 'Tauntonii' / Taunton Yew
	MEDIUM DECIDUOUS SHRUB Aronia m 'Elata' / Glossy Black Chokeberry Hydrangea p 'V S' / Vanilla Strawberry Hydrangea Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry Ilex verticillata 'Red Sprite' / Red Sprite Winterberry Rosa rugosa 'P P' / Purple Pavement Rugosa Rose Salix purpurea 'C B' / Canyon Blue Arctic Willow Sambucus nigra 'Black Lace' / Black Lace Elderberry Syringa meyeri 'Palibin' / Dwarf Korean Lilac
	LOW EVERGREEN SHRUB Juniperus h 'Youngstown' / Andorra Juniper Juniperus sabina 'Buffalo' / Buffalo Juniper Pinus mugo 'Slowmound' / Slowmound Mugo Pine Thuja occidentalis 'Congabe' / Fire Chief Arborvitae
TURF	SMALL DECIDUOUS SHRUB Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood Hydrangea paniculata 'Bobo' / Bobo Hydrangea Itea virginica 'Little Henry' / Little Henry Sweetpire Spiraea j 'A W' / Anthony Waterer Spiraea Spiraea j 'Magic Carpet' / Magic Carpet Spirea Syringa x 'SMNURPI' / Blooming Dwarf Pink Lilac Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac
	TALL ORNAMENTAL GRASS Andropogon 'D W' / Dancing Wind Big Blue Stem Calamagrostis x 'Karl Foerster' / Karl Foerster Reed Calamagrostis x 'Overdam' / Overdam Reed Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus Panicum virgatum 'Northwind' / Northwind Switch Schizachyrium 'B H' / Blue Heaven Little Bluestem
	SHORT ORNAMENTAL GRASS Deschampsia cespitosa / Tufted Hair Grass Eragrostis spectabilis / Purple Love Grass Sporobolus heterolepis 'Tara' / Prairie Dropseed
SYMBOL	BOTANICAL / COMMON NAME PERENNIALS VARIOUS SPECIES
	BOTANICAL / COMMON NAME Turf Hydroseed / Drought Tolerant Fescue Blend
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
1	RODENT STRIP- # 1 CLEAR STONE





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REVISIONS	
1	P.U.D. SUBMITTAL 01/31/23
2	P.U.D. SUBMITTAL 02/10/23

LANDSCAPE ENLARGEMENT

REC JOB No. 2122.00-11	BID	SHEET
REG PM	DATE 12/15/22	L-5
START DATE	SCALE 1" = 20'	OF
		L-9

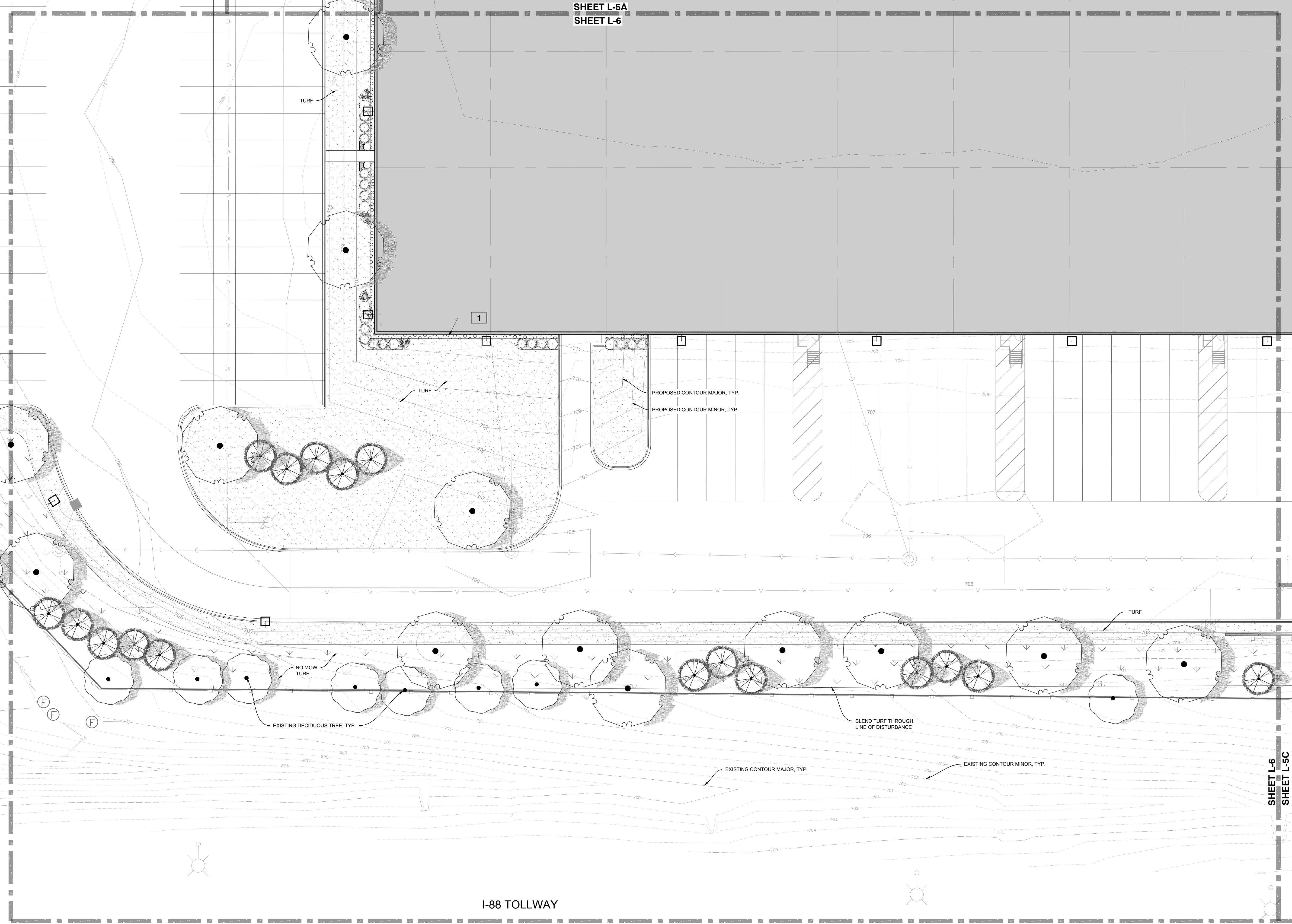
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REVIEWED: DUB

DESIGNED: JSJ

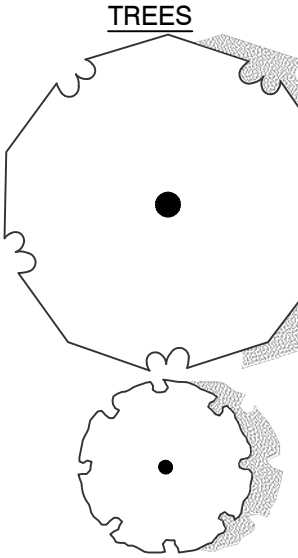
DRAWN: JSJ

SHEET L-5A
SHEET L-6



PLANT KEY

TREES



BOTANICAL / COMMON NAME
POSSIBLE PLANT SELECTION

SHADE TREE
Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t i 'Shademaster' / Shademaster Locust
Gymnocladus dioicus / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

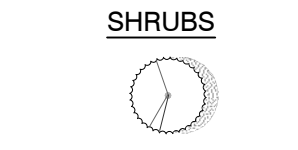
ORNAMENTAL TREE
Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Mistlewood
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c i / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotizam' / Showtime Crabapple
Syringa r 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE



EVERGREEN TREE
Juniperus virginiana 'Canaerti' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS



BOTANICAL / COMMON NAME

LARGE EVERGREEN SHRUB
Juniperus c 'J.N. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'BailJohn' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

LARGE DECIDUOUS SHRUB
Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB
Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntoni' / Tauntun Yew

MEDIUM DECIDUOUS SHRUB
Aronia m 'Elata' / Glossy Black Chokeberry
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac

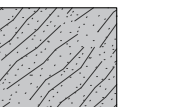
LOW EVERGREEN SHRUB
Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffelo' / Buffelo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB
Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetspire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMNJRPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac

TALL ORNAMENTAL GRASS
Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

SHORT ORNAMENTAL GRASS
Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

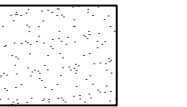
SHRUB AREAS



BOTANICAL / COMMON NAME

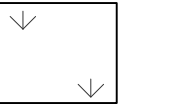
PERENNIALS
VARIOUS SPECIES

TURF



BOTANICAL / COMMON NAME

Turf Hydroseed /
Drought Tolerant Fescue Blend



Turf Hydroseed Low Grow /
Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

SYMBOL

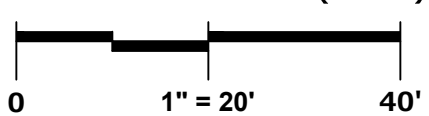


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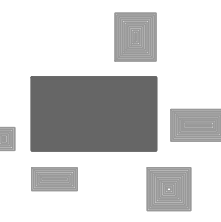
1 RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)



I-88 TOLLWAY



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REVISIONS

1	P.U.D. SUBMITTAL	01/31/23			
2	P.U.D. SUBMITTAL	02/10/23			

LANDSCAPE ENLARGEMENT

REG JOB No. 2122.00-LL
REG PM BDI
START DATE 12/15/22
SCALE 1" = 20'

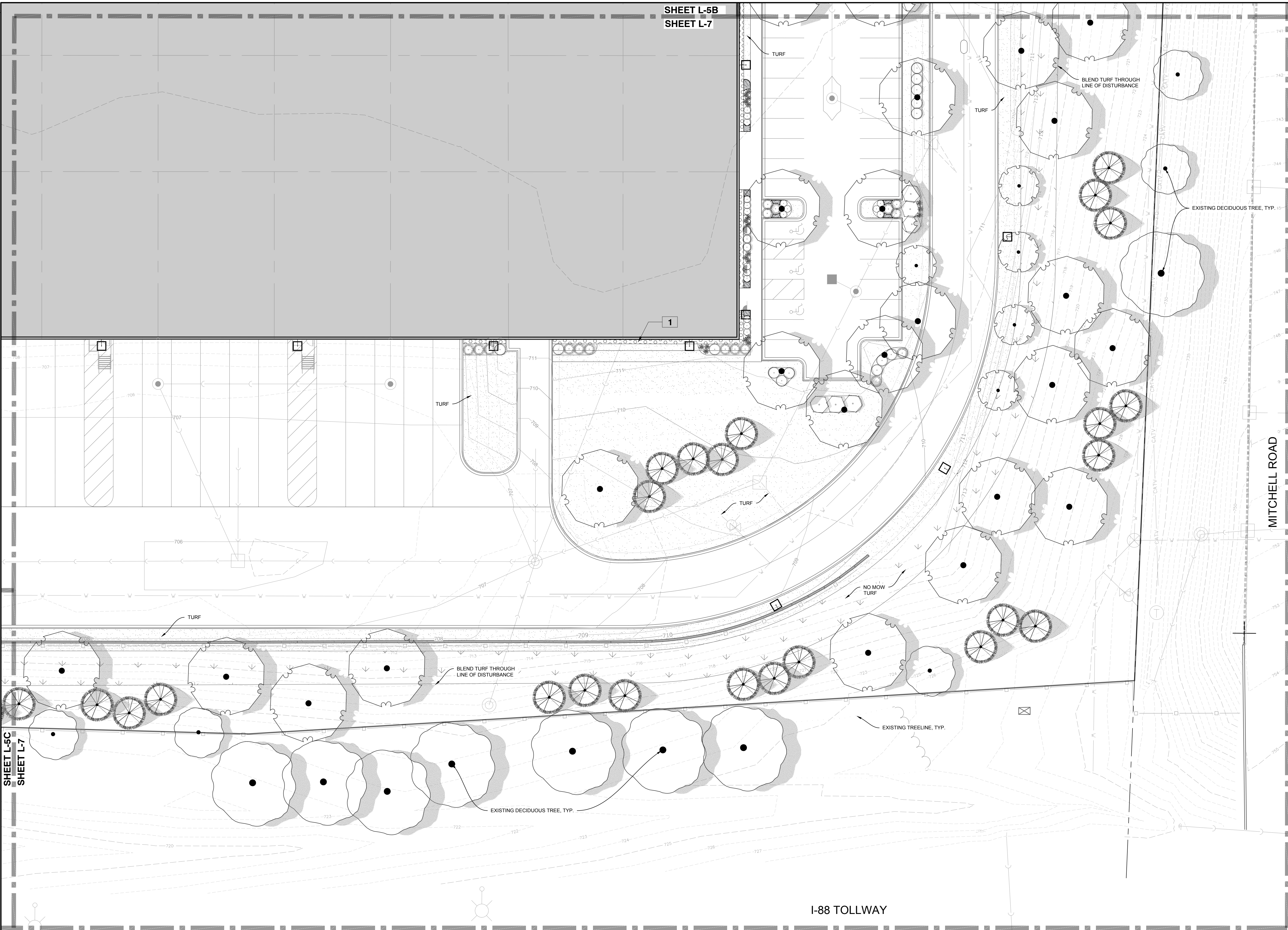
SHEET
L-6
OF
L-9

LANDSCAPE ENLARGEMENT

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DESIGNED: JUSJ
CHECKED: JUSJ
DATE: 12/15/22

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PLANT KEY

TREES

BOTANICAL / COMMON NAME
POSSIBLE PLANT SELECTION

SHADE TREE

Acer freemanii 'A F' / Autumn Fantasy Maple
Acer saccharum / Sugar Maple
Gleditsia t 'Shademaster' / Shademaster Locust
Gymnocladus dioica / Kentucky Coffee Tree
Quercus x schuetti / Swamp Bur Oak
Tilia tomentosa 'Sterling' / Sterling Silver Linden

ORNAMENTAL TREE

Amelanchier g 'A B' / Autumn Brilliance Serviceberry
Carpinus c 'JN Strain' / Fire King Muscadine
Cercis canadensis / Eastern Redbud Multi-stem
Cornus mas 'G G' / Golden Glory Corneliancherry
Crataegus c 'I' / Thornless Cockspur Hawthorn
Malus 'Prairie Maid' / Prairie Maid Crabapple
Malus 'R R' / Royal Raindrops Crabapple
Malus 'Shotzart' / Showtime Crabapple
Syringa r 'Baince' / Snowdance Japanese Tree Lilac

EVERGREEN TREE

Juniperus virginiana 'Canaertii' / Canaerti Juniper
Picea abies / Norway Spruce
Picea glauca 'Densata' / Black Hills Spruce
Picea omorika / Serbian Spruce
Pinus strobus / White Pine
Pinus sylvestris / Scotch Pine
Thuja occidentalis 'G G' / Green Giant Arborvitae

SHRUBS

BOTANICAL / COMMON NAME

LARGE EVERGREEN SHRUB

Juniperus c 'JN. Select Blue' / Star Power Juniper
Juniperus c 'Mountbatten' / Mountbatten Juniper
Thuja occidentalis 'BailJoht' / Technito Arborvitae
Thuja occidentalis 'Nigra' / Dark Green Arborvitae

LARGE DECIDUOUS SHRUB

Aronia a 'Brilliantissima' / Brilliant Red Chokeberry
Cephalanthus o 'Ping Pong' / Ping Pong Buttonbush
Physocarpus o 'Center Glow' / Center Glow Ninebark

MEDIUM EVERGREEN SHRUB

Juniperus c 'Sea Green' / Sea Green Juniper
Juniperus c 'Sea of Gold' / Sea of Gold Juniper
Juniperus v 'Grey Owl' / Eastern Redcedar Juniper
Picea abies 'Pumila' / Pumila Spruce
Taxus x media 'Tauntioni' / Tauntion Yew

MEDIUM DECIDUOUS SHRUB

Aronia m 'Elata' / Glossy Black Chokeberry
Hydrangea p 'V S' / Vanilla Strawberry Hydrangea
Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
Rosa rugosa 'P P' / Purple Pavement Rugosa Rose
Salix purpurea 'C B' / Canyon Blue Arctic Willow
Sambucus nigra 'Black Lace' / Black Lace Elderberry
Syringa meyeri 'Palibin' / Dwarf Korean Lilac

LOW EVERGREEN SHRUB

Juniperus h 'Youngstown' / Andorra Juniper
Juniperus sabina 'Buffalo' / Buffalo Juniper
Pinus mugo 'Slowmound' / Slowmound Mugo Pine
Thuja occidentalis 'Congabe' / Fire Chief Arborvitae

SMALL DECIDUOUS SHRUB

Cornus stolonifera 'Arctic Sun' / Arctic Sun Dogwood
Hydrangea paniculata 'Bobo' / Bobo Hydrangea
Itea virginica 'Little Henry' / Little Henry Sweetpire
Spiraea j 'A W' / Anthony Waterer Spiraea
Spiraea j 'Magic Carpet' / Magic Carpet Spiraea
Syringa x 'SMNURPI' / Blooming Dwarf Pink Lilac
Syringa x 'SMSJB7' / Blooming Dwarf Purple Lilac

TALL ORNAMENTAL GRASS

Andropogon 'D W' / Dancing Wind Big Blue Stem
Calamagrostis x 'Karl Foerster' / Karl Foerster Reed
Calamagrostis x 'Overdam' / Overdam Reed
Miscanthus 'Oktoberfest' / Oktoberfest Miscanthus
Panicum virgatum 'Northwind' / Northwind Switch
Schizachyrium 'B H' / Blue Heaven Little Bluestem

SHORT ORNAMENTAL GRASS

Deschampsia cespitosa / Tufted Hair Grass
Eragrostis spectabilis / Purple Love Grass
Sporobolus heterolepis 'Tara' / Prairie Dropseed

SHRUB AREAS

BOTANICAL / COMMON NAME

PERENNIALS

VARIOUS SPECIES

TURF

BOTANICAL / COMMON NAME

Turf Hydroseed /

Drought Tolerant Fescue Blend

Turf Hydroseed Low Grow /

Reinders No Mow/Low Grow Mix

REFERENCE NOTES SCHEDULE

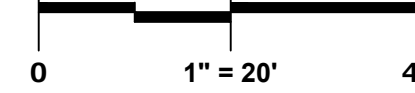
SYMBOL

DESCRIPTION

1 RODENT STRIP- # 1 CLEAR STONE



GRAPHICAL SCALE (FEET)



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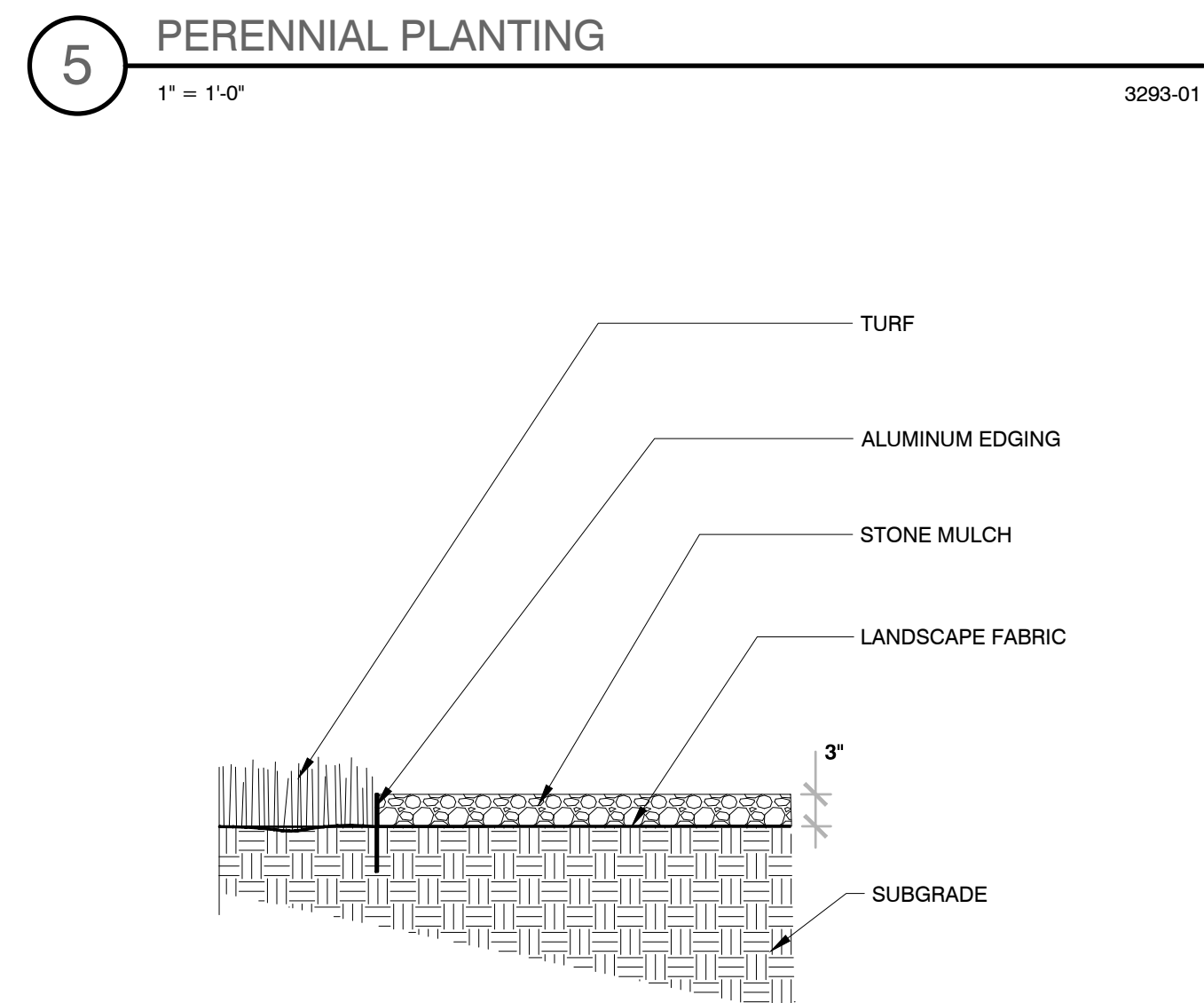
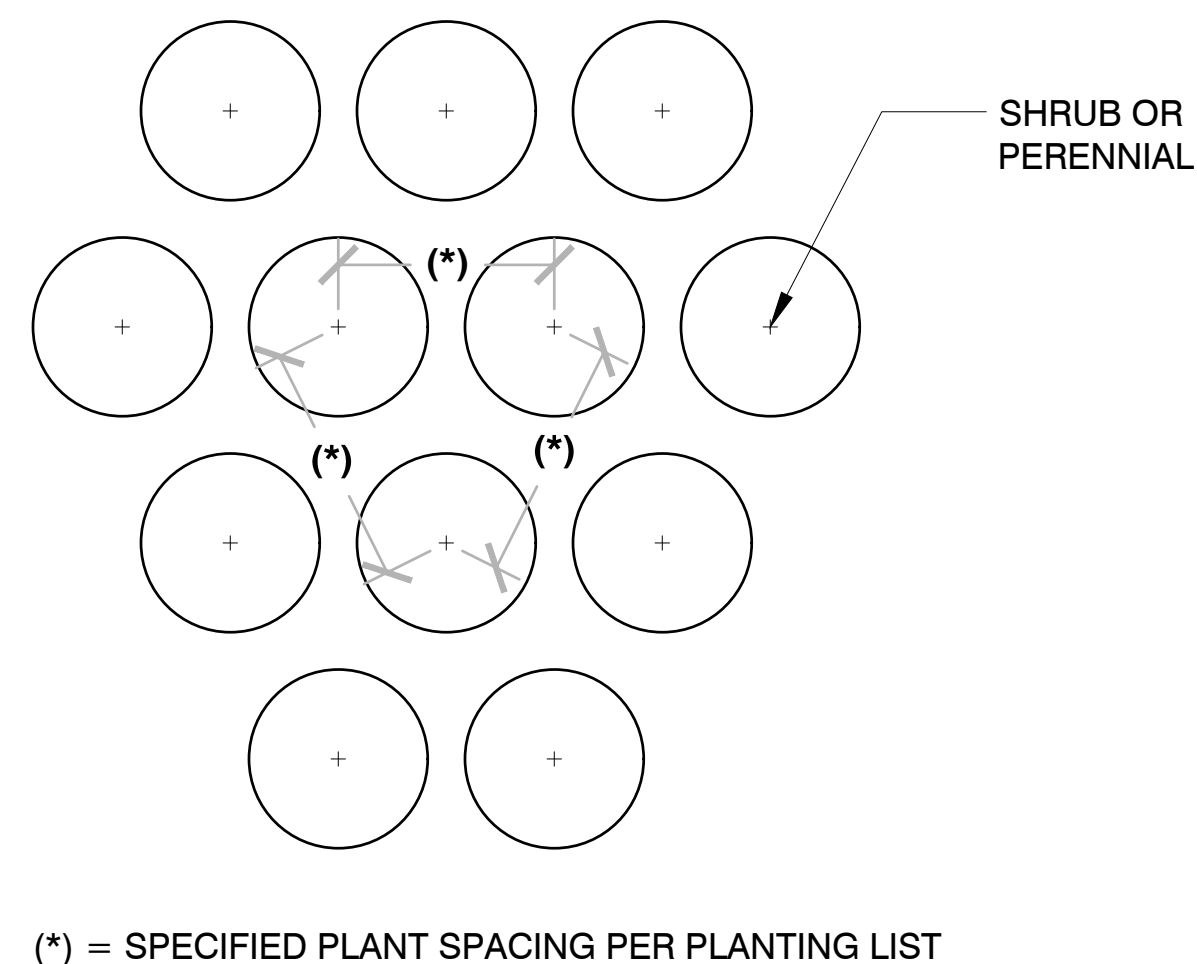
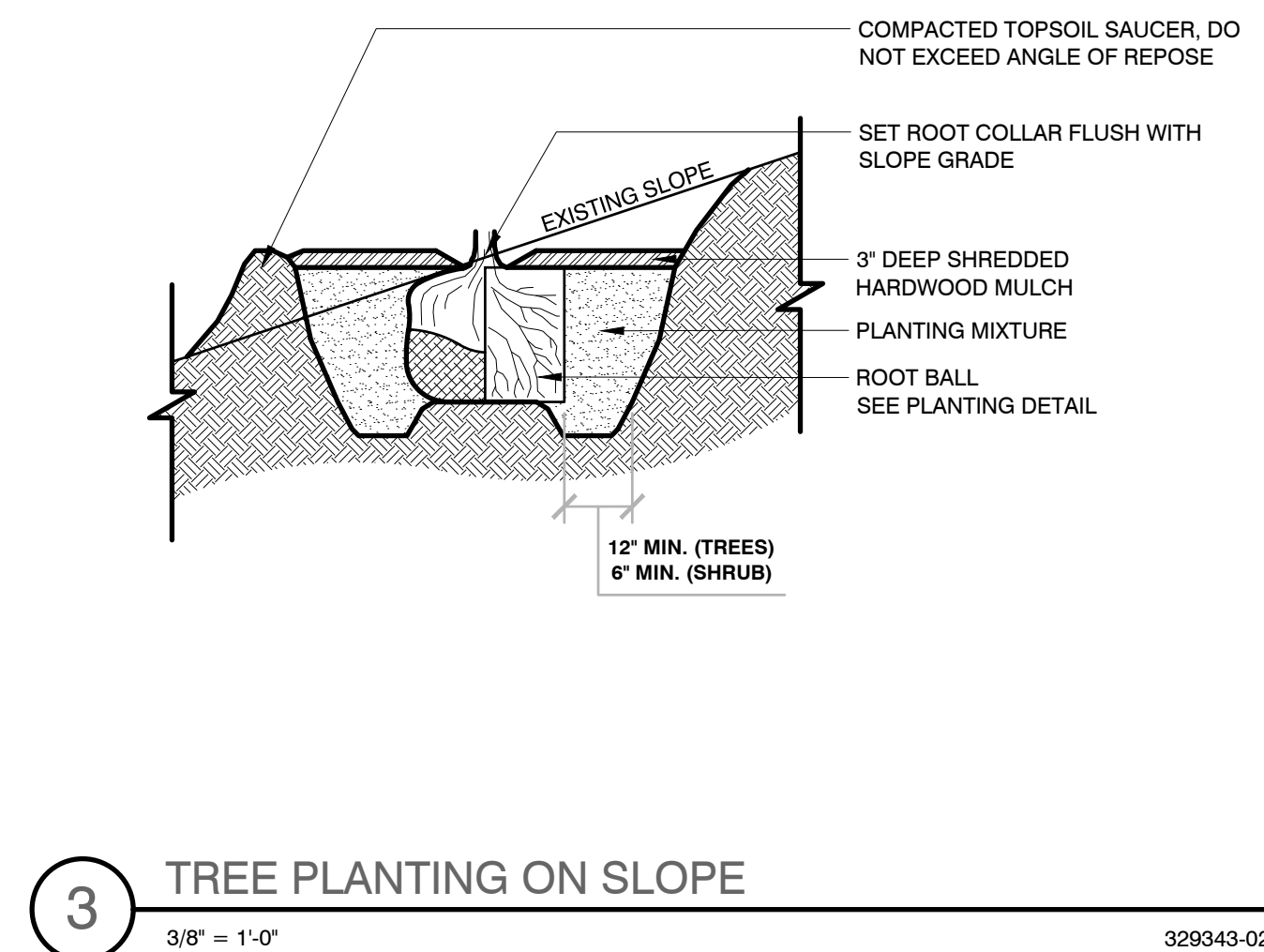
400 MITCHELL ROAD
400 MITCHELL ROAD
NORTH AURORA, ILLINOIS

REVISIONS		
1	P.U.D. SUBMITTAL	01/31/23
2	P.U.D. SUBMITTAL	02/10/23

LANDSCAPE ENLARGEMENT

SHEET
L-7
OF
L-9

REC JOB No. 2132.00-11
BID
REG PM
START DATE 12/15/22
SCALE 1" = 20'



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GENERAL PLANTING NOTES

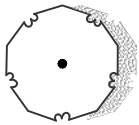
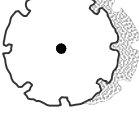

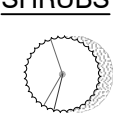
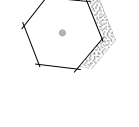

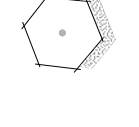







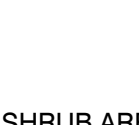
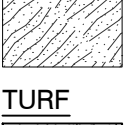
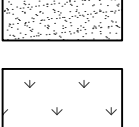
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL ¾ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT J.U.L.I.E.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

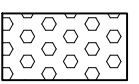
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

	LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
SECTION 14.5	GREEN SPACE 157,337 SQ FT • TREE 1/1000 SQ FT	158	194
SECTION 14.8	PARKING LOTS PERIMETER 1,260 FT • TREES • SHRUBS • EVERGREEN • NOTE: PARKING INTERIOR INCLUDED	32 158 20%	37 162 42%
SECTION 14.9	PARKING INTERIOR TREES • TREES • NOTE: PARKING AREA INCLUDED	14	14

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME POSSIBLE VARIETIES	COMMON NAME	SIZE	REMARKS
	91	SHADE TREE			
		Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' Cal.	50" T x 40" W
		Acer saccharum	Sugar Maple	2.5' Cal.	60" T x 45" W
		Gleditsia triacanthos inermis 'Shademaster'	Shademaster Locust	2.5' Cal.	60" T x 50" W
		Gymnocladus dioicus	Kentucky Coffee Tree	2.5' Cal.	70" T x 45" W
	18	Quercus x schuetti	Swamp Bur Oak	2.5' Cal.	70" T x 65" W
		Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5' Cal.	45" T x 35" W
		ORNAMENTAL TREE			
		Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6" Ht.	20" T x 20" W
		Carpinus caroliniana 'JN Strain'	Fire King Musclewood	6" Ht.	30" T x 30" W
	85	Cercis canadensis	Eastern Redbud Multi-stem	6" Ht.	25" T x 25" W
		Cornus mas 'Golden Glory'	Golden Glory Corneliancherry	6" Ht.	17" T x 17" W
		Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	6" Ht.	15" T x 15" W
		Malus x 'Prairie Maid'	Prairie Maid Crabapple	6" Ht.	20" T x 25" W
		Malus x 'Royal Raindrops'	Royal Raindrops Crabapple - Multi-Stem	6" Ht.	20" T x 25" W
	2	Malus x 'Shotizam'	Showtime Crabapple	6" Ht.	25" T x 20" W
		Syringa reticulata 'Bailnce'	Snowdance Japanese Tree Lilac	6" Ht.	20" T x 20" W
		EVERGREEN TREE			
		Juniperus virginiana 'Canaerti'	Canaerti Juniper	6" Ht.	25" T x 13" W
		Picea abies	Norway Spruce	6" Ht.	60" T x 28" W
	20	Picea glauca 'Densata'	Black Hills Spruce	6" Ht.	30" T x 15" W
		Picea omorika	Serbian Spruce	6" Ht.	55" T x 23" W
		Pinus strobus	White Pine	6" Ht.	65" T x 30" W
		Pinus sylvestris	Scotch Pine	6" Ht.	45" T x 35" W
		Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	6" Ht.	50" T x 35" W
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	2	LARGE EVERGREEN SHRUB			
		Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4' Ht.	16" T x 8" W
		Juniperus chinensis 'Mountbatten'	Mountbatten Juniper	4' Ht.	15" T x 5" W
		Thuja occidentalis 'BaliJohn'	Technito Arborvitae	4' Ht.	12" T x 5" W
		Thuja occidentalis 'Nigra'	Dark Green Arborvitae	4' Ht.	20" T x 8" W
	92	LARGE DECIDUOUS SHRUB			
		Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	3' Ht.	7" T x 6" W
		Cephalanthus occidentalis 'Ping Pong'	Ping Pong Buttonbush	3' Ht.	8" T x 8" W
		Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	3' Ht.	8" T x 8" W
		MEDIUM EVERGREEN SHRUB			
	54	Juniperus chinensis 'Sea Green'	Sea Green Juniper	18" Ht.	5" T x 5" W
		Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	18" Ht.	3" T x 4" W
		Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	18" Ht.	3" T x 5" W
		Picea abies 'Pumila'	Pumila Spruce	18" Ht.	3" T x 4" W
		Taxus x media 'Tauntonii'	Tauton Yew	18" Ht.	4" T x 5" W
	30	MEDIUM DECIDUOUS SHRUB			
		Aronia melanocarpa 'Elata'	Glossy Black Chokeberry	18" Ht.	5" T x 5" W
		Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18" Ht.	6" T x 5" W
		Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	18" Ht.	5" T x 5" W
		Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	18" Ht.	5" T x 5" W
	82	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	18" Ht.	5" T x 5" W
		Salix purpurea 'Canyon Blue'	Canyon Blue Arctic Willow	18" Ht.	5" T x 5" W
		Sambucus nigra 'Black Lace'	Black Lace Elderberry	18" Ht.	6" T x 6" W
		Syringa meyeri 'Palibin'	Dwarf Korean Lilac	18" Ht.	5" T x 5" W
		LOW EVERGREEN SHRUB			
	48	Juniperus horizontalis 'Youngstown'	Andorra Juniper	18" W	10" T x 60" W
		Juniperus sabina 'Buffalo'	Buffalo Juniper	18" W	1" T x 7" W
		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	18" W	3" T x 3" W
		Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	18" Ht.	2" T x 3" W
		SMALL DECIDUOUS SHRUB			
	122	Cornus stolonifera 'Arctic Sun'	Arctic Sun Dogwood	18" Ht.	3" T x 3" W
		Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18" Ht.	3" T x 4" W
		Itea virginica 'Little Henry'	Little Henry Sweetspire	18" Ht.	3" T x 3" W
		Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	18" Ht.	3" T x 4" W
		Spiraea japonica 'Magic Carpet'	Magic Carpet Spiraea	18" Ht.	2" T x 3" W
	48	Syringa x 'SMNJRPJ'	Bloomerang Dwarf Pink Lilac	18" Ht.	4" T x 3" W
		Syringa x 'SMSJBP7'	Bloomerang Dwarf Purple Lilac	3 gal.	4" T x 3" W
		TALL ORNAMENTAL GRASS			
		Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem	1 gal.	36" T x 30" W
		Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.	36" T x 24" W
	48	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24" T x 24" W
		Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W
		Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	42" T x 28" W
		Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem Grass	1 gal.	30" T x 28" W
		SHORT ORNAMENTAL GRASS			
	508 sf	Deschampsia cespitosa	Tufted Hair Grass	1 gal.	24" T x 30" W
		Eragrostis spectabilis	Purple Love Grass	1 gal.	24" T x 18" W
		Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	15" T x 20" W
		PERENNIALS	VARIOUS SPECIES	4.5" cont.	
		SHRUB AREAS			
TURF	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	117,395 sf				
		Turf Hydroseed	Drought Tolerant Fescue Blend		
	124,316 sf				
		Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	RODENT STRIP- # 1 CLEAR STONE	24.31 cy	8/L-8

Traffic Impact Study

Proposed Warehouse/Distribution Facility

North Aurora, Illinois



Prepared For:

PINNACLE ENGINEERING GROUP



February 3, 2023

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed warehouse/distribution facility to be located in North Aurora, Illinois. The site, which is currently vacant, is located west of Mitchell Road just north of I-88. As proposed, the site will be developed with an approximately 604,500 square-foot warehouse/distribution building with 95 loading docks. Access to the proposed facility will be provided via a full-movement access drive on Mitchell Road opposite Corporate Boulevard.

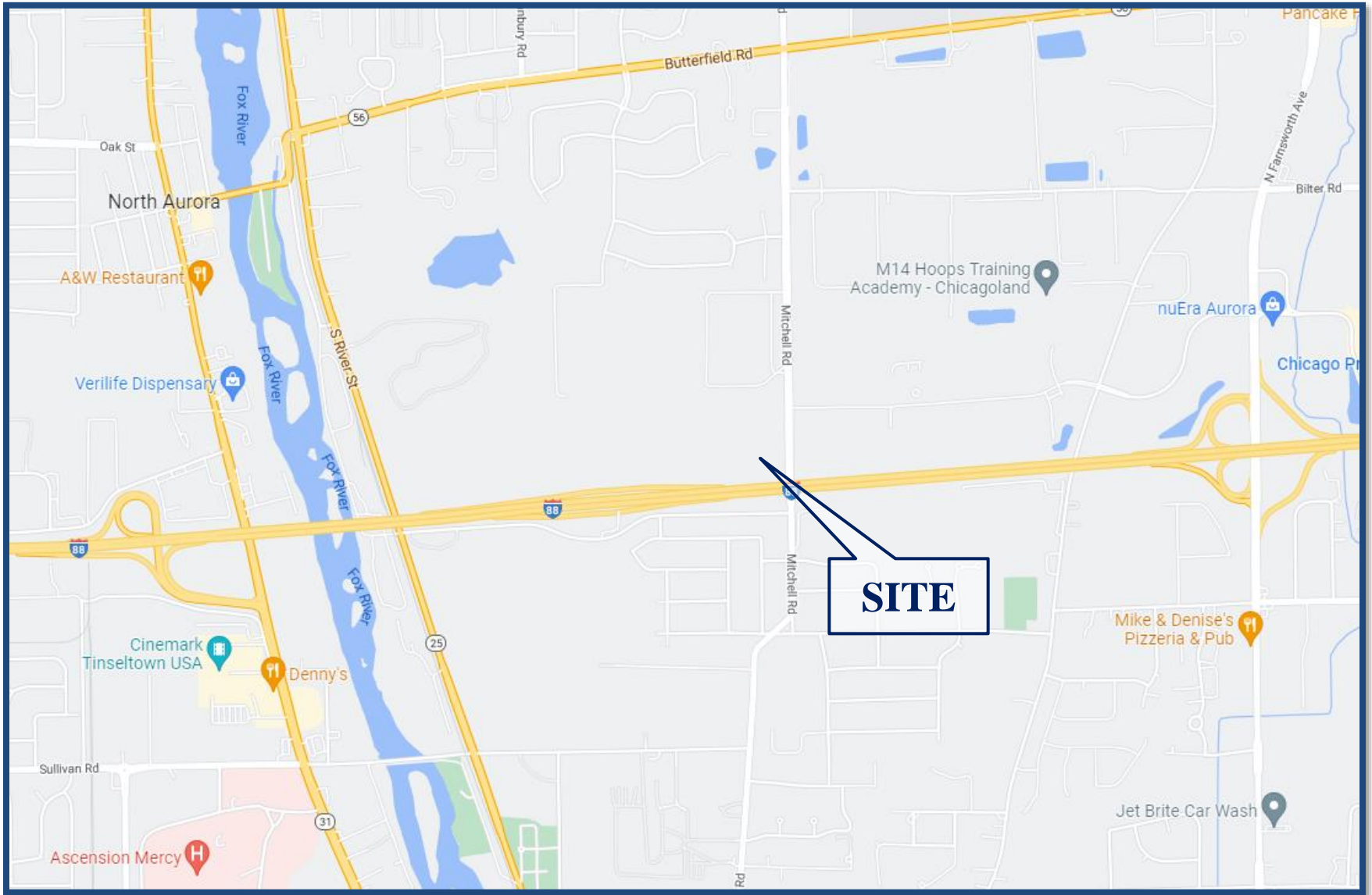
The purpose of this study was to examine background traffic conditions, assess the impact that the proposed facility will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed facility.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site. The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed facility
- Directional distribution of the facility traffic
- Vehicle trip generation for the facility
- Future traffic conditions including access to the facility
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes as determined from traffic counts conducted in 2022.
2. Year 2028 No-Build Conditions – Analyzes the capacity of the existing roadway system using existing traffic volumes increased by an ambient area growth factor not attributable to any particular development.
3. Year 2028 Total Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the Year 2028 no-build traffic volumes and the traffic estimated to be generated by the proposed facility.



Site Location

Figure 1

*Proposed Warehouse/Distribution Facility
North Aurora, Illinois*



Aerial View of Site

Figure 2

*Proposed Warehouse/Distribution Facility
North Aurora, Illinois*

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

The site, which is currently vacant, is bounded by Dart Logistics to the north, I-88 to the south, vacant/undeveloped land to the west, and Mitchell Road to the east. Land uses within the vicinity of the site include industrial, warehouse, and distribution facilities north of I-88 and residential south of I-88.

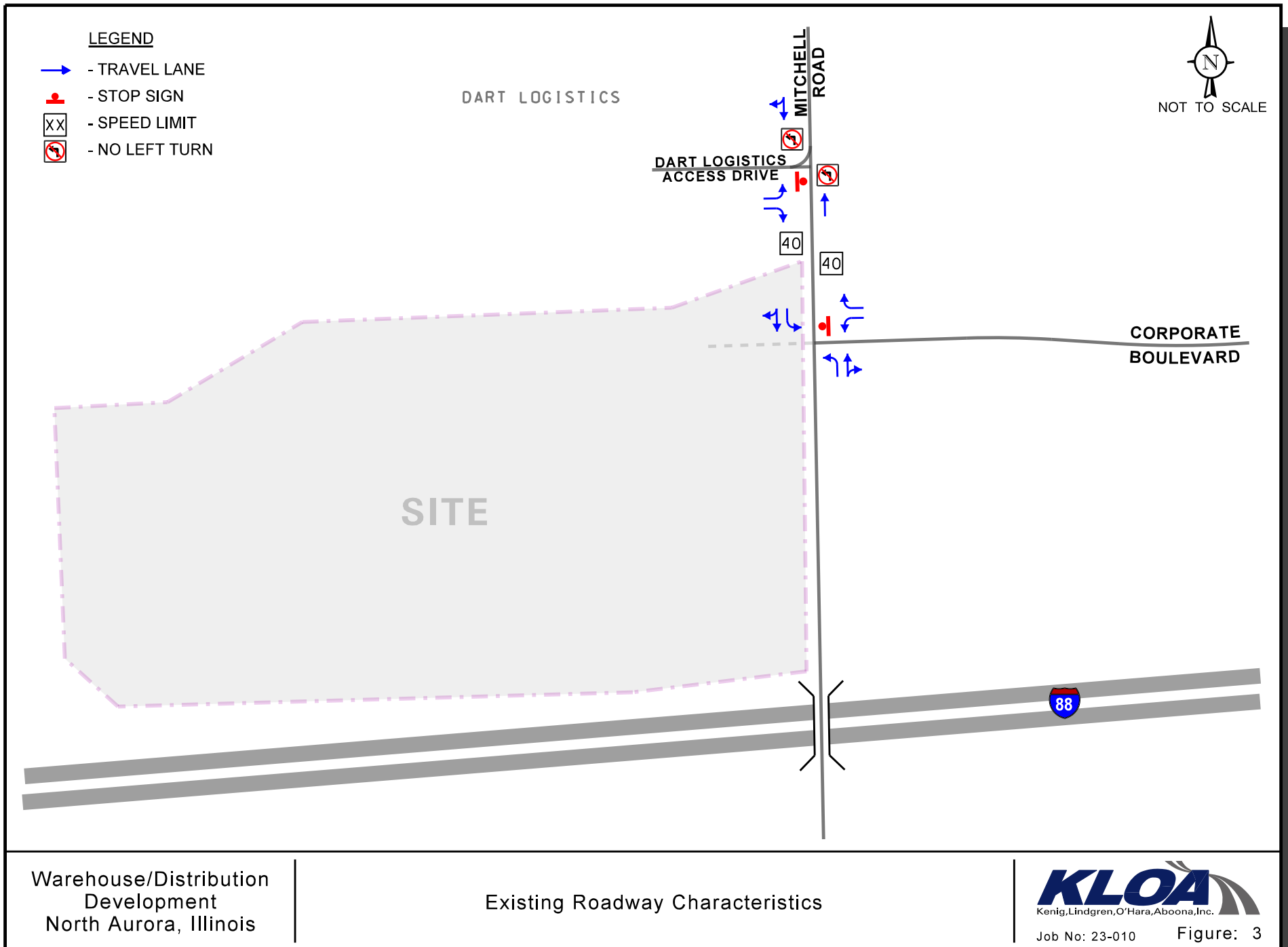
Existing Roadway System Characteristics

The characteristics of the existing roadways near the facility are described below and illustrated in **Figure 3**.

Mitchell Road is a north-south, major collector roadway that provides one lane in each direction generally divided by a stripped median. At its unsignalized intersection with Corporate Boulevard, Mitchell Road provides an exclusive left-turn lane and a combined through/right-turn lane on both approaches. At its unsignalized intersection with the Dart Logistics south access drive, Mitchell Road provides a through lane on the northbound approach and a shared through/right-turn lane on the southbound approach. Mitchell Road is under the jurisdiction of the Village of North Aurora, carries an Average Annual Daily Traffic (AADT) volume of 9,900 vehicles (IDOT 2021), and has a posted speed limit of 40 miles per hour.

Corporate Boulevard is generally an east-west, local roadway that provides one lane in each direction. The road extends from Mitchell Road to Farnsworth Avenue where it is aligned opposite Premium Outlet Boulevard. At its unsignalized “T” intersection with Mitchell Road, Corporate Boulevard provides an exclusive left-turn lane and an exclusive right-turn lane on the westbound approach that are under stop sign control. Corporate Boulevard is under the jurisdiction of the Village of North Aurora.

The *Dart Logistics access drive* serves the Dart Logistics facility and is restricted to inbound right-turn, outbound left-turn, and outbound right-turn movements. It has one inbound lane and two outbound lanes striped for an exclusive left-turn lane and an exclusive right-turn lane.



Existing Traffic Volumes

In order to determine current traffic conditions within the study area, KLOA, Inc. conducted peak period traffic counts at the following intersections:

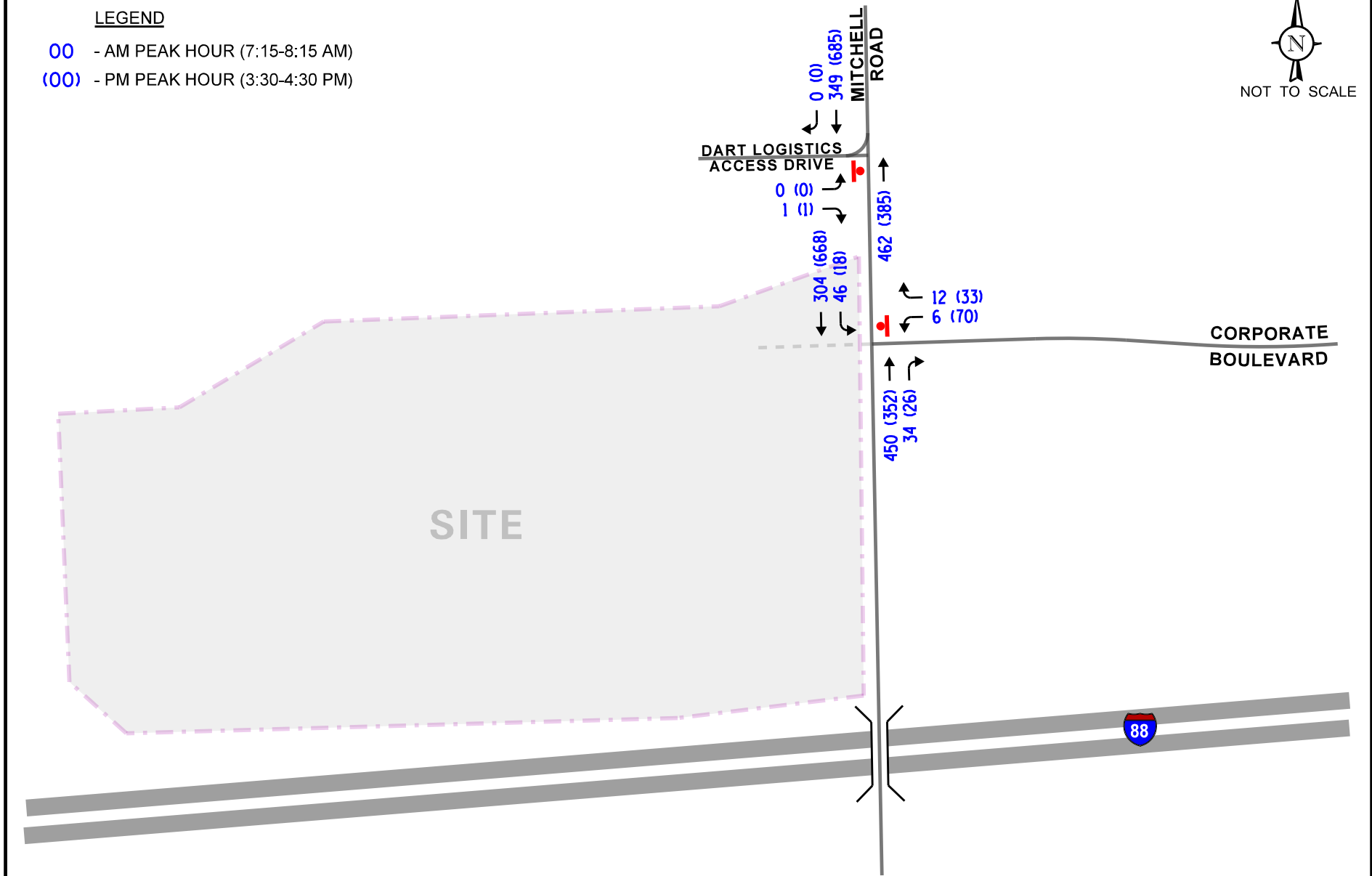
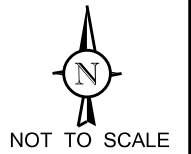
- Mitchell Road with Corporate Boulevard
- Mitchell Road with Dart Logistics South Access Drive

The traffic counts were conducted on Tuesday, December 2022 during the weekday morning peak period (6:00 A.M. to 9:00 A.M.) and during the weekday evening peak period (3:00 P.M. to 6:00 P.M.). The results of the traffic counts show that the peak hours of traffic generally occurred between 7:15 A.M. and 8:15 A.M. during the weekday morning peak period and between 3:30 P.M. and 4:30 P.M. during the weekday evening peak period. Copies of the traffic count summary sheets are included in the Appendix.

The existing traffic volumes, inclusive of trucks, are illustrated in **Figure 4**. The existing truck traffic volumes are illustrated in **Figure 5**.

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)



Warehouse/Distribution
Development
North Aurora, Illinois

Existing Traffic Volumes

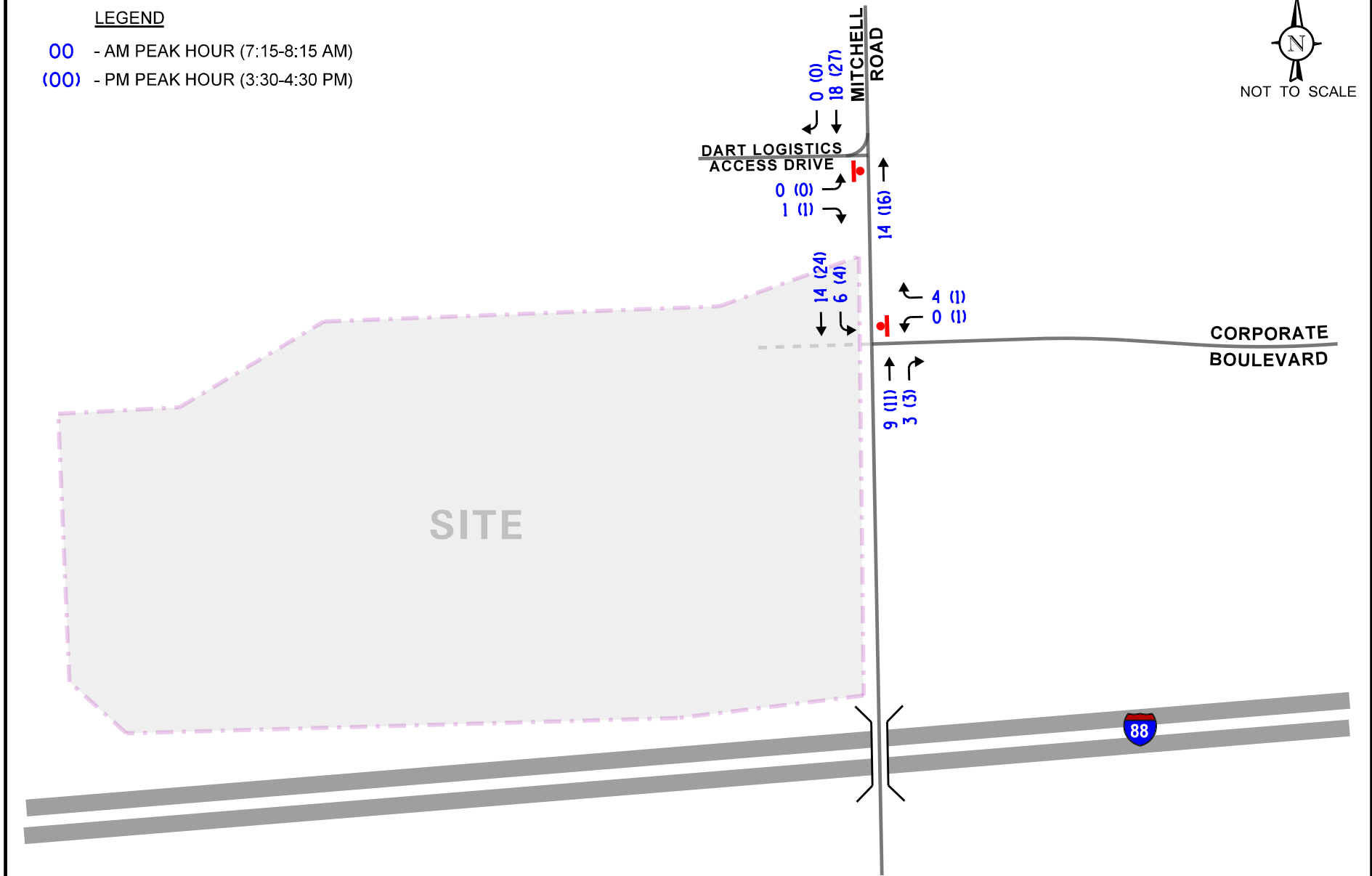
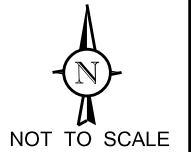


Job No: 23-010

Figure: 4

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
(00) - PM PEAK HOUR (3:30-4:30 PM)



Warehouse/Distribution
 Development
 North Aurora, Illinois

Existing Traffic Volumes - Trucks



Job No: 23-010

Figure: 5

Crash Analysis

KLOA, Inc. obtained crash data for the most recent available past five years (2017 to 2021) at the study area intersections. A review of the crash data revealed only one crash was reported at the intersection of Mitchell Road with Corporate Boulevard and no crashes were reported at the intersection of Mitchell Road with the Dart Logistics access drive. Further, no fatalities were reported at any of the intersections during the review period. A summary of the crash data for the intersection of Mitchell Road with Corporate Boulevard is shown in **Table 1**.¹

Table 1

MITCHELL ROAD WITH CORPORATE BOULEVARD - CRASH SUMMARY

Year	Type of Crash Frequency						
	Angle	Object	Rear End	Sideswipe	Turning	Other	Total
2017	0	0	0	0	0	0	0
2018	0	0	0	0	0	0	0
2019	0	0	0	0	0	0	0
2020	0	0	0	0	0	0	0
2021	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>1</u>
Total	0	0	0	0	1	0	1
Average/Year	--	--	--	--	<1.0	--	<1.0

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

3. Traffic Characteristics of the Proposed Facility

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed facility, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Facility Plan

The site is proposed to be developed with an approximate 604,500 square-foot warehouse/distribution building with 95 loading docks. In addition, the site is proposed to provide parking for approximately 119 passenger vehicles, 132 trailers, and 67 vans. A copy of the proposed site plan is included in the Appendix.

Access to the facility will be accommodated via a proposed full-movement access drive located on the west side of Mitchell Road opposite Corporate Boulevard. The access drive will provide one inbound lane and two outbound lanes striped for an exclusive left-turn lane and a shared through/right-turn lane. The outbound movements should be under stop sign control. Left-turn movements from Mitchell Road to the facility will be accommodated via the existing northbound left-turn lane provided at this intersection.

Directional Distribution

The directions from which employees and trucks will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts, and the operation of the existing roadway system. **Figure 6** illustrates the directional distribution of the site-generated traffic.

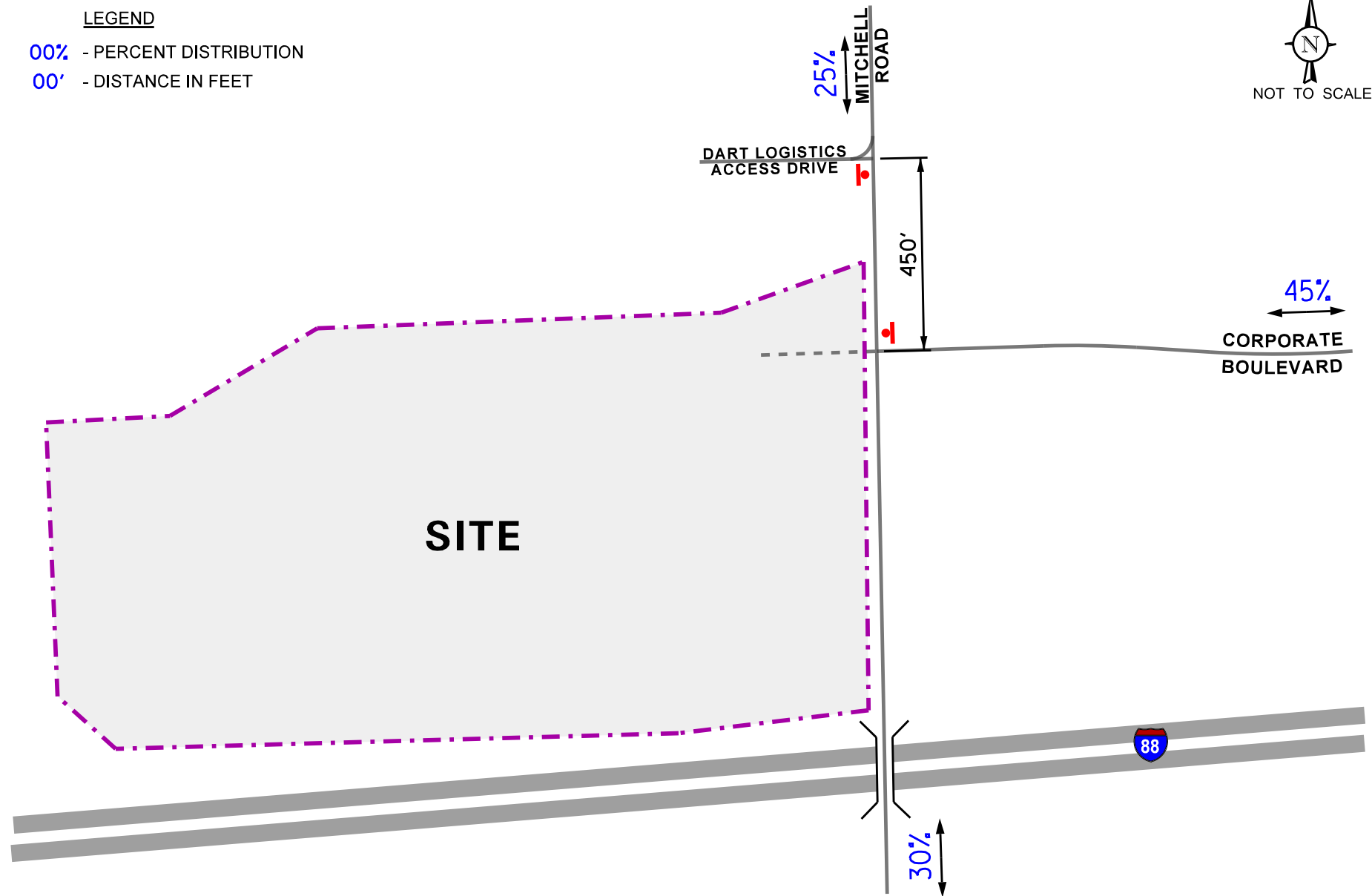
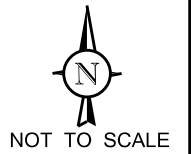
Facility-Generated Traffic Volumes

The total number of peak hour vehicle trips estimated to be generated by the proposed facility was based on vehicle trip generation rates contained in *Trip Generation Manual*, 11th Edition, published by the Institute of Transportation Engineers (ITE) for Land-Use Code 150 (Warehousing). **Table 2** summarizes the trips projected to be generated by the facility during the peak hours and on a daily basis. **Table 3** summarizes the truck trips projected to be generated by the facility by hour. Copies of the ITE trip generation sheets are included in the Appendix.

LEGEND

00% - PERCENT DISTRIBUTION

00' - DISTANCE IN FEET



Warehouse/Distribution
Development
North Aurora, Illinois

Directional Distribution



Job No: 23-010

Figure: 6

Table 2

ESTIMATED PEAK HOUR AND DAILY TRIP GENERATION

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Trips		
		In	Out	Total	In	Out	Total	In	Out	Total
150	Warehouse (604,500 s.f.)	79	24	103	30	79	109	497	497	994
	Truck Trips	6	6	12	9	9	18	182	182	364
	Passenger Vehicle Trips	73	18	91	21	70	91	315	315	630

Table 3

ESTIMATED 24-HOUR TRUCK TRIP GENERATION

Hour	Warehousing (ITE LUC 150) – 604,500 s.f.					
	Weekday Morning			Weekday Evening		
	In	Out	Total	In	Out	Total
12:00	0	1	1	13	13	26
1:00	0	1	1	17	14	31
2:00	0	1	1	12	10	22
3:00	0	1	1	14	11	25
4:00	1	1	2	11	21	32
5:00	2	2	4	9	18	27
6:00	7	4	11	8	16	24
7:00	16	5	21	3	10	13
8:00	15	8	23	2	3	5
9:00	13	8	21	1	2	3
10:00	15	10	25	2	1	3
11:00	11	11	22	1	2	3
Based on daily truck trips (Table 2) and ITE's Hourly Distribution of Entering and Exiting Truck Trips tables.						

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to ambient growth and other area developments, and the traffic estimated to be generated by the proposed subject facility.

Facility Traffic Assignment

The estimated weekday morning and evening traffic volumes that will be generated by the proposed facility were assigned to the roadway system in accordance with the previously described directional distribution (Figure 6). The new passenger traffic assignment for the proposed facility is illustrated in **Figure 7** and the new truck traffic assignment is illustrated in **Figure 8**.

Background (No-Build) Traffic Conditions

The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any planned development). Based on AADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP), the base traffic volumes were increased by an annually compounded growth rate of 0.88 percent per year for six years (buildout year plus five years) for a total of five percent. A copy of the CMAP letter is included in the Appendix.

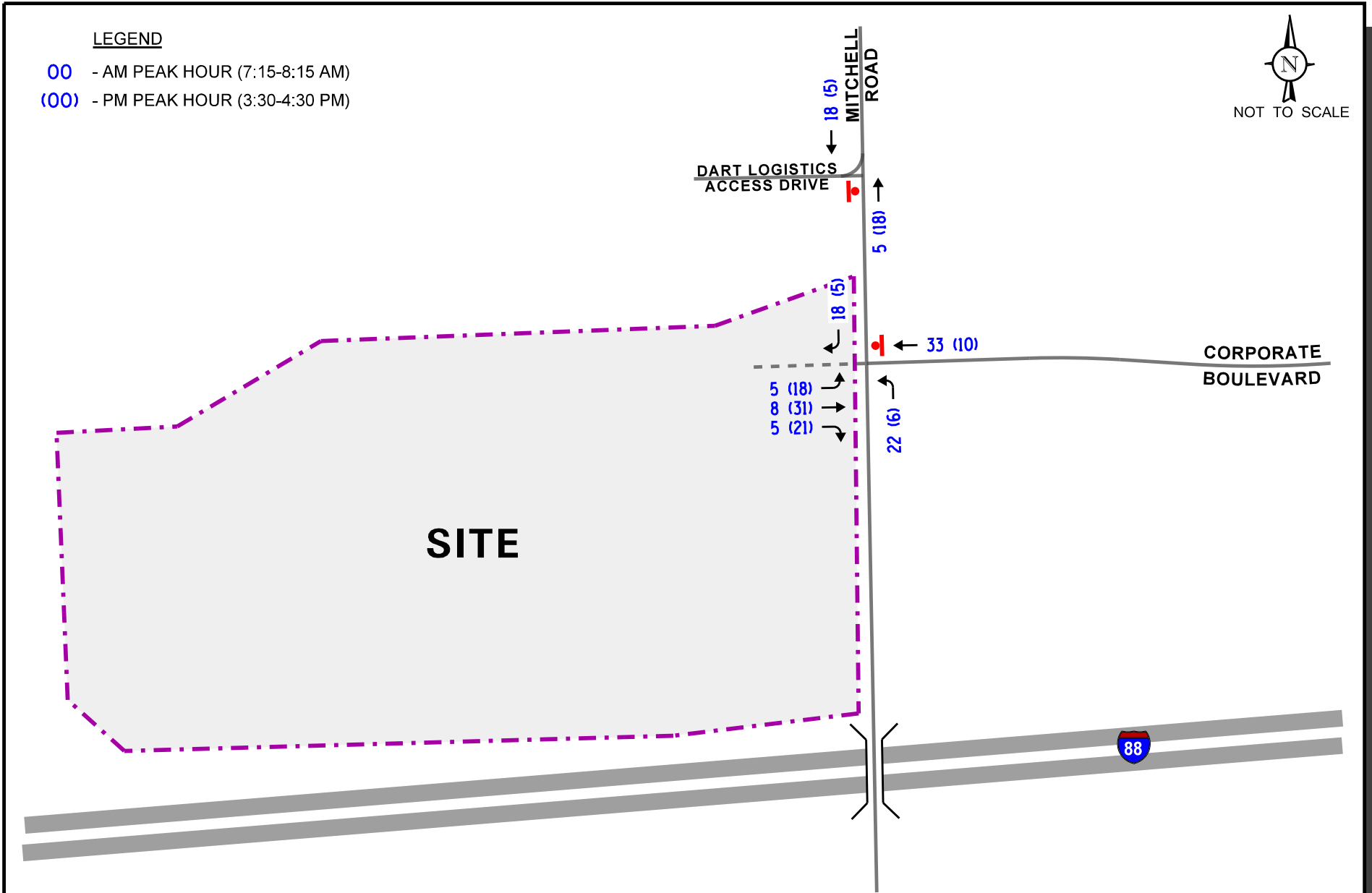
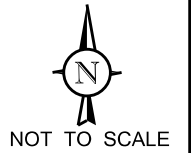
The Year 2028 no-build traffic volumes are illustrated in **Figure 9**.

Total Projected Traffic Volumes

The facility-generated traffic (Figures 7 and 8) was added to the Year 2028 no-build traffic volumes (Figure 9) to determine the Year 2028 total projected traffic volumes, as shown in **Figure 10**.

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)



Warehouse/Distribution
Development
North Aurora, Illinois

Site-Generated Traffic Volumes -
Passenger Vehicles

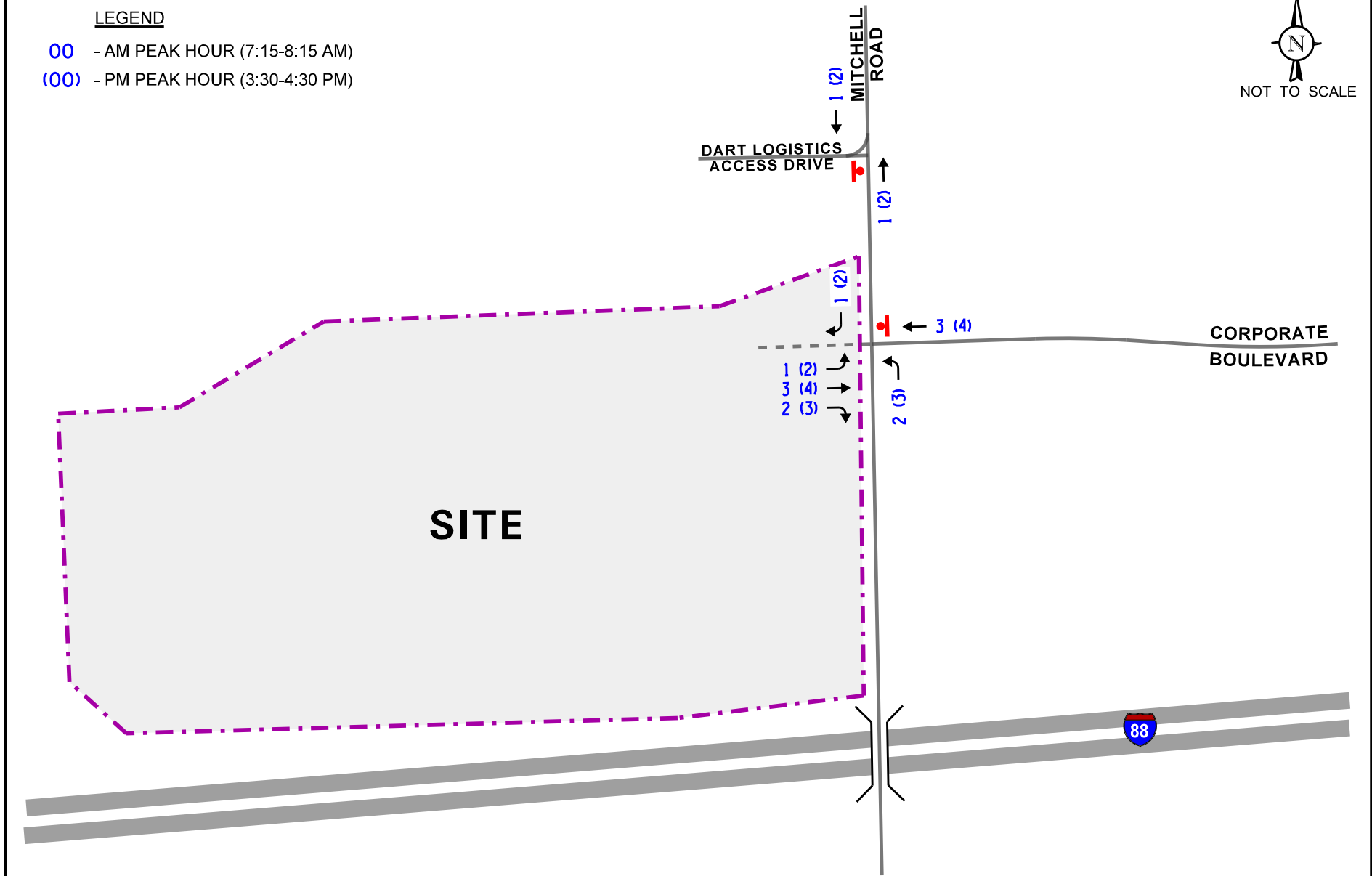
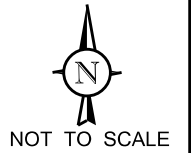


Job No: 23-010

Figure: 7

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
(00) - PM PEAK HOUR (3:30-4:30 PM)



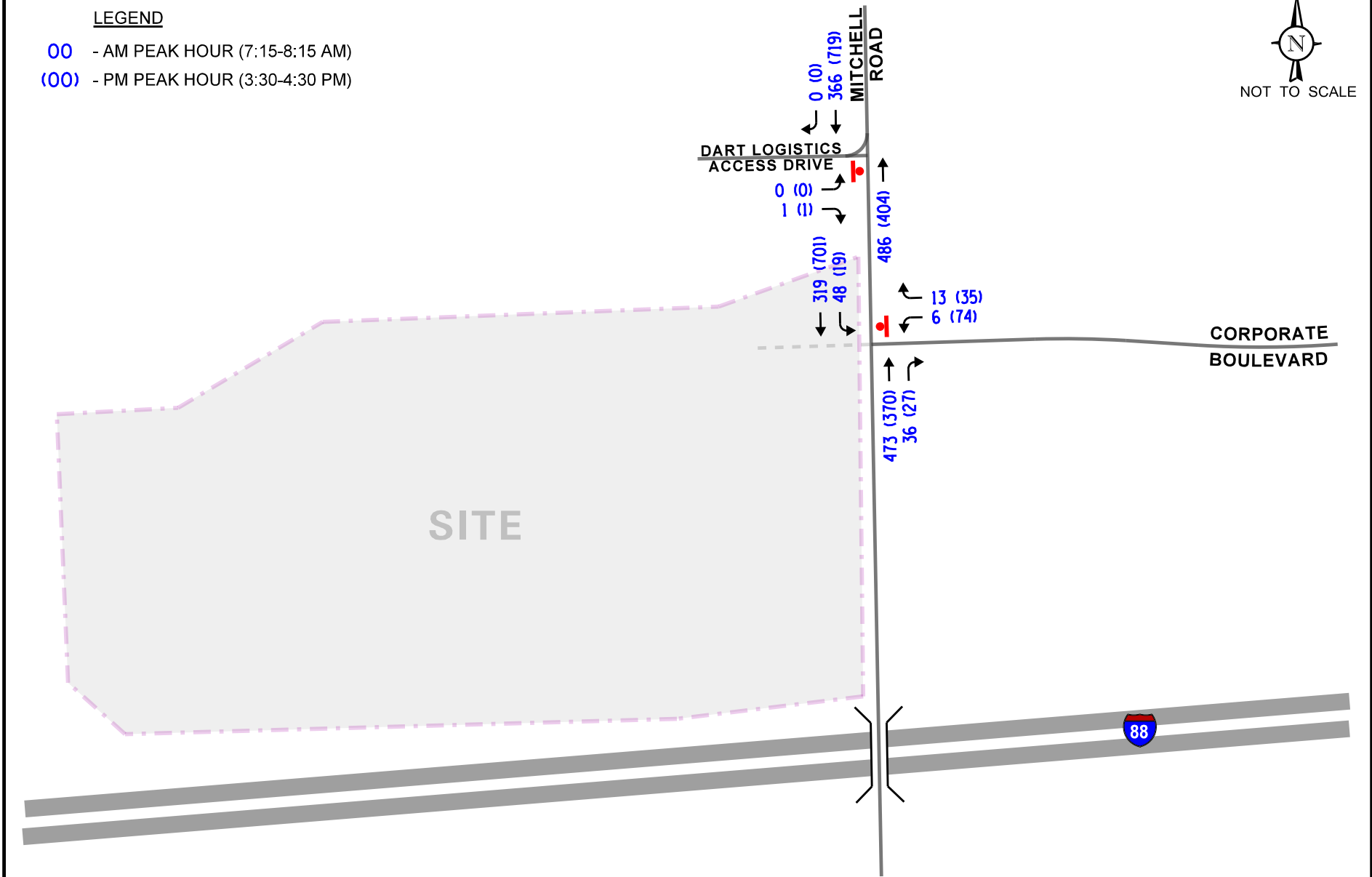
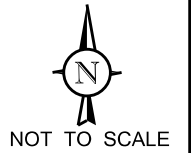
Warehouse/Distribution
 Development
 North Aurora, Illinois

Site-Generated Traffic Volumes -
 Trucks

KLOA
 Kenig, Lindgren, O'Hara, Aboona, Inc.
 Job No: 23-010 Figure: 8

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)



Warehouse/Distribution
Development
North Aurora, Illinois

Year 2028 No-Build Traffic Volumes

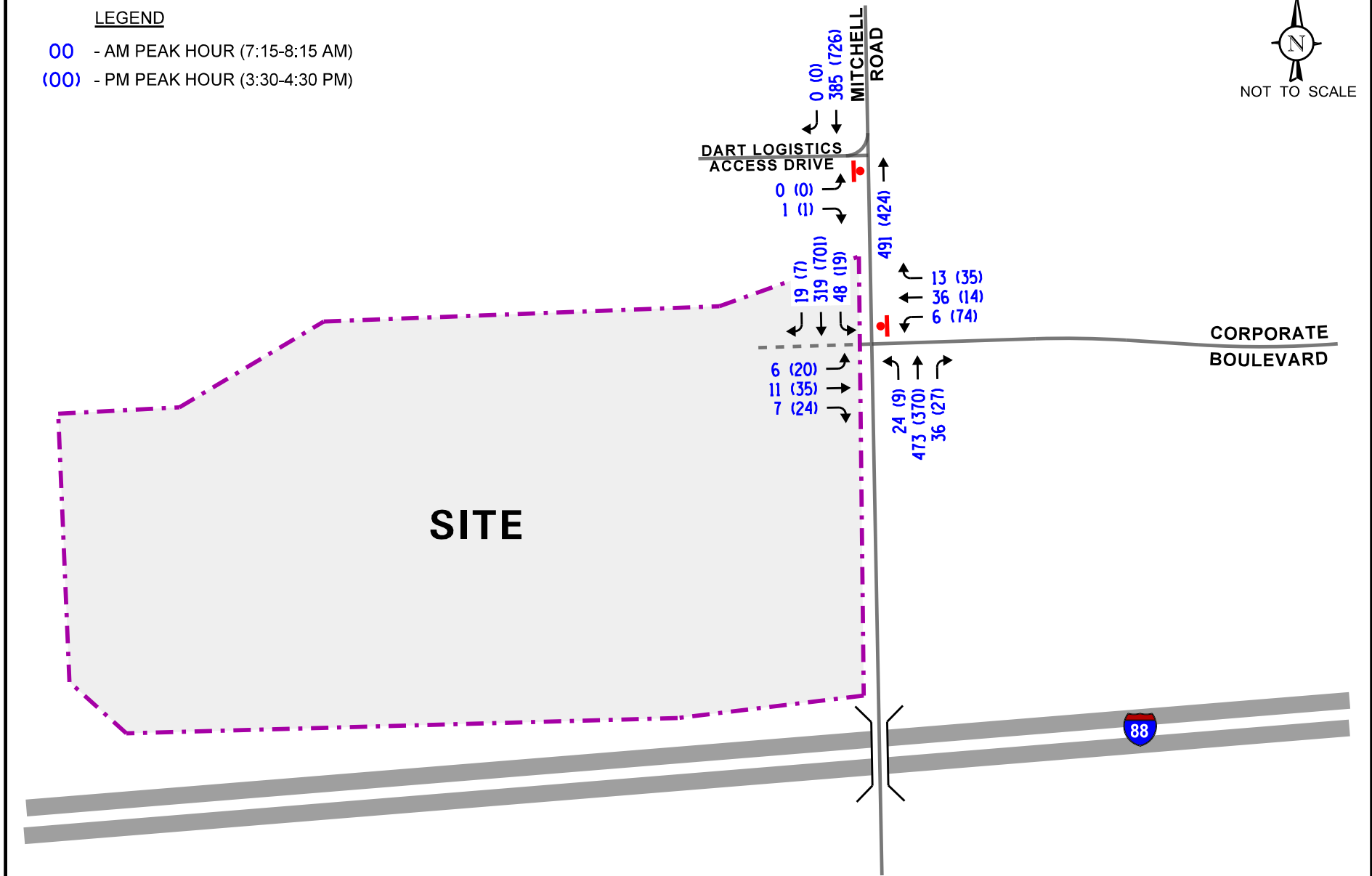
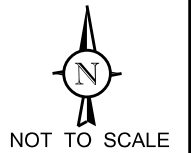


Job No: 23-010

Figure: 9

LEGEND

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (3:30-4:30 PM)



Warehouse/Distribution
Development
North Aurora, Illinois

Year 2028 Total Traffic Volumes



Job No: 23-010 Figure: 10

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the Year 2022 existing, Year 2028 no-build, and Year 2028 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 software.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the Year 2022 existing, Year 2028 no-build, and Year 2028 total projected conditions are presented in **Tables 4** through **6**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 4
CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
EXISTING CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics Access Drive¹				
• Eastbound Approach	B	12.4	C	17.5
Mitchell Road with Corporate Boulevard¹				
• Westbound Left Turn	B	14.3	C	18.7
• Westbound Right Turn	B	12.6	B	10.9
• Southbound Left Turn	A	9.0	A	8.5
LOS = Level of Service Delay is measured in seconds.				
1 – Two-way stop control				

Table 5
CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
YEAR 2028 NO-BUILD TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics Access Drive¹				
• Eastbound Approach	B	12.6	C	18.2
Mitchell Road with Corporate Boulevard¹				
• Westbound Left Turn	B	14.8	C	19.8
• Westbound Right Turn	B	12.9	B	11.0
• Southbound Left Turn	A	9.1	A	8.6
LOS = Level of Service Delay is measured in seconds.				
1 – Two-way stop control				

Table 6

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED INTERSECTIONS
YEAR 2028 TOTAL PROJECTED TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Mitchell Road with Dart Logistics Access Drive¹				
• Eastbound Approach	B	12.8	C	18.3
Mitchell Road with Corporate Boulevard/Proposed Access Drive¹				
• Eastbound Left Turn	C	20.6	C	21.3
• Eastbound Through/Right Turn	C	16.3	C	19.9
• Westbound Left Turn	C	17.7	D	30.3
• Westbound Through/Right Turn	C	18.2	B	14.3
• Northbound Left Turn	A	8.2	B	10.1
• Southbound Left Turn	A	9.1	A	8.6
LOS = Level of Service Delay is measured in seconds.				
1 – Two-way stop control				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the facility-generated traffic.

Mitchell Road with Corporate Boulevard/Proposed Access Drive

The results of the capacity analysis indicate that the westbound left-turn movement currently operates at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour. The westbound right-turn movement currently operates at LOS B during both peak hours and the southbound left-turn movement operates at LOS A during both peak hours.

Under Year 2028 no-build conditions, the westbound left-turn movement is projected to continue operating at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour with increases in delay of less than two seconds. The westbound right-turn movement and the southbound left-turn movement are projected to continue operating at the same existing levels of service with increases in delay of less than one second.

Access to the facility will be accommodated via a proposed full-movement access drive located on the west side of Mitchell Road opposite Corporate Boulevard. The access drive will provide one inbound lane and two outbound lanes striped for an exclusive left-turn lane and a shared through/right-turn lane. The outbound movements should be under stop sign control. Left-turn movements from Mitchell Road to the facility will be accommodated via the existing northbound left-turn lane provided at this intersection.

Under Year 2028 total projected conditions and assuming the access drive at this intersection, all of the critical movements are projected to operate at LOS C or better except the westbound left-turn movement, which is projected to operate at LOS D during the evening peak hour. It should be noted that the intersection was evaluated assuming two-stage, left-turn movements from Corporate Boulevard and the facility access drive to Mitchell Road. A two-stage, left-turn movement is when a vehicle crosses one stream of traffic then waits in the striped median for a gap in the other stream of traffic, as opposed to waiting for a gap in both streams of traffic to complete a left turn. As such, at times, the average delay for the Corporate Boulevard and facility access drive left-turn and through movements may be longer than shown in Table 6, particularly during the evening peak hour. However, this is typical for left-turn movements and through movements under stop sign control along higher volume roads such as Mitchell Road. This traffic will be able to enter or cross Mitchell Road but may experience some additional delay. The maximum 95th percentile queue for the southbound left-turn lane is projected to be one to two vehicles during both peak hours, which will not extend to the Dart Logistics access drive. As such, this intersection has adequate reserve capacity to accommodate the traffic that will be generated by the proposed facility and the addition of the facility access drive.

As the crash data has shown, this intersection has experienced a very low incidence of crashes over the past five years. However, the sight lines for motorists on Corporate Boulevard looking south along Mitchell Road are reduced due to the existing landscaping. As such, it is recommended that the landscaping along the east side of Mitchell Road south of Corporate Boulevard be trimmed or removed to enhance the sight distance.

Mitchell Road with Dart Logistics Access Drive

The results of the capacity analysis indicate that the access drive approach currently operates at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour.

Under Year 2028 no-build and total projected conditions, the access drive approach is projected to continue to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour with increases in delay of less than one second over existing conditions. As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed facility and no roadway improvements or traffic control modifications are required.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- Access to the facility will be accommodated via a proposed full-movement access drive located on the west side of Mitchell Road opposite Corporate Boulevard. The access drive will provide one inbound lane and two outbound lanes striped for an exclusive left-turn lane and a shared through/right-turn lane. The outbound movements should be under stop sign control. Left-turn movements from Mitchell Road to the facility will be accommodated via the existing northbound left-turn lane provided at this intersection.
- The access drive will provide efficient and orderly access with limited impact on the area traffic.
- The roadway system has adequate reserve capacity to accommodate the traffic that will be generated by the proposed facility and no roadway improvements or traffic control modifications are required.
- As the crash data has shown, the Mitchell Road/Corporate Drive/access drive intersection has experienced a very low incidence of crashes over the past five years. However, the sight lines for motorists on Corporate Boulevard looking south along Mitchell Road are reduced due to the existing landscaping. As such, it is recommended that the landscaping along the east side of Mitchell Road south of Corporate Boulevard be trimmed or removed to enhance the sight distance.

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR

FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

SUBJECT: SITE PLAN APPROVAL #23-01: OPUS I-88 CORPORATE PARK BUILDING C

AGENDA: MARCH 20, 2023 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

In 2021, OPUS Development Company, LLC petitioned the Village to allow a two-phased, three-building speculative industrial development on the 67.15 acres that comprised the Valley Green Golf Course site and the [once] vacant land located to the west of Euclid Beverage on Overland Drive. Building A (Phase 1) was to be built on the vacant land located to the west of Euclid Beverage. Building B (Phase 1) and Building C (Phase 2) were to be built on the Valley Green Golf Course site; Building B on the eastern portion and Building C on the western portion.

A public hearing was conducted on Petition #21-01 before the Plan Commission at their January 5, 2021 meeting. The Plan Commission recommended approval of all items associated with Petition #21-01. The public hearing would be followed by three Committee of the Whole discussions and one regular Village Board meeting. The focus of the Committee of the Whole discussions was the landscaping on the northern portion of the development. The Village Board wanted to ensure the landscaping in that area would result in adequate buffering. On April 5, 2021, the Village Board approved Ordinance #21-04-05-01, an Ordinance approving a Map Amendment and Special Use as an Industrial Planned Development for 67 acres of property known as the Opus I-88 Corporate Park.

According to Ordinance #21-04-05-01, when the Developer applies for site plan approval for Building C on Lot 3, the site plan for Building C on Lot 3 shall be prepared and submitted for approval to the Plan Commission for its recommendation and then to the Village Board for final approval. Phase 1 (Buildings A & B) of the development is nearing completion.

Opus is now petitioning site plan approval for Building C. Staff has reviewed the submitted plans and confirms compliance with the Planned Unit Development and Zoning Ordinance.

The Plan Commission reviewed the proposed plans at their March 7, 2023 meeting and unanimously recommended approval of SPA #23-01.

Staff would like to take this opportunity to solicit feedback from the Village Board on the proposed development plans associated with SPA #23-01. Staff has included the draft meeting minutes from the March 7, 2023 Plan Commission meeting in order to provide additional context.

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
MARCH 7, 2023**

CALL TO ORDER

Chairman Mike Brackett called the meeting to order.

ROLL CALL

In attendance: Chairman Mike Brackett, Commissioners Aaron Anderson, Anna Tuohy, Doug Botkin, Tom Lenkart, Mark Bozik and Alex Negro

Not in attendance: Commissioners Scott Branson, Richard Newell

Staff in attendance: Community & Economic Development Director Mike Toth

Also in attendance: Village Attorney Kevin Drendel

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated November 1, 2022

Motion for approval was made by Commissioner Botkin and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

PUBLIC HEARING

Chairman Mike Brackett opened the public hearing.

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Special Use - Planned Unit Development
 - b) Site Plan Approval

Community & Economic Development Director Mike Toth introduced Petition 23-01. Toth stated the subject property is located at 400 Mitchell Rd (Lot 1 and Lot 4 of Liberty Business Center), which consists of 40 acres of vacant land and situated north of Interstate 88 and west of Mitchell Rd.

The petitioner, Kelsey Perrin, Vice President for Prologis, introduced Brian Johnson from Pinnacle Engineering along with the other Prologis members in attendance. Perrin gave an overview of Prologis, which included being a global owner, operator, and developer of industrial real estate assets. In Chicago alone, Prologis has 83 million square feet and 374 buildings with a team of about 60 managing such sites and developments. Prologis currently has 2 million square feet of product under construction in the Chicago metropolitan area. Prologis acquired the 400 Mitchell site from Liberty in early 2020. The site access from Corporate Boulevard to the east and the visibility to I-88 are key components for future tenants. Brian Johnson from Pinnacle Engineering

shared Lot 1 is approximately 33 acres and Lot 4 is approximately 7 acres. Lot 4 will be used for stormwater proposes. Johnson shared Lot 1 was mass graded about two decades by Liberty and utilities for water, storm and sanitary have already been installed on site. Johnson walked through the 400 Mitchell site plan, which included a single site access point located on the eastern portion of the property at the intersection of Mitchell Rd and Corporate Blvd. The site circulation will operate around the building like a typical industrial development.

Mike Toth stated the petitioner is requesting a special use – planned unit development (“PUD”) and site plan approval. The Zoning Ordinance requires any property over two acres in size or a multi-family product to be a PUD. A PUD is considered a special use. Toth shared the zoning checks out regarding the bulk regulations, landscaping, and parking. The petitioner has also provided standards for special use and for PUDs in the packet tonight. The one item to note is the plan meets parking regulations, but staff did allow the project to land bank parking spaces. Toth said in the conditions of approval section, the petitioner would have the ability to install parking spaces at any time or staff would have the authority to require parking spaces to be installed. Either process would require going through the building permit process. The subject property tonight is located in the Office Research and Light Industrial (ORI) district. The use is a warehouse distribution center, which is a permitted use per the ORI District. The site plan meets all the bulk regulations of the ORI District. Toth shared an aerial of the surrounding area and the extension of Corporate Boulevard, which was built around 2019. The Comprehensive Plan was adopted in 2015 and suggests that the property ties into Corporate Boulevard. The site plan shows the site access is directly across from Corporate Blvd.

Chairman Brackett asked if the bulk of the traffic would come down Corporate Blvd from Farnsworth. Toth said the traffic report shows 45% of traffic using Corporate Blvd, 25% using Mitchell Rd south, and 30% using Mitchell Rd north. Toth said there is only one way into the site but the subject property does have a left and right turn out of the site.

Chairman Brackett asked if this is total traffic or only truck traffic. Michael Werthmann from KLOA shared this is the total traffic for the site and anticipate most truck traffic to use Corporate Blvd. However, during peak times, when it is difficult to make a left in from Corporate, trucks may go up to Bilter Road and come down Mitchell Road since its signalized intersection at that location. Werthmann said truck traffic is prohibited when going southbound over the I-88 Mitchell Road so trucks can’t really go south. Werthmann added the access drive will be aligned opposite of Corporate Blvd and there is already a left turn lane on Mitchell Rd serving this access drive as well as a curb cut so all items from a traffic standpoint are already installed.

Chairman Brackett asked if the development met all standards. Toth stated the petitioner included standards for special use and PUDs in their application. Toth also stated staff’s findings of fact outline any concerns or conditions regarding the development that must be met upon approval.

Chairman Mike Brackett closed the public hearing.

NEW BUSINESS

1. **Petition #23-01 (400 Mitchell Road):** The petitioner, Liberty Illinois, LP, requests the following actions in the O-R-I Office, Research and Light Industrial District:

- c) Special Use - Planned Unit Development
- d) Site Plan Approval

Commissioner Anna Tuohy asked if the traffic study findings for the intersection at Corporate Blvd and Mitchell Road required a four way stop and where the land banked parking stalls are located. Toth stated it appears the study shows a stop sign on Corporate Blvd and a stop sign out of the site, but no stop signs on Mitchell Rd. Toth said anything on the site plan with hatched lines over the parking stalls are the land banked spaces, which are located throughout the site. Commissioner Tuohy also asked about Lot 4. Toth shared it would be utilized for stormwater detention for the property and has an easement over it so regardless no development would be allowed. Commissioner Alex Negro and Commissioner Aaron Anderson had no comments.

Commissioner Tom Lenkart asked about the number of trailer parking spaces on site and if this site will have any truck and trailer issues like the site to the north had. Toth said the site to the north was not implemented as designed. The site was designed to circulate traffic around the building, but the property owner did not open the southern access gate, which restricted traffic access to the north access drive only. Staff has worked with the site management and the southern gate was taken down so the issue should be resolved. Toth said that the property also took on too many tenants for that facility but has since been resolved with one of the tenants moving to Naperville. Toth shared the subject property tonight has one access point and staff received confirmation from the Fire District that they were good with the concept and single access point. Commissioner Lenkart mentioned the site traffic should be required to use Corporate Blvd to alleviate truck traffic on other roads. Toth said the Village cannot require them to use only certain public roads.

Werthmann shared parking spaces for trucks are for storage, truck traffic is distributed throughout the day and there is not a real peak period, and most traffic is coming in during off peak periods. Werthmann also added that trucks will probably go north to Bilter Road so they can get to a signalized intersection to go left. Bilter Road is also an industrial route and most trucks will probably use Bilter Road instead of Butterfield Road to get to Farnsworth Avenue. Werthmann said the number of parking spaces does not equal truck movement. Commissioner Lenkart asked if this site is for a single tenant and a few questions regarding the landscape plan. Perrin said they are not sure at this point regarding a single or multi-tenant. Toth stated there is a tree line along the north end of the property and one of the conditions of approval mentions preserving the existing tree line. Commissioner Lenkart said he supports the development, but his biggest concern is traffic at the intersection going in and out of the site. Werthmann mentioned the site has been zoned like this for years and designed for such traffic. Werthmann added truck traffic doesn't like to leave during peak periods and many of these similar facilities see truck traffic leave between 9:00 a.m. and 3:00 p.m. or after 6:00 p.m.

Commissioner Doug Botkin asked if the facility will be secured with fencing. Perrin shared that will be determined by the tenant of the space. Toth said condition number seven in the staff report mentions any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight feet in height. Commissioner Botkin asked if there is a minimum height for the fence. Toth said there is not.

Commissioner Mark Bozik asked if the plan they are presenting is asking for anything different compared to the one that was approved a few years ago. Commissioner Bozik also asked if the special use was only triggered due to the PUD being over 2 acres. Toth said there is a history of the property summarized in the staff report and properties to the north had everything installed before new Zoning Ordinance was adopted while the subject property had such utilities installed after. Toth shared the site plan and use have no deviations to the Zoning Ordinance. Commissioner Bozik asked what the overall height of the building is. Toth said the building is listed at just under 50 feet (49'11) to meet the bulk regulations of the ORI District.

Chairman Brackett summarized the key concern of traffic at the intersection along with staff's 10 findings in the staff report.

Motion for approval of a Special Use for a Planned Unit Development with staff's ten (10) conditions was made by Commissioner Bozik and seconded by Commissioner Tuohy with one (1) added staff condition:

- Outbound traffic from the site shall be under stop sign control.

Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

Motion for Site Plan Approval was made by Commissioner Bozik and seconded by Commissioner Botkin. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

2. **SPA #23-01 (320 Overland Drive):** The petitioner, Opus Development Company, LLC, requests the following actions in the O-R-I Office, Research and Light Industrial District:
 - a) Site Plan Approval

Toth introduced SPA #23-01 which is located at 320 Overland Drive, which is the western portion of the old Valley Green Golf Course. The site consists of 27.34 acres and is located in the O-R-I Office Research and Light Industrial District as part of the Opus I-88 Corporate Park PUD. Toth shared the PUD was already approved in 2021 and went through public hearing on January 5, 2021 with the Plan Commission along with three Committee of the Whole meetings with the Village Board before the PUD Ordinance was approved on April 5, 2021. The Opus I-88 Corporate Park PUD consists of two phases. Phase one consists of Building A and B and Phase two consists of Building C. Opus is currently finishing up and near completion on Phase 1's two buildings. Opus is looking to complete Building C and the PUD Ordinance mentions when Building C is ready for construction it requires the site plan approval by the Plan Commission and Village Board.

The petitioner Mike Robinson with Opus Development introduced Building C site plan and provided an overview of Opus company and operations. Opus is predominantly in the Midwest, has eight offices and their headquarters is out of Minneapolis, MN. Opus is a merchant builder where they look for land, get it ready for development, construct it, and then sell it. Robinson showed the site plan approved in 2021 with Phase 2, Building C on it. Robinson said the current site plan for Building C is almost exactly the same and is located where it was approved two years ago. Some small changes to the site plan include the secondary office moving from southwest

corner to northwest corner, the future truck and car bypass lane on the plan will not be installed on Day 1 and only will be installed if Opus leases it to two tenants but based on the building of this size there is a 90% chance it will be occupied a single tenant. Robinson said the building to the east is over 500,000 square feet and was leased to one tenant (Ryder Logistics). Building A has two tenants, and the second tenant was just leased last week. Robinson continued and shared the bypass lane will be greened over and excess soil on site will be used to create a mound and will help buffer properties to the north and west. The landscape plan was shown as well as the building elevations, which match Building B elevations directly to the east. Robinson mentioned Trey Gallagher is also in attendance and is on the general contractor side if there are any construction related questions.

Toth shared the zoning and building specs both match much of the site approved back in 2021 with the exceptions Robinson mentioned. Toth said changes like the removal of a bypass lane and a raised grade will help improve the sites buffering for adjacent properties and will help match the landscape with the existing tree line. Many of the concerns back in 2021 were regarding the buffering between the residential properties to the north. Chairman Brackett asked how the grade will compare to Building B to the east. Toth mentioned the grade for Building C would be higher than Building B's and act like a berm to some extent. Toth added the bypass lane to the north of Building B is gated off currently since it's only a single tenant building and has no use.

Commissioner Bozik asked if the site plan would need to comeback in the future if the future occupant would need a bypass lane. Commissioner Bozik also asked if the Village has received any complaints from adjacent residents and property owners. Toth stated it depends on the tenant. If it is a single tenant, the bypass lane will not be built. Staff has not received any complaints regarding the other buildings, but some semi-trucks have ended up in the neighborhood to the north when trying to locate a building. Also, there is a gate that will be installed to prohibit trucks access onto Willow Way. The Village has a water sample station in that area and were working on where to locate the gate to allow access to the sample site before the gate is constructed.

Commissioner Botkin, Negro, Anderson, and Tuohy had no comments or questions.

Commissioner Lenkart asked why install the mound now instead of the bypass lane in case a multi-tenant utilizes the building. Robinson said the cross-deck configuration of the site to the east is very similar to what Building C will be so there is no need to install a bypass lane if the one to the east is not being utilized. Toth added the mound will be used as buffering with the possibility of hauling the dirt away in the future should a bypass lane need to be built. Toth also added Building B did discuss not having a bypass lane, but Opus ended up installing that bypass lane.

Motion for Site Plan Approval was made by Commissioner Tuohy and seconded by Commissioner Negro. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Negro – Yes, Lenkart – Yes, Brackett - Yes. **Motion approved.**

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Toth provided an update on the Dairy Barn project. Dairy Barn petitioner went out for bid for materials and bid came back quite high but is still looking at moving forward. If there is a substantial change to the project, it would need to come back for site plan approval.

Toth provided some insight on a possible site plan approval in the near future regarding a Ram Truck dealership. Toth shared the Jeep dealership about a half a decade ago was approved west of Target, but some private covenant agreement prevented them from moving forward and ended up walking away. In 2018, Riverfront bought the site on the north side of Orchard Gateway Blvd directly east of Sherwin-Williams. Riverfront is looking at potentially putting a standalone Ram Truck dealership at that location.

Chairman Brackett asked about the Hyundai Genesis building, PNC Bank building on Orchard, Woodman's Addition, and the building north of Starbucks. Toth shared the Genesis project permit is issued and still moving forward. The old PNC Bank building is turning into a dental office and the old Chase Bank is turning into a medical office. Woodman's addition was approved and is currently in the building permit review process and moving forward. Toth said the building north of Starbucks is Fortunato and had some supply chain issues but is moving forward. Commissioner Lenkart asked about a sidewalk piece on Hart Road that is hazardous and has been there for years. Toth said he will have staff look into it.

ADJOURNMENT

Motion to adjourn made by Commissioner Tuohy and seconded by Commissioner Lenkart. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins
Village Clerk

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: MIKE TOTH, COMMUNITY DEVELOPMENT DIRECTOR**

GENERAL INFORMATION

Meeting Date: March 7, 2023

Petition Number: SPA #23-01

Petitioner: Opus Development Company, LLC

Request: Site Plan Approval

Location: 320 Overland Drive

Parcel Number(s): 15-04-351-029

Size: 27.34 acres

Current Zoning: O-R-I Office, Research and Light Industrial District Planned Unit Development

Contiguous Zoning: North: R-1 Single Family Residence District, South: O-R-I Office, Research and Light Industrial District, East: O-R-I Office, Research and Light Industrial District, West: I-2 General Industrial District/I-1 Limited Industrial District

Comprehensive Plan Designation: 'Office/Industrial'



BACKGROUND

In 2021, OPUS Development Company, LLC petitioned the Village to allow a two-phased, three-building speculative industrial development on the 67.15 acres that comprised the Valley Green Golf Course site and the [once] vacant land located to the west of Euclid Beverage on Overland Drive. Building A (Phase 1) was to be built on the vacant land located to the west of Euclid Beverage. Building B (Phase 1) and Building C (Phase 2) were to be built on the Valley Green Golf Course site – Building B on the eastern portion and Building C on the western portion.

A public hearing was conducted on Petition 21-01 before the Plan Commission at their January 5, 2021 meeting. The Plan Commission recommended approval of all items associated with Petition #21-01. The public hearing would be followed by three Committee of the Whole discussions and one regular Village Board meeting. The focus of the Committee of the Whole discussions was the landscaping on the northern portion of the development. The Village Board wanted to ensure the landscaping in that area would result in adequate buffering. On April 5, 2021, the Village Board approved Ordinance #21-04-05-01, an Ordinance approving a Map Amendment and Special Use as an Industrial Planned Development for 67 acres of property known as the Opus I-88 Corporate Park.

According to Ordinance #21-04-05-01, when the Developer applies for site plan approval for Building C on Lot 3, the site plan for Building C on Lot 3 shall be prepared and submitted for approval to the Plan Commission (non-public hearing) for its recommendation and then to the Village Board for final approval. Phase 1 (Buildings A & B) of the development is nearing completion.

Opus is now petitioning site plan approval for Building C. Staff has reviewed the submitted plans and confirms compliance with the Planned Unit Development and Zoning Ordinance. Staff notes the following changes from the approved preliminary development plans for Building C:

- The relocation of the office façade from the southwest corner of the building to the northwest corner of the building.
- Land banked parking stalls have been added adjacent to the northwest corner of the building and western access drive to possibly accommodate future tenants. Staff notes the land banked parking spaces aren't needed to meet the minimum amount of parking required by the Zoning Ordinance.
- The "Future Truck & Car Bypass" lane was removed as an option from the western portion of the property. The grading would be subsequently raised in that area.
- Regarding the "Future Truck & Car Bypass" lane on the northern portion of the property, it has been conveyed to staff that this bypass lane would not be constructed if Opus were to acquire a single-tenant user for the building. It is likely they will acquire a single-tenant user and in such event, the grades would be raised in the area shown as the northern bypass lane.

FINDINGS

The Community Development Department finds that the proposed site plan meets the Site Plan Approval Standards and general zoning provisions set forth in the Zoning Ordinance and Planned Unit Development.

PROJECT
**I-88 COMMERCE
CENTER -
BUILDING C**

PROJECT ADDRESS
210 OVERLAND DRIVE
NORTH AURORA, IL 60542

PROJECT NUMBER
32019100

ISSUE RECORD

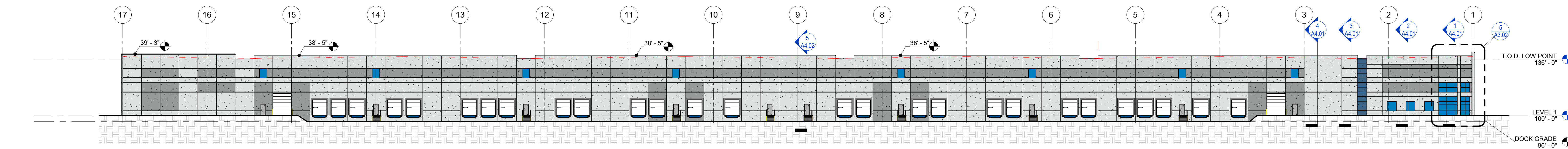
DATE
##/##/##
PROJECT MANAGER
R. MAHONEY
DRAWN BY
Y. TRUJILLO TELLEZ
CHECKED BY
J. RADEMACHER

REGISTRATION

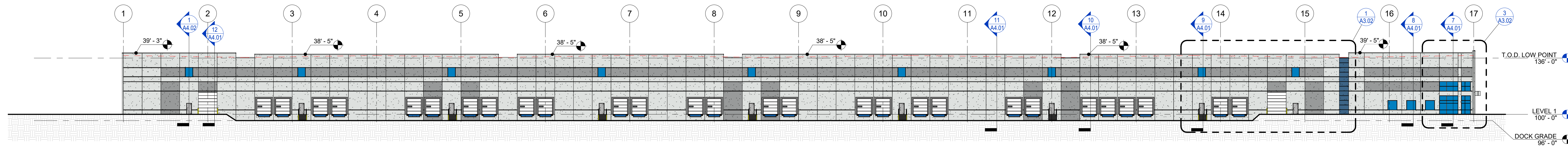
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**EXTERIOR
ELEVATIONS**

SHEET NUMBER

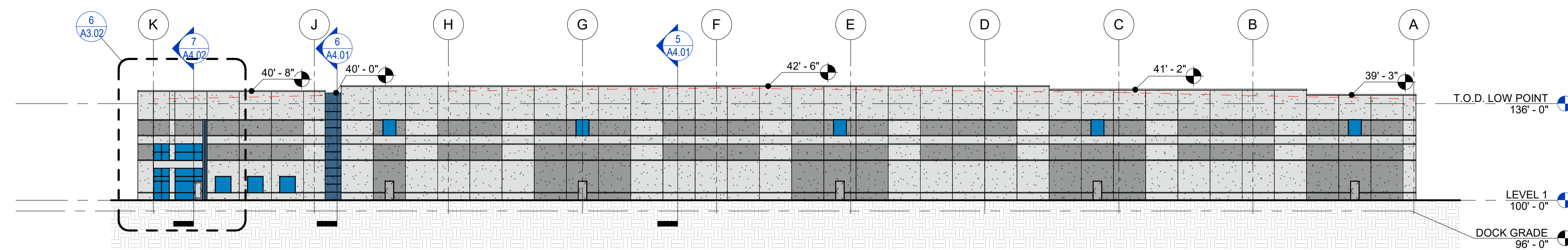
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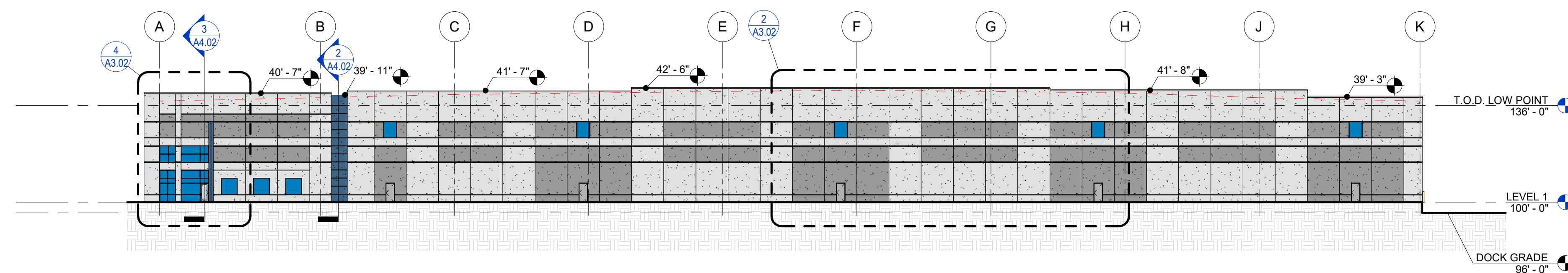
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2 SOUTH ELEVATION
1" = 30'-0"



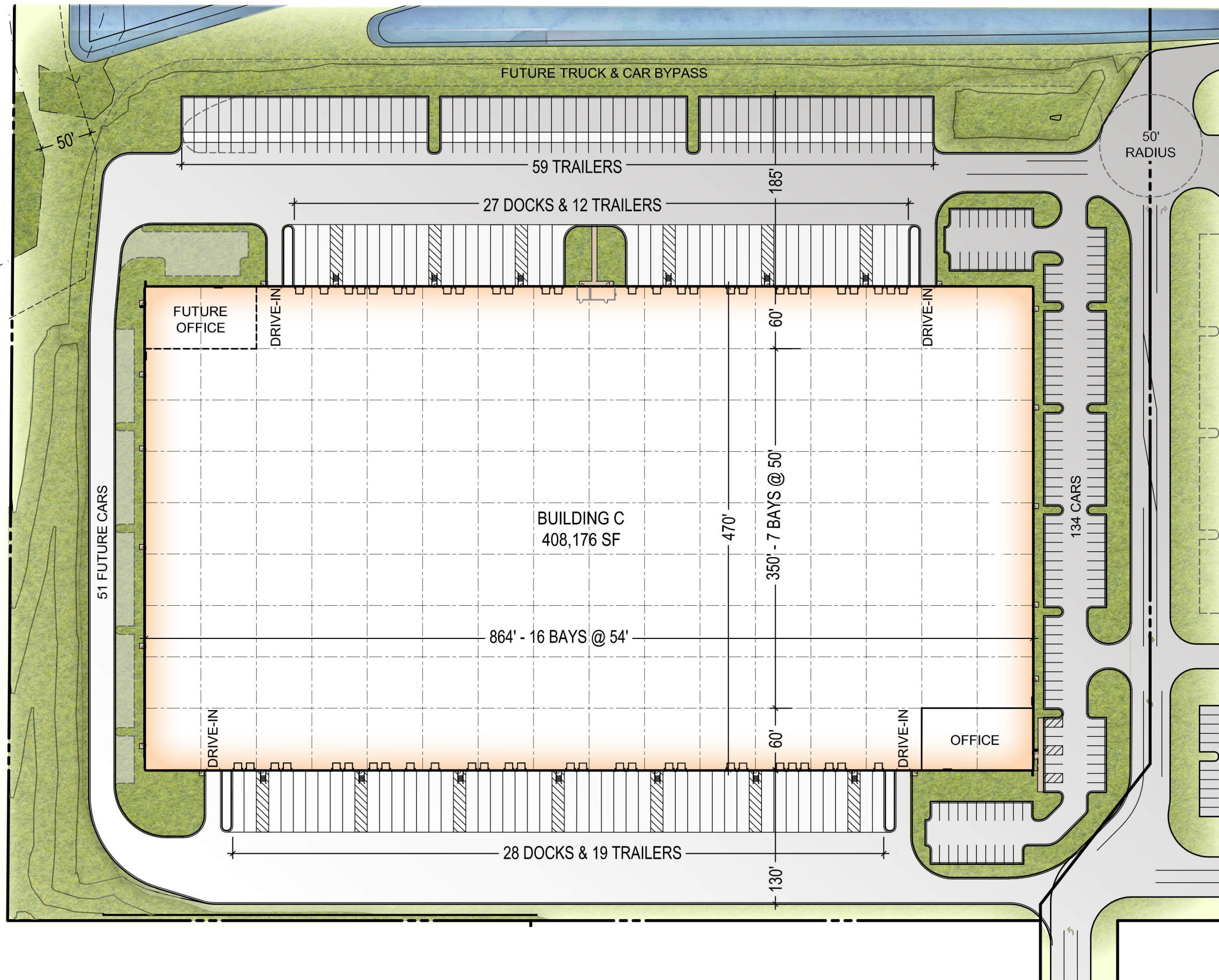
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4 WEST ELEVATION
1" = 30'-0"

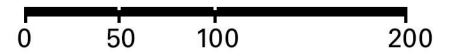
ELEVATION KEYNOTES	
1A	PRECAST CONCRETE PANEL - PAINT, TEXTURED FINISH: PT #1
1B	PRECAST CONCRETE PANEL - PAINT, TEXTURED FINISH: PT #2
1C	PRECAST CONCRETE PANEL - PAINT, TEXTURED FINISH: PT #3
2	1" INSULATED SPANDREL GLASS IN THERMALLY BROKEN CLEAR ANODIZED ALUM FRAME
3	PRECAST CONCRETE FIN
4	HORIZONTAL REVEAL
5	INSULATED HOLLOW METAL DOOR - PAINT TO MATCH ADJACENT WALL PANEL
9	STEEL PIPE BOLLARD - PAINTED
11	CANOPY - COMPOSITE METAL PANEL - ANODIZED ALUMINUM FINISH

COLOR SELECTIONS	
PAINT:	
PT #1	SW 6530 REVEL BLUE
PT #2	SW 6525 RARIFIED AIR
PT #3	SW 7075 WEB GREY
PIPE BOLLARDS:	
PAINT TRAFFIC YELLOW	
WINDOW FRAMING:	
CLEAR ANODIZED ALUMINUM	
WINDOW GLASS:	
VISION:	
VIRACON VE3-85 HEAT-STRENGTHENED-ANNEALED/ INSULATED VISION GLASS: 1/4" GRAY HS w/ VE-85 @ #2 1/2" MILL A.S. w/ DOW 952 (BLACK) 1/4" CLEAR ANNEALED	
SPANDREL:	
VIRACON VE3-85 HEAT-STRENGTHENED-ANNEALED/ INSULATED SPANDREL GLASS: 1/4" GRAY HS w/ VE-85 @ #2 1/2" MILL A.S. w/ DOW 952 (BLACK) 1/4" HEAT-STRENGTHENED FRIT MEDIUM GRAY V948 @ #4	
PREFINISHED METAL COPING:	
TBD	
ALUMINUM COMPOSITE METAL PANEL CANOPY:	
TBD	
HOLLOW METAL DOORS & FRAMES:	
MATCH PAINT COLOR # 1	
DOCK DOORS:	
PREFINISHED WHITE	

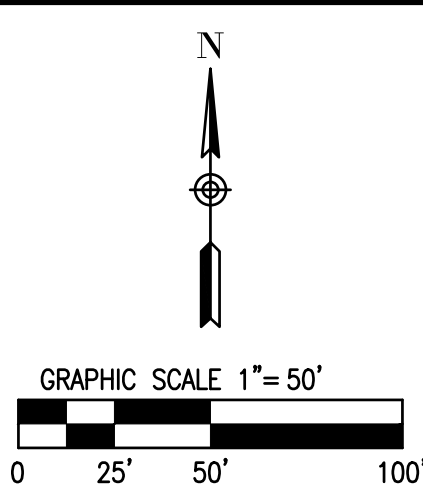
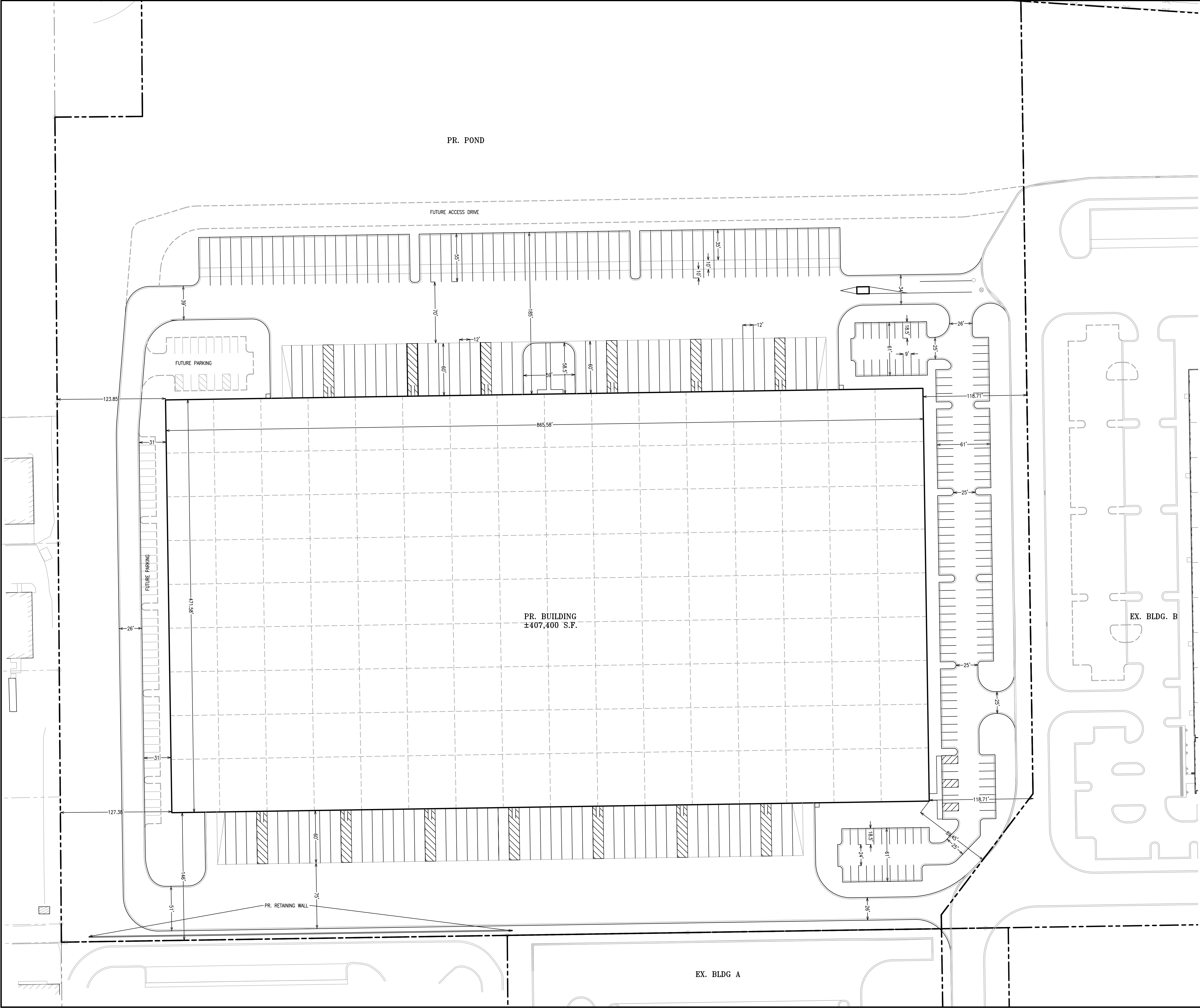



PROJECT INFORMATION

BUILDING C	
Building C Site	26.79 Acres
Building C Area	408,176 SF
Docks	55
Trailers	
Dock Wall	31
Across Dock	59
Total	90
Drive-In Doors	4
Parking	
Provided	134
Future	51
Total	185



Job # 31801



1		1" = 50'		F248e		 JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com	PRELIMINARY GEOMETRIC PLAN								
							VALLEY GREEN – BUILDING C								
							OPUS DESIGN BUILD								
							NORTH AURORA, ILLINOIS								
									1	FOR REVIEW				1/11/23	
									No.	Description				Date	

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REVISIONS

Site Plan Rev. & Wetland	02-13-23
8 - Detention Basins	04-05-21
7 - Native Landscaping	03-31-21
6 - Native Landscape Req.	03-25-21
5 - Bldg 'C' North Buffer	03-09-21
4 - Bldg 'B' North Buffer	03-03-21
3 - North Property Line Buffer	02-19-21
2 - Village Review Comments	12-28-20
1 - Client Review Comments	10-15-20

NORTH AURORA INDUSTRIAL

NORTH AURORA, ILLINOIS



IRG Ives/Ryan Group, Inc.
1741 S. WESBROOK ROAD
WHEATON, IL 60189
PHONE: 630.738.0726

Landscape Architecture
Park & Recreation Design
Site & Community Planning

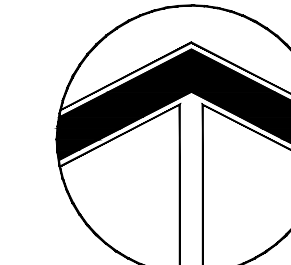
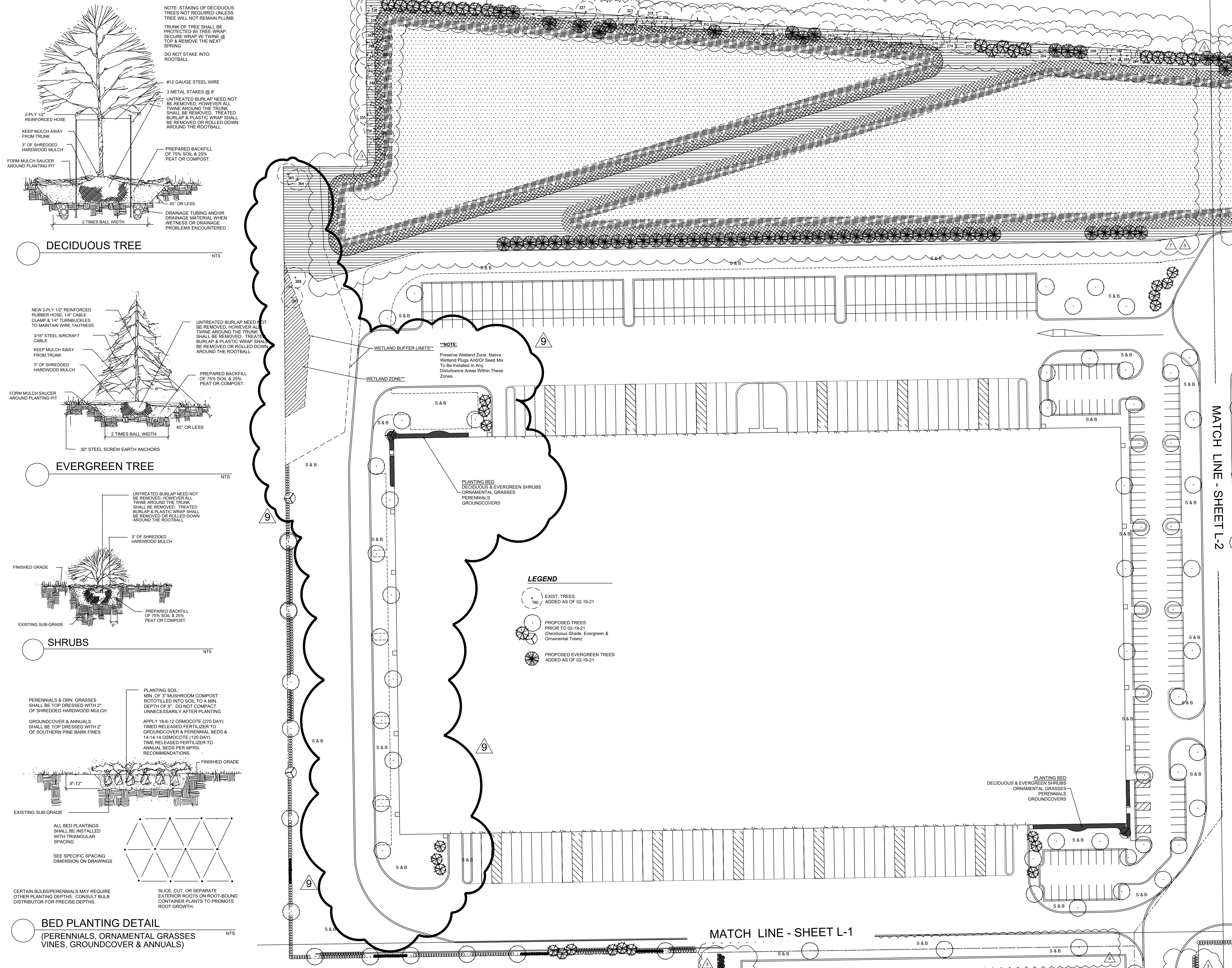
www.ivesryangroup.com

PRELIMINARY LANDSCAPE PLAN

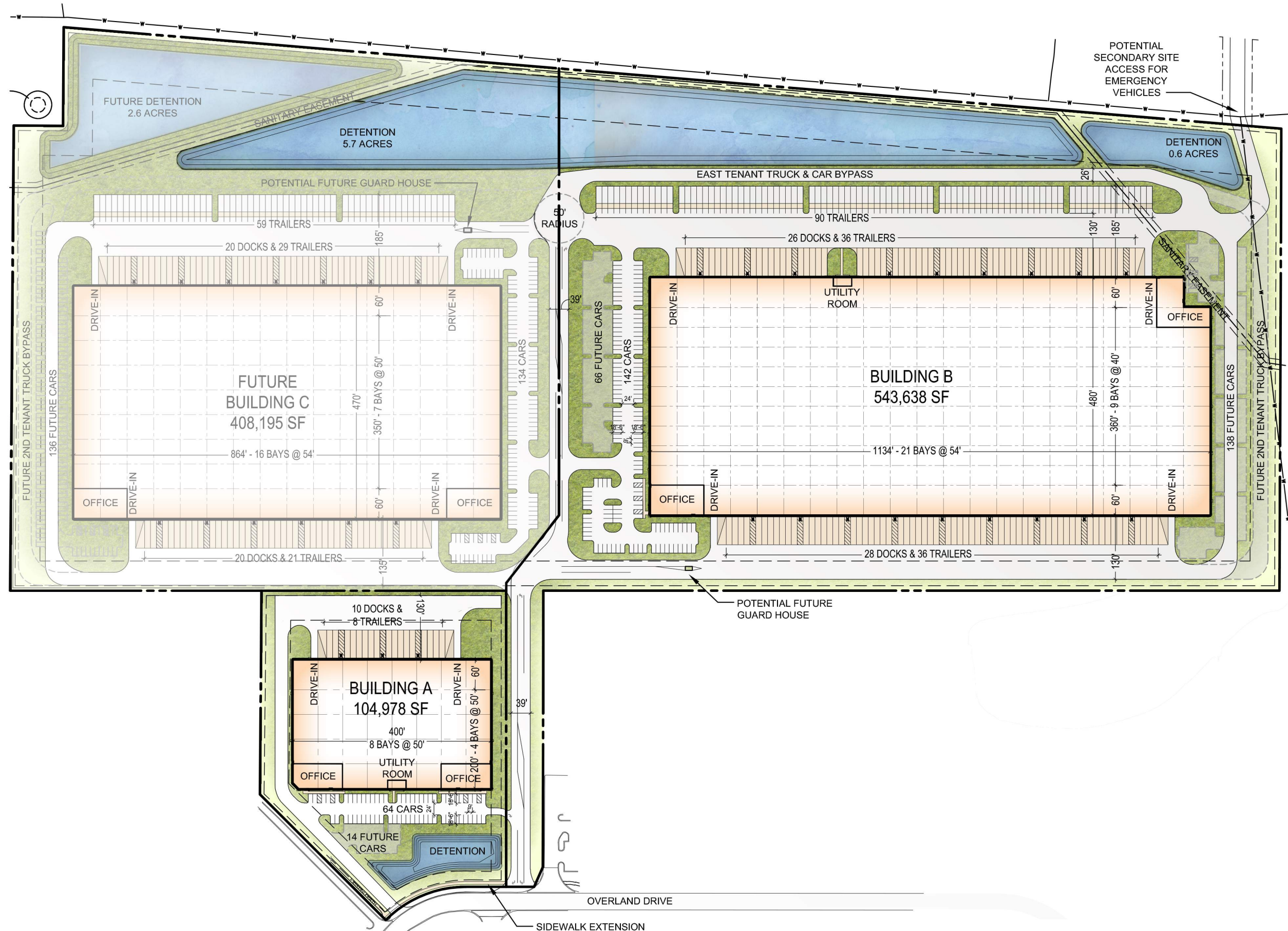
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L1720-9241A

DATE: 10-14-20
SCALE: 1"=50'
PLANNER: JMR
DRAWN BY: _____
CHECKED: _____

SHEET
L-3



SCALE 1" = 50'
0 50 100



PROJECT INFORMATION

Site Area	67.15 Acres
Total Building Area	1,056,811 SF
FAR	0.36
Detention	
Provided	6.7 Acres
Future	2.6 Acres
Total	9.3 Acres

BUILDING A - PHASE 1

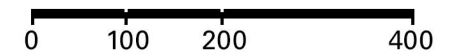
Building A Site	6.59 Acres
Building A Area	104,978 SF
Docks	10
Trailers	8
Drive-In Doors	2
Parking	
Provided	64
Future	14
Total	78

BUILDING B - PHASE 1

Building B Site	33.77 Acres
Building B Area	543,638 SF
Docks	54
Trailers	
Dock Wall	72
Across Dock	90
Total	162
Drive-In Doors	4
Parking	
Provided	142
Future	204
Total	346

BUILDING C - PHASE 2

Building C Site	26.79 Acres
Building C Area	408,195 SF
Docks	40
Trailers	
Dock Wall	50
Across Dock	59
Total	109
Drive-In Doors	4
Parking	
Provided	134
Future	136
Total	270



Village of North Aurora Memorandum



To: President and Village Board of Trustees

From: Jason Paprocki, Finance Director

CC: Steven Bosco, Village Administrator

Date: March 20, 2023

RE: FY 2023-24 Draft Budget

The FY 2022-23 Draft Budget has been completed and emailed separately to the Board for discussion at the Committee of the Whole meeting. In addition, the Draft Budget has been posted on the Village's website for public viewing. An overview presentation of the Draft Budget will be given tonight, along with time for the Board to provide feedback.

The FY 2023-24 Draft Budget will also be on the Committee of the Whole agendas for the April 3rd and 17th meetings for follow-up questions and discussion. The official Public Hearing will be on April 17th as well, with final approval of the Budget scheduled for the May 1st Village Board meeting.