

Meeting Held Electronically



**COMMITTEE OF THE WHOLE MEETING
MONDAY, JUNE 6, 2022**

(Immediately following the Village Board Meeting)

AGENDA

CALL TO ORDER

ROLL CALL

AUDIENCE COMMENTS

TRUSTEE COMMENTS

DISCUSSION

1. Amendments to Municipal Code Chapter 5.12 Electronic Amusement Devices and Section 5.8.340 Liquor Code Classifications
2. Petition #22-03: Park 88 Logistics Center
3. Fox Valley Park District Lippold Park Pavilion
4. Revisions to Purchasing Policy

EXECUTIVE SESSION

1. Sale of Village Property

ADJOURN

Initials: JS

Memorandum



To: Village President and Village Board of Trustees
Cc: Steve Bosco, Village Administrator
From: Natalie Stevens, Executive Assistant
Date: May 19, 2022
Re: Ordinance to Amend Chapter 5.12 'Electronic Amusement Devices' and Replace with 'Video Gaming Terminals' and Modify Section 5.08.340

The Village of North Aurora's Code currently requires establishments that utilize electronic amusement devices to pay an annual fee for these devices. For reference, the definition of electronic amusement device under Village Code is:

Any electric device utilizing a television-like screen which, upon insertion of a coin, slug, token, plate or disk or by payment of any other consideration may be operated by the public generally as a game, entertainment or amusement, whether or not registering a score.

This definition also includes video gaming terminals, which are regulated by the Illinois State Gaming Board and have a different fee structure and allowance.

There are three business in the Village that currently operate a device under the definition of electronic amusement device that are not video gaming terminals. Electronic amusement devices that are not video gaming terminals have a history of confusion as to what constitutes as such (i.e. claw machines, jukeboxes, etc.) and can be difficult to manage, especially as the renewal period is not tied to any other license in the Village. The revenue generated from the electronic amusement devices that are not video gaming terminals in 2021 was \$1,425.00. Staff is proposing to eliminate the registration and fees associated with electronic video gaming devices that are not video gaming terminals and only register and assess video gaming terminals moving forward. Staff is also proposing to make this video gaming terminal registration period the same as the liquor licenses and tie it to the supplemental video gaming liquor license renewal process.

Due to the State passing House Bill 3136 in December 2021 that allows municipalities to charge up to \$250 per video gaming terminal, the Village could implement this annual registration fee on all video gaming terminals in addition to the supplemental video gaming license fee of \$500. For reference, there are currently nine businesses that hold a supplemental video gaming license. Assuming 6 terminals per establishment (the maximum number allowed by the State), that would be \$13,500 of potential future annual revenue for the registration of these machines to begin in 2023.

Staff is proposing to amend the current Chapter 5.12 by eliminating the Electronic Amusement Devices in its entirety and replace it with Chapter 5.12 Video Gaming Terminals. Staff would also seek to amend Chapter 5.08.340 Classification of Fees regarding the Supplemental Video Gaming (S-V) liquor license in the following way due to this change:

4. Class "S-V" supplemental video gaming licenses may be obtained and shall be effective for the year in which the license is obtained by existing liquor licensees that qualify and pay the required fee as follows:

...

F. The annual fee for a class "S-V" license shall be five hundred dollars (\$500.00), ~~which includes the annual registration fee for the video gaming machines;~~

G. Registration of Video Gaming Terminals at a cost of two hundred and fifty dollars (\$250.00) per machine will be required in conjunction with the annual renewal;

...

Please see the attached red lined version of Chapter 5.12 and also attached the clean copy draft ordinance for changes to Chapter 5.12 and Section 5.08.340 in regards to video gaming terminals for consideration and discussion.

Chapter 5.12 ~~ELECTRONIC AMUSEMENT DEVICES~~ VIDEO GAMING TERMINALS

Sections:

5.12.010 Definitions.

~~The following terms used in this chapter are defined as follows:~~

~~"Electronic amusement device" means any electric device utilizing a television-like screen which, upon insertion of a coin, slug, token, plate or disk or by payment of any other consideration may be operated by the public generally as a game, entertainment or amusement, whether or not registering a score.~~

~~"Person" means any person, firm, corporation or association which owns any electronic amusement device, or in whose place of business any such device is placed for use by the public, or has control over such device.~~

~~(Ord. 82-7 § 1)~~

"Video gaming terminal" means any electronic amusement device that, upon insertion of cash, electronic cards or vouchers, or any combination thereof, is available to play or simulate the play of a video game, in which the player may receive free games or credits that can be redeemed for cash. The term does not include a machine that directly dispenses coins, cash, or tokens or is for amusement purposes only. "Person" means any individual, firm, corporation, partnership, limited liability company or association of people.

5.12.020 ~~License required.~~ Requirements.

~~No person shall keep or display for operation or patronage by the public within the village any electronic amusement device without having first obtained a license therefor from the village clerk. No license shall be required from any governmental body which operates electronic amusement devices so long as all proceeds from such operation are used to support the lawful activities of such governmental body. Licenses issued hereunder shall be posted in a prominent location on the premises.~~

~~(Ord. 82-7 § 2)~~

No person may operate or allow a video gaming terminal to be operated on premises owned, possessed or controlled by that person in the Village of North Aurora unless that person meets the following conditions:

- A. The establishment and the terminal operators are licensed with the Illinois Gaming Board as required by the Illinois Video Gaming Act (230 ILCS 40/1 et seq.);
- B. The establishment has a valid local liquor license that allows video gaming terminals as a condition of the liquor license pursuant to Section 5.08.340 of the North Aurora Municipal Code; and
- C. The establishment has obtained a supplemental video gaming license.

5.12.030 ~~License application.~~ Registration.

~~Applications and renewals for the licenses required in this chapter shall be executed under oath, submitted in triplicate and shall contain the following information:~~

- ~~A. Corporation. If the applicant is a corporation: (1) corporate name, registered agent and registered address; (2) names, dates of birth and addresses of all corporate officers and directors; (3) statement of principal kind of business activity in which the corporation engages; (4) statement of whether the~~

business at which the electronic amusement device will be licensed will be conducted by a manager and if so, the name and address of the manager; (5) names, dates of birth and addresses of all persons, firms or corporations owning more than five percent of the corporation's capital stock; (6) statement of whether any officer, manager, director or shareholder owning five percent or more of the capital stock of the corporation has ever been convicted of a felony or has ever forfeited an appearance bond on a felony charge; (7) the location of the place of business and the place where the electronic amusement device is to be placed; (8) a description of the electronic amusement device.

B. — Partnership. If the applicant is an individual or partnership: (1) name, address and date of birth of applicant(s); (2) the location of the place of business and the place where the electronic amusement device is to be placed; (3) principal kind of business activity; (4) statement of whether business will be conducted by a manager or agent and the name, address and date of birth of any such manager or agent; (5) a description of the electronic amusement device.

C. — Investigation. The chief of police shall investigate and verify the facts stated in the license application and shall approve such application unless he or she determines that the applicant does not comply with the requirements of this chapter. The superintendent of public works shall investigate and verify that use of the premises described in the application for the requested amusement devices is in conformance with the village's zoning ordinance. After the investigations and approvals by the chief of police and the superintendent of public works, the village clerk shall issue a license or if approvals are not given, he or she shall give the applicant a written statement as to the reason for denial.

(Ord. 82-7 § 3)

All video gaming terminals operated in the Village of North Aurora must meet the requirements in Section 5.12.020, be registered with the Village prior to operation and a copy of an Illinois State Gaming Board license provided, and the fee must be paid on an annual basis as set forth in Section 5.12.040.

5.12.040 Conditions and regulations. Fees

In addition to any other condition or regulation contained in this chapter or in the statutes of the state of Illinois or in the ordinances of the village, the following conditions and regulations shall be applicable to and shall govern and control the business of keeping or providing electronic amusement devices:

A. — Gambling. No electronic amusement device, except for approved video gaming terminals offered for play by licensed establishments operated in keeping with the Video Gaming Act (230 ILCS 40/1 et seq.), shall be used for purposes of or in connection with the wagering of money, goods, or services upon the outcome of the use or manipulation of such device or otherwise used for purposes of gambling as defined in the Illinois Criminal Code (720 ILCS 5/28-1 et seq.).

B. — Students. No person under age sixteen (16) shall be allowed on the licensed premises during hours when the school in which they are enrolled is in session unless present in connection with a school sponsored program.

C. — Children — Hours. Children under the age of sixteen (16) shall not be permitted in the area where the electronic amusement devices are located after the hour of 10:00 p.m. Such devices shall be located in a clearly designated area on the premises to which access may feasibly be denied to children during such hours.

D. — Responsible Person. At all times during the hours of operation of the licensed premises there shall be present a manager or other employee of the licensee of at least the age of twenty one (21) years who shall be responsible for adequate control and supervision of the licensed premises and the use of the electronic amusement devices located on such premises.

~~(Ord. 82-7 § 4)~~

~~(Ord. No. 12-07-16-01, § 4, 7-16-2012)~~

The annual fee for each video gaming terminal operated in the Village is \$250. The fee must be paid within 15 days of the installation and operation of any new terminal, and the fee must be paid annually thereafter on February 29.

5.12.050 ~~License fee.~~ Fine for violation.

Any person who violates any provision of this Chapter shall be subject to a fine of not less than fifty dollars (\$50.00) nor more than seven hundred and fifty dollars (\$750.00). A separate offense shall be deemed committed during or on each day that a violation occurs or is committed.

~~A. The license fee for each electronic amusement device per location shall be as follows:~~

~~1. Video gaming terminals twenty five dollars (\$25.00) per device;~~

~~2. All other electronic amusement devices:~~

~~a. One, two or three devices: Fifty dollars (\$50.00) per device;~~

~~b. Four, five or six devices: Seventy five dollars (\$75.00) per device;~~

~~c. Seven, eight, nine or ten devices: One hundred dollars (\$100.00) per device.~~

~~B. More than ten (10) electronic amusement devices are prohibited at a single location unless a conditional use permit is granted pursuant to the provisions of the North Aurora zoning ordinance.~~

~~C. The fees set forth in this chapter are nonrefundable and are for a license year or any part of such year which begins June 1st and ends on May 31st. The license may be transferred from one device to another similar device for no charge but the village clerk shall be notified in writing of such transfer and the description and serial number of the new device. In the event a licensee obtains and uses additional electronic amusement devices after the beginning of the license year, the licensee shall incur additional fees per device, but those fees shall be prorated from the first day of the month following the date on which the device was obtained and put into operation through the end of the license year for such additional devices.~~

~~(Ord. 05-05-23-05 § 13; Ord. 82-7 § 5)~~

~~(Ord. No. 12-07-16-01, § 5, 7-16-2012)~~

~~5.12.060 Revocation or suspension of license.~~

- ~~A. Suspension. Licenses issued under this chapter may be suspended for a period not to exceed thirty (30) days by the village president after notice and hearing for any of the following causes:~~
- ~~1. Any fraud, misrepresentation or false statement contained in the license application;~~
 - ~~2. Any violation by the licensee of the provisions of this chapter;~~
 - ~~3. Conviction of the licensee or manager of the licensee of a felony;~~
 - ~~4. Failure of the licensee to pay any fine owing to the Village of North Aurora;~~
 - ~~5. The occurrence of two or more disturbances at the premises where the electronic amusement devices are located within a ninety (90) day period or two or more incidents involving injury or bodily harm to patrons, bystanders or police officers within the license year.~~
- ~~B. Revocation. Licenses issued under this chapter may be revoked if a second cause for suspension occurs.~~
- ~~C. Other Penalties. Suspension or revocation shall not preclude prosecution and imposition of any other penalties provided for the violation of this chapter or any other ordinance of the village.~~
- ~~D. Notice of Hearing. Notice of a hearing for suspension or revocation of a license shall be given in writing and shall set forth the grounds of the complaint and the time and place of the hearing. Such notice shall be sent by certified mail (return receipt requested) to the licensee at his or her last known business address or personally served upon the licensee or an agent of such licensee at least five days prior to the date of the hearing.~~

~~(Ord. 82-756)~~

~~5.12.070 Fine for violation.~~

~~Any person convicted of a violation of this chapter shall be subject to a fine of not less than twenty-five dollars (\$25.00) nor more than five hundred dollars (\$500.00). A separate offense shall be deemed committed during or on each day that a violation occurs or is committed.~~

~~(Ord. 82-7 § 8)~~

VILLAGE OF NORTH AURORA



VILLAGE OF NORTH AURORA
KANE COUNTY, ILLINOIS

Ordinance No. _____

**ORDINANCE AMENDING CHAPTER 5.12 AND SECTION 5.08.340 OF THE NORTH
AURORA VILLAGE CODE REGARDING VIDEO GAMING TERMINALS**

Adopted by the
Board of Trustees and President
of the Village of North Aurora
this ____ day of _____, 2022

Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of North Aurora, Kane County, Illinois,
this ____ day of _____, 2022
by _____.

Signed _____

VILLAGE OF NORTH AURORA

ORDINANCE NO.

ORDINANCE AMENDING CHAPTER 5.12 AND SECTION 5.08.340 OF THE NORTH AURORA VILLAGE CODE REGARDING VIDEO GAMING TERMINALS

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of North Aurora, Kane County, Illinois, as follows:

1. The recitals set forth above are adopted and incorporated herein as the material and significant findings of the President and the Board of Trustees as if fully stated herein.
2. Chapter 5.12 of the North Aurora Municipal Code is amended and superseded in its entirety as follows:

Chapter 5.12 Video Gaming Terminals

5.12.010 - Definitions.

“Video gaming terminal” means any electronic amusement device that, upon insertion of cash, electronic cards or vouchers, or any combination thereof, is available to play or simulate the play of a video game, in which the player may receive free games or credits that can be redeemed for cash. The term does not include a machine that directly dispenses coins, cash, or tokens or is for amusement purposes only. "Person" means any individual, firm, corporation, partnership, limited liability company or association of people.

5.12.020 –Requirements.

No person may operate or allow a video gaming terminal to be operated on premises owned, possessed or controlled by that person in the Village of North Aurora unless that person meets the following conditions:

- A. The establishment and the terminal operators are licensed with the Illinois Gaming Board as required by the Illinois Video Gaming Act (230 ILCS 40/1 et seq.);
- B. The establishment has a valid local liquor license that allows video gaming terminals as a condition of the liquor license pursuant to Section 5.08.340 of the North Aurora Municipal Code; and
- C. The establishment has obtained a supplemental video gaming license.

5.12.030 - Registration.

All video gaming terminals operated in the Village of North Aurora must meet the requirements in Section 5.12.020, be registered with the Village prior to operation and a copy of an Illinois State Gaming Board license provided, and the fee must be paid on an annual basis as set forth in Section 5.12.040.

5.12.040 - Fees.

VILLAGE OF NORTH AURORA

The annual fee for each video gaming terminal operated in the Village is \$250. The fee must be paid within 15 days of the installation and operation of any new terminal, and the fee must be paid annually thereafter on February 29.

5.12.050 - Fine for violation.

Any person who violates any provision of this Chapter shall be subject to a fine of not less than fifty dollars (\$50.00) nor more than seven hundred and fifty dollars (\$750.00). A separate offense shall be deemed committed during or on each day that a violation occurs or is committed.

3. Chapter 5.08.340 of the North Aurora Municipal Code is amended to read as follows:

4. Class "S-V" supplemental video gaming licenses may be obtained and shall be effective for the year in which the license is obtained by existing liquor licensees that qualify and pay the required fee as follows:

...

F. The annual fee for a class "S-V" license shall be five hundred dollars (\$500.00);

G. Registration of Video Gaming Terminals at a cost of two hundred and fifty dollars (\$250.00) per machine will be required in conjunction with the annual renewal;

...

4. Severability. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance, or any part thereof. The Village Board of Trustees hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof irrespective of the fact that anyone or more sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional, invalid or ineffective.

5. Codification. The corporate authorities of the Village intend that this Ordinance will be made part of the North Aurora Municipal Code and that sections of this Ordinance can be renumbered or relettered and the word "Ordinance" can be changed to "Section," "Article," Chapter" or some other appropriate word or phrase to accomplish codification, and regardless of whether this Ordinance is ever codified, the Ordinance can be renumbered or relettered and typographical errors can be corrected with the authorization of the Village Attorney, or his or her designee.

6. Conflict. All parts of the North Aurora Municipal Code in conflict with the terms or provisions of this Ordinance shall be and the same are hereby amended or repealed to the extent of such conflict, and all other provisions of the North Aurora Municipal Code and all other existing ordinances shall otherwise remain in full force and effect.

7. Effective Date. This Ordinance shall be in full force and effect from and after its passage and approval and publication as required by law.

VILLAGE OF NORTH AURORA

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Mark Carroll _____

Laura Curtis _____

Mark Guethle _____

Michael Lowery _____

Todd Niedzwiedz _____

Carolyn Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Mark Gaffino, Village President

ATTEST:

Jessi Watkins, Village Clerk

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: PETITION 22-03: PARK 88 LOGISTICS CENTER
AGENDA: JUNE 6, 2022 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

Phelan-JK/JB, Midwest, LLC is proposing to construct two speculative industrial warehouse buildings totaling 429,610 square feet on the vacant \pm 28 acres located between Smoke Tree Plaza and Sullivan Road east of Evergreen Drive. Access to the development will be provided via two full access drives – a new access point at Smoke Tree Plaza and the Fairview Drive entrance at Sullivan Road. The developers are labeling this project the 'Park 88 Logistics Center.'

The development of the subject properties with industrial warehouse building(s) has been discussed for over a year. Original concept development plans were first introduced to staff in early 2021 by a different development group and then presented to the Village Board on two separate occasions. At the March 15, 2021 Committee of the Whole meeting, the Village Board first discussed the concept development plans. While the Village Board was generally supportive of the concept development plans, they did have concerns regarding the potential traffic impact. At the June 21, 2021 Committee of the Whole meeting, the developer solicited feedback from the Village Board on the Preliminary Traffic Review that was prepared. The Board confirmed their support of the development, but again conveyed concern regarding truck movement and traffic in the general area.

Staff notes the previous developer planned to only utilize Fairview Drive as the southern access point while Phelan is under contract to also purchase the parcel of land (Parcel #6) located directly to the east of the Fairview Drive access point on Sullivan Road. The intent of acquiring the additional parcel is to accommodate an expanded southern entryway into the development. The petitioner has met with the City of Aurora, who maintains jurisdiction of Sullivan Road, to discuss a full access point to the development at the Fairview Drive entrance. Such discussions are ongoing and will most likely require geometric improvements to allow full access in close proximity to the roundabout at Highland Ave. A new Traffic Impact Study was conducted based upon the proposed site plan and updated intersection configurations.

A public hearing was conducted on this item before the Plan Commission at their May 3, 2022 meeting. The Plan Commission unanimously recommended approval of Petition #22-03 subject to staff's seventeen (17) conditions. Staff has included the draft meeting minutes from the May 3, 2022 Plan Commission meeting in order to provide context.

Staff would like to take this opportunity to solicit feedback from the Village Board on the proposed development plans associated with Petition #22-03. A draft ordinance has been included for initial review.

**VILLAGE OF NORTH AURORA
PLAN COMMISSION MEETING MINUTES
May 3, 2022**

CALL TO ORDER

Commissioner Tom Lenkart called the meeting to order.

ROLL CALL

In attendance: Commissioners Aaron Anderson, Anna Tuohy, Scott Branson, Doug Botkin, Tom Lenkart and Mark Bozik.

Not in Attendance: Chairman Mike Brackett, Commissioners Alex Negro and Richard Newell

Staff in attendance: Village Administrator Steve Bosco and Community & Economic Development Director Mike Toth

Also in attendance: Kevin Drendel, Village Attorney

APPROVAL OF MINUTES

1. Approval of Plan Commission Minutes dated March 1, 2022

Motion for approval made by Commissioner Botkin and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

PUBLIC HEARING

1. **Petition #22-03:** The petitioner, Phelan-JK/JB, Midwest, LLC, requests the following actions for the vacant properties generally located between Smoke Tree Plaza and Sullivan Road, east of Evergreen Drive in North Aurora, Illinois:
 - a) Map Amendment to establish the O-R-I Office, Research and Light Industrial Zoning District
 - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
 - c) Preliminary Final Plat of Subdivision
 - d) Site Plan Approval

Commissioner Tom Lenkart called the public hearing to order.

Mike Toth introduced Petition #22-03 for the property located between Smoke Tree Plaza and Sullivan Road, east of Evergreen Drive. Toth mentioned tonight is the Plan Commission public hearing where the Plan Commission listens to the presented information, provides feedback and gives a recommendation to the Village Board. The petition is provided to the Village Board with any conditions from the Plan Commission. The Village Board would then discuss the petition, which could be multiple meetings, before a final consideration is voted on. The developer will give a presentation and provide background on the project. Then the Village will give their presentation of the staff report and explain the developer's request in more detail.

The petitioner, Jess Knigge (Midwest Partner for Phelan Development), presented the Park 88 Logistics Center project. Knigge shared the project location is south of Interstate 88 and west of Route 31. More specifically, the project is located with Sullivan Road to the south, Smoke Tree Plaza to the north, Evergreen Drive to the west and Cinemark Tinseltown to the east. Knigge said they are asking for an O-R-I map amendment, a special use planned unit development, site plan approval and preliminary final plat of subdivision. Knigge shared the project involves four different property sellers, which properties will help provide adequate access for Fairview Drive to Sullivan Road to the south and Smoke Tree Plaza to the north. The project consists of two office industrial warehouse facilities, which together total approximately 430,000 square feet. Knigge said the project is planned to be multi-tenant, but could be a single tenant. Building A has two unique customer storefronts with a planned third punch-out in the center if necessary. Building B is setup for four customer storefronts.

The site plan showed loading, truck traffic and tractor trailer storage all concentrated to the center of the site. Knigge said the south of the property abuts three residential lots. The closest building is 122 feet from residential property lines. Phelan plans on creating natural screening and mitigating sound from the neighboring residential uses with landscape buffers and 6 foot opaque fencing. There is also a stream along the north of the residential properties that provides a natural buffer. Stormwater management is located in the center of the site between the two rows of trailer parking with additional stormwater planned to the north near the north access drive. Building A's proposed elevation study was shown and included the materials, colors, and tints the building would use, which would cast a modern warehouse look. Knigge said it will utilize durable materials and the exterior of the building is easy to maintain as long the exterior is painted occasionally. Knigge mentioned they plan on using a local company out of Aurora for part of the project. Building B's elevation study is very similar to Building A's, but would have corner entries and two unique customer entries in the center. This would allow for future division of the building. Knigge said both buildings will be offered for lease.

Knigge mentioned a few projects, like the one presented tonight, have gone through this process before, but have had trouble with site access. This project would include picking up the 74 foot parcel adjacent to Sullivan Road, west of the dental office, to enhance site access and truck turning movements. Phelan is also planning to provide off-site roadway improvements to Sullivan Road to create an east bound turn lane into the site, which would help mitigate queuing coming out of the roundabout and help maintain the flow of traffic eastbound towards Route 31. Knigge mentioned they have spoken with the dental office and they are looking into allowing them to use the left turn lane into their site as well. This traffic mitigation measure is being looked into by the City of Aurora since they have jurisdiction over the road. Knigge mentioned the Village's current IGA with the City of Aurora regarding road jurisdictions mentions to mitigate the number of curb cuts on Sullivan Rd. Phelan is looking to help support that in the future and would provide an access easement on the private road to the dental office to the east as well as allow for an access easement for IBEW to their site to the west.

Mike Toth explained the entitlement process for the project which starts with a Plan Commission public hearing, then would go to the Committee of the Whole (COW) in which the entire Village Board discusses the petition. At the COW, the Village Board can formulate additional

recommendations. Once those are determined an ordinance is drafted for final consideration and voted on. Once a project is approved, the building permit and engineering review process begins, which involves Village staff and the Village's outside consultants. Toth mentioned there are four items for consideration tonight, which include a map amendment for the rezoning of the parcels to the Office Research and Industrial (O-R-I) zoning district, a special use for a planned unit development with deviations to the Zoning Ordinance, preliminary final plat of subdivision, and site plan approval.

Toth mentioned a map amendment is typically referred to as "rezoning." Toth showed a map of the current zoning of the parcels, which includes the zoning districts E-R - Estate Rural District, B-2 - General Business District and O-R - Office Research District. Phelan is proposing a change in zoning to O-R-I - Office Research Industrial District while maintaining the lot adjacent to Smoke Tree Plaza as B-2 commercial to ensure there is no industrial located or zoned directly on Smoke Tree Plaza except for the access drive. Toth explained the history of the property, which at one point was a nursery, but it has been vacant for quite some time. In 2013, the Zoning Ordinance had this area zoned as A - Agricultural District, but the A district was phased out of Zoning Ordinance and given the restrictive E-R district designation even though this area wasn't always zoned residential. Toth shared when looking to rezone a property, the Village will look at the Comprehensive Plan for guidance. In this case, the Comprehensive Plan designates the property as Office/Industrial. The Comprehensive Plan mentions this area in the Commercial/Industrial Areas Plan as well as the Illinois Route 31 South subarea plan, which calls for it to be mixed use industrial. Currently, Dart Container is zoned industrial and is located northwest of the site and IBEW is zoned O-R-I and is located southwest of the site.

Toth mentioned the petitioner is also pursuing a Special Use for a Planned Unit Development (PUD). The special use is required because it is a nonresidential property that exceeds two acres in size and a PUD triggers a special use in any zoning district. The use Phelan is pursuing is a permitted use in the O-R-I zoning district. Toth explained what a deviation is, how it relates to the Zoning Ordinance, and one deviation was found upon staff review. The one deviation was along Sullivan Road at the access point. The O-R-I District calls for the width of a property to be 150 feet while this area is only 114 feet wide. Toth said it is only an access point and will not accommodate any building area and that the same deviation was mentioned during the OPUS Valley Green Golf Course Development. Toth shared special uses are sometimes referred to conditional uses. There are 17 conditions mentioned in the staff report to help mitigate any impacts to surrounding area.

Toth shared another motion for approval is for the preliminary final plat of subdivision. It would establish two lots. Lot 1 would be 29 acres and is the majority of the development. Lot 2 is the piece carved out to maintain the B-2 District along Smoke Tree Plaza, which is 1.2 acres in area. There is an access easement as part of Lot 2, which allows for shared access into the B-2 site and will prevent another curb cut onto Smoke Tree Plaza should the parcel develop. Toth mentioned the total acreage of Lot 1 includes the vacation of Fairview Dr right of way. Currently Fairview Drive is a Village street, but since it would only benefit this development, Phelan is asking for it to become a private access drive and no longer be maintained by the Village.

Toth mentioned the final request is for site plan approval. Toth shared any development that is more than a two family dwelling requires site plan approval and it also aligns with a special use since there is a site plan submitted. The site plan shown tonight has many elements from previous developers who have been interested in the area, but with the addition of added parcels at the access points. The plan would keep operation to the center of the site and it meets the Comprehensive Plan designation. The hotel area along Smoke Tree Plaza was a concern, but one of the land sellers is the hotel group and are willing to sell the property, which suggests they are okay with the project and use. Toth opened up the floor to any questions.

Tom Mihelic (building and business owner at 421 Sullivan Road), shared he bought his building/property last year on Sullivan Road and remodeled the building to move a business in there. Mihelic shared how Sullivan Rd is a two lane road with no curbs and traffic in the evening is a challenge and hard to turn eastbound onto Sullivan so his workers go down to the roundabout and circle around it to get back to Route 31. Mihelic said he was fine with the use for the site, but would like to make sure that some agreement between City of Aurora, Village of North Aurora and the developer is in place to ensure the traffic is mitigated and/or the road will get improved to meet the demands. Toth mentioned as the talks with the City of Aurora continue, the Village can see if City of Aurora has a capital improvement plan in place for Sullivan Rd and to ensure the upgrades that are agreed on for this development are implemented in a timely manner. Toth said limiting the amount of curb cuts has been the main discussion so far, but staff can bring up more items such as traffic movement, signage, etc. the next time the Village staff meets with Aurora.

Commissioner Tom Lenkart closed the public hearing.

NEW BUSINESS

1. **Petition #22-03:** The petitioner, Phelan-JK/JP, Midwest, LLC, requests the following actions for the vacant properties generally located between Smoke Tree Plaza and Sullivan Road, east of Evergreen Drive in North Aurora, Illinois:
 - a) Map Amendment to establish the O-R-I Office, Research and Light Industrial Zoning District
 - b) Special Use - Planned Unit Development with deviations to the Zoning Ordinance
 - c) Preliminary Final Plat of Subdivision
 - d) Site Plan Approval

Commissioner Doug Botkin shared he liked the layout of the warehouse buildings with the operations located in the center to mitigate surrounding property owner impact.

Commissioner Mark Bozik asked if the City of Aurora has approved the concept for Sullivan Rd and if there are any considerations of a right hand turn lane going westbound on Sullivan Rd into the property. Toth mentioned a traffic study has been done and helped determine the geometrics and turn lanes for the project. Michael Werthmann (KLOA Principal Engineer) shared they are working with the City of Aurora and submitted updated plans a week ago. Werthmann mentioned a right turn lane is not warranted due to the traffic volume and there are other industrial sites on Sullivan Road that do not have dedicated right turn lanes into their sites and that there is not enough right of way to put in the right turn lane. Werthmann said the unique feature for this site is the

proximity to the roundabout, which slows traffic down especially heading eastbound since vehicles are just starting to accelerate when coming out of the roundabout. Werthmann said the speed limit is 30 mph on Sullivan Rd and the road is a designated truck route.

Commissioner Bozik had a concern regarding how much daily truck traffic the site would generate and if it would back up traffic into the roundabout. Werthmann said the left turn lane would help alleviate truck traffic and that most warehouse developments don't generate a lot of truck traffic during peak hours. Commissioner Bozik asked based on the traffic study how much traffic will use the south access compared to the north access. Werthmann said the south side access will be for the larger trucks since the turn radius is more generous as compared to the north access entrance. Commissioner Bozik asked if signage should be added to direct truck drivers not familiar with the area to use a particular route and asked if Smoke Tree Plaza was built to hold the truck weight of semis. Toth said Smoke Tree Plaza was reconstructed around 2013 and was built to withstand heavier truck weight.

Commissioner Bozik asked what the overall height of the buildings were. Toth said Building A is 45 feet and Building B is 43 feet and that 50 feet is the maximum height allowed in the O-R-I District. Knigge said these height elevations are worst case scenario and Phelan hopes to shave off a few feet with the steel design. Commissioner Bozik asked why guardhouses were mentioned in the staff report and if there are any security issues. Toth said that provision is mentioned to allow traffic to flow freely into the site, which mitigates backups and truckers loitering around town. Knigge said since it's a multi-building and multi-tenant site they don't see any issues and any security would be done on site/closer to the buildings so there is no negative queuing. Commissioner Bozik asked about how the water service to the site will be accessed. Brian Johnson (Pinnacle Engineering Group) said water is available on Sullivan Road and Smoke Tree Plaza and the intention is to connect to both and loop both buildings to provide fire suppression to the site, which would allow interconnectivity and improve the water flow throughout the site. Commissioner Bozik asked if the water along Sullivan Road was the Village's or City of Aurora's. Steve Bosco shared it appears the Village has watermain north of Sullivan Rd. Village Attorney Kevin Drendel said there are reciprocal water agreements with the City of Aurora along the Village's borders.

Commissioner Scott Branson did not have any questions. He agreed that it was a good plan and a better approach than the proposed projects in the past for this area and was pleased the developers took into consideration the dental office and other adjacent property owners concerns.

Commissioner Aaron Andersen asked about the traffic study, referenced how the staff report mentioned the Village Board preferring truck traffic off Smoke Tree Plaza instead off Sullivan Road for past proposals and the current status of working with the City of Aurora regarding the roundabout. Knigge mentioned this project would include the parcel to the west of the dental site and would make the access go from 40 feet to 114 feet (74 feet of added access) compared to the previous developers only utilizing the 40 foot access road that currently exists. The KLOA traffic report mentioned the avoidance of queuing in the roundabout was a focal point and that is why the left turn lane into the site is being proposed. Knigge said they are still working with the City of Aurora on their approval process for Sullivan Road and will continue to work with North Aurora staff throughout the process. Knigge also shared trucks wanting to go westbound can turn left onto

Smoke Tree Plaza, go over to Evergreen Drive and turn right onto Sullivan Road to avoid the roundabout. Werthmann said a good amount of truck traffic utilizes Evergreen Drive daily already. Werthmann mentioned during peak hours, about 5-8 trucks per hour is the estimate for the site, but during the day the site may have slightly higher truck traffic since truckers try to avoid rush hour traffic. Werthmann said the daily traffic amount, provided by the State, shows 13,400 west of Route 31 and 11,700 vehicles east of Route 31, but a lot of the traffic in the area is driven by the hospital. Commissioner Andersen said his main concern is traffic flow on Sullivan Road, but the site plan is the best concept we have seen for this location.

Commissioner Anna Tuohy had a question regarding the stacking of trucks turning left into the site when headed eastbound. Toth said the distance appears to be about 220 feet from the roundabout. Werthmann said about 150 feet worth of stacking or two big semi-trucks would probably fit into the left turn lane, but a majority of the truck traffic would come from Route 31 westbound from the Interstate. Commissioner Tuohy asked about the property owners and if they had any concerns. Knigge said Fairview Dental is selling them the parcel to north of their current dental building, another property owner is selling the land west of Fairview Dental for the south access point and the Comfort Inn and Suites owners are selling them the property west of that site for the north access point. Toth said only one resident had called, which was located to the east and not adjacent to the property and was more curious about Sullivan Road and future maintenance instead of the use. Commissioner Tuohy mentioned she liked how the use aligned with the Comprehensive Plan.

Commissioner Tom Lenkart had a question about the height of the building since other places in the Village had some issues in the past with the height of their buildings. Toth said the height would be probably similar to the warehouses located on Orchard Gateway. Commissioner Lenkart asked if there was a landscape plan and would prefer the plan maximize the greenery on the property since it looks like there aren't a lot of trees on the lot lines. Knigge mentioned they have land banked 40 stalls on each of the buildings for possible future use, but it would be turf until the site warranted more parking. Toth shared adding trees to both site entrances to give a boulevard type feel was a suggestion staff made to the developer and it is incorporated into the landscape plan. Commissioner Bozik asked if stormwater was calculated with the land banked spaces as improved. Knigge said yes the future impervious were included in the stormwater calculations.

Commissioner Branson asked where the employees will enter the site. Knigge said they could enter either side of the property and have multiple exit points to head eastbound or westbound from the site. Commissioner Tom Lenkart asked to look into signage for the site to ensure the flow of traffic is not disrupted due to the truck traffic. Commissioner Lenkart also brought up concerns regarding idling, guardhouses, and what can be put in place after the fact to ensure any uses that come in don't congest the surrounding areas. Toth said local enforcement, private parking agreements, and working with on site management would probably be the best measures to combat idling, noise and any other concerns. Commissioner Bozik asked about the few residential properties along Sullivan Road and if the Comprehensive Plan calls for those to convert to at home offices. Toth said that is correct and some of the single family homes/parcels have already converted into office or commercial uses and that the site plan has a landscape buffer and a six foot solid opaque fence along the remaining residential properties. Commissioner Bozik asked if Aurora can deny access to the site since they have jurisdiction over the road. Knigge said they

have been working with the City of Aurora early on and the geometrics shown in the plans come from those discussions and would need to satisfy both jurisdictions and their engineers.

Motion for approval of a map amendment to establish the O-R-I Office, Research and Light Industrial Zoning District was made by Commissioner Botkin and seconded by Commissioner Bozik. Vote: Botkin – Yes, Bozik – Yes, Anderson – Yes, Tuohy – Yes, Branson – Yes, Lenkart – Yes. Motion approved.

Motion for approval of a Special Use for a Planned Unit Development Amendment with a deviation to the North Aurora Zoning Ordinance with staff's seventeen (17) conditions was made by Commissioner Bozik and seconded by Commissioner Botkin. Vote: Bozik – Yes, Botkin – Yes, Anderson – Yes, Tuohy – Yes, Branson – Yes, Lenkart – Yes. Motion approved.

Motion for approval of the Preliminary Final Plat of Subdivision was made by Commissioner Tuohy and seconded by Commissioner Anderson. Vote: Tuohy – Yes, Anderson – Yes, Botkin – Yes, Branson - Yes, Bozik – Yes, Lenkart – Yes. Motion approved. Motion approved.

Motion for Site Plan Approval was made by Commissioner Botkin and seconded by Commissioner Tuohy. Vote: Botkin – Yes, Tuohy – Yes, Anderson – Yes, Branson - Yes, Bozik – Yes, Lenkart – Yes. Motion approved.

Motion for approval for all the conditions as noted in the staff report was made by Commissioner Tuohy and seconded by Commissioner Andersen. Vote: Botkin – Yes, Tuohy – Yes, Anderson – Yes, Branson - Yes, Bozik – Yes, Lenkart – Yes. Motion approved.

OLD BUSINESS – None

PLAN COMMISSIONER COMMENTS AND PROJECT UPDATES

Toth shared the apartment complex discussed in March is still going through the review process since the annexation agreement and the PUD is being amended and involves various property owners. The project has gone through two COW meetings, which included a public hearing for the annexation agreement and now is expected to go to the Village Board for final consideration on May 16th. The Village Board was amicable to the Plan Commission's recommendations and were satisfied with the site plan. Commissioner Lenkart asked when they plan on breaking ground. Toth said they have been working on some engineering and stormwater, but would probably break ground in late summer. Commissioner Botkin asked about the project status of Casey's. Toth said Casey's is still in the building permit and engineering review process since their project share drive aisle obligations with the Parcel 6 project to the south. Both projects are working through the process and are still moving forward.

ADJOURNMENT

Motion to adjourn made by Commissioner Bozik and seconded by Commissioner Tuohy. All in favor. **Motion approved.**

Respectfully Submitted,

Jessica Watkins
Village Clerk

DRAFT

**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR**

GENERAL INFORMATION

Meeting Date: May 3, 2022

Petition Number: #22-03

Petitioner: Phelan-JK/JB, Midwest, LLC

Location: The subject properties are generally located between Smoke Tree Plaza and Sullivan Road, east of Evergreen Drive.

Property Index Numbers: 15-09-251-001, 15-09-252-001,-002,-003,-004,-005,-006,-007 & 15-09-201-033

Development Size: ±28 acres

Requests: 1) Map Amendment to establish the O-R-I Office, Research and Light Industrial Zoning District 2) Special Use - Planned Unit Development with deviations to the Zoning Ordinance 3) Site Plan Approval 4) Preliminary Final Plat of Subdivision

Current Zoning: B-2 General Business District; E-R Estate Rural Residence District; O-R Office and Research District

Current Land Use: Vacant Land

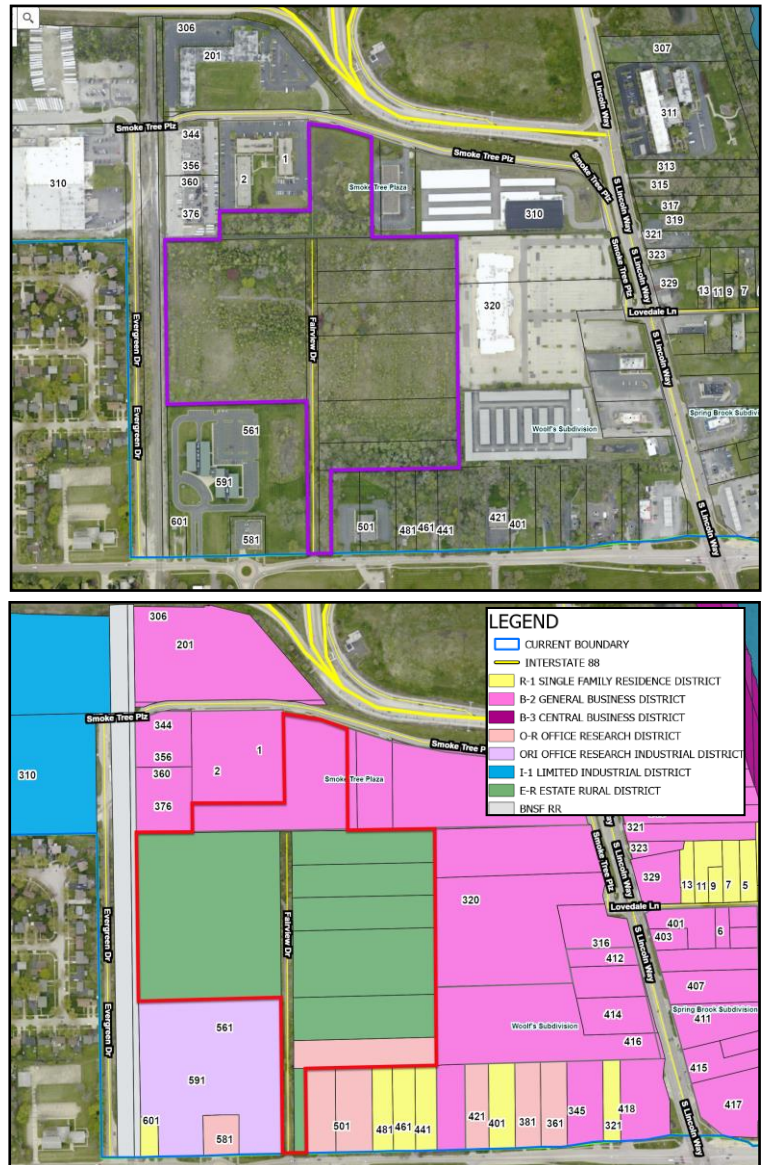
Comprehensive Plan Designation: 'Office/Industrial'

PROPOSAL

Phelan-JK/JB, Midwest, LLC is proposing to construct two speculative industrial warehouse buildings totaling 429,610 square feet on the vacant ±28 acres located between Smoke Tree Plaza and Sullivan Road east of Evergreen Drive. Access to the development will be provided via two full access drives – a new access point at Smoke Tree Plaza and the Fairview Drive entrance at Sullivan Road. The developers are labeling this project the 'Park 88 Logistics Center.'

BACKGROUND

The development of the subject properties with industrial warehouse building(s) has been discussed for over a year. Original concept development plans were first introduced to staff in early 2021 by a different development group. After refining their original concept plans to improve access and internal site circulation, the updated concept plans including two industrial warehouse buildings (earlier plans



included one large warehouse building) with a central access drive directly linking Sullivan Road and Smoke Tree Plaza, was created. Having two buildings with a central access drive and loading docks oriented towards the interior of the property was viewed as being the ideal plan as business activities would be confined to the center of the site, thus reducing any impact the business operations could have on surrounding properties.

At the March 15, 2021 Committee of the Whole meeting, the Village Board first discussed the concept development plans. While the Village Board was generally supportive of the concept development plans, they did have concerns regarding the potential traffic impact, specifically truck traffic entering and exiting the property utilizing Smoke Tree Plaza from Route 31 at Lovedale Lane. Staff notes the access plan included as part of that concept plan discussion specified trucks using the Smoke Tree Plaza entrance and only passenger vehicles utilizing the Sullivan Road entrance.

In order to provide the Village Board with specific information relative to their traffic concerns, the developer consulted with traffic engineers to perform a Preliminary Traffic Review. The intent of their review was to provide information on the estimated traffic to be generated by the development, a review of the proposed access and circulation system, and a review the truck routes to and from the development. At the June 21, 2021 Committee of the Whole meeting, the developer solicited feedback from the Village Board on the Preliminary Traffic Review that was prepared. According to the updated access plan, inbound truck traffic could enter the site from the south via Sullivan Road and exit to the north onto Smoke Tree Plaza. Passenger vehicles could also take access from either entrance to the site. The Village Board seemed supportive of the use of the Smoke Tree Plaza entrance for truck traffic, but was skeptical of the use of Sullivan Road for trucks.

Per a 2003 Intergovernmental Agreement between the City of Aurora and the Village of North Aurora, the City of Aurora maintains jurisdiction of Sullivan Road, which is classified by the City of Aurora as a city truck route. The petitioner has met with the City of Aurora to discuss a full access point to the development at the Fairview Drive entrance. Such discussions are ongoing and will most likely require geometric improvements to allow full access in close proximity to the roundabout at Highland Ave.

REQUESTED ACTIONS

Map Amendment to establish the O-R-I Office, Research and Light Industrial Zoning District

The development consists of eight (8) parcels. The petitioner is requesting a map amendment (“rezoning”) to change the zoning of Parcels #1-7 to the O-R-I Office, Research and Light Industrial District. Parcels #1-6 currently comprise of properties located in the E-R Estate Rural District. The parcels are designated E-R District by default due to the elimination of the A – Agricultural District in 2013 when the Zoning Ordinance was updated. Parcel #7 is currently located in the O-R Office Research District. The northernmost parcel adjacent to Smoke Tree Plaza (Parcel #8) is located in the B-2 General Business District and would be subdivided to allow a portion (Lot 2) to remain in the B-2 District in order ensure future commercial use of the property. The remainder of Parcel #8 would be rezoned to the O-R-I District. According to the Zoning Ordinance: *The purpose of the O-R-I Office and Light Industrial Research District is to provide for the grouping of office, research and light industrial uses compatible in scope of services and methods of operation.*



Contiguous Zoning

North: B-2 General Business District, **South:** O-R Office Research District, O-R-I Office Research Industrial District, and R-1 Single Family Residence District, **East:** B-2 General Business District, **West:** BNSF Railroad Right-of-Way and B-2 General Business District

Comprehensive Plan Land Use Recommendations

The Comprehensive Plan designates the subject properties as ‘Office/Industrial’, which is consistent with the O-R-I Office, Research and Light Industrial District.

The proposed development area is included as part of a subarea listed in the Comprehensive Plan’s Commercial and Industrial Areas Plan: *This industrial area includes a large distribution facility and vacant land accessed by Smoketree Lane, Fairview Drive and Evergreen Drive. The Village should encourage key roadway improvements, landscaping treatments, and signage. Potential roadways improvements include extensions of Fairview Drive to Smoketree Lane, and Smoketree Lane west to provide access to additional industrial properties. Access to this area should be encouraged from Evergreen Drive.*

The specific parcels associated with the proposed development are also referenced in the Comprehensive Plan’s IL Route 31 South End Subarea Plan: *There is a large area of undeveloped land, north of Sullivan Road west of the movie theatre. Recommended street improvements would open this entire area up for development. The Village should remain flexible with regard to potential new development for this site. While most areas of the Village have a clear land use preference, as designated on the Land Use Plan, a number of uses could be considered appropriate for these specific parcels. Proximity to the Interstate, commercial uses, and the Provena/Mercy Hospital Complex could all impact land use decisions. For these reasons different land uses and a more flexible approach to development should be considered. Regardless of the use, the primary goal for the Village should be to support high-quality, attractive, well-designed development.*

Special Use –Planned Unit Development with deviations

Per Section 17.5.4 of the Zoning Ordinance, any nonresidential or multiple-family parcel or parcels of land two acres or more in size shall be required to be a planned unit development. The total site area for the proposed development is ±28 acres and the use considered nonresidential. The following table illustrates the proposed bulk regulations and bulk regulations required of the O-R-I Office, Research and Light Industrial District:

Bulk Regulations	Proposed	O-R-I District
Lot Area, Minimum	29.42 acres (Post Subdivision)	2 acres
Lot Width, Minimum	114.13 ft. (@ Sullivan Road) 167.27 ft. (@ Smoke Tree Plaza) ±1,245 ft. (Development Interior)	150 ft.
Building Height, Maximum	Building A = 45 ft. Building B = 43 ft.	50 ft.
Floor Area Ratio (FAR), Maximum	n/a	None
Lot Coverage, Maximum	35%	60%

Lot Width (Zoning Ordinance Deviation Required)

The Zoning Ordinance defines Lot Width as *the minimum horizontal distance between the side lot lines of a lot measured at the required front yard setback line*. The front yard setback in the O-R-I District is 30 feet. While the actual size of the development area is considerably wide, the access point on Sullivan Road would be 114.13 feet in width where 150 feet is required per the O-R-I District. That portion of the property is not intended to accommodate a building, but rather the access drive that eventually leads to the development.

Yard Regulations

The configuration of the Park 88 Logistics Center boundaries are atypical in that there are no clearly-defined front, rear and side yards. After review of the yard areas it does not appear that any deviations would be required. Section 17.2.4 of the Zoning Ordinance grants authority to the Community Development Director *to receive, review and make decisions on zoning interpretations*. With respect to setback and yard dimensions required as part of the Park 88 Logistics Center, the Community Development Director has made the final determination:

All setback and yard dimensions shall be governed by the Preliminary Site Plan, prepared by Pinnacle Engineering Group, dated April 6, 2022. In no event shall any improvements be constructed closer to the adjacent property line than what is included on the Preliminary Site Plan.

Site Plan Approval

Per Section 17.4.4(B) of the Zoning Ordinance, site plan review shall be required for each building permit application for multi-family, townhouse, commercial, and industrial development for which a site plan has not already been approved.

After refining their original concept plans to improve access and internal site circulation, the updated plans now include two industrial warehouse buildings (earlier plans included one large warehouse building) with a central access drive directly linking Sullivan Road and Smoke Tree Plaza. Having two buildings with a central access drive and loading docks oriented towards the interior of the property was viewed as being the ideal plan as business activities would be confined to the center of the site, thus reducing any impact the business operations could have on surrounding properties.

Preliminary Final Plat of Subdivision

A Plat of Subdivision, known as the Final Plat of Subdivision Park 88 Logistics Center, is being proposed. Lot 1 of the Park 88 Logistics Center would consist of the entirety of the development and be 29.42 acres in area. As previously mentioned, Lot 2 would be created through the subdivision of Parcel #8 in order ensure future commercial use of the property and would be 1.2 acres in area. An access easement would be granted to Lot 2 in order to allow any future development to utilize the proposed access to the Park 88 Logistics Center, thus reducing the amount of curb cuts in that general area. The additional land area included in the overall development can be attributed to the vacation of Fairview Drive. Fairview Drive is a north/south right-of-way that was once used as an access drive into the property from Sullivan Road. As part of the vacation of Fairview Drive, the Village would no longer be responsible for the right-of-way, which is currently in a state of deterioration. Fairview Drive would essentially become the private access drive for the development.

FINDINGS

The Community Development Department finds that the information presented in Petition #22-03 **meets** the Standards for Map Amendments, Specials Uses, Site Plan Review and Planned Unit Developments as set forth in the Zoning Ordinance. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #22-03, subject to the following conditions:

1. Any traffic improvements made on Sullivan Road adjacent to the development's entrance shall be to the satisfaction of the Village of North Aurora and the City of Aurora.
2. In no event shall any improvements be constructed closer to the adjacent property line than what is included on the Preliminary Site Plan, prepared by Pinnacle Engineering Group, dated April 6, 2022.
3. The use of guardhouses and driveway gates shall be prohibited in order to allow on-site traffic to flow freely and prevent spillover onto adjacent streets and properties.
4. Semi trucks shall be prohibited from parking or idling on the perimeter access drives, passenger vehicle parking lots, and passenger vehicle drive aisles.
5. On-site management shall effectively monitor and regulate all on-site trucking activities in order to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance.
6. The six (6) foot fence included in the residential buffer area located to the south of Building A shall be opaque.
7. Any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight (8) feet in height.
8. All business activities shall be conducted completely within the confines of the buildings.
9. The keeping of any goods, material, merchandise or equipment outside of the building(s) shall be prohibited.
10. A photometric plan shall be approved by the Village prior to building permit issuance.
11. Any tree of good quality larger than six inches in diameter when measured twelve (12) inches above the ground, which are not located within fifteen (15) feet of or within a building footprint, within the road footprint or in those areas listed Section 16.12.010.C.3.a of the Subdivision Ordinance, shall be tagged by the petitioner and evaluated by the Village for preservation.
12. Quality trees and shrubs located along the perimeter of the development shall be preserved to the greatest extent possible to maintain natural landscape buffering.
13. Construction traffic shall not impede on the ability of the Village and Fire Protection District to provide emergency services.

14. All dumpsters located on the subject property shall be screened per Section 14.11.A of the Zoning Ordinance.
15. All ground-mounted and rooftop mechanicals shall be properly screened per the requirements of the Zoning Ordinance.
16. All signage shall adhere to the requirements of the Sign Ordinance.
17. A signage easement shall be included on Lot 2 and be large enough to accommodate the monument sign and required landscaped base.

APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA
Board of Trustees
25 East State Street
North Aurora, IL 60542

PETITION NO. 22-03

FILE NAME Park 88 Logistics Center

DATE STAMP

RECEIVED

APR 04 2022

VILLAGE OF
NORTH AURORA

I. APPLICANT AND OWNER DATA

Name of Applicant Phelan-JK/JB, Midwest, LLC, a Delaware limited liability company

Applicant Address c/o Phelan Development 2600 S 25th Ave. Suite 105 Broadview, IL 60155

Applicant Telephone # (773) 520-8766

Email Address jknight@phelandevco.com

Property Owner(s) Multiple Property Owners - See attached Property Owner Info

Owner Address See attached Property Owner Info

Owner Telephone # See attached Property Owner Info

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property FAIRVIEW RD, located North of SULLIVAN RD, NORTH AURORA, IL 60542
(indicate location if no common address)

Legal Description: See attached Legal Description

Parcel Size ± 27.99 Acres

Present Use Vacant, Unimproved Land

(business, manufacturing, residential, etc.)

Present Zoning District E-R ESTATE RURAL DISTRICT, B-2 GENERAL BUSINESS DISTRICT and O-R OFFICE RESEARCH DISTRICT (see attached Parcels and Present Zoning District)
(Zoning Ordinance Classification)

III. PROPOSED SPECIAL USE

Proposed Special Use Industrial Planned Development, O-R-I Office Research and Light Industrial District
(Zoning Ordinance Classification)

Code Section that authorizes Special Use Title 17 Chapter 10.2

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? N/A to what district? N/A

Describe briefly the type of use and improvement proposed _____

Applicant intends to develop an approximately 263,862 square foot industrial office/warehouse building, with approximately 167 car parking spots, 33 exterior docks, 47 trailer positions, and a second building containing approximately 166,114 square foot industrial building, with approximately 126 car parking spots, 22 exterior docks, and 47 trailer positions. In total, the project costs to improve the Subject Property are estimated to be approximately \$50,000,000

What are the existing uses of property within the general area of the Property in question? _____

The general area of the Subject Property includes a mixture of office, industrial, hotel, self-storage, and other commercial uses.

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) _____

Yes. Pursuant to the Title 17 Chapter 5.4(B) of the North Aurora Code of Ordinances, "Any nonresidential or multiple-family parcel, or parcels of land two acres or more in size shall be required to be a planned unit development." Furthermore, Section 4.3 of Appendix A of the North Aurora Code of Ordinances state "all planned unit developments are subject to special use and the requirements of that procedure."

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's [EcoCat](#) online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent
Jess Knigge - Manager
Phelan-JK/JB, Midwest, LLC

March 31, 2022

Date

Owner

Date

Exhibit

Owner Authorizations

And

**Disclosure of
Beneficiaries**

G.E.S. Properties LLC

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Don Strong

Owner
Beverly Evans

3.30. 2021

Date

G.E.S. Properties LLC

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Don Strong
Owner
Beverly Evans

3.30. 2021
Date

Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Beverly R Evans, Trustee
Owner

3-30-22
Date

Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Beverly R Evans, Trustee
Owner

3-30-22
Date

Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, Beverly Evans, being first duly sworn on oath depose and say that I am trustee of the Beverly Evans Living Trust dated January 25, 1999 and that the following are all of the beneficiaries of the Beverly Evans Living Trust dated January 25, 1999:

Beverly R Evans

Beverly R Evans, Trustee
Trustee

SUBSCRIBED AND SWORN TO
before me this 30th day of March, 2022.

Lori A. Bunkofske
A Notary Public in and for such County



Charles G. Graves Declaration of Trust dated February 5, 2008

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, John R Graves, being first duly sworn on oath depose
and say that I am trust officer of Charles G Graves and that the following are all of the
beneficiaries of the Declaration of Trust.

Jacob GRAVES
SARAH GRAVES


TRUST OFFICER

SUBSCRIBED AND SWORN TO

Before me this 17 day of August, 2018

A Notary Public in and for such County

Charles G. Graves Declaration of Trust dated February 5, 2008

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Owner

Date

Charles G. Graves
Charles G. Graves Declaration of Trust

3/31/2021

Akshar Murti Hospitality Inc.

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date



Owner

03/30/22

Date

Akshar Murti Hospitality Inc.

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent



Owner

Date

03/30/22

Date

G.A.L.A.B.R., Inc

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Owner

Date

Gary L. Phasin for
G.A.L.A.B.R. Inc.

3-31-22

G.A.L.A.B.R., Inc

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

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The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Gary L. Rhoads, for
Owner G.A.L.A.B.R. Inc.

Date

3-31-22
Date

Following are the names and addresses of all property owners within 250 feet of the property in questions for which the special use being is being requested.

TAX PARCEL NO.**PROPERTY OWNER****MAILING ADDRESS**

See attached

I, Jess Knigge, Manager, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

Applicant Signature

March 31, 2022

Date _____

SUBSCRIBED AND SWORN TO

Before me this 31 day of March, 2022

Notary Public



MAILED NOTICES FOR PHELAN DEVELOPMENT NORTH AURORA PLANNED DEVELOPMENT PUBLIC HEARING

UPDATED 3/30/2022








TAX PARCEL NO.	SITE ADDRESS	PROPERTY OWNER	MAILING ADDRESS
15-09-276-012	401 SULLIVAN RD, AURORA, IL 60506	RUPPRECHT, MARK G & VICKIE E	OS124 SURREY DR ELBURN, IL, 60119
15-09-276-011	421 SULLIVAN RD, NORTH AURORA, IL 60542	TJM KIM LLC	2210 LARKDALE DR GLENVIEW, IL, 60025-4169
15-09-276-010	SULLIVAN RD, NORTH AURORA, IL 60542	ESS C TIVS JV TIVS REIT SUB LLC	2795 E COTTONWOOD PKWY STE 300 SALT LAKE CITY, UT, 84121-6928
15-09-252-012	441 SULLIVAN RD, NORTH AURORA, IL 60542	STEFANICH, RICHARD F & FEIDEN-STEFANICH LUNDA	441 SULLIVAN RD AURORA, IL, 60506-0618
15-09-252-011	461 SULLIVAN RD, NORTH AURORA, IL 60542	GEHARDT, LYNETTE K & ADRIAN W	13048 MT ZION CHURCH RD CULPEPER, VA, 22701-5551
15-09-252-010	481 SULLIVAN RD, NORTH AURORA, IL 60542	ZAPATA, MARIO	133 N BUCKINGHAM DR SUGAR GROVE, IL, 60554-4226
15-09-252-009	501 SULLIVAN RD, AURORA, IL 60506	G A L A B R INC % LAURENCE A SEXTON RA	576 NORCROSS ST BATAVIA, IL, 60510
15-09-252-008	541 SULLIVAN RD, NORTH AURORA, IL 60542	G A L A B R INC % LAURENCE A SEXTON RA	576 NORCROSS ST BATAVIA, IL, 60510
15-09-400-023	400 SULLIVAN RD, AURORA, IL 60506	AURORA PROPERTY HOLDINGS LLC CASCADE CAPITAL GROUP, DANIEL GARDEN	3450 OAKTON ST SKOKIE, IL, 60076-2951
15-09-251-002	591 SULLIVAN RD, AURORA, IL 60506	INTERNATL BROTHERHOOD ELECTRIC WORKS, TRUST: TR# 461	591 SULLIVAN RD AURORA, IL, 60506
15-09-251-007	581 SULLIVAN RD, AURORA, IL 60506	WU, XIN & ZHANG, RUI	1733 ROBINWOOD LN RIVERWOODS, IL, 60015-1650
15-09-181-007	608 SPRINGBROOK DR, AURORA, IL 60506	MATA, SALVADOR	608 SPRINGBROOK DR AURORA, IL, 60506-1134
15-09-176-045	609 SPRINGBROOK DR, AURORA, IL 60506	DREW, MICHAEL S	609 SPRINGBROOK AURORA, IL, 60506
15-09-176-044	1557 CAMBRIDGE AVE, AURORA, IL 60506	MARTINEZ, GILBERTO & HECTOR E MARTINEZ	1557 CAMBRIDGE AVE AURORA, IL, 60506-1113
15-09-176-043	1563 CAMBRIDGE AVE, AURORA, IL 60506	GODINEZ, DOLIA & AGUSTIN	1563 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-042	1567 CAMBRIDGE AVE, AURORA, IL 60506	BAUTISTA, GIOVANNI PINA & KOVAC, MONIQUE LYNN	1567 CAMBRIDGE AVE AURORA, IL, 60506-1113
15-09-176-041	1571 CAMBRIDGE AVE, AURORA, IL 60506	VANDEVENTER, HELEN M HAROLD R & ERVEN H	1571 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-040	1603 CAMBRIDGE AVE, AURORA, IL 60506	LOPEZ, FERNANDO RAMIREZ	1603 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-039	1609 CAMBRIDGE AVE, AURORA, IL 60506	ERVIN, SCOTT A KERRY J	1609 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-038	1613 CAMBRIDGE AVE, AURORA, IL 60506	ARROYO, FRANCISCO J GARCIA & ELIZABETH	1613 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-037	1619 CAMBRIDGE AVE, AURORA, IL 60506	FAVELA, MARIA E & VELAZQUEZ, DAVID A	1619 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-036	1623 CAMBRIDGE AVE, AURORA, IL 60506	CARRANZA, JOSE L	1623 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-035	615 TINLEY DR, AURORA, IL 60506	HORICE, MONICA L	615 TINLEY DR AURORA, IL, 60506-1100
15-09-101-009	310 EVERGREEN DR, NORTH AURORA, IL 60542	DART CONTAINER CORP	500 HOGSBACK RD MASON, MI, 48854-9541
15-09-201-014	360-376 SMOKE TREE IND PK, AURORA, IL 60506	OLD KENT BANK, TRUST: 3510 %CHICAGO TITLE LT 3000003510 SMOKETREE I	PO BOX 272 NORTH AURORA, IL, 60542
15-09-201-034	344-356 SMOKE TREE IND PK, AURORA, IL 60506	OLD KENT BANK, TRUST: 3510 %CHICAGO TITLE LT 3000003510 SMOKETREE I	PO BOX 272 NORTH AURORA, IL, 60542
15-09-201-031	1-2 SMOKE TREE PLAZA, NORTH AURORA, IL 60542	GERALD REALTY HOLDINGS LLC	213 HANSEN BLVD NORTH AURORA, IL, 60542-8923
15-09-201-036	201 SMOKE TREE LN, NORTH AURORA, IL 60542	NORTH AURORA HOTEL LLC	201 SMOKE TREE PLAZA DR NORTH AURORA, IL, 60542-1858
15-09-201-037	201 SMOKE TREE LN, NORTH AURORA, IL 60542	NORTH AURORA HOTEL LLC	201 SMOKE TREE PLAZA DR NORTH AURORA, IL, 60542-1858
15-09-201-023	S LINCOLNWAY, NORTH AURORA, IL 60542	AKSHAR MURTI HOSPITALITY INC	31 N GREEN BAY RD WAUKEGAN, IL, 60085-4405
15-09-201-024	308 S LINCOLNWAY, NORTH AURORA, IL 60542	AKSHAR MURTI HOSPITALITY INC	31 N GREEN BAY RD WAUKEGAN, IL, 60085-4406
15-09-228-003	310 S LINCOLN WAY, NORTH AURORA, IL 60542	NORTH AURORA STORAGE LLC JOHN P MURPHY	11811 N KNOXVILLE AVE, DUNLAP, IL, 61525-9471
15-09-276-001	S LINCOLNWAY ST, NORTH AURORA, IL 60542	AVG NO AURORA LLC	9595 WILSHIRE BLVD STE 700 BEVERLY HILLS, CA, 90212-2507
15-09-276-024	320 S LINCOLNWAY ST, NORTH AURORA, IL 60542	AVG NO AURORA LLC	9595 WILSHIRE BLVD STE 700 BEVERLY HILLS, CA, 90212-2507
15-09-276-029	416 S LINCOLNWAY, NORTH AURORA, IL 60542	ESS C TIVS JV TIVS REIT SUB LLC	2795 E COTTONWOOD PKWY STE 300 SALT LAKE CITY, UT, 84121-6928

Exhibit
Property Owners
And
Present Zoning District

EXHIBIT
LIST OF OWNERS

<u>OWNER</u>	<u>PINs</u>	<u>Address</u>	<u>Phone</u>	<u>Date Acquired</u>
G.E.S. Properties LLC	15-09-251-001; 15-09-252-001; 15-09-252-002	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	7/5/2001
Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999	15-09-252-003; 15-09-252-004; 15-09-252-005	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	9/8/1999
Charles G. Graves Declaration of Trust dated February 5, 2008	15-09-252-007	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	4/23/2020
G.A.L.A.B.R., Inc	15-09-252-006	1 N. Constitution Dr., Aurora, IL 60506	630.897.1534	9/15/1999
Akshar Murti Hospitality Inc.	15-09-201-033-0000	150 S. Wacker Dr. Ste 2600, Chicago, IL	312.725.3476	3/15/2018

Present Zoning District

<u>OWNER</u>	<u>PINs</u>	<u>Present Zoning District</u>
G.E.S. Properties LLC	15-09-251-001; 15-09-252-001; 15-09-252-002	 E-R ESTATE RURAL DISTRICT
Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999	15-09-252-003; 15-09-252-004; 15-09-252-005	 E-R ESTATE RURAL DISTRICT
Charles G. Graves Declaration of Trust dated February 5, 2008	15-09-252-007	 E-R ESTATE RURAL DISTRICT
G.A.L.A.B.R., Inc	15-09-252-006	 O-R OFFICE RESEARCH DISTRICT
Akshar Murti Hospitality Inc.	15-09-201-033-0000	 B-2 GENERAL BUSINESS DISTRICT

Exhibit

LEGAL DESCRIPTIONS

PINS: 15-09-251-001; 15-09-252-001; 15-09-252-002; 15-09-252-003; 15-09-252-004; 15-09-252-005;
15-09-252-007

PARCEL 1:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF THE RIGHT OF WAY OF THE OTTAWA, OSWEGO AND FOX RIVER VALLEY RAILROAD COMPANY, THAT IS 696.31 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 FOR THE PLACE OF BEGINNING; THENCE NORTH ALONG SAID RIGHT OF WAY LINE 696.31 FEET TO AN OLD CLAIM LINE; THENCE EAST ALONG SAID OLD CLAIM LINE 607 FEET; THENCE SOUTH 696.31 FEET TO A POINT; THENCE WESTERLY 607 FEET TO THE PLACE OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST 1/4, 1370.34 FEET WEST OF THE SOUTHEAST 1/4 THEREOF; THENCE NORTH 1251.45 FEET TO A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO OLD CLAIM LINE; THENCE WESTERLY ALONG OLD CLAIM LINE 647 FEET TO A POINT IN THE EVANS' EAST LINE; THENCE SOUTH ALONG SAID EVANS' EAST LINE AND WEST LINE OF SAID DRIVEWAY, 139.05 FEET TO THE NORTHWEST CORNER OF MICHAEL DUY'S LAND; THENCE EASTERLY ALONG SAID DUY'S NORTH 647 FEET TO A POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 1112.40 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO A POINT WHICH IS THE SOUTHEAST CORNER OF WHITTAKER'S LAND; THENCE WESTERLY PARALLEL WITH AND 139.05 FEET SOUTH OF AN OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVAN'S LAND, AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY, THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 973.35 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET; THENCE WESTERLY PARALLEL WITH AN 278.10 FEET SOUTH OF OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVANS' LAND AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY; THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 5:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 514.10 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 459.25 FEET; THENCE WESTERLY PARALLEL WITH AND 417.15 FEET SOUTH OF CLAIM LINE 627 FEET TO THE CENTER LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG THE CENTER LINE OF SAID PRIVATE ROAD 460.31 FEET TO A LINE DRAWN WEST, PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST 1/4, FROM THE POINT OF BEGINNING; THENCE EAST ALONG SAID PARALLEL LINE 627 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 6:

THE WEST 75 FEET OF THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1797.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 396 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER, 180 FEET TO THE EAST LINE OF A 40 FOOT PRIVATE ROADWAY; THENCE SOUTH ALONG SAID EAST LINE 396 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER 180 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS

PIN 15-09-201-033-0000

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF SAID NORTHEAST QUARTER WITH THE EASTERLY RIGHT OF WAY LINE OF BURLINGTON NORTHERN INC.; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE 707.79 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 0 SECONDS EAST 626 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 20.64 FEET TO THE SOUTH RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 388.36 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 0 SECONDS WEST 390 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 119.75 FEET TO THE SOUTH LINE OF THE NORTH 75 RODS OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID SOUTH LINE 656.44 FEET TO A POINT ON THE WEST LINE OF TRACT OF LAND CONVEYED BY DEED 2013K0541156; THENCE NORTH 0 DEGREES 01 MINUTES 21 SECONDS WEST, ALONG SAID WEST LINE, 442.17 FEET TO THE AFOREMENTIONED SOUTHERLY RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110; THENCE NORTHWESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PIN: 15-09-252-006

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE WEST ALONG THE SOUTH LINE OF SAID NORTH EAST QUARTER 1641.34 FEET; THENCE NORTH 396 FEET FOR THE POINT OF BEGINNING; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 271 FEET; THENCE NORTH 118.10 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 607 FEET TO THE EAST LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG SAID EAST LINE 118.10 FEET TO A POINT 396 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 336 FEET TO THE POINT OF BEGINNING, EXCEPTING FROM THAT PART, THE WESTERLY 180 FEET, IN THE VILLAGE OF NORTH AURORA AND THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

Exhibit

Response to Special Use Standards

Special Use Standards

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.

Yes. The proposed special use is authorized in the zoning district in which the property will be located pursuant to Chapter 10.2 of the Village Zoning Code.

2. The proposed special use is deemed necessary for the public convenience at that location.

Yes. The proposed special use is necessary for the public convenience at the location and required by Chapter 5.4 of the Village Zoning Code.

3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.

The proposed special use does not create excessive additional impacts at public expense for public facilities and services. The proposed development will increase the economic welfare of the community through additional property tax revenue, employment opportunities, and increased economic activity due to future employees visiting local businesses.

4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

The proposed use is in conformance with the Village codes and regulations. Additionally, the proposed use is in conformance with the goals and policies of the Comprehensive Plan. The Comprehensive Plan, the plan identifies the Subject Property in Area 12 and states that Area 12 is an "industrial area." The Comprehensive Plan also states that an objective is to "encourage and support redevelopment of key vacant sites or obsolete uses near the Route 31/I-88 interchanges that have the potential to catalyze additional investment in the area." Furthermore, the Comprehensive Plan recommends that the Village should "remain flexible" regarding potential new development to this particular site and states "the primary goal for the Village should be to support high-quality, attractive, well-designed development."

The proposed development achieves all these goals. The proposed development's anticipated uses will include office, warehouse, distribution, and/or logistics. The Subject Property is currently vacant land, and the proposed development has the potential to catalyze the area. Finally, the proposed development achieves the Village's goal of supporting high-quality, attractive, well-designed development.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.

The proposed special use will be designed located, operated, and maintained so as to be harmonious and comparable in use and appearance with the existing and the intended character of the general vicinity. The Subject Property is surrounded by commercial uses and the proposed development is in line with the Village's Comprehensive Plan. Additionally, as shown in the provided materials, the proposed development will aesthetically enhance the existing site and the general vicinity.

6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.

The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located. The surrounding properties are commercial in nature and the transformation of the subject property from undeveloped vacant land to a brand-new state-of-the-art development will increase the value of nearby property.

7. The proposed special use is compatible with development on adjacent or neighboring property.

The proposed special use is comparable to with development on neighboring properties. The neighboring properties are commercial in nature and the subject property will align with the Village's Comprehensive Plan.

8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.

The proposed special use minimizes potentially dangerous traffic movements and provides adequate and safe access to the site. Traffic engineers were engaged to study the impact of traffic and the site plan has been carefully considered to minimize any potential dangerous traffic movements.

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.

Yes. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance. The proposed development will provide for a total of 293 car parking spaces (with 80 land banked parking spaces for future) and 94 trailer positions.

10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.

Yes. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.

11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

Yes. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

APPLICATION FOR MAP AMENDMENT

VILLAGE OF NORTH AURORA
25 East State Street
North Aurora, IL 60542

PETITION NO. 22-03

FILE NAME Park 98 Logistics Center

DATE STAMP

RECEIVED

APR 04 2022

VILLAGE OF
NORTH AURORA

I. APPLICANT AND OWNER DATA

Name of Applicant* Phelan-JK/JB, Midwest, LLC, a Delaware limited liability company

Address of Applicant c/o Phelan Development 2600 S 25th Ave. Suite 105 Broadview, IL 60155

Telephone Numbers (773) 520-8766

Name of Owner(s)* Multiple Property Owners - See attached Property Owner Info

Telephone Number _____

Email Address jknigge@phelandevco.com

If Applicant is other than owner, attach letter of authorization from Owner.

Title of Record to the real estate was acquired by Owner on Multiple Parcels - See attached Title Info

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property FAIRVIEW RD, located North of SULLIVAN RD, NORTH AURORA, IL 60542
(Indicate location if no common address)

Legal Description: See attached Legal Description

Parcel Size ± 27.99 Acres

Present Use Vacant, Unimproved Land
(Business, manufacturing, residential, etc.)

Present Zoning District OFFICE RESEARCH DISTRICT (see attached Parcels and Present Zoning District)
(Zoning Ordinance Classification)

*In the event that the applicant or owner is a trustee of a land trust or a beneficiary or beneficiaries of a land trust, a statement identifying each beneficiary of such land trust by name and address and defining his/her interest therein shall be attached hereto. Such statement shall be verified by the trustee or by a beneficiary.

III PROPOSED MAP AMENDMENT

Proposed Zoning District Industrial Planned Development, O-R-I Office Research and Light Industrial District (Zoning Ordinance Classification)

Has the present applicant previously sought to rezone the property or any part thereof? No

If so, when? N/A

To what zoning district classification? N/A

What type of improvement to the Property is planned?

Applicant intends to develop an approximately 263,862 square foot industrial office/warehouse building, with approximately 167 car parking spots, 33 exterior docks, 47 trailer positions, and a second building containing approximately 166,114 square foot industrial building, with approximately 126 car parking spots, 22 exterior docks, and 47 trailer positions. In total, the project costs to improve the Subject Property are estimated to be approximately \$50,000,000

What will be the actual use of such improvement(s)? The anticipated uses will consist of office, warehousing, distribution, and/or uses consistent within the zoning classification of O-R-I Office Research and Light Industrial District.

What are the existing uses of the property within the general area of the Property in question?

The general area of the Subject Property includes a mixture of office, industrial, hotel, self-storage, and other commercial uses.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached hereto and made a part hereof:

1. Legal Description (may be included in items 2 or 5 below)
2. Two (2) copies of an Illinois Land Surveyor's plat of survey showing the nearest dedicated east-west and north-south streets, the right-of-way width and the distance of each street from the property in question.
3. Five (5) copies of a plot plan, 8 ½" x 11" or 8 ½ x 14" showing proposed construction if any.
4. A written certified list containing the names of registered owners, their mailing addresses and tax parcel numbers, of all properties within 250 feet of the property for which the amendment is requested.
5. A copy of owner's title insurance policy commitment or deed for the subject property.
6. Filing fee in the amount of \$300.00; if paid by check make payable to the 'Village of North Aurora'. Please note, an escrow deposit will also be required per Village Code.
7. Letter of authorization letter from owner, if applicable.
8. Disclosure of beneficiaries of land trust, if applicable.

Completed forms for the following must accompany application, if applicable:

9. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's EcoCat online application
10. Visit the Kane DuPage Soil and Water Conservation District's website

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending mail notices to properties within 250 feet and posting a sign(s) on the property advertising the public hearing. These shall be in accordance with Village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.



Applicant or Authorized Agent
Jess Knigge - Manager
Phelan-JK/JB, Midwest, LLC

March 31, 2022
Date

Owner

Date

Exhibit

Owner Authorizations

And

**Disclosure of
Beneficiaries**

G.E.S. Properties LLC

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Don Strong

Owner
Beverly Evans

3.30. 2021

Date

G.E.S. Properties LLC

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Applicant or Authorized Agent

Date

Sam Strang
Owner
Beverly Evans

3.30. 2021
Date

**Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25,
1999**

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Beverly R Evans, Trustee
Owner

3-30-22
Date

Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Beverly R Evans, Trustee
Owner

3-30-22
Date

Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, Beverly Evans, being first duly sworn on oath depose and say that I am trustee of the Beverly Evans Living Trust dated January 25, 1999 and that the following are all of the beneficiaries of the Beverly Evans Living Trust dated January 25, 1999:

Beverly R Evans

Beverly R Evans, Trustee
Trustee

SUBSCRIBED AND SWORN TO
before me this 30th day of March, 2022.

Roni A. Bunkofsky

A Notary Public in and for such County



Charles G. Graves Declaration of Trust dated February 5, 2008

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, John R Graves, being first duly sworn on oath depose
and say that I am trust officer of Charles G Graves and that the following are all of the
beneficiaries of the Declaration of Trust.

Jacob GRAVES
SARAH GRAVES


TRUST OFFICER

SUBSCRIBED AND SWORN TO

Before me this _____ day of _____, 20_____.

A Notary Public in and for such County

Charles G. Graves Declaration of Trust dated February 5, 2008

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Owner

Date

Charles G. Graves
Charles G. Graves Declaration of Trust

3/31/2021

Akshar Murti Hospitality Inc.

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date


Owner

03/30/22
Date

Akshar Murti Hospitality Inc.

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date



03/30/22

Owner

Date

G.A.L.A.B.R., Inc

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

Date

Owner

Date

Gary L. Rissie for
G.A.L.A.B.R. Inc.

3-31-22

G.A.L.A.B.R., Inc

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I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Applicant or Authorized Agent


Gary L. Rasmussen, for
Owner G.A.L.A.B.R. Inc.

Date

3-31-22

Date

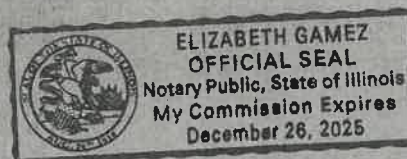
[illegible]

Applicant Signature 

Date _____

Before me this 31 day of March, 20 22.

Notary Public



MAILED NOTICES FOR PHELAN DEVELOPMENT NORTH AURORA PLANNED DEVELOPMENT PUBLIC HEARING

UPDATED 3/30/2022








TAX PARCEL NO.	SITE ADDRESS	PROPERTY OWNER	MAILING ADDRESS
15-09-276-012	401 SULLIVAN RD, AURORA, IL 60506	RUPPRECHT, MARK G & VICKIE E	05124 SURREY DR ELBURN, IL, 60119
15-09-276-011	421 SULLIVAN RD, NORTH AURORA, IL 60542	TJM KJM LLC	2210 LARKDALE DR GLENVIEW, IL, 60025-4169
15-09-276-010	SULLIVAN RD, NORTH AURORA, IL 60542	ESS C TIVS JV TIVS REIT SUB LLC	2795 E COTTONWOOD PKWY STE 300 SALT LAKE CITY, UT, 84121-6928
15-09-252-012	441 SULLIVAN RD, NORTH AURORA, IL 60542	STEFANICH, RICHARD F & FEIDEN-STEFANICH LINDA	441 SULLIVAN RD AURORA, IL, 60506-0618
15-09-252-011	461 SULLIVAN RD, NORTH AURORA, IL 60542	GEBHARDT, LYNETTE K & ADRIAN W	13048 MT ZION CHURCH RD CULPEPER, VA, 22701-5551
15-09-252-010	481 SULLIVAN RD, NORTH AURORA, IL 60542	ZAPATA, MARIO	133 N BUCKINGHAM DR SUGAR GROVE, IL, 60554-4226
15-09-252-009	501 SULLIVAN RD, AURORA, IL 60506	G A L A B R INC % LAURENCE A SEXTON RA	576 NORCROSS ST BATAVIA, IL, 60510
15-09-252-008	541 SULLIVAN RD, NORTH AURORA, IL 60542	G A L A B R INC % LAURENCE A SEXTON RA	576 NORCROSS ST BATAVIA, IL, 60510
15-09-400-023	400 SULLIVAN RD, AURORA, IL 60506	AURORA PROPERTY HOLDINGS LLC CASCADE CAPITAL GROUP, DANIEL GARDEN	3450 OAKTON ST SKOKIE, IL, 60076-2951
15-09-251-002	591 SULLIVAN RD, AURORA, IL 60506	INTERNATL BROTHERHOOD ELECTRIC WORKS, TRUST: TRF 461	591 SULLIVAN RD AURORA, IL, 60506
15-09-251-007	581 SULLIVAN RD, AURORA, IL 60506	WU, XIN & ZHANG, RUI	1733 ROBINWOOD LN RIVERWOODS, IL, 60015-1650
15-09-181-007	608 SPRINGBROOK DR, AURORA, IL 60506	MATA, SALVADOR	608 SPRINGBROOK DR AURORA, IL, 60506-1134
15-09-176-045	609 SPRINGBROOK DR, AURORA, IL 60506	DREW, MICHAEL S	609 SPRINGBROOK AURORA, IL, 60506
15-09-176-044	1557 CAMBRIDGE AVE, AURORA, IL 60506	MARTINEZ, GILBERTO & HECTOR E MARTINEZ	1557 CAMBRIDGE AVE AURORA, IL, 60506-1113
15-09-176-043	1563 CAMBRIDGE AVE, AURORA, IL 60506	GODINEZ, DOLIA & AGUSTIN	1563 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-042	1567 CAMBRIDGE AVE, AURORA, IL 60506	BAUTISTA, GIOVANNI PINA & KOVAC, MONIQUE LYNN	1567 CAMBRIDGE AVE AURORA, IL, 60506-1113
15-09-176-041	1571 CAMBRIDGE AVE, AURORA, IL 60506	VANDEVENTER, HELEN M HAROLD R & ERVEN H	1571 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-040	1603 CAMBRIDGE AVE, AURORA, IL 60506	LOPEZ, FERNANDO RAMIREZ	1603 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-039	1609 CAMBRIDGE AVE, AURORA, IL 60506	ERVIN, SCOTT A KERRY J	1609 CAMBRIDGE AVE AURORA, IL, 60506
15-09-176-038	1613 CAMBRIDGE AVE, AURORA, IL 60506	ARROYO, FRANCISCO J GARCIA & EUZABETH	1613 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-037	1619 CAMBRIDGE AVE, AURORA, IL 60506	FAVELA, MARIA E & VELAZQUEZ, DAVID A	1619 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-036	1623 CAMBRIDGE AVE, AURORA, IL 60506	CARRANZA, JOSE L	1623 CAMBRIDGE AVE AURORA, IL, 60506-1115
15-09-176-035	615 TINLEY DR, AURORA, IL 60506	HORICE, MONICA L	615 TINLEY DR AURORA, IL, 60506-1100
15-09-101-009	310 EVERGREEN DR, NORTH AURORA, IL 60542	DART CONTAINER CORP	500 HOGSBACK RD MASON, MI, 48854-9541
15-09-201-014	360-376 SMOKE TREE IND PK, AURORA, IL 60506	OLD KENT BANK, TRUST: 3510 %CHICAGO TITLE LT 3000003510 SMOKETREE I	PO BOX 272 NORTH AURORA, IL, 60542
15-09-201-034	344-356 SMOKE TREE IND PK, AURORA, IL 60506	OLD KENT BANK, TRUST: 3510 %CHICAGO TITLE LT 3000003510 SMOKETREE I	PO BOX 272 NORTH AURORA, IL, 60542
15-09-201-031	1-2 SMOKE TREE PLAZA, NORTH AURORA, IL 60542	GERALD REALTY HOLDINGS LLC	213 HANSEN BLVD NORTH AURORA, IL, 60542-8923
15-09-201-036	201 SMOKE TREE LN, NORTH AURORA, IL 60542	NORTH AURORA HOTEL LLC	201 SMOKE TREE PLAZA DR NORTH AURORA, IL, 60542-1858
15-09-201-037	201 SMOKE TREE LN, NORTH AURORA, IL 60542	NORTH AURORA HOTEL LLC	201 SMOKE TREE PLAZA DR NORTH AURORA, IL, 60542-1858
15-09-201-023	S LINCOLNWAY, NORTH AURORA, IL 60542	AKSHAR MURTI HOSPITALITY INC	31 N GREEN BAY RD WAUKEGAN, IL, 60085-4406
15-09-201-024	308 S LINCOLNWAY, NORTH AURORA, IL 60542	AKSHAR MURTI HOSPITALITY INC	31 N GREEN BAY RD WAUKEGAN, IL, 60085-4406
15-09-228-003	310 S LINCOLN WAY, NORTH AURORA, IL 60542	NORTH AURORA STORAGE LLC JOHN P MURPHY	11811 N KNOXVILLE AVE, DUNLAP, IL, 61525-9471
15-09-276-001	S LINCOLNWAY ST, NORTH AURORA, IL 60542	AVG NO AURORA LLC	9595 WILSHIRE BLVD STE 700 BEVERLY HILLS, CA, 90212-2507
15-09-276-024	320 S LINCOLNWAY ST, NORTH AURORA, IL 60542	AVG NO AURORA LLC	9595 WILSHIRE BLVD STE 700 BEVERLY HILLS, CA, 90212-2507
15-09-276-029	416 S LINCOLNWAY, NORTH AURORA, IL 60542	ESS C TIVS JV TIVS REIT SUB LLC	2795 E COTTONWOOD PKWY STE 300 SALT LAKE CITY, UT, 84121-6928

Exhibit
Property Owners
And
Present Zoning District

EXHIBIT
LIST OF OWNERS

<u>OWNER</u>	<u>PINs</u>	<u>Address</u>	<u>Phone</u>	<u>Date Acquired</u>
G.E.S. Properties LLC	15-09-251-001; 15-09-252-001; 15-09-252-002	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	7/5/2001
Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999	15-09-252-003; 15-09-252-004; 15-09-252-005	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	9/8/1999
Charles G. Graves Declaration of Trust dated February 5, 2008	15-09-252-007	25315 Dauberman Road, Elburn, IL 60119	630.801.9699	4/23/2020
G.A.L.A.B.R., Inc	15-09-252-006	1 N. Constitution Dr., Aurora, IL 60506	630.897.1534	9/15/1999
Akshar Murti Hospitality Inc.	15-09-201-033-0000	150 S. Wacker Dr. Ste 2600, Chicago, IL	312.725.3476	3/15/2018

Present Zoning District

<u>OWNER</u>	<u>PINs</u>	<u>Present Zoning District</u>
G.E.S. Properties LLC	15-09-251-001; 15-09-252-001; 15-09-252-002	 E-R ESTATE RURAL DISTRICT
Beverly Evans, as Trustee under Beverly Evans Living Trust dated January 25, 1999	15-09-252-003; 15-09-252-004; 15-09-252-005	 E-R ESTATE RURAL DISTRICT
Charles G. Graves Declaration of Trust dated February 5, 2008	15-09-252-007	 E-R ESTATE RURAL DISTRICT
G.A.L.A.B.R., Inc	15-09-252-006	 O-R OFFICE RESEARCH DISTRICT
Akshar Murti Hospitality Inc.	15-09-201-033-0000	 B-2 GENERAL BUSINESS DISTRICT

Exhibit

LEGAL DESCRIPTIONS

PINS: 15-09-251-001; 15-09-252-001; 15-09-252-002; 15-09-252-003; 15-09-252-004; 15-09-252-005;
15-09-252-007

PARCEL 1:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF THE RIGHT OF WAY OF THE OTTAWA, OSWEGO AND FOX RIVER VALLEY RAILROAD COMPANY, THAT IS 696.31 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 FOR THE PLACE OF BEGINNING; THENCE NORTH ALONG SAID RIGHT OF WAY LINE 696.31 FEET TO AN OLD CLAIM LINE; THENCE EAST ALONG SAID OLD CLAIM LINE 607 FEET; THENCE SOUTH 696.31 FEET TO A POINT; THENCE WESTERLY 607 FEET TO THE PLACE OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST 1/4, 1370.34 FEET WEST OF THE SOUTHEAST 1/4 THEREOF; THENCE NORTH 1251.45 FEET TO A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO OLD CLAIM LINE; THENCE WESTERLY ALONG OLD CLAIM LINE 647 FEET TO A POINT IN THE EVANS' EAST LINE; THENCE SOUTH ALONG SAID EVANS' EAST LINE AND WEST LINE OF SAID DRIVEWAY, 139.05 FEET TO THE NORTHWEST CORNER OF MICHAEL DUY'S LAND; THENCE EASTERLY ALONG SAID DUY'S NORTH 647 FEET TO A POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 1112.40 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO A POINT WHICH IS THE SOUTHEAST CORNER OF WHITTAKER'S LAND; THENCE WESTERLY PARALLEL WITH AND 139.05 FEET SOUTH OF AN OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVAN'S LAND, AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY, THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 973.35 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET; THENCE WESTERLY PARALLEL WITH AN 278.10 FEET SOUTH OF OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVANS' LAND AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY; THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 5:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 514.10 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 459.25 FEET; THENCE WESTERLY PARALLEL WITH AND 417.15 FEET SOUTH OF CLAIM LINE 627 FEET TO THE CENTER LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG THE CENTER LINE OF SAID PRIVATE ROAD 460.31 FEET TO A LINE DRAWN WEST, PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST 1/4, FROM THE POINT OF BEGINNING; THENCE EAST ALONG SAID PARALLEL LINE 627 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 6:

THE WEST 75 FEET OF THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1797.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 396 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER, 180 FEET TO THE EAST LINE OF A 40 FOOT PRIVATE ROADWAY; THENCE SOUTH ALONG SAID EAST LINE 396 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER 180 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS

PIN 15-09-201-033-0000

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF SAID NORTHEAST QUARTER WITH THE EASTERLY RIGHT OF WAY LINE OF BURLINGTON NORTHERN INC.; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE 707.79 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 0 SECONDS EAST 626 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 20.64 FEET TO THE SOUTH RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 388.36 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 0 SECONDS WEST 390 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 119.75 FEET TO THE SOUTH LINE OF THE NORTH 75 RODS OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID SOUTH LINE 656.44 FEET TO A POINT ON THE WEST LINE OF TRACT OF LAND CONVEYED BY DEED 2013K0541156; THENCE NORTH 0 DEGREES 01 MINUTES 21 SECONDS WEST, ALONG SAID WEST LINE, 442.17 FEET TO THE AFOREMENTIONED SOUTHERLY RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110; THENCE NORTHWESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PIN: 15-09-252-006

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE WEST ALONG THE SOUTH LINE OF SAID NORTH EAST QUARTER 1641.34 FEET; THENCE NORTH 396 FEET FOR THE POINT OF BEGINNING; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 271 FEET; THENCE NORTH 118.10 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 607 FEET TO THE EAST LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG SAID EAST LINE 118.10 FEET TO A POINT 396 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 336 FEET TO THE POINT OF BEGINNING, EXCEPTING FROM THAT PART, THE WESTERLY 180 FEET, IN THE VILLAGE OF NORTH AURORA AND THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

**MAP AMENDMENT STANDARDS
APPLICATION FOR MAP AMENDMENT**

Please provide a typed response to each of the following standards:

1. Is the proposed amendment consistent with the existing use and zoning of nearby property?
2. Does the proposed amendment diminish the existing zoning of the subject property?
3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?
4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?
5. Is the proposed amendment not feasible for development as it is presently zoned?
6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located?
7. Is there evidence of community need for the use proposed by the applicant?
8. Is the proposed amendment consistent with the comprehensive plan?
9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?
10. Does the proposed amendment avoid creating nonconformities?
11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?
12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted.

Map Amendment Standards

1. Is the proposed amendment consistent with the existing use and zoning of nearby property?

Nearby property is currently zoned as ORI Office Research Industrial District, O-R Office Research District to the south and B-2 General Business District to the north and east. The proposed amendment is consistent with the existing use and zoning of the general vicinity.

2. Does the proposed amendment diminish the existing zoning of the Subject Property?

The proposed amendment does not diminish the existing zoning of the subject property. The proposed amendment will allow applicant to redevelop vacant land and build a brand-new high-end development that will provide a substantial benefit to the community.

3. Does the proposed amendment promote the public health, safety, comfort, convenience and general welfare?

The proposed amendment promotes the public health, safety, comfort, convenience, and general welfare of the community. The proposed development will increase economic activity in the area, provide employment opportunities, increase tax revenues, and improve the aesthetics of the surrounding area.

4. Does the proposed amendment provide a relative gain to the public, as compared to the hardship imposed upon the applicant?

The proposed amendment provides a gain to the public as it will allow applicant to develop the property into a productive and useful site that will bring jobs and revenue to the community. If not granted, the applicant will suffer a hardship as the Subject Property must be rezoned in order to redevelop the site.

5. Is the proposed amendment not feasible for development as it is presently zoned?

The proposed development is not feasible as it is presently zoned E-R Estate Rural District, B-2 General Business District, and O-R Office Research District and the Map Amendment is necessary to allow for the development of the property.

6. Has the property in question been vacant, as presently zoned, for a significant length of time considered in the context of development in the area where the property is located?

Yes. The Subject Property is currently undeveloped vacant land owned by multiple owners and has not been utilized for a significant time. The proposed development would bring the entire subject property under a single owner and create a use for the subject property other than vacant land.

7. Is there evidence of community need for the use proposed by the applicant?

There is a community need for the proposed use. The proposed use will replace vacant undeveloped land with a new development including office, warehousing, distribution, and/or logistics uses that will benefit the community through increased economic activity and tax revenue. Additionally, the demand for the anticipated uses of the proposed development is high in the current market.

8. Is the proposed amendment consistent with the comprehensive plan?

The Comprehensive Plan, the plan identifies the Subject Property in Area 12 and states that Area 12 is an "industrial area." The Comprehensive Plan also states that an objective is to "encourage and support redevelopment of key vacant sites or obsolete uses near the Route 31/I-88 interchanges that have the potential to catalyze additional investment in the area." Furthermore, the Comprehensive Plan recommends that the Village should "remain flexible" regarding potential new development to this particular site and states "the primary goal for the Village should be to support high-quality, attractive, well-designed development."

The proposed development achieves all these goals. The proposed development's anticipated uses will include office, warehouse, distribution, and/or logistics. The Subject Property is currently vacant land, and the proposed development has the potential to catalyze the area. Finally, the proposed development achieves the Village's goal of supporting high-quality, attractive, well-designed development.

9. Does the proposed amendment benefit the residents of the Village as a whole and not just the applicant, property owners, neighbors of any property under consideration, or other special interest groups?

Yes. The Subject Property is currently vacant land. If the proposed development is allowed, the residents of the Village will benefit from new economic activity, an increase in tax revenue, and an increase in employment opportunities.

10. Does the proposed amendment avoid creating nonconformities?

Yes. The proposed amendment allows for the proposed use and avoids creating nonconformities.

11. Does the proposed amendment remain consistent with the trend of development, if any, in the general area of the property in question?

The proposed use is consistent with the trend of development in the general area of the property. Recently, a similar request was granted for the property located north of the Subject Property at 314 Kingswood Drive. Furthermore, the demand for the anticipated uses of the proposed development is high in the current market.

12. Are adequate public facilities available including but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are public facilities reasonably capable of being provided prior to the development of the use which would be permitted on the subject property if the Amendment were adopted.

Yes. Adequate public facilities are available and reasonably capable of being provided prior to the development.



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

JB Pritzker, Governor

Colleen Callahan, Director

February 02, 2022

Leia Cooney
Pinnacle Engineering Group
1051 E. Main St, Suite 217
East Dundee, IL 60118

RE: Smoketree/Sullivan Road
Project Number(s): 2209264
County: Kane

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Adam Rawe
Division of Ecosystems and Environment
217-785-5500



VILLAGE OF **NORTH** **AURORA**

**VILLAGE OF NORTH AURORA
KANE COUNTY, ILLINOIS**

Ordinance No. _____

**APPROVING A MAP AMENDMENT AND SPECIAL USE AS AN
INDUSTRIAL PLANNED DEVELOPMENT FOR 29.43 ACRES OF
PROPERTY TO BE KNOWN AS THE PARK 88 LOGISTICS CENTER
IN THE VILLAGE OF NORTH AURORA**

**Adopted by the
Board of Trustees and President
of the Village of North Aurora
this ____ day of _____, 2022**

**Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of North Aurora, Kane County, Illinois,
this ____ day of _____, 2022
by _____.**

Signed _____

ORDINANCE NO. _____

**APPROVING A MAP AMENDMENT AND SPECIAL USE AS AN
INDUSTRIAL PLANNED DEVELOPMENT FOR 29.43 ACRES OF
PROPERTY TO BE KNOWN AS THE PARK 88 LOGISTICS CENTER
IN THE VILLAGE OF NORTH AURORA**

WHEREAS, a petition for a Special Use as a Planned Development for certain real estate described herein (the “Petition”) has been filed with the Village of North Aurora, an Illinois municipal corporation (“Village”) by Phelan-JK/JB, Midwest, LLC (“Developer”) with the consent of the owners G.E.S. Properties LLC. (“G.E.S.”), Beverly Evans, as Trustee under Beverly Evans Living Tryst dated January 25, 1999 (“Evans Trust”), Charles G. Graves Declaration of Trust dated February 5, 2008 (“Graves Trust”), G.A.L.A.B.R., Inc. (“G.A.L.A.B.R.”), and Akshar Murti Hospitality Inc. (“Akshar Murti Hospitality”) (collectively, the “Owners”) for the real estate described below;

WHEREAS, the parcels of land located at Fairview Road, North of Sullivan Road, North Aurora, IL and legally described in the document attached hereto and incorporated herein as Exhibit A (“Subject Property”) are currently, zoned E-R Estate Rural District, O-R Office Research District, and B-2 General Business District; and

WHEREAS, the North Aurora Plan Commission (“Plan Commission”) has held public a hearing on the Petition for Map Amendment and Special Use – Planned Unit Development for the Subject Property as a unified two-building warehousing, storage and distribution development to be known as the Park 88 Logistics Center and site plan review in accordance with State and local laws, including the notice requirements for the public hearings; and

WHEREAS, the North Aurora Village Board (“Village Board”) has received and reviewed the favorable recommendation of the Plan Commission with certain conditions in keeping with all the factors required to be considered for Map Amendments and Special Use/PUDs and has determined that granting the Map Amendment and Special Use/PUD requests is warranted and in the best interests of the Village.

NOW, THEREFORE, be it ordained by the President and Trustee of the Village of North Aurora, Kane County, Illinois, as follows:

SECTION 1: MAP AMENDMENT

That the Village of North Aurora Zoning Ordinance (the “Zoning Ordinance”) as amended from time to time, and as set forth in the Zoning District Map as described therein and on file in the office of the Village Clerk, is hereby amended by granting for the Subject Property the following the zoning classification of O-R-I Office Research and Light Industrial District.

SECTION 2: DEVELOPMENT OF SUBJECT REALTY

Development of the Subject Realty shall be in conformity with all applicable ordinances of the Village as now in effect, including the provisions for O-R-I Office Research and Light Industrial District zoning, except as otherwise provided or specifically varied herein and in accordance with the additional procedures, definitions, uses, and restrictions contained herein.

A. ZONING AND LAND USE REQUIREMENTS

Except to the extent of the express and specific deviations contained in this Ordinance and the attachments hereto, the Subject Property shall be developed in compliance with the setbacks; yards distance requirements, parking spaces, and other terms and conditions of the O-R-I Office Research and Light Industrial District and other applicable zoning, subdivision, building and other provisions of the North Aurora Code as the same exists on the effective date hereof.

(1) Deviations. The following deviations and exceptions to O-R-I Office Research and Light Industrial zoning, the generally applicable provisions of the North Aurora Zoning Code, and the Subdivision Control Code are hereby approved:

(a) The minimum lot width of 150 feet at the minimum horizontal distance between the side lot lines of a lot measured at the required front yard setback line, is hereby reduced to 114.13 feet;

(b) All setback and yard dimensions shall be governed by the Preliminary Site Plan, prepared by Pinnacle Engineering Group, dated April 6, 2022. In no event shall any improvements be constructed closer to the adjacent property line than what is included on the Preliminary Site Plan;

(c) All other provisions of this Ordinance that deviate from the O-R-I Office Research and Light Industrial zoning, the generally applicable provisions of the North Aurora Zoning Code, and the Subdivision Control Code are hereby approved to the extent of the deviation identified herein.

(2) Conditions. The following conditions of the special use/PUD are hereby imposed:

(a) Any traffic improvements made on Sullivan Road adjacent to the development's entrance shall be to the satisfaction of the Village of North Aurora and the City of Aurora;

(b) In no event shall any improvements be constructed closer to the adjacent property line than what is included on the Preliminary Site Plan, prepared by Pinnacle Engineering Group, dated April 6, 2022;

(c) The use of guardhouses and driveway gates shall be prohibited in order to allow on-site traffic to flow freely and prevent spillover onto adjacent streets and properties;

(d) Semi trucks shall be prohibited from parking or idling on the perimeter access drives, passenger vehicle parking lots, and passenger vehicle drive aisles;

(e) On-site management shall effectively monitor and regulate all on-site trucking activities in order to minimize any light, sound and odor emissions as well as any other performance standards per Section 12.5 of the Zoning Ordinance;

(f) The six (6) foot fence included in the residential buffer area located to the south of Building A shall be opaque;

(g) Any perimeter fencing shall be black, metallic, non-chain link construction and limited to eight (8) feet in height;

(h) All business activities shall be conducted completely within the confines of the buildings;

(i) The keeping of any goods, material, merchandise or equipment outside of the building(s) shall be prohibited;

(j) A photometric plan shall be approved by the Village prior to building permit issuance;

(k) Any tree of good quality larger than six inches in diameter when measured twelve (12) inches above the ground, which are not located within fifteen (15) feet of or within a building footprint, within the road footprint or in those areas listed Section 16.12.010.C.3.a of the Subdivision Ordinance, shall be tagged by the petitioner and evaluated by the Village for preservation;

(l) Quality trees and shrubs located along the perimeter of the development shall be preserved to the greatest extent possible to maintain natural landscape buffering;

(m) Construction traffic shall not impede on the ability of the Village and Fire Protection District to provide emergency services.

B. SITE PLAN, PLAT OF SUBDIVISION, ELEVATIONS, AND LANDSCAPE PLANS

The Preliminary Plan and Landscape Plan for the Subject Realty, and other supporting and explanatory development documents are attached hereto, marked as Exhibits as hereinafter shown, and are incorporated herein. Such Exhibits have been reviewed by the Plan Commission and are hereby approved by the Village Board.

(1) The Preliminary Site Plan for the Subject Realty prepared by Pinnacle Engineering Group dated April 6, 2022 is attached hereto and incorporated herein as Exhibit B (“Preliminary Site Plan”).

(2) The Plat of Subdivision for the Subject Realty prepared by Pinnacle Engineering Group dated April 6, 2022 is attached hereto and incorporated herein as Exhibit C, dividing the Subject Property into Lot 1 and Lot 2 (“Plat”);

(3) The elevations for the Subject Realty prepared by Cornerstone Architects Ltd. dated April 8, 2022 is attached hereto and incorporated herein Exhibit D (“Elevations”);

(4) The Preliminary Landscaping Plan for the Subject Realty prepared by Pinnacle Engineering Group dated April 6, 2022 is attached hereto and incorporated herein Exhibit E (“Preliminary Landscape Plan”)

C. PRELIMINARY ENGINEERING PLANS

The Preliminary Engineering Site Improvement Plans for the Subject Realty prepared by Pinnacle Engineering Group dated April 6, 2022 is attached hereto and incorporated herein as Exhibit F (“Preliminary Engineering Plans”) and is incorporated herein. All engineering plans are subject to final approval by the Village Engineer and the Village Board.

D. DEVELOPMENT PLANS

Exhibits B through F inclusive, are sometimes referred to collectively herein as the “Development Plans”. The Development Plans are approved by the Village in their entirety and any provisions or requirement contained in any ordinance, regulation, directive or procedure of the Village exclusive of this Ordinance or in conflict with any aspect or element of the development shall be deemed varied hereby so as to conform with and permit the development, use, maintenance and operation of the development described herein. In all other respects, and to the extent they

do not conflict with the Development Plans or any provision of this Ordinance, the Zoning Ordinance and other ordinances of the Village, as the same exists and the effective date hereof shall apply to, and be complied with, in the development, use, maintenance and operation of the development of the Subject Realty.

E. SANITARY AND WATER MAIN EXTENSIONS

Sanitary sewer and water main extensions shall be constructed in accordance with the approved Preliminary Engineering Plan.

SECTION 3: FINAL PLAT

A. FINAL PLAT APPROVAL

Developer shall be entitled to approval of a final plat of subdivision and final engineering plans for the Subject Realty so long as such final plat, final engineering plans and other submissions substantially conform to Development Plans herein approved. The Community and Economic Development Director has the authority to approve any final plans that are substantial conformance with the Development plans as confirmed by the Village Engineer for technical provisions. The final platting and development of the Subject Realty may be done in Phases.

Developer hereby releases and discharges the Village, its officers, other officials, agents and employees, past, present and future, from any liability, losses, judgments, costs, fees, including reasonable attorney's fees, and expenses arising out of or in connection with the Village's good faith failure to approve final plans within the time limits hereafter provided. Without limiting the foregoing release, however, Developer does not relinquish its rights to receive approval of such final plans, including a final plat of subdivision and final engineering plans, and to such extent Developer retains the right to legal or equitable action against the Village for declaratory judgment, injunctive relief and mandamus with respect thereto.

The Village shall approve or disapprove the final Development Plans as provided in this Ordinance. Changes to the Development Plans shall approved as provided in Section 4 of this Ordinance, and the Developer shall cooperate with the Community and Economic Development Director and Village Engineer in the creation of an Engineer's Estimate Opinion of Probable Cost in keeping with the approved Development Plans.

B. FINAL PLAT REQUIREMENTS

The final plat and final engineering plans shall be prepared and submitted in accordance with the Village's Subdivision Regulations, except as specifically amended or otherwise provided herein.

SECTION 4: CHANGES TO THE PLANNED UNIT DEVELOPMENT

The Subject Realty shall be developed in compliance with this Ordinance. Technical and minor changes may be approved by the Community and Economic Development Director with the advice and recommendation of the Village Engineer and/or Fire Chief of the North Aurora and Countryside Fire Protection District as appropriate. Technical changes shall include any change to the engineering plans and specifications, and any change to the building plans, which is determined by the Community and Economic Development Director, or Building Inspector, as the case may be (i) in substantial compliance with the Preliminary Development Plans as approved by the Village Board; (ii) in compliance with the Village ordinances, except as specifically varied herein; and (iii) in compliance with good engineering practice. Such technical and minor changes may be approved by the Community and Economic Development Director, or Building Inspector, as the case may be without Board approval. Any other changes that are not of a technical or minor nature must be approved in accordance with the procedures and provisions set forth in Chapter 5 of the North Aurora Zoning Ordinance.

SECTION 5: ON-SITE EASEMENTS AND IMPROVEMENTS

A. GRANT OF EASEMENTS

At the time of recordation of the final plat for the Subject Realty, Developer shall grant to the Village, at no cost to the Village, on-site easements necessary for the provision of public improvements, including but not limited to easements for sanitary sewer, water main, electric utility, storm sewer, storm water detention and retention, and drainage facilities of sufficient capacity and elevation to provide free flowing and unobstructed outfall of storm water from areas tributary to the Subject Realty, as depicted on the Development Plans or as required by the Village Ordinance. Except for such time to effectuate the reconnection of any public utility system, there shall be no disruption or discontinuation of the operation of any public utility system, or storm or surface water drainage system by virtue of establishing new easements and vacation of any of existing easements.

B. ABROGATION OF UNUSED EASEMENTS

Subject to the requirements of this Section and at the time of recordation of the final plat for the Subject Realty, the Village shall vacate or fully cooperate with Developer in causing the vacation of any easements currently located upon portions of the Subject Realty that are no longer of use or required by the Village, if any ("Vacated Easements"). During the development of the Subject Realty, if Developer determines that any other existing utility easements and/or lines require relocation to facilitate development of the Subject Realty in accordance with the applicable approved plans, the Village shall fully cooperate with the Developer in causing the vacation and relocation of such additional existing easements. If any easement granted to the Village as a part of the development of the Subject Realty is subsequently determined to be in error or located in a manner inconsistent with the intended development of the Subject Realty as reflected on any of

the approved plans or in this Ordinance, the Village shall fully cooperate with Developer in vacating and relocating such easement and utility facilities located therein, which costs shall be borne by the Developer having responsibility therefor. Notwithstanding the foregoing, and as a condition precedent to any vacation of any easement, the responsible Developer shall pay for the cost of design and relocation of any such easement and the public utilities located therein.

SECTION 6: GUARANTY FOR PUBLIC IMPROVEMENTS

After approval of the final plat and prior to signature by the President, Developer shall present a corporate surety bond or letter of credit to guarantee completion of water distribution lines, sanitary sewer lines, storm water sewer lines, detention and retention facilities, and other applicable subdivision improvements identified in the Development Plans to be dedicated to the Village or other governmental body (“Public Improvements”) for the development so platted as required by this Ordinance (guaranteeing completion and payment of the Public Improvements), herein sometimes collectively referred to as the “Guarantee for Completion”, naming the Village as beneficiary or obligee, as required and in keeping with the Village Code requirements.

SECTION 7: BUILDING CODE AND SUBDIVISION CONTROL ORDINANCE

Developer shall comply in all respects with the generally applicable provisions of Village of North Aurora Subdivision provisions, Building Code provisions, and other provisions of the North Aurora Municipal pertaining to the development and construction.

SECTION 8: MAINTENANCE OF COMMON FACILITIES

Developer shall either establish covenants and an owners’ association or some other mechanism designed, at a minimum, to provide for the maintenance of the following improvements after completion and approval by the Village: stormwater detention and retention basins, stormwater sewer lines directly serving such basins, and surface drainage facilities; the landscaping located on the perimeter and common areas, including trees; any entry monuments; and any sidewalks (“Common Facilities”). The Village shall establish a back-up special service area for the purpose of maintaining the Common Facilities in the event the owners’ association and/or the property owners fail to do so. The covenant or other mechanism for providing for the maintenance of the Common Facilities benefitting a particular Lot shall be established and submitted to the Community Development and Economic Development Director for confirmation of compliance with this provision before the first occupancy permit for that Lot shall be approved. The cost to maintain such common facilities by way of the back-up special service area shall be determined by the cost of contracted services approved by the Village pursuant to a public bidding process.

SECTION 9: COMPLIANCE WITH STATE STATUTES

In the event that any one or more provisions of this Ordinance do not comply with any one or more provisions of the Illinois Compiled, the Village and Developer, and all of their respective successors and assigns, agree to cooperate to comply with said provisions which shall include, but not limited to, the passage of resolutions and ordinances to accomplish such compliance.

SECTION 10: CONFLICT IN REGULATIONS AND ORDINANCES

The provisions of this Ordinance shall supersede the provisions of any ordinance, code, or regulation of the Village which may be in conflict with the provisions of this Ordinance. However, all ordinances which are not inconsistent with or contrary to this Ordinance shall be applicable to the Subject Realty.

SECTION 11: INTENTIONALLY OMITTED

SECTION 12: INCORPORATION OF EXHIBITS

All exhibits attached to this Ordinance are hereby incorporated herein and made a part of the substance hereof.

SECTION 13: EFFECTIVE DATE

This Ordinance shall become effective from and after its passage and approval in accordance with law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022, A.D.

Mark Carroll _____

Laura Curtis _____

Mark Guethle _____

Michael Lowery _____

Carolyn Bird Salazar _____

Todd Niedzwiedz _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022, A.D.

Mark Gaffino, Village President

ATTEST:

Jessi Watkins, Village Clerk

DRAFT

Exhibit A

PARCEL 1:

PARCEL 1:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF THE RIGHT OF WAY OF THE OTTAWA, OSWEGO AND FOX RIVER VALLEY RAILROAD COMPANY, THAT IS 696.31 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 FOR THE PLACE OF BEGINNING; THENCE NORTH ALONG SAID RIGHT OF WAY LINE 696.31 FEET TO AN OLD CLAIM LINE; THENCE EAST ALONG SAID OLD CLAIM LINE 607 FEET; THENCE SOUTH 696.31 FEET TO A POINT; THENCE WESTERLY 607 FEET TO THE PLACE OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST 1/4, 1370.34 FEET WEST OF THE SOUTHEAST 1/4 THEREOF; THENCE NORTH 1251.45 FEET TO A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO OLD CLAIM LINE; THENCE WESTERLY ALONG OLD CLAIM LINE 647 FEET TO A POINT IN THE EVANS' EAST LINE; THENCE SOUTH ALONG SAID EVANS' EAST LINE AND WEST LINE OF SAID DRIVEWAY, 139.05 FEET TO THE NORTHWEST CORNER OF MICHAEL DUY'S LAND; THENCE EASTERLY ALONG SAID DUY'S NORTH 647 FEET TO A POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 1112.40 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO A POINT WHICH IS THE SOUTHEAST CORNER OF WHITTAKER'S LAND; THENCE WESTERLY PARALLEL WITH AND 139.05 FEET SOUTH OF AN OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVAN'S LAND, AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY, THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1370.34 FEET WEST OF THE SOUTHEAST QUARTER THEREOF; THENCE NORTH 973.35 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET; THENCE WESTERLY PARALLEL WITH AN 278.10 FEET SOUTH OF OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVANS' LAND AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY; THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 5:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 514.10 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 459.25 FEET; THENCE WESTERLY PARALLEL WITH AND 417.15 FEET SOUTH OF CLAIM LINE 627 FEET TO THE CENTER LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG THE CENTER LINE OF SAID PRIVATE ROAD 460.31 FEET TO A LINE DRAWN WEST, PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST 1/4, FROM THE POINT OF BEGINNING; THENCE EAST ALONG SAID PARALLEL LINE 627 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 6:

THE WEST 75 FEET OF THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1797.34 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 396 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER, 180 FEET TO THE EAST LINE OF A 40 FOOT PRIVATE ROADWAY; THENCE SOUTH ALONG SAID EAST LINE 396 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID EAST LINE 396 FEET TO THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER 180 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 7:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER 1641.34 FEET; THENCE NORTH 396 FEET FOR THE POINT OF BEGINNING; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 271 FEET; THENCE NORTH 118.10 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 607 FEET TO THE EAST LINE

OF A PRIVATE ROAD; THENCE SOUTH ALONG SAID EAST LINE 118.10 FEET TO A POINT 396 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST QUARTER 336 FEET TO THE POINT OF BEGINNING, EXCEPTING FROM THAT PART, THE WESTERLY 180 FEET, IN THE VILLAGE OF NORTH AURORA AND THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 8:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF SAID NORTHEAST QUARTER WITH THE EASTERLY RIGHT OF WAY LINE OF BURLINGTON NORTHERN INC.; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE 707.79 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 0 SECONDS EAST 626 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 20.64 FEET TO THE SOUTH RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 388.36 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 0 SECONDS WEST 390 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 119.75 FEET TO THE SOUTH LINE OF THE NORTH 75 RODS OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID SOUTH LINE 656.44 FEET TO A POINT ON THE WEST LINE OF TRACT OF LAND CONVEYED BY DEED 2013K0541156; THENCE NORTH 0 DEGREES 01 MINUTES 21 SECONDS WEST, ALONG SAID WEST LINE, 442.17 FEET TO THE AFOREMENTIONED SOUTHERLY RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K068110; THENCE NORTHWESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

CONTAINING 1,227,533 SQUARE FEET OR 28.1803 ACRES

Exhibit B
Preliminary Site Plan

DRAFT

Exhibit C
Preliminary Plat of Subdivision

DRAFT

Exhibit D
Elevations

DRAFT

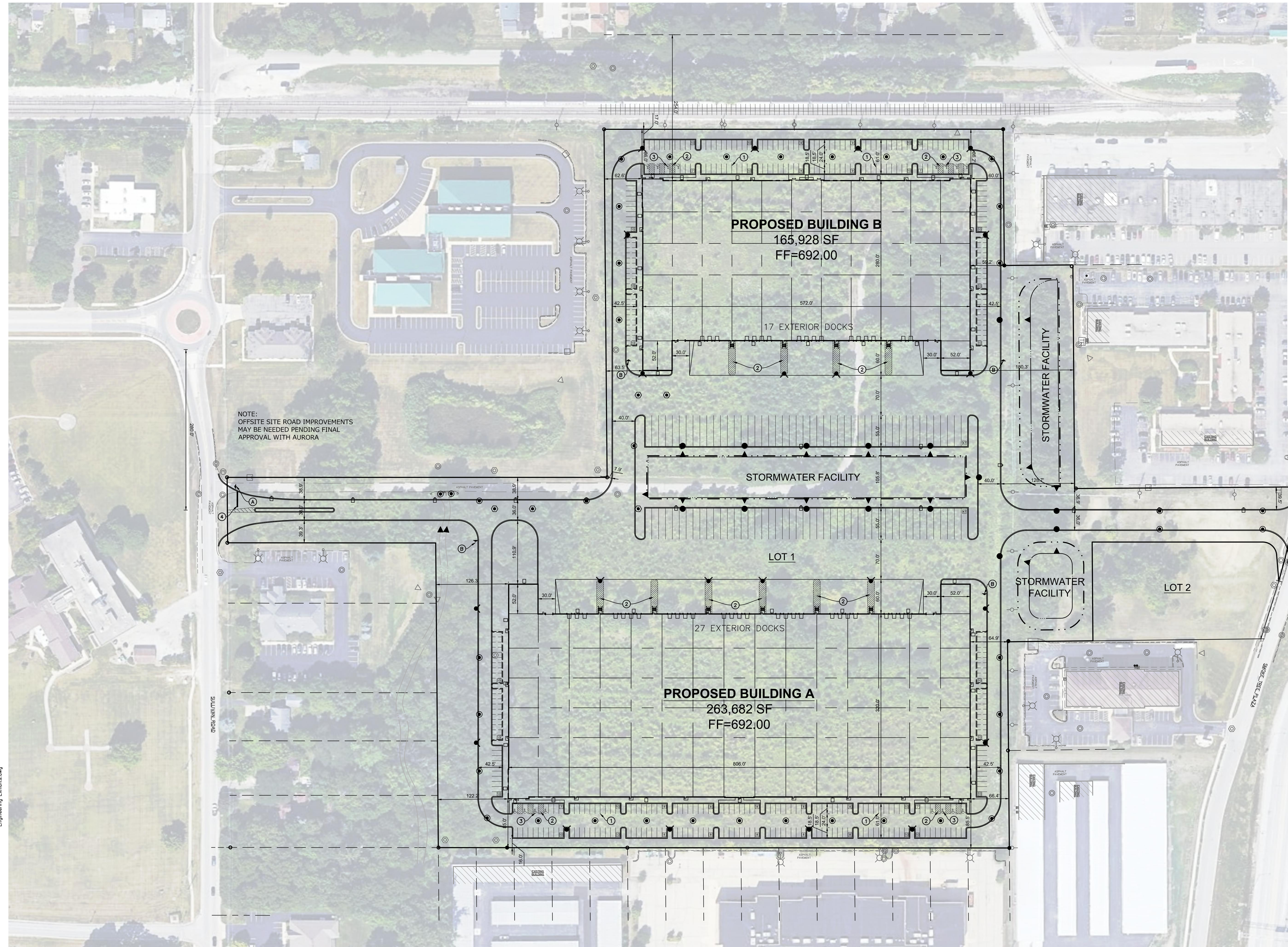
Exhibit E
Preliminary Landscape Plan

DRAFT

Exhibit F
Preliminary Engineering Plans

DRAFT

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SITE DATA

SITE AREA:	
LOT 1:	1,281,906 SF
LOT 2:	53,479 SF
BUILDING A	
BUILDING AREA:	263,682 SF
CAR PARKING REQUIRED:	
OFFICE (10%)	
(2 STALLS/1000 SF) x 26,368 SF =	53 STALLS
WAREHOUSE (90%)	
(1 STALL/5,000 SF) x 237,314 SF =	47 STALLS
TOTAL REQUIRED =	100 STALLS
CAR PARKING PROPOSED:	
PROPOSED:	214 STALLS
	INCLUDING 8 ADA STALLS

TRAILER PARKING PROPOSED:	
PROPOSED:	47 STALLS
BUILDING B	
BUILDING AREA:	165,928 SF
CAR PARKING REQUIRED:	
OFFICE (10%)	
(2 STALLS/1000 SF) x 16,593 SF =	33 STALLS
WAREHOUSE (90%)	
(1 STALL/5,000 SF) x 149,335 SF =	30 STALLS
TOTAL REQUIRED =	63 STALLS
CAR PARKING PROPOSED:	
PROPOSED:	170 STALLS
	INCLUDING 8 ADA STALLS
TRAILER PARKING PROPOSED:	
PROPOSED:	47 STALLS

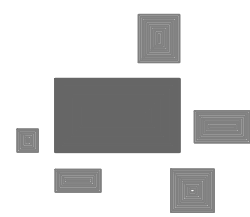
*NOTE: OFF-STREET PARKING REQUIREMENTS WERE CREATED USING THE WAREHOUSING, STORAGE, AND DISTRIBUTION FACILITY UNDER THE MANUFACTURING, STORAGE, RESEARCH AND TRANSPORTATION USES CATEGORY IN SECTION 13.13 OF THE MUNICIPAL CODE.

STRIPING/SIGNAGE LEGEND

- ① 4" YELLOW LINE
- ② 4" YELLOW LINE DIAGONAL AT 45° SPACED 2' O.C.
- ③ YELLOW LETTERS OR SYMBOLS / PAVEMENT MARKINGS
- ④ WHITE 24" STOP BAR PAVEMENT MARKING
- Ⓐ R1-1 STOP SIGN (30"x30")
- Ⓑ NO TRUCK ACCESS



SCALE: 1"=80'



SMOKETREE - PRELIMINARY ENGINEERING DESIGN - SITE PLAN

PINNACLE ENGINEERING GROUP

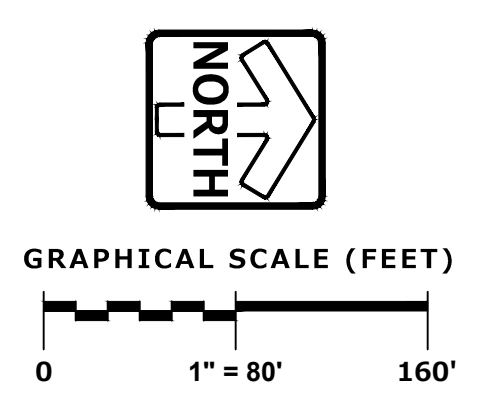
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JOB NO. 2335.00-IL 04/27/2022
PLAN | DESIGN | DELIVER

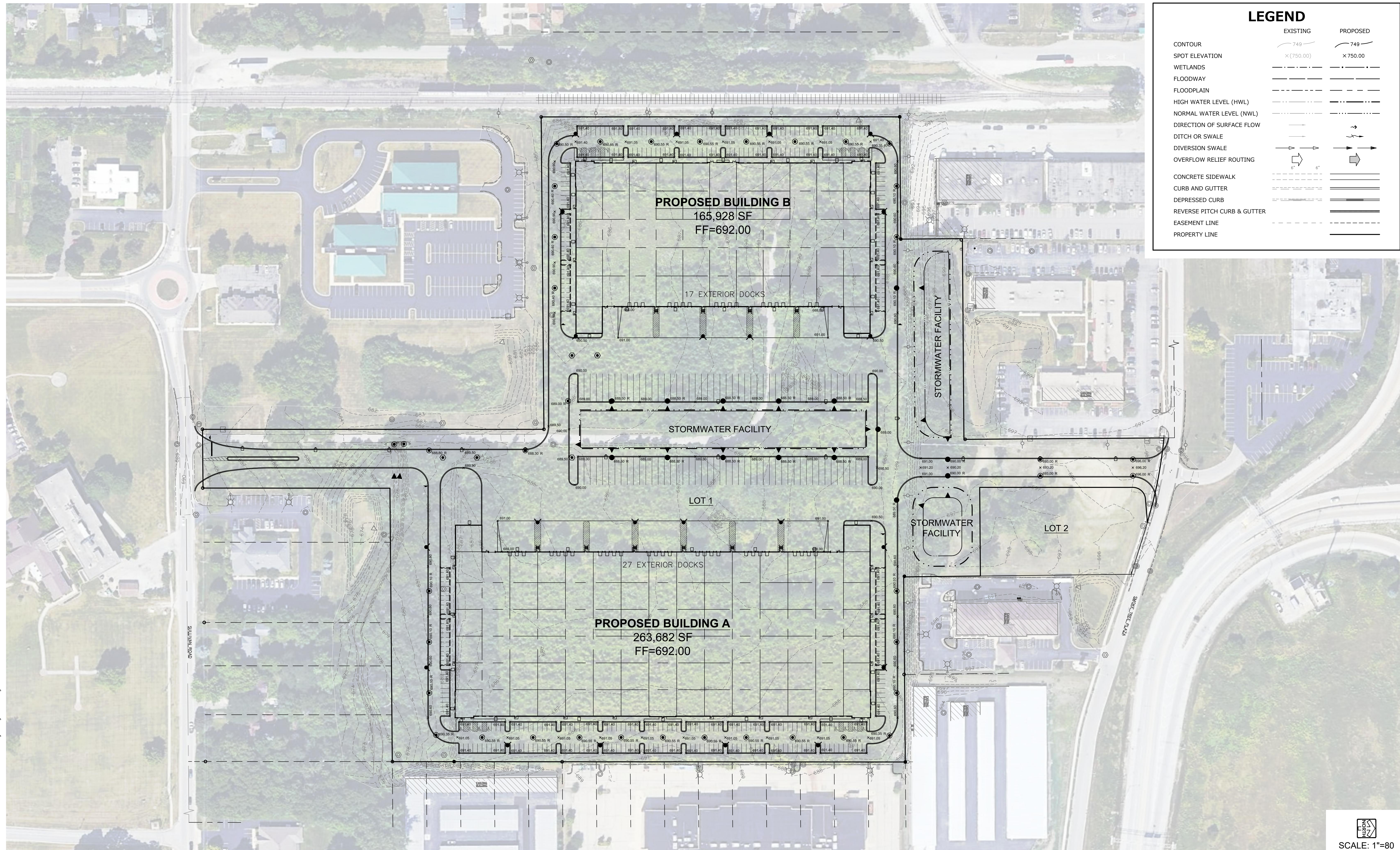
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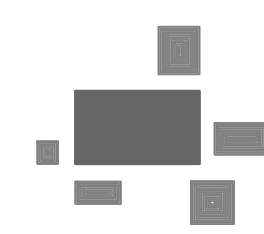
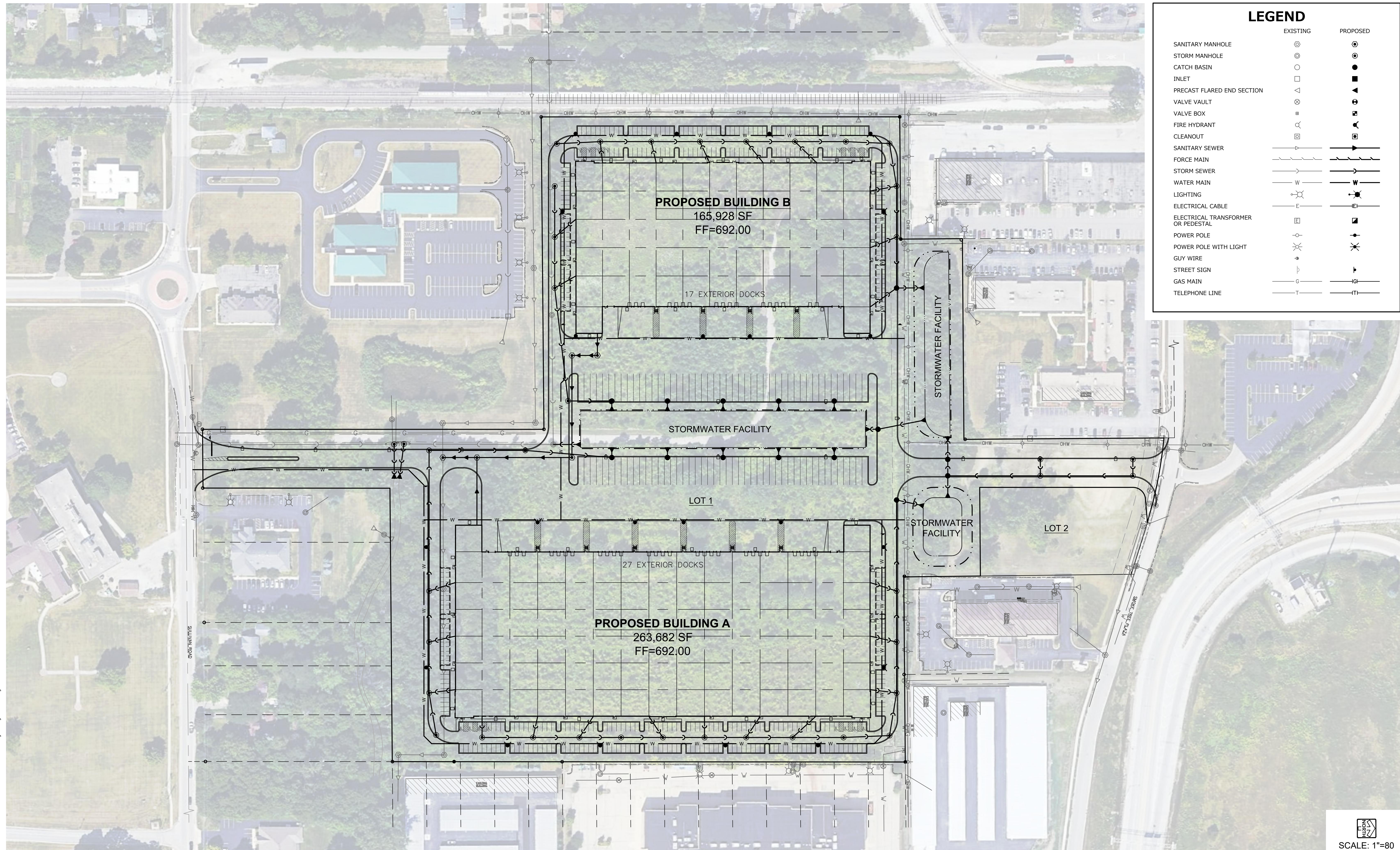
CONCEPT PLANT SCHEDULE		
	DECIDUOUS TREE	86
	Acer rubrum 'Red Sunset' / Red Sunset Maple	
	Aesculus hippocastanum / European Horsechestnut	
	Carya ovata / Shagbark Hickory	
	Fagus sylvatica / European Beech	
	Ginkgo biloba / Maidenhair Tree	
	Liriodendron tulipifera / Tulip Tree	
	Quercus bicolor / Swamp White Oak	
	Quercus macrocarpa / Burr Oak	
	Ulmus x 'New Horizon' / New Horizon Elm	
	EVERGREEN TREE	20
	Abies concolor / White Fir	
	Juniperus virginiana 'Glaucia' / Silver Eastern Red Cedar	
	Picea abies / Norway Spruce	
	Picea glauca 'Densata' / Black Hills Spruce	
	Picea omorika / Serbian Spruce	
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine	
	ORNAMENTAL TREE	8
	Amelanchier x grandiflora 'Princess Diana' / Princess Diana Serviceberry	
	Cercis canadensis / Eastern Redbud Multi-stem	
	Magnolia x 'Butterflies' / Butterflies Magnolia	
	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	
	Syringa reticulata 'Summer Storm' / Summer Storm Tree Lilac	
	LARGE EVERGREEN SHRUB	12
	Juniperus chinensis 'Mint Julep' / Mint Julep Juniper	
	Taxus x media 'Hicksii' / Hicks Yew	
	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	
	Tsuga canadensis 'Moon Frost' / Moon Frost Eastern Hemlock	
	SMALL DECIDUOUS SHRUB	233
	Aronia melanocarpa 'Low Scape Mound' / Low Scape Mound Chokeberry	
	Diervilla lonicera/Kodiak Orange / Kodiak Orange Dwarf Bush Honeysuckle	
	Hydrangea paniculata 'Bobo' / Bobo Hydrangea	
	Itea virginica 'Sprich' TM / Little Henry Sweetspire	
	Physocarpus opulifolius 'Nanus' / Dwarf Ninebark	
	Syringa x 'SMSJBP7' TM / Bloomerang Dark Purple Lilac	
	TALL ORNAMENTAL GRASS	219
	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	
	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	
	Panicum virgatum 'Northwind' / Switch Grass	
	SMALL EVERGREEN SHRUB	215
	Juniperus sabina 'Buffalo' / Buffalo Juniper	
	Juniperus squamata 'Blue Star' / Blue Star Juniper	
	Picea abies 'Pumila' / Dwarf Globe Spruce	
	Thuja occidentalis 'Bobozam' TM / Mr. Bowling Ball Arborvitae	
	Thuja occidentalis 'Congabe' TM / Fire Chief Arborvitae	
	Tsuga canadensis 'Gracilis' / Gracilis Eastern Hemlock	
	Tsuga canadensis 'Jeddeloh' / Jeddeloh Eastern Hemlock	
	SHORT ORNAMENTAL GRASS	206
	Hakonechloa macra / Japanese Forest Grass	
	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	
	Pennisetum alopecuroides 'Little Honey' / Little Honey Dwarf Fountain Grass	
	PERENNIALS	932 sf
	Actaea simplex / Snakeroot	
	Alchemilla mollis 'Thriller' / Lady's Mantle	
	Allium x 'Summer Beauty' / Summer Beauty Allium	
	Aster novae-angliae 'Purple Dome' / Purple Dome New England Aster	
	Astilbe x arendsii 'Fanal' / Fanal Astilbe	
	Dianthus gratianopolitanus 'Feuerhexe' / Firewitch Cheddar Pink	
	Gaillardia aristata 'Granada' / Granada Blanket Flower	
	Heuchera x 'Midnight Rose' / Midnight Rose Coral Bells	
	Heuchera x 'Obsidian' / Obsidian Coral Bells	
	Hosta fortunei 'Patriot' / Patriot Hosta	
	Hosta x 'Rainforest Sunrise' / Rainforest Sunrise Hosta	
	Ligularia stenocephala 'Little Rocket' / Little Rocket Ligularia	
	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	
	Sedum x 'Autumn Fire' / Autumn Fire Sedum	
	Tiarella x 'Crow Feather' / Crow Feather Foamflower	
	TURF	265,478 sf
	Turf Hydroseed / Drought Tolerant Fescue Blend	
	Turf Hydroseed Low Grow / Reinders No Mow/Low Grow Mix	



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SMOKETREE - PRELIMINARY ENGINEERING DESIGN - UTILITY PLAN

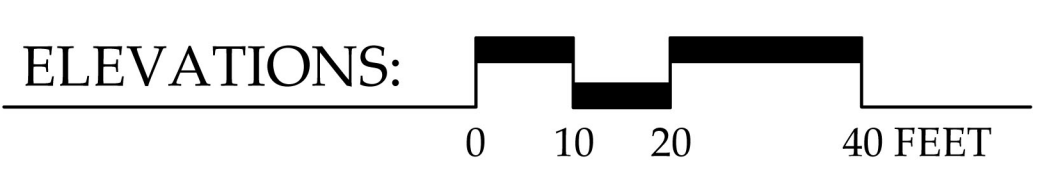
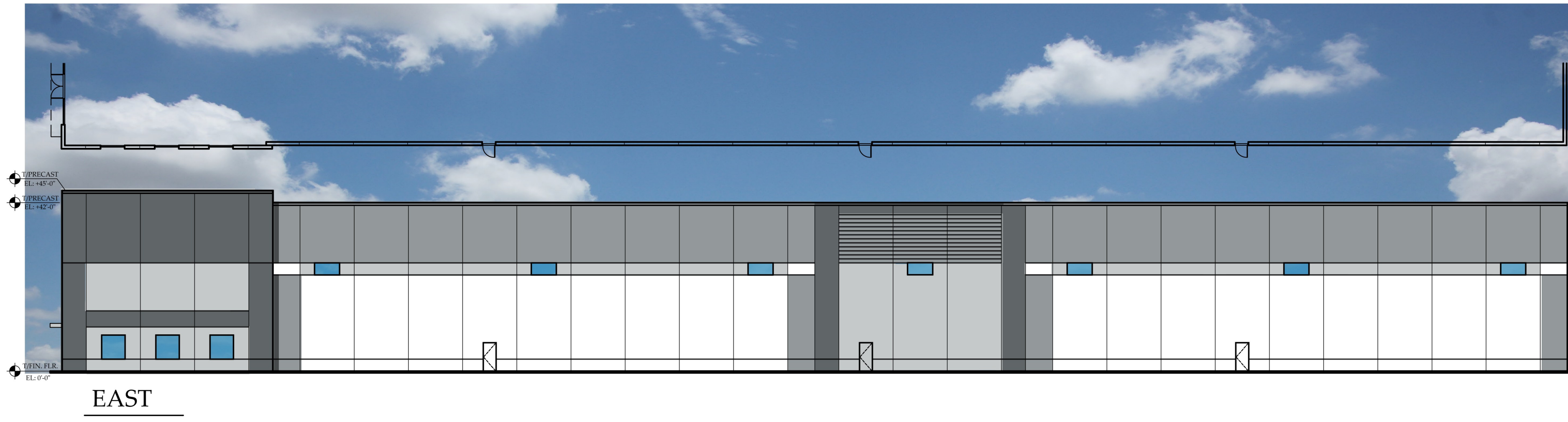
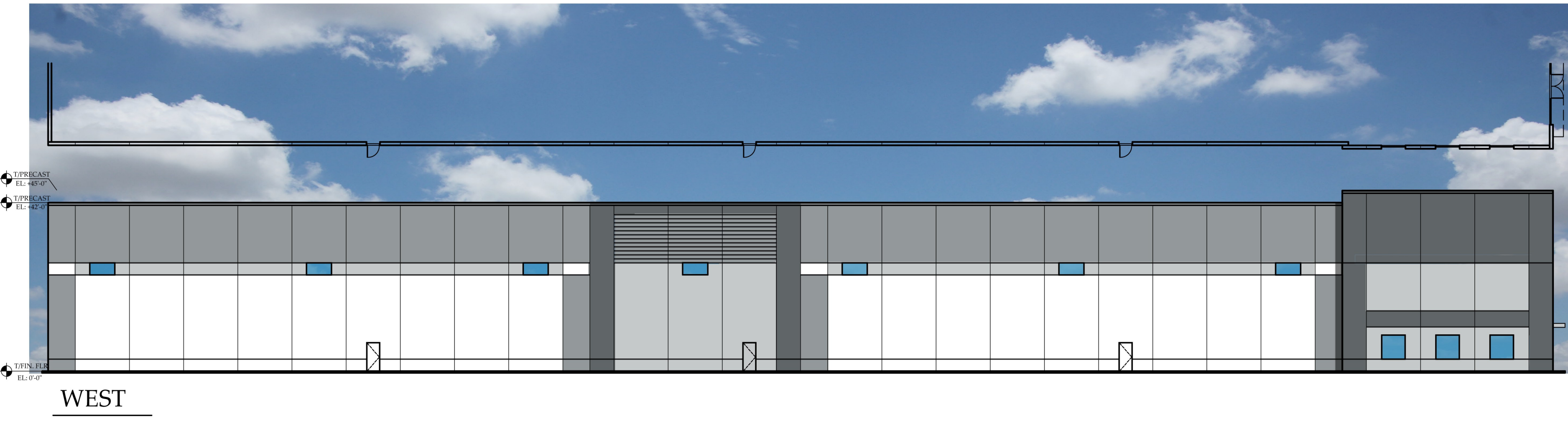
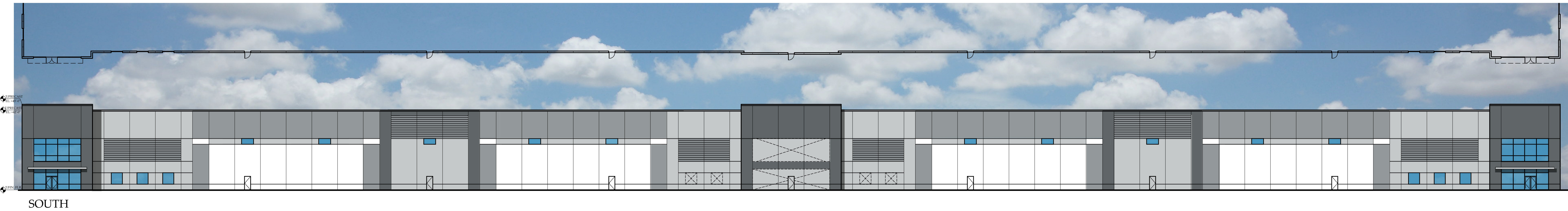
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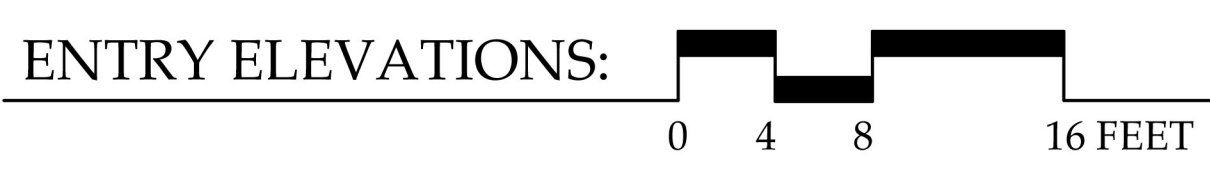
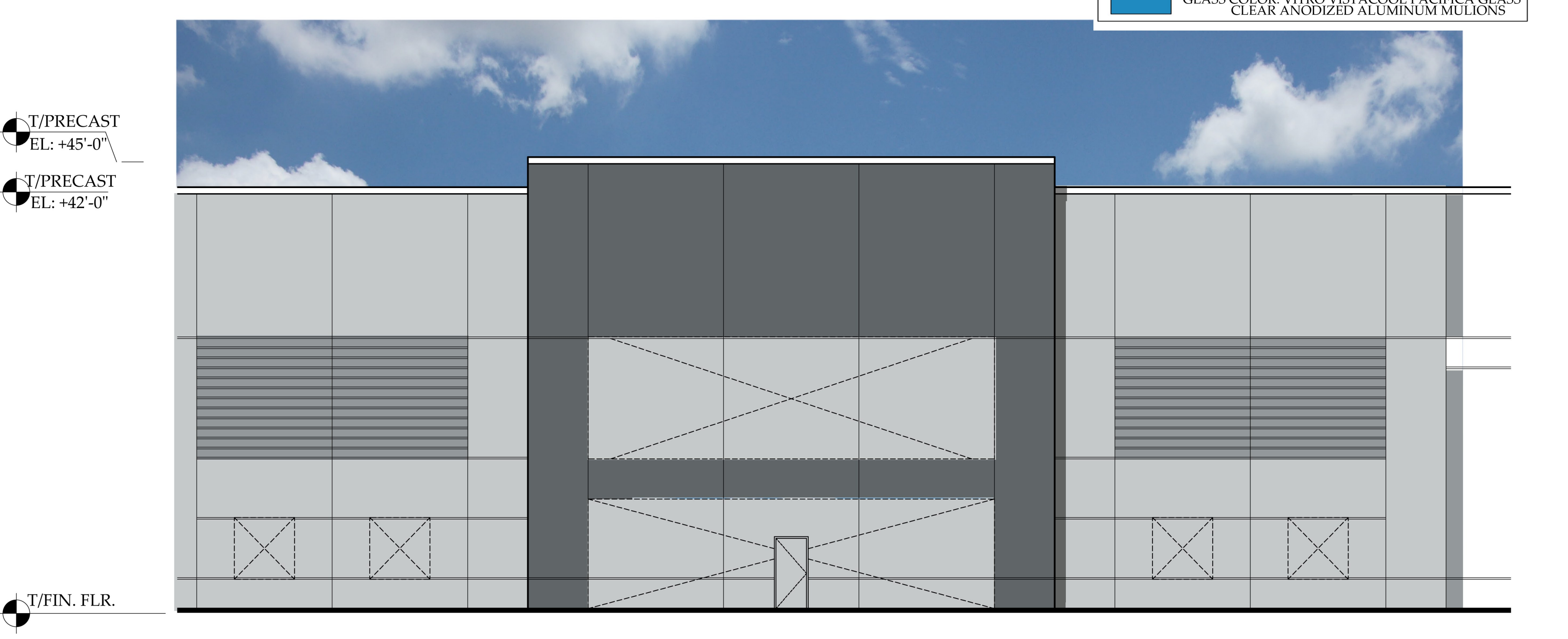
JOB NO. 2335.00-IL 04/27/2022
PLAN | DESIGN | DELIVER



SCALE: 1"=80'



- WHITE FIELD COLOR-SHERWIN WILLIAMS
HIGH REFLECTIVE WHITE SW 7757
- LIGHT FIELD COLOR-SHERWIN WILLIAMS
GRAY SCREEN SW7071
- MEDIUM FIELD COLOR-SHERWIN WILLIAMS
AFRICAN GRAY SW9162
- DARK FIELD COLOR-SHERWIN WILLIAMS
WEB GRAY SW7075
- GLASS COLOR: VITRO VISTACOO PACIFICA GLASS
CLEAR ANODIZED ALUMINUM MULIONS



PROPOSED FACILITY -BUILDING A

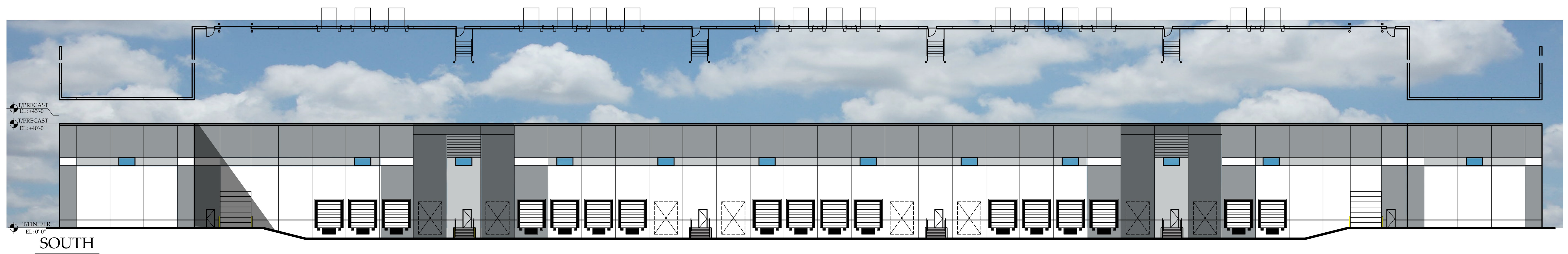
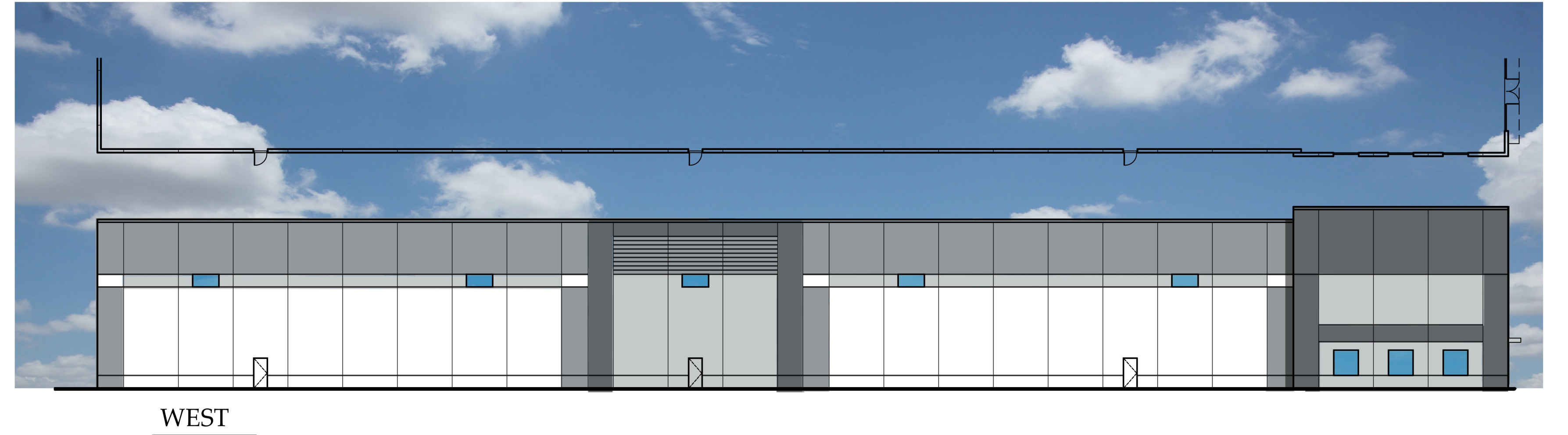
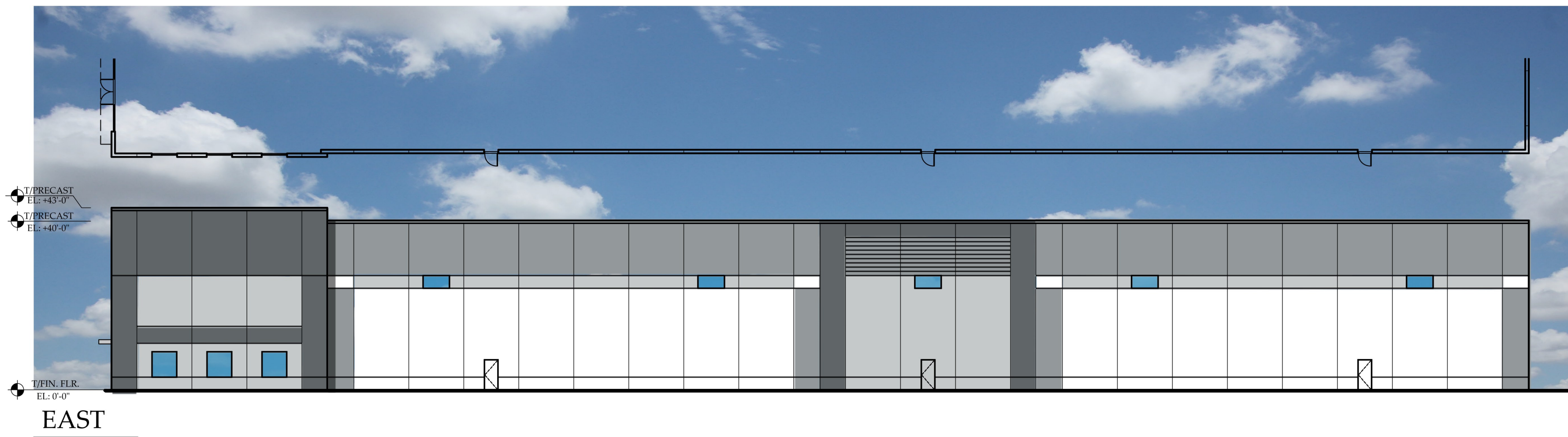
NORTH AURORA, ILLINOIS



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APRIL 8, 2022 #21511



ELEVATIONS: 0 10 20 40 FEET

	WHITE FIELD COLOR-SHERWIN WILLIAMS HIGH REFLECTIVE WHITE SW 7757
	LIGHT FIELD COLOR-SHERWIN WILLIAMS GRAY SCREEN SW7071
	MEDIUM FIELD COLOR-SHERWIN WILLIAMS AFRICAN GRAY SW9162
	DARK FIELD COLOR-SHERWIN WILLIAMS WEB GRAY SW7075
	GLASS COLOR- VITRO VISTACOO PACIFICA GLASS CLEAR ANODIZED ALUMINUM MULIONS



PROPOSED FACILITY- BUILDING B

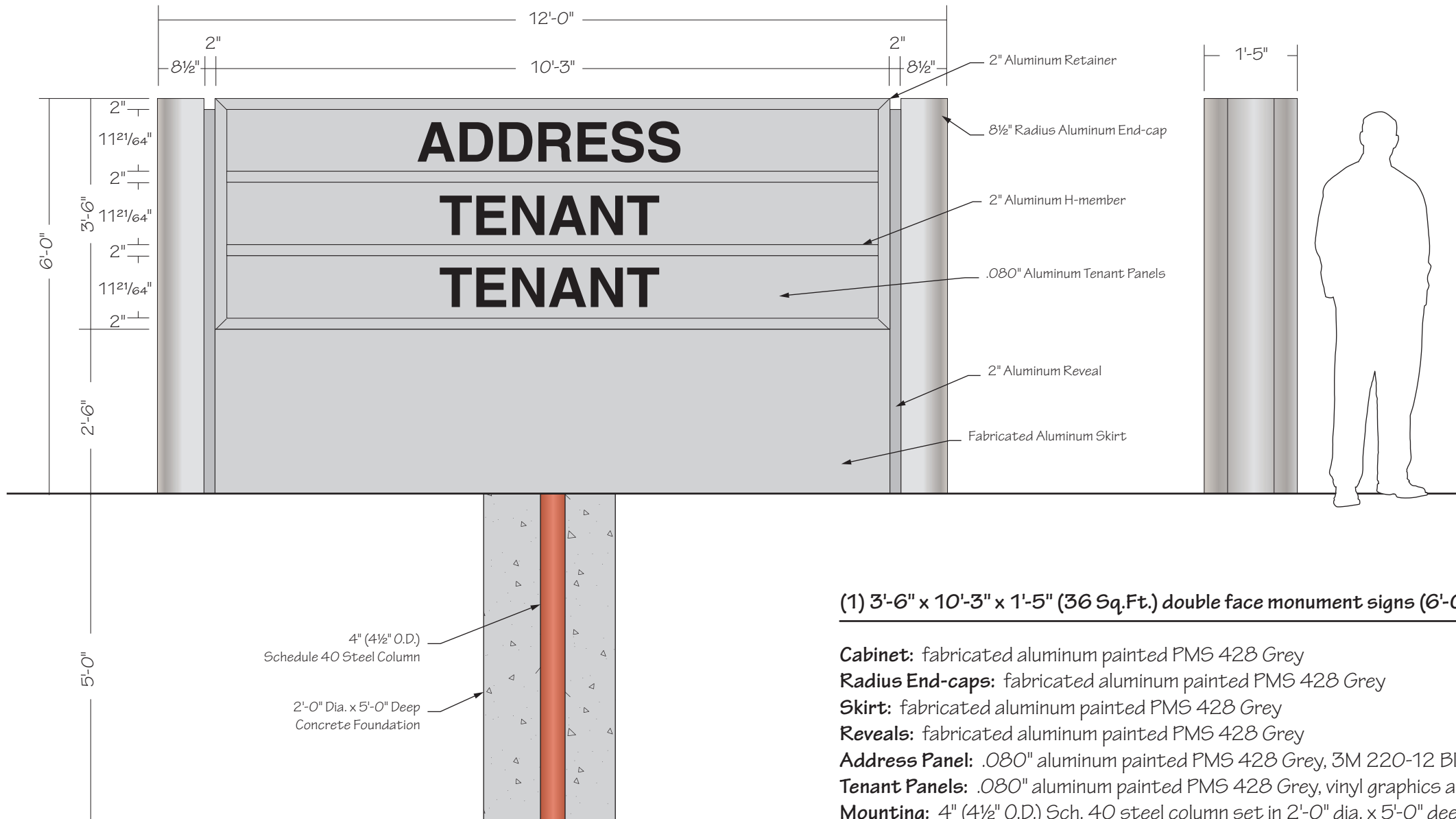
NORTH AURORA, ILLINOIS



APRIL 8, 2022 #21511

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PROJECT:



512 Fairview Drive
North Aurora, IL 60506

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

Lisa Staszak / KZ

DRAWN BY

Bill Marlow

DATE

4.27.22

SCALE

1/2" = 1'

SHEET NO.

2 of 2

ESTIMATE / JOB NUMBER

9710

FILE NAME

PHE9710

REVISIONS:

1

2

3

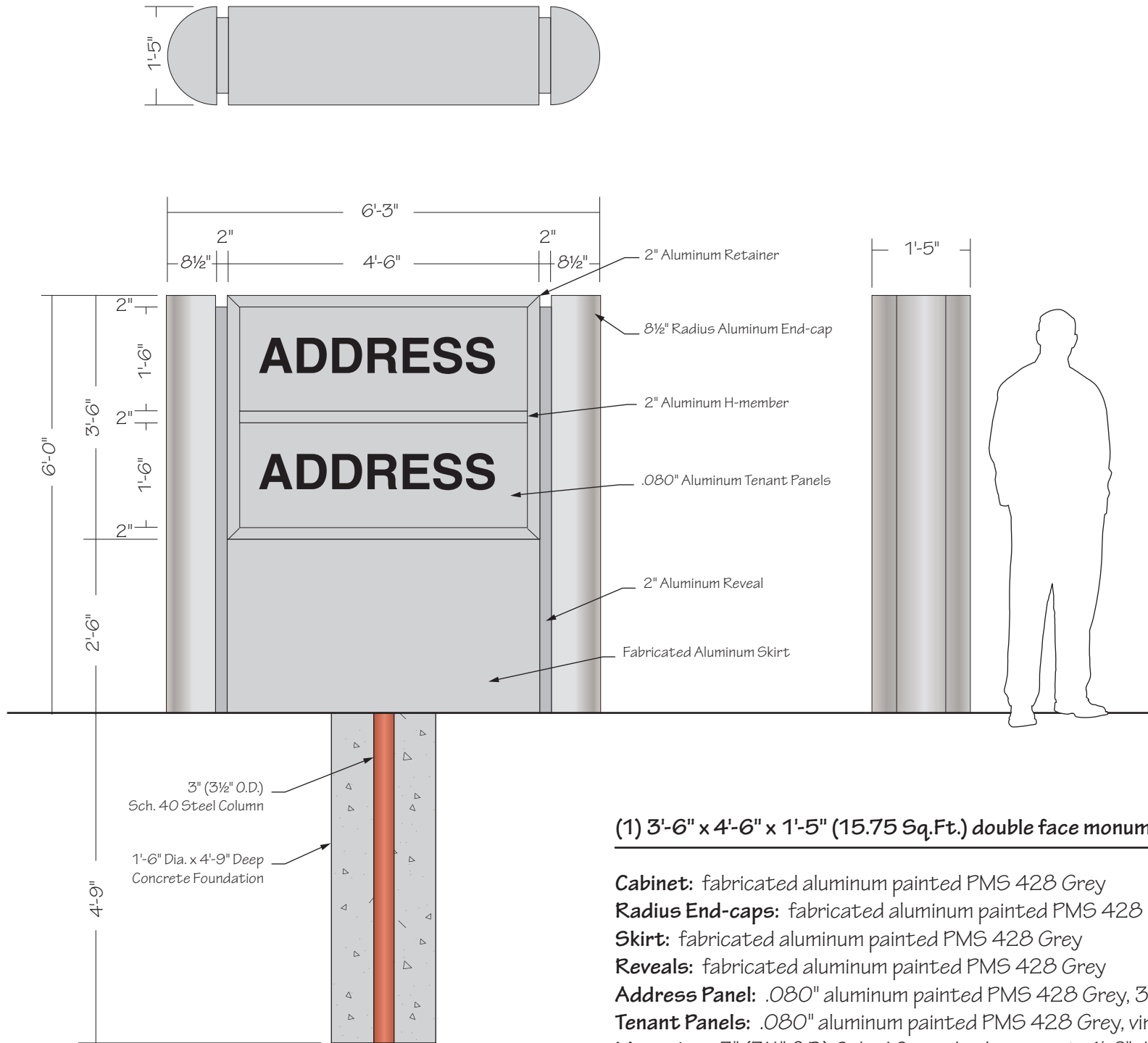
4

5

6

7

8



(1) 3'-6" x 4'-6" x 1'-5" (15.75 Sq.Ft.) double face monument signs (6'-0" x 6'-3" overall)

Cabinet: fabricated aluminum painted PMS 428 Grey

Radius End-caps: fabricated aluminum painted PMS 428 Grey

Skirt: fabricated aluminum painted PMS 428 Grey

Reveals: fabricated aluminum painted PMS 428 Grey

Address Panel: .080" aluminum painted PMS 428 Grey, 3M 220-12 Black vinyl graphics applied

Tenant Panels: .080" aluminum painted PMS 428 Grey, vinyl graphics applied

Mounting: 3" (3 1/2" O.D.) Sch. 40 steel column set in 1'-6" dia. x 4'-9" deep concrete foundation

Smoketree Plaza, North Access Drive - Park Entry Monument Sign

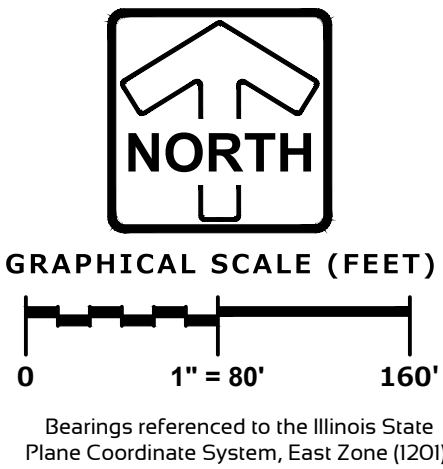


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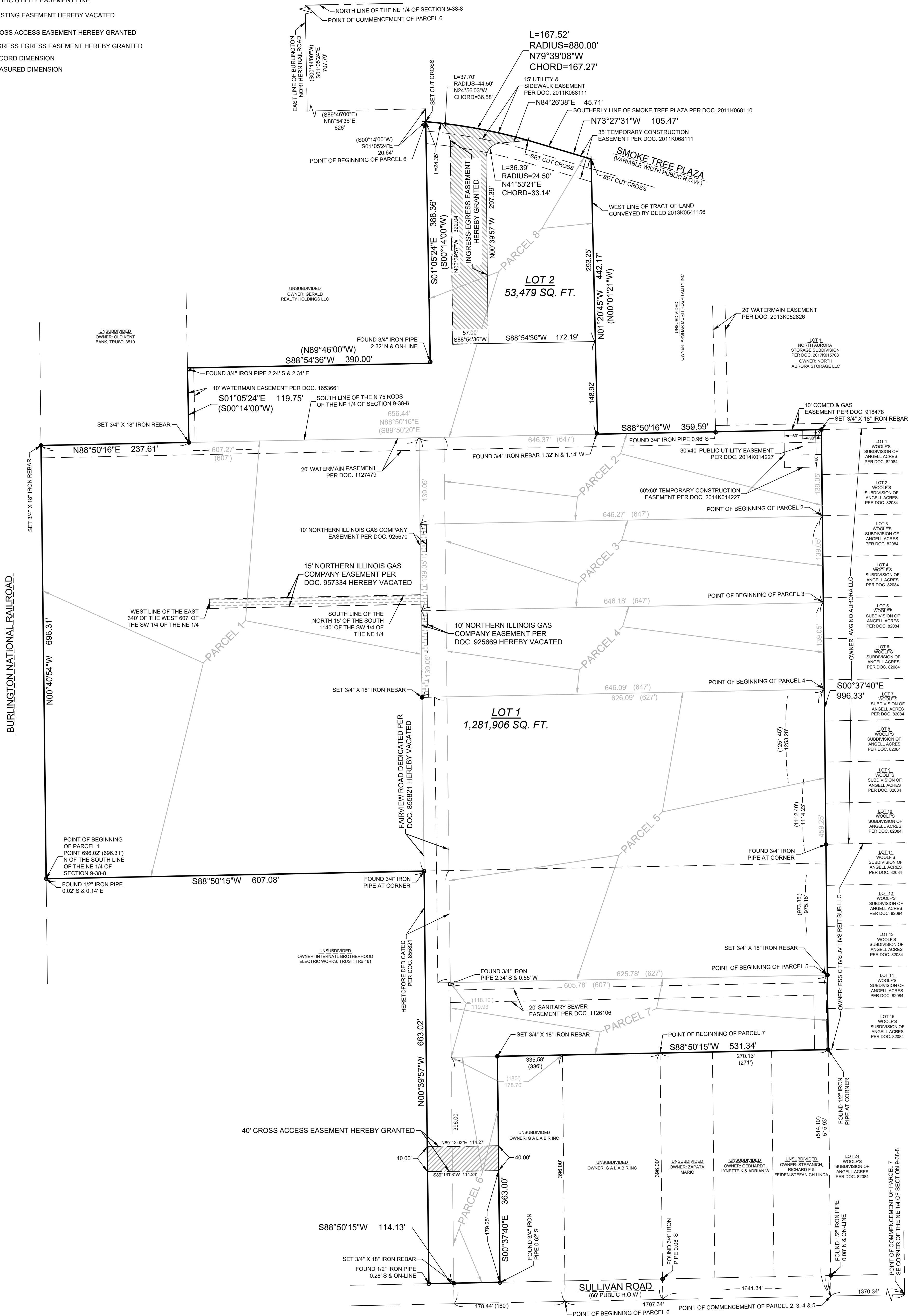
FINAL PLAT OF SUBDIVISION PARK 88 LOGISTICS CENTER

BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION
9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.



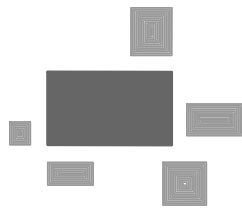
LEGEND OF LINES

	PARCEL BOUNDARY
	RIGHT-OF-WAY
	CENTER OF RIGHT-OF-WAY
	ADJACENT BOUNDARY
	SECTION LINE
	BUILDING SETBACK
	PUBLIC UTILITY EASEMENT LINE
	EXISTING EASEMENT HEREBY VACATED
	CROSS ACCESS EASEMENT HEREBY GRANTED
	INGRESS EGRESS EASEMENT HEREBY GRANTED
	(180.00') RECORD DIMENSION
	180.00' MEASURED DIMENSION



GENERAL NOTES

1. FIELD WORK COMPLETED ON JANUARY 14, 2022.
2. ALL DIMENSIONS ARE MEASURED DIMENSIONS. RECORD DIMENSIONS ARE SHOWN PARENTHETICALLY. THE BOUNDARIES OF THE PARCELS AS DESCRIBED FORM A MATHEMATICALLY CLOSED FIGURE.
3. NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, GAPS, STRIPS, GORES OR ERRORS IN BOUNDARY LINES OR BETWEEN PARCELS EXIST.



PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

ILLINOIS OFFICE:
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

FINAL PLAT OF SUBDIVISION

REVISIONS

1	Add lot 2	4/21/2022
2	Add ingress-egress easement	4/26/2022

REC. JOB No. 2335.00
REC. PM. BDJ
DATE 4/06/2022
SCALE 1"=80'

SHEET
1
2

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FINAL PLAT OF SUBDIVISION PARK 88 LOGISTICS CENTER

BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION
9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)) S.S.
COUNTY OF _____)

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE
LAND DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS
CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN
ON THE ANNEXED PLAT FOR THE USES AND PURPOSES THEREIN SET FORTH
AS ALLOWED AND PROVIDED BY STATUTE AND DOES HEREBY ACKNOWLEDGE
AND ADOPT SAME UNDER THE AFORESAID STYLE AND TITLE.

ALSO TO THE BEST OF MY KNOWLEDGE, THE LOTS THAT ARE HEREBY
CREATED BY THE PLAT ARE WITHIN THE SCHOOL DISTRICTS KNOWN AS:

WEST AURORA SCHOOL DISTRICT 129

DATED THIS ____ DAY OF _____, 20__.

BY: _____
OWNER

NOTARY CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR
THE AFORESAID STATE AND COUNTY DO
HEREBY CERTIFY THAT,

_____, (OWNER) PERSONALLY
KNOWN TO ME TO BE THE SAME PERSON(S), WHOSE NAME(S) IS(ARE)
SUBSCRIBED TO THE FOREGOING CERTIFICATE AS SUCH OWNER(S),
APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE
EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR
THE USES AND PURPOSES THEREIN SET FORTH AS HIS(THEIR) OWN FREE AND
VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF
_____, 20__.

NOTARY PUBLIC

KANE COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY
CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES OR
SPECIAL ASSESSMENTS, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES
AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT. I FURTHER CERTIFY THAT I HAVE
RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY NAME AND SEAL THIS ____ DAY OF _____, 20__.

COUNTY CLERK

KANE COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

THIS INSTRUMENT NO _____, WAS FILED FOR RECORD IN THE RECORDER'S OFFICE
OF KANE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, 20__.

COUNTY RECORDER

PLANNING COMMISSION CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

APPROVED BY THE PLANNING COMMISSION OF THE VILLAGE OF NORTH
AURORA.

DATED THIS ____ DAY OF _____, 20__.

CHAIRPERSON

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

APPROVED BY THE VILLAGE ENGINEER OF NORTH AURORA, ILLINOIS, THIS ____
DAY OF _____, 20__.

VILLAGE ENGINEER

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

APPROVED BY THE VILLAGE OF NORTH AURORA BOARD AT A MEETING HELD
THIS ____ DAY OF _____, 20__.

VILLAGE PRESIDENT

VILLAGE CLERK

VILLAGE COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS)) SS
COUNTY OF KANE)

APPROVED BY THE VILLAGE COMMUNITY DEVELOPMENT DIRECTOR OF NORTH
AURORA, ILLINOIS, THIS ____ DAY OF _____, 20__.

COMMUNITY DEVELOPMENT DIRECTOR

GENERAL NOTES

1. FIELD WORK COMPLETED ON JANUARY 14, 2022.
2. ALL DIMENSIONS ARE MEASURED DIMENSIONS. RECORD DIMENSIONS
ARE SHOWN PARENTHETICALLY. THE BOUNDARIES OF THE PARCELS
AS DESCRIBED FORM A MATHEMATICALLY CLOSED FIGURE.
3. NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, GAPS, STRIPS,
GORES OR ERRORS IN BOUNDARY LINES OR BETWEEN PARCELS EXIST.

INGRESS-EGRESS EASEMENT PROVISIONS

AN EASEMENT IS HEREBY GRANTED FOR THE BENEFIT OF THE OWNER OF LOT 2 WITHIN THIS
SUBDIVISION, THEIR HEIRS, SUCCESSORS AND ASSIGNS, CREATED BY THE PLAT HEREON DRAWN, AND TO
ALL PERSONS REQUIRING INGRESS AND EGRESS ACROSS ALL OF THE AREA MARKED "INGRESS-EGRESS
EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO TRAVERSE THE
ENTIRE EASEMENT AREAS AS PEDESTRIANS AND OPERATORS OF MOTORIZED VEHICLES. THE EASEMENT
AREA SHALL NOT BE CLOSED FOR ANY REASON EXCEPT EMERGENCY REPAIRS. NO PERMANENT
BUILDINGS OR OBSTRUCTIONS SHALL BE PLACED ON THE SAID EASEMENT AREAS.

CROSS ACCESS EASEMENT PROVISIONS

AN EASEMENT IS HEREBY GRANTED FOR THE BENEFIT OF ALL OWNERS OF PROPERTY WITHIN THIS
SUBDIVISION, THEIR HEIRS, SUCCESSORS AND ASSIGNS, CREATED BY THE PLAT HEREON DRAWN,
AND TO ALL PERSONS REQUIRING ACCESS ACROSS ALL OF THE AREA MARKED "CROSS ACCESS
EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO TRAVERSE
THE ENTIRE EASEMENT AREAS AS PEDESTRIANS. THE EASEMENT AREA SHALL NOT BE CLOSED
FOR ANY REASON EXCEPT EMERGENCY REPAIRS. NO PERMANENT BUILDINGS OR OBSTRUCTIONS
SHALL BE PLACED ON THE SAID EASEMENT AREAS.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I, PAUL A. KUBICEK, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED, SUBDIVIDED AND
PLATTED FOR THE OWNERS THEREOF THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST 1/4, 1370.34 FEET WEST OF THE
SOUTHEAST 1/4 THEREOF; THENCE NORTH 1251.45 FEET TO A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET TO OLD
CLAIM LINE; THENCE WESTERLY ALONG OLD CLAIM LINE 647 FEET TO A POINT IN THE EVANS' EAST LINE; THENCE SOUTH ALONG SAID
EVANS' EAST LINE AND WEST LINE OF SAID DRIVEWAY, 139.05 FEET TO THE NORTHWEST CORNER OF MICHAEL DUY'S LAND; THENCE
EASTERLY ALONG SAID DUY'S NORTH 647 FEET TO A POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST 1/4, 1370.34 FEET WEST OF THE
SOUTHEAST 1/4 THEREOF; THENCE NORTH 1112.40 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05
FEET TO A POINT WHICH IS THE SOUTHEAST CORNER OF WHITTAKER'S LAND; THENCE WESTERLY PARALLEL WITH AND 139.05 FEET
SOUTH OF AN OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVAN'S LAND, AND ON THE WEST LINE OF A 40 FOOT
DRIVEWAY, THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY PARALLEL TO THE AFORESAID OLD CLAIM
LINE 647 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 3:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1370.34 FEET WEST OF THE
SOUTHEAST QUARTER THEREOF; THENCE NORTH 973.35 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET;
THENCE WESTERLY PARALLEL WITH AN 278.10 FEET SOUTH OF OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVANS' LAND
AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY; THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY
PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE
COUNTY, ILLINOIS.

PARCEL 4:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1370.34 FEET WEST OF THE
SOUTHEAST QUARTER THEREOF; THENCE NORTH 973.35 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 139.05 FEET;
THENCE WESTERLY PARALLEL WITH AN 278.10 FEET SOUTH OF OLD CLAIM LINE 647 FEET TO A POINT IN THE EAST LINE OF EVANS' LAND
AND ON THE WEST LINE OF A 40 FOOT DRIVEWAY; THENCE SOUTH ALONG SAID EVANS' EAST LINE 139.05 FEET; THENCE EASTERLY
PARALLEL TO THE AFORESAID OLD CLAIM LINE 647 FEET TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE
COUNTY, ILLINOIS.

PARCEL 5:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST CORNER 1370.34 FEET WEST OF THE
SOUTHEAST CORNER THEREOF; THENCE NORTH 514.10 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 459.25 FEET; THENCE
WESTERLY PARALLEL WITH AND 417.15 FEET SOUTH OF CLAIM LINE 627 FEET TO THE CENTER LINE OF A PRIVATE ROAD; THENCE SOUTH
ALONG THE CENTER LINE OF SAID PRIVATE ROAD 460.31 FEET TO A LINE DRAWN WEST, PARALLEL WITH THE SOUTH LINE OF SAID
NORTHEAST 1/4, FROM THE POINT OF BEGINNING; THENCE EAST ALONG SAID PARALLEL LINE 627 FEET TO THE POINT OF BEGINNING, IN
THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 6:
THE WEST 75 FEET OF THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD
PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID NORTHEAST QUARTER 1797.34
FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH 396 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID
NORTHEAST QUARTER, 180 FEET TO THE EAST LINE OF A 40 FOOT PRIVATE ROADWAY; THENCE SOUTH ALONG SAID EAST LINE 396 FEET
TO THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID EAST LINE 396 FEET TO THE SOUTH LINE OF SAID
NORTHEAST QUARTER; THENCE EAST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER 180 FEET TO THE POINT OF BEGINNING,
IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 7:
THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE WEST ALONG THE SOUTH
LINE OF SAID NORTHEAST QUARTER 1841.34 FEET; THENCE NORTH 396 FEET FOR THE POINT OF BEGINNING; THENCE EAST PARALLEL
WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER 118.10 FEET; THENCE WEST PARALLEL WITH THE
SOUTH LINE OF SAID NORTHEAST QUARTER 607 FEET TO THE EAST LINE OF A PRIVATE ROAD; THENCE SOUTH ALONG SAID EAST LINE
118.10 FEET TO A POINT 396 FEET NORTH OF THE SOUTH LINE OF SAID NORTHEAST QUARTER 336 FEET TO THE POINT OF BEGINNING,
EXCEPTING FROM THAT PART, THE WESTERLY 180 FEET, IN THE VILLAGE OF NORTH AURORA AND THE TOWNSHIP OF AURORA, KANE
COUNTY, ILLINOIS.

PARCEL 8:
THAT PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF SAID NORTHEAST QUARTER WITH
THE EASTERLY RIGHT OF WAY LINE OF BURLINGTON NORTHERN INC.; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST
ALONG SAID EASTERLY RIGHT OF WAY LINE 707.79 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 0 SECONDS EAST 626 FEET; THENCE
SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST 20.64 FEET TO THE SOUTH RIGHT OF WAY LINE OF SMOKE TREE PLAZA AS DEDICATED
BY DOCUMENT 2011K088110, FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 0 DEGREES 14 MINUTES 0 SECONDS WEST
388.36 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 0 SECONDS WEST 390 FEET; THENCE SOUTH 0 DEGREES 14 MINUTES 0 SECONDS
WEST 119.75 FEET TO THE SOUTH LINE OF THE NORTH 75 RODS OF SAID NORTHEAST QUARTER; THENCE EAST ALONG SAID SOUTH LINE
656.44 FEET TO A POINT ON THE WEST LINE OF TRACT OF LAND CONVEYED BY DEED 2013K0541156; THENCE NORTH 0 DEGREES 01
MINUTES 21 SECONDS WEST, ALONG SAID WEST LINE, 442.17 FEET TO THE AFOREMENTIONED SOUTHERLY RIGHT OF WAY LINE OF
SMOKE TREE PLAZA AS DEDICATED BY DOCUMENT 2011K088110; THENCE NORTHWESTERLY ALONG SAID SOUTHERLY RIGHT OF WAY
LINE TO THE POINT OF BEGINNING, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

TOGETHER WITH FAIRVIEW ROAD AS DEDICATED PER DOCUMENT 855821, RECORDED FEBRUARY 21, 1958 IN THE RECORDER'S OFFICE
OF KANE COUNTY, ILLINOIS.

CONTAINING 1,281,906 SQUARE FEET OR 29.4285 ACRES

I FURTHER CERTIFY THAT IRON STAKES HAVE BEEN SET AT ALL LOT CORNERS, POINTS OF CURVATURE AND TANGENCY, EXCEPT
WHERE CONCRETE MONUMENTS AND MAG NAILS ARE INDICATED, AND THAT THE PLAT HEREON DRAWN CORRECTLY REPRESENTS SAID
SURVEY AND SUBDIVISION. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF NORTH AURORA, AND
I FURTHER CERTIFY THAT PART OF SAID PROPERTY IS SITUATED IN ZONE "X"; AS PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD
INSURANCE RATE MAP, MAP NUMBER 17089C0340H, MAP REVISED AUGUST 3, 2009.

DATED AT EAST DUNDEE, ILLINOIS, THIS 6th DAY OF APRIL, 2022.

FOR REVIEW

PAUL A. KUBICEK, ILLINOIS PROFESSIONAL LAND SURVEYOR 035-003296
EXPIRES 11/30/2022
PINNACLE ENGINEERING GROUP, LLC #184006289-0010
EXPIRES 04/30/2023



REVISIONS

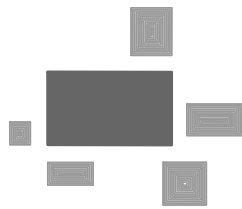
1	Add lot 2	4/21/2022
2	Add ingress-egress easement	4/26/2022

PEG JOB No. 2335.00
PEG PM. BOJ
DATE 4/06/2022
SCALE 1"=80'

SHEET
2
2 of 2

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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

ILLINOIS OFFICE
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

FINAL PLAT OF SUBDIVISION

Traffic Impact Study

Proposed Warehouse Development

North Aurora, Illinois



Prepared For:



April 28, 2022

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed warehouse development to be located in North Aurora, Illinois. The site, which is currently vacant, is located directly west of the Cinemark Tinseltown USA (Cinemark) parcel and south of Smoketree Lane, less than one mile from the I-88/IL 31 interchange. As proposed, the development is to consist of two warehouse buildings totaling approximately 429,000 square feet. Access to the development will be provided via two access drives, one on Smoketree Lane and one on Sullivan Road.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate the traffic generated by the proposed development.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Base Conditions – Analyze the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area adjusted to account for any decreases due to the ongoing COVID 19 pandemic.
2. No-Build Conditions – Analyze the capacity of the existing roadway system increased to account for ambient traffic growth in the area.
3. Projected Conditions – Analyze the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, ambient traffic growth, and the traffic estimated to be generated by the full buildout of the proposed development.



Site Location

Figure 1



Aerial View of Site

Figure 2

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

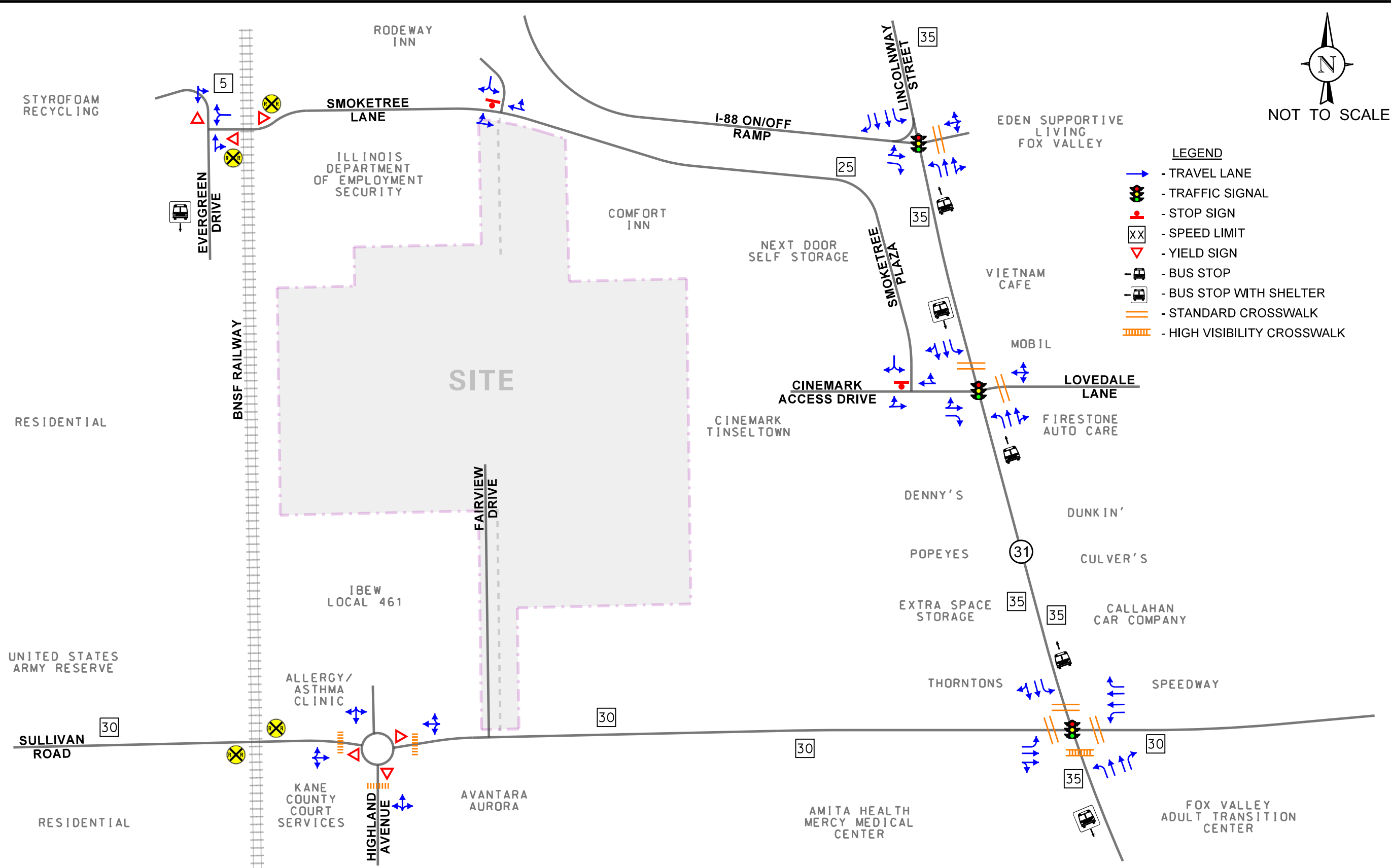
The site is located in North Aurora, on a currently vacant parcel of land directly west of the Cinemark parcel and south of Smoketree Lane. IL 31 is located just east of the site and the I-88/IL 31 interchange is located approximately one mile to the north. Land uses in the vicinity of the site are primarily commercial, with a residential area located on the west side of Evergreen Drive.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below and illustrated in **Figure 3**.

IL 31 (Lincolnway Street) is a north-south, minor arterial roadway that in the vicinity of the site provides two through lanes in each direction. At its signalized intersection with Sullivan Road, IL 31 provides a left-turn lane, two through lanes, and a right-turn lane on the northbound approach and a left-turn lane, a through lane, and a combined through/right-turn lane on the southbound approach. A standard-style crosswalk is provided on the north leg and a high-visibility crosswalk is provided on the south leg. At its signalized intersection with the I-88 on/off ramps, IL 31 provides a left-turn lane, a through lane, and a combined through/right-turn lane on the northbound approach and a left-turn lane, two through lanes, and a channelized right-turn lane that is under yield sign control on the southbound approach. At its signalized intersection with Lovedale Lane/Cinemark access drive/Smoketree Plaza, IL 31 provides a left-turn lane, a through lane, and a combined through/right-turn lane on the northbound and southbound approaches. A standard-style crosswalk is provided on the north leg of the intersection. IL 31 carries an Annual Average Daily Traffic (AADT) volume of 21,600 vehicles (IDOT 2019), is under the jurisdiction of the Illinois Department of Transportation (IDOT), and has a posted speed limit of 35 miles per hour.

Sullivan Road is an east-west, major collector roadway that generally provides one lane in each direction west of IL 31 and two lanes in each direction east of IL 31. At its signalized intersection with IL 31, Sullivan Road provides a left-turn lane, a through lane, and a combined through/right-turn lane on the eastbound approach and a left-turn lane, two through lanes, and a right-turn lane on the westbound approach. Standard-style crosswalks are provided on the east and west legs of the intersection. At its roundabout intersection with Highland Avenue, Sullivan Road provides one lane on the eastbound and westbound approaches that are under yield sign control. High-visibility crosswalks are provided on the east and west legs of the intersection. Sullivan Road carries an AADT volume of 11,700 vehicles east of IL 31 (IDOT 2018) and 13,400 vehicles west of IL 31 (IDOT 2018). Sullivan Road is under the jurisdiction of the City of Aurora, has a posted speed limit of 30 miles per hour, and is a designated truck route.



PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

EXISTING ROADWAY CHARACTERISTICS

The *I-88 ramps* provide full access to both eastbound and westbound I-88 and intersect IL 31 opposite the access drive for Eden Supportive Living Fox Valley. At its signalized intersection with IL 31, the I-88 ramps provide a combined left-turn/through lane and a right-turn lane and the access drive provides a combined left-turn/through/right-turn lane. A standard-style crosswalk is provided on the east leg of the intersection. The I-88 on-ramp carries an AADT volume of 10,900 vehicles (IDOT 2019) and the I-88 off-ramp carries an AADT volume of 10,400 vehicles (IDOT 2019).

Lovedale Lane is an east-west, local roadway that provides one lane in each direction and intersects IL 31 aligned opposite the Cinemark access drive/Smoketree Plaza. At its signalized intersection with IL 31, the Cinemark access drive/Smoketree Plaza provides a combined left-turn/through lane and a right-turn lane and Lovedale Lane provides a combined left-turn/through/right-turn lane. A standard-style crosswalk is provided on the east leg of the intersection. At its unsignalized intersection with Smoketree Plaza, the Cinemark access drive provides a combined left-turn/through lane on the eastbound approach and a combined through/right-turn lane on the westbound approach. Lovedale Lane is under the jurisdiction of the Village of North Aurora.

Highland Avenue is a north-south, major collector roadway that provides one lane in each direction and intersects Sullivan Road opposite the Allergy/Asthma Clinic access drive. At its roundabout intersection with Sullivan Road, Highland Avenue and the access drive provides one lane to enter the roundabout with the Highland Avenue approach under yield sign control. A high-visibility crosswalk is provided on the south leg of the intersection. Highland Avenue carries an AADT volume of 6,150 vehicles (IDOT 2018) and is under the jurisdiction of the City of Aurora.

Smoketree Plaza/Smoketree Lane is a north-south (Smoketree Plaza) and east-west (Smoketree Lane) local roadway that extends from IL 31 to Evergreen Drive and provides one lane in each direction. At its unsignalized T-intersection with the Cinemark access drive, Smoketree Plaza provides a combined left-turn/right-turn lane that is under stop sign control. At its unsignalized intersection with the Rodeway Inn access drive, Smoketree Lane provides a combined left-turn/through lane on the eastbound approach and a combined through/right-turn lane on the westbound approach. The southbound approach from the Rodeway Inn access drive provides a combined left-turn/right-turn lane and is under stop sign control. At its at-grade crossing with the BNSF Railway tracks, Smoketree Lane is under yield sign control on the eastbound and westbound approaches. At its unsignalized intersection with Evergreen Drive, Smoketree Lane provides a combined left-turn/right-turn lane on the westbound approach. Smoketree Plaza/Smoketree Lane is under the jurisdiction of the Village of North Aurora and has a posted speed limit of 25 miles per hour.

Evergreen Drive is a north-south local roadway that provides one lane in each direction. At its unsignalized T-intersection with Smoketree Lane, the north leg is the access drive for Styrofoam Recycling. Evergreen Drive provides a combined through/right-turn lane on the northbound approach and the Styrofoam Recycling access drive provides a combined left-turn/through lane on the southbound approach that is under yield sign control. Evergreen Drive carries an AADT volume of 950 vehicles (IDOT 2018) and is under the jurisdiction of the Village of North Aurora.

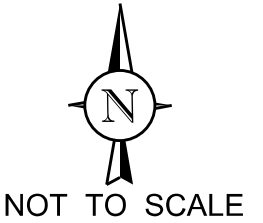
Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts utilizing Miovision Scout Video Collection Units on Tuesday, April 5, 2022 during the weekday morning (6:30 to 9:00 A.M.) and evening (3:00 to 6:00 P.M.) peak periods at the following intersections:

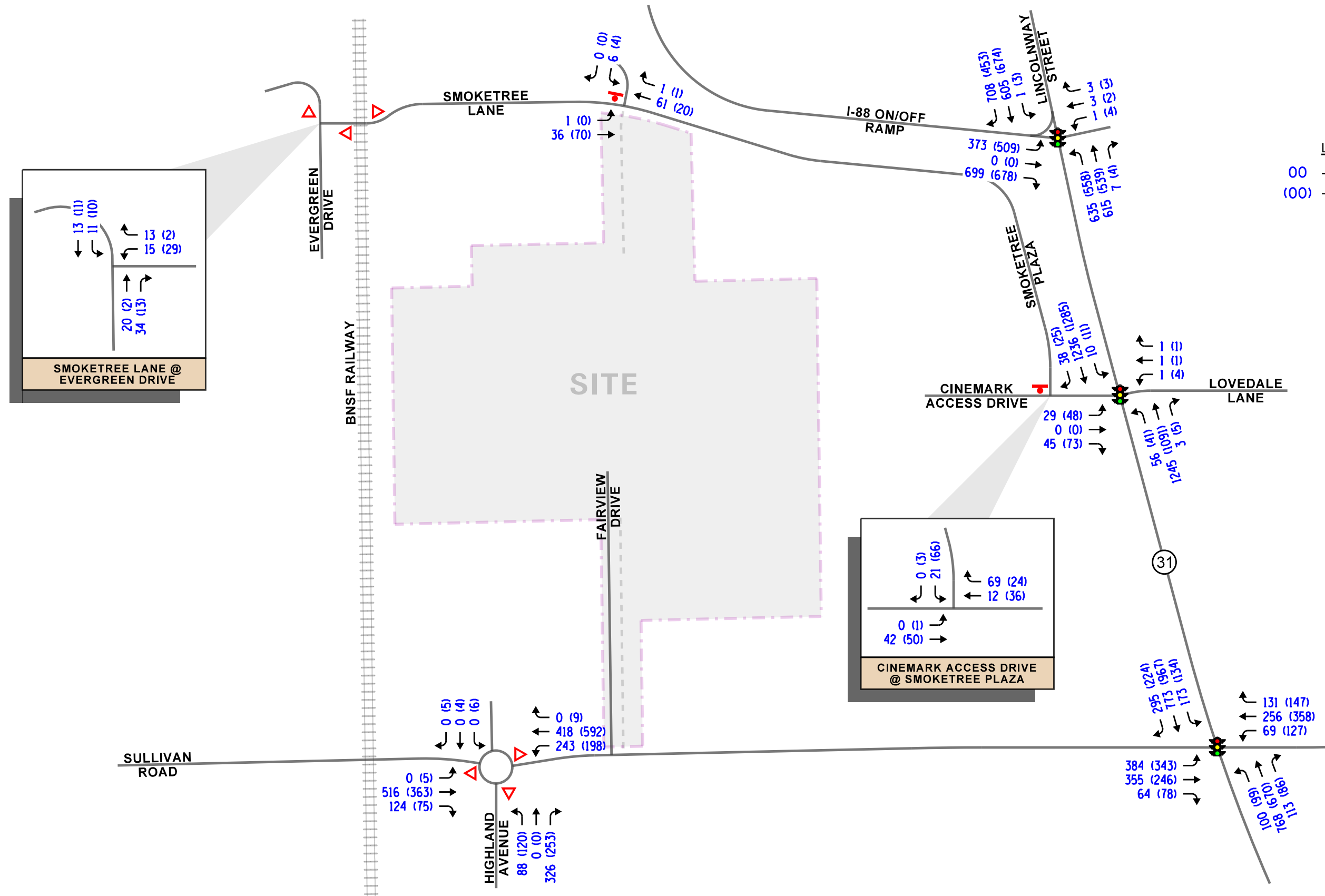
- IL 31 with Sullivan Road
- IL 31 with Interstate 88 Ramps
- IL 31 with Lovedale Lane/Cinemark access drive/Smoketree Plaza
- Sullivan Road with Highland Avenue
- Cinemark access drive with Smoketree Plaza
- Smoketree Lane with the Rodeway Inn access drive
- Smoketree Lane with Evergreen Drive/Styrofoam Recycling access drive

The results of the traffic counts indicate that the weekday morning peak hour generally occurs from 7:15 A.M. to 8:15 A.M. and the weekday evening peak hour generally occurs from 4:15 to 5:15 P.M.

To determine the impact of the ongoing COVID-19 pandemic on the existing traffic volumes, the 2022 traffic volumes at the intersection of IL 31 with Sullivan Road were compared with traffic volumes previously conducted by KLOA, Inc. in 2016 that were increased by a regional growth factor (as discussed later). The results of the comparison showed that the traffic volumes were approximately 25 percent lower during the weekday morning peak hour and 10 percent lower during the weekday evening peak hour compared to the 2016 traffic volumes increased by a regional growth factor. As such, the Year 2022 traffic volumes were increased by 25 and 10 percent during the weekday morning and weekday evening peak hours, respectively, to estimate the Year 2022 base traffic volumes. **Figure 4** illustrates the Year 2022 base peak hour traffic volumes. **Figure 5** illustrates the Year 2022 base peak hour truck volumes. Copies of the traffic count summary sheets are included in the Appendix.

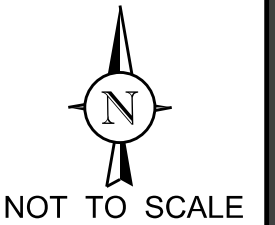


- LEGEND**
- 00 - AM PEAK HOUR (7:15-8:15 AM)
 - (00) - PM PEAK HOUR (4:15-5:15 PM)

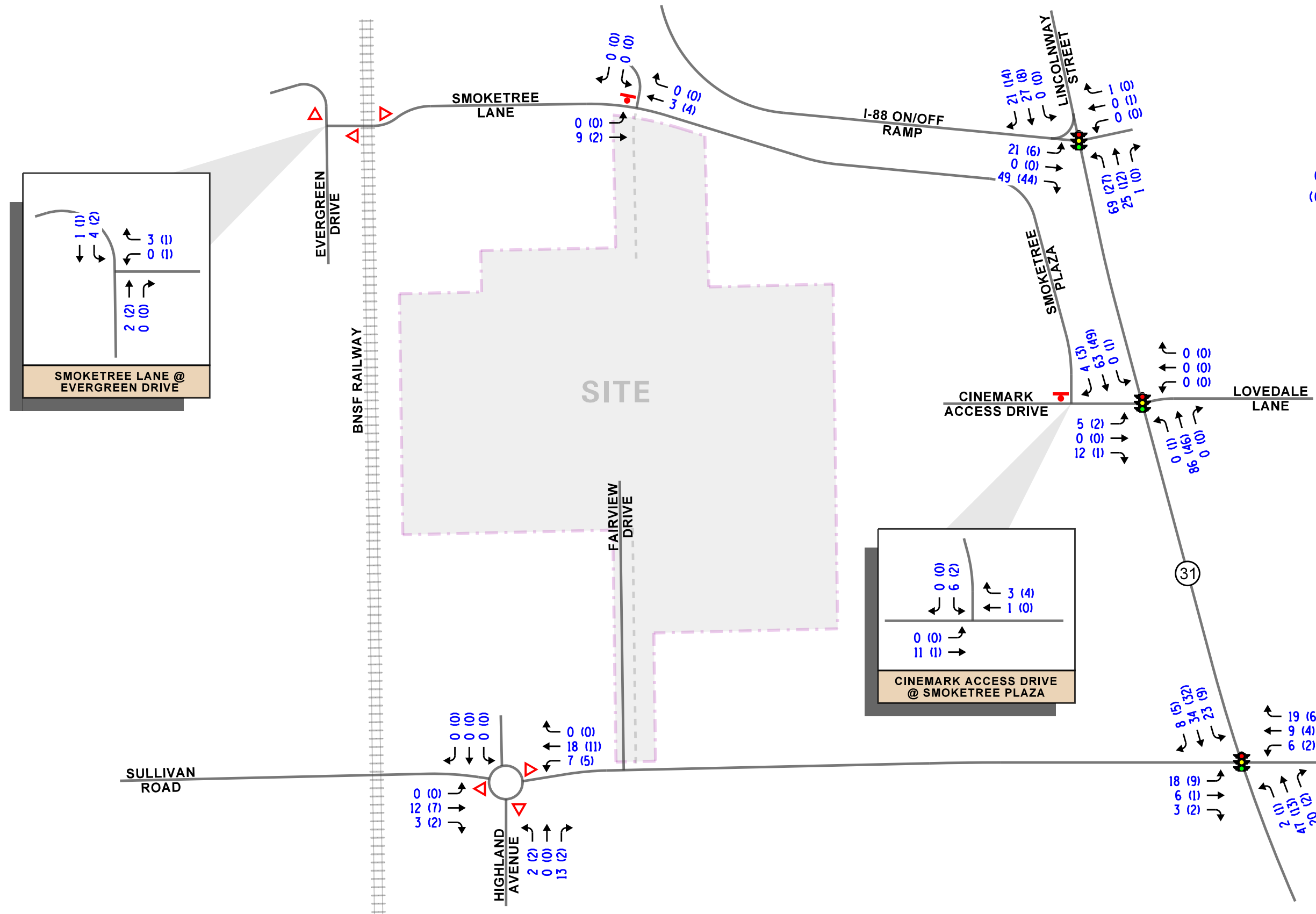


PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

YEAR 2022 BASE TRAFFIC VOLUMES



- LEGEND**
- 00 - AM PEAK HOUR (7:15-8:15 AM)
 - (00) - PM PEAK HOUR (4:15-5:15 PM)



Crash Data

KLOA, Inc. obtained crash data¹ for the most recent available five years (2016 to 2020) for the intersections of IL 31 with Sullivan Road, the I-88 ramps, and Lovedale Lane as well as the intersections of Sullivan Road with Highland Avenue, Smoketree Lane with the Rodeway Inn access drive, and Smoketree Lane with Evergreen Drive. A summary of the crash data is found in **Tables 1** through **4**. No crashes occurred at the intersections of Smoketree Lane with the Rodeway Inn access drive or Evergreen Drive during the time period surveyed. A review of the crash data found that no fatal crashes occurred at the intersections during the review period.

Table 1
IL 31 WITH SULLIVAN ROAD – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2016	1	0	1	7	0	8	0	17
2017	2	0	1	5	0	5	0	13
2018	1	0	0	3	0	12	1	17
2019	2	0	1	2	1	8	0	14
2020	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>7</u>	<u>0</u>	<u>9</u>
Total	6	0	3	18	2	40	1	70
Average	1.2	0.0	<1.0	3.6	<1.0	5.0	<1.0	14.0

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

Table 2
IL 31 WITH I-88 RAMPS – CRASH SUMMARY

Year	Type of Crash Frequency							
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	Total
2016	0	0	0	3	0	4	0	7
2017	0	0	0	2	1	9	0	12
2018	0	0	0	3	1	12	0	16
2019	0	0	1	6	0	11	0	18
2020	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>10</u>	<u>0</u>	<u>11</u>
Total	0	0	1	15	2	46	0	64
Average	0.0	0.0	<1.0	3.0	<1.0	9.2	0.0	12.8

Table 3
IL 31 WITH LOVEDALE LANE – CRASH SUMMARY

Year	Type of Crash Frequency							
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	Total
2016	0	0	0	2	0	1	0	3
2017	0	1	0	0	0	2	1	4
2018	1	0	0	3	0	3	0	7
2019	0	0	1	2	0	1	0	4
2020	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>2</u>	<u>1</u>	<u>3</u>
Total	1	1	1	7	0	9	2	21
Average	<1.0	<1.0	<1.0	1.4	0.0	1.8	<1.0	4.2

Table 4

SULLIVAN ROAD WITH HIGHLAND AVENUE – CRASH SUMMARY

Year	Type of Crash Frequency							
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	Total
2016	0	0	0	1	0	0	0	1
2017	0	0	2	0	0	1	0	3
2018	0	0	0	2	0	0	0	2
2019	0	0	0	2	0	2	0	4
2020	<u>0</u>	<u>0</u>	<u>2</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>2</u>
Total	0	0	4	5	0	3	0	12
Average	0.0	0.0	<1.0	1.0	0.0	<1.0	0.0	2.4

3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

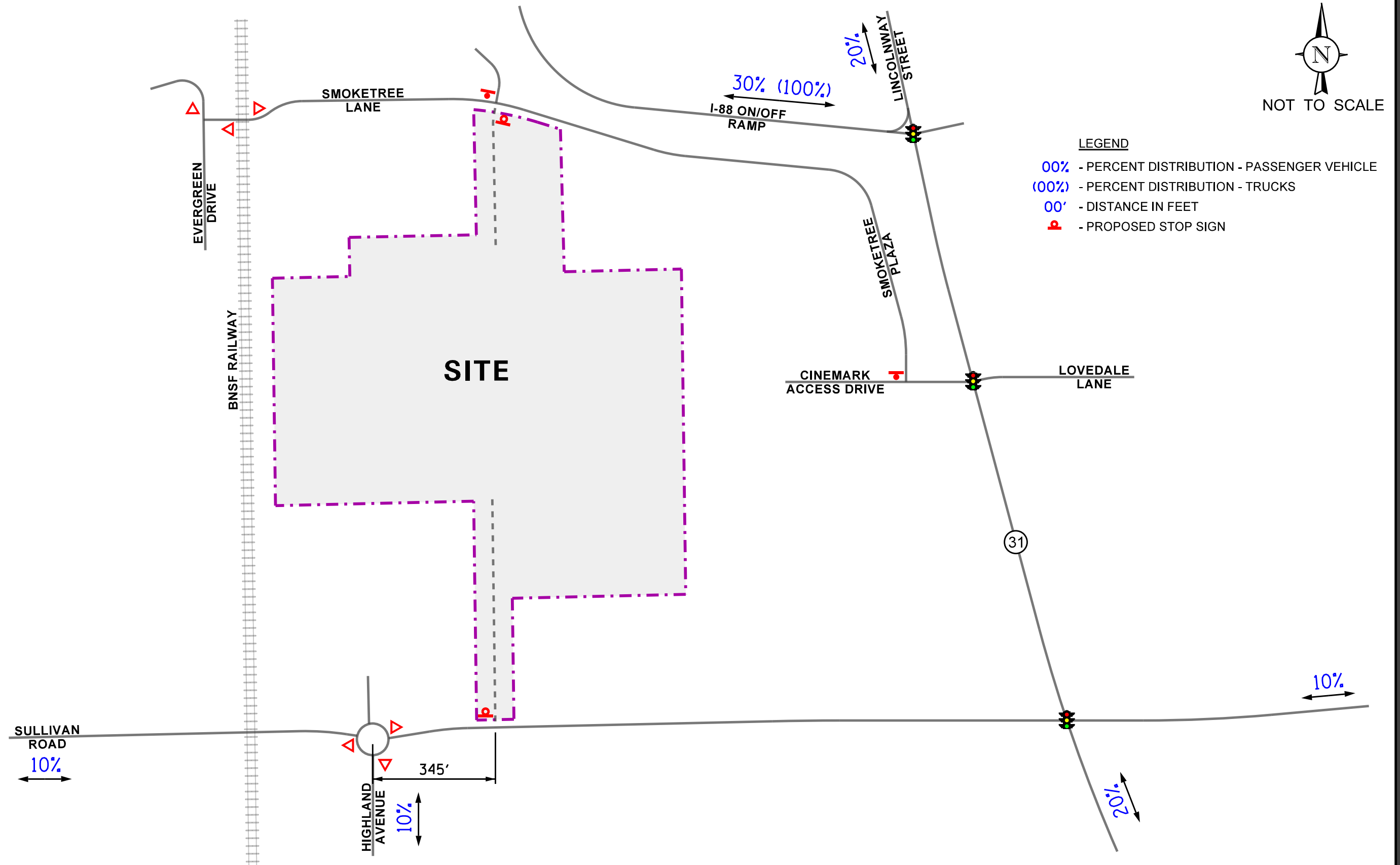
As proposed, the site will be developed with two warehouse buildings totaling 429,000 square feet of space. Access to the development will be provided via one access drive on Sullivan Road and one access drives on Smoketree Lane as summarized below:

- The Sullivan Road access drive will be located on the north side of the road approximately 345 feet east of the Sullivan Road/Highland Avenue roundabout and immediately west of the Fairview Dental access drive. Given that Sullivan Road is a designated truck route and the tight turn between IL 31 and Smoketree Plaza, all semi-trailer trucks traveling to and from the development will be directed to use this access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic. In addition, an approximate 225-foot eastbound left-turn lane with a 110-foot taper will be provided on Sullivan Road serving the proposed access drive and Fairview Dental access drive.
- The Smoketree Lane access drive will be located on the south side of the road aligned opposite the Rodeway Inn access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic.

A site plan depicting the proposed development layout and access is included in the Appendix.

Directional Distribution

The directions from which passenger vehicles will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. Given that Sullivan Road is a designated truck route and the tight turn between IL 31 and Smoketree Lane, all semi-trailer trucks traveling to and from the development will be direct to use the Sullivan Road access drive. **Figure 6** illustrates the directional distribution of passenger vehicle and truck traffic.



PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

ESTIMATED DIRECTIONAL DISTRIBUTION

Peak Hour Traffic Volumes

The volume of traffic estimated to be generated by the proposed warehouse development was determined based a review of trip generation data published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual*, 11th Edition. Land Use Code 150 (Warehouse) was utilized to estimate the trips for the development. **Table 5** shows the estimated trips to be generated by the proposed development.

Table 5

ESTIMATED VEHICLE TRIP GENERATION

Facility/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Trips
	In	Out	Total	In	Out	Total	
Warehouse – 429,000 s.f. (LUC 150)							
Passenger Vehicle Traffic	52	12	64	14	50	64	458
Truck Traffic	4	5	9	7	6	13	258
Total	56	17	73	21	56	77	716

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

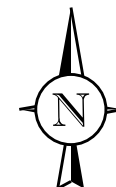
The estimated weekday morning and weekday evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 6). **Figure 7** illustrates the traffic assignment of the new passenger vehicle trips and **Figure 8** illustrates the traffic assignment of the new truck trips.

Background (No-Build) Traffic Conditions

The Year 2022 existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on 2050 Annual Average Daily Traffic (AADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated April 18, 2022, the existing traffic volumes were increased by an annually compounded growth rate of approximately 1.2 percent for six years (one-year buildout plus five years) totaling approximately seven percent to represent Year 2028 conditions. **Figure 9** illustrates the Year 2028 no-build traffic volumes. A copy of the CMAP projections letter is included in the Appendix.


Total Projected Traffic Volumes

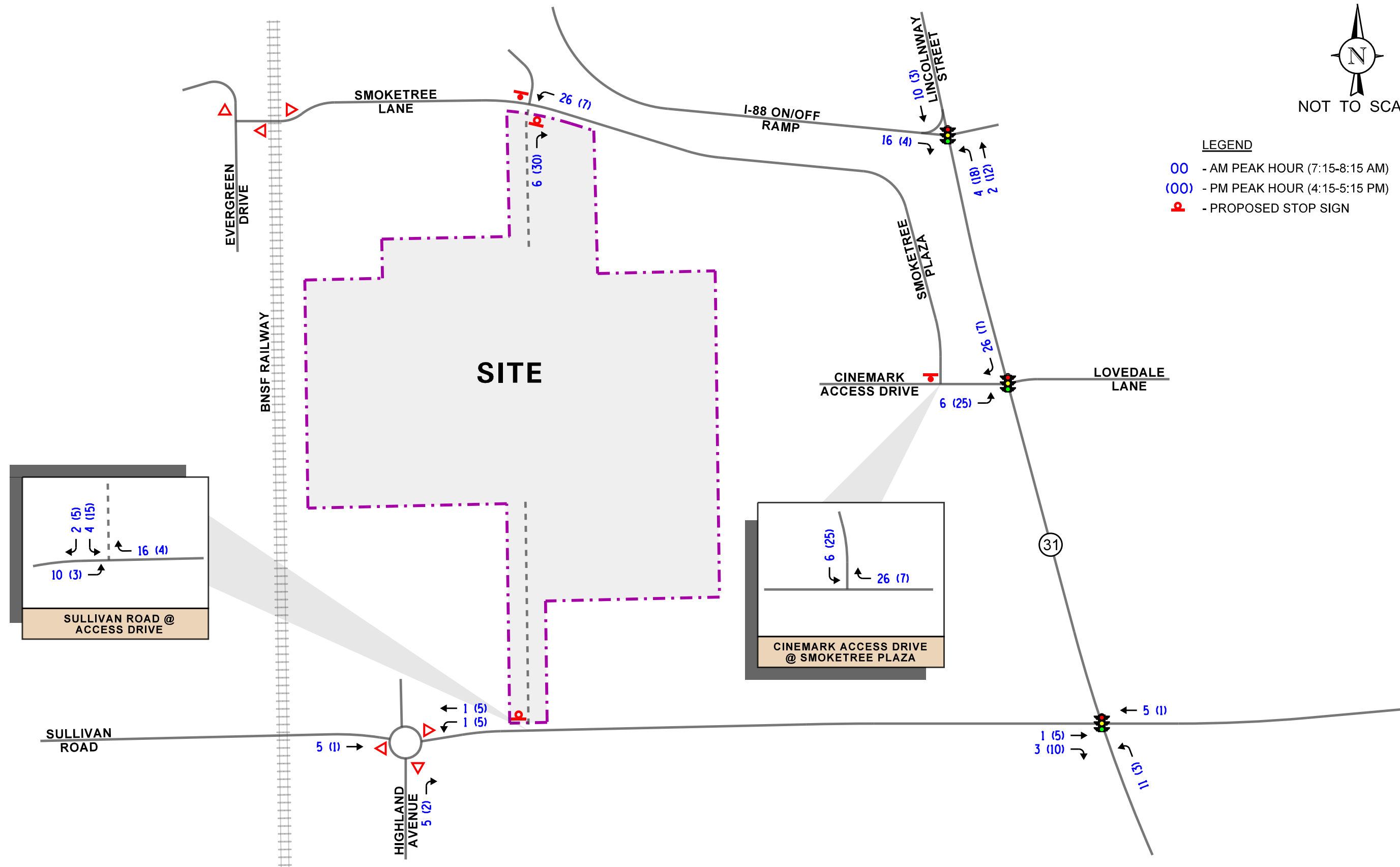
The new development-generated passenger vehicle trips (Figure 7) and truck trips (Figure 8) were added to the existing traffic volumes taking into account background growth (Figure 9) to determine the Year 2028 total projected traffic volumes. **Figure 10** illustrates the Year 2028 total projected traffic volumes.



NOT TO SCALE

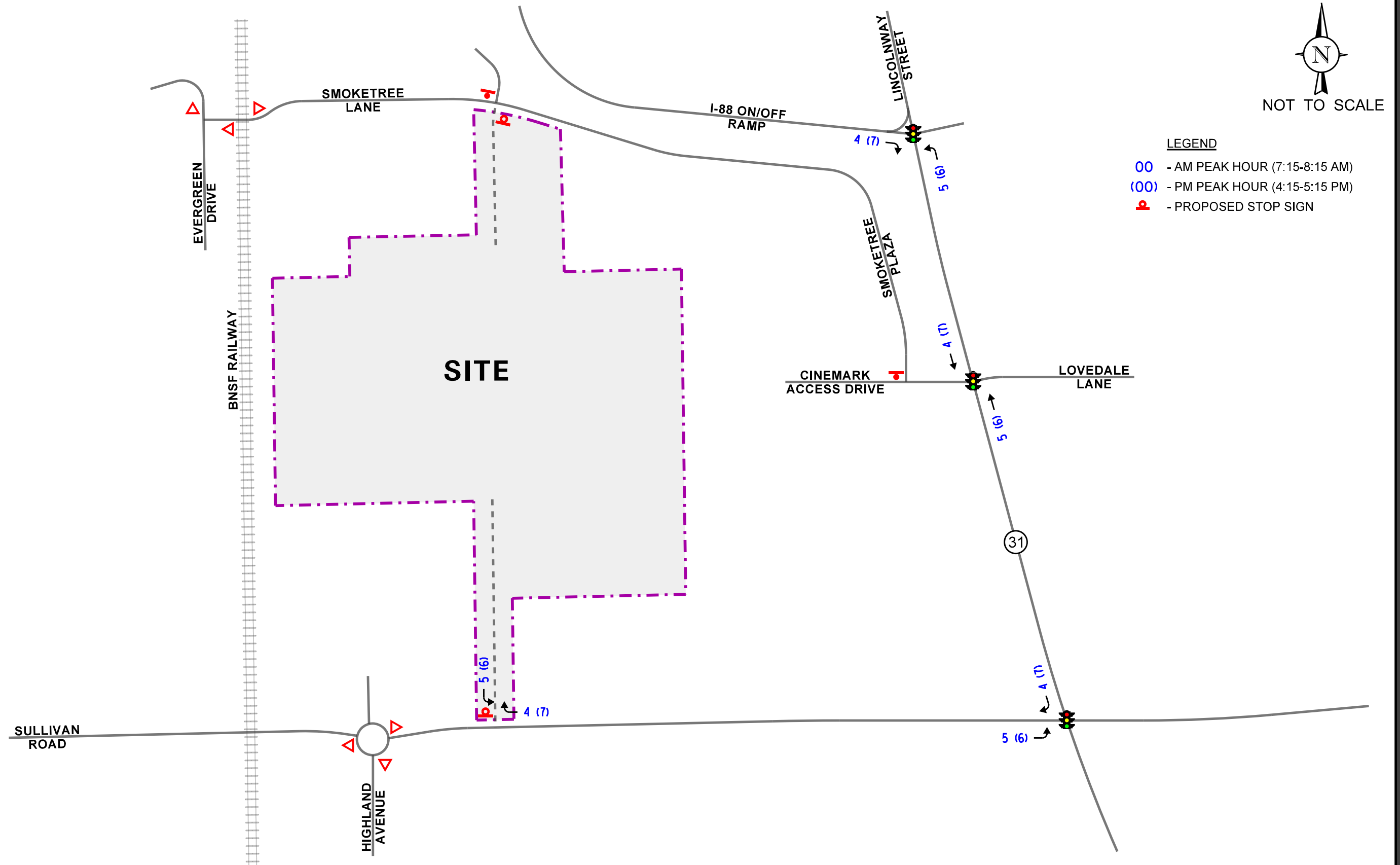
LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (4:15-5:15 PM)
-  - PROPOSED STOP SIGN



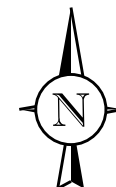
PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

ESTIMATED SITE-GENERATED TRAFFIC VOLUMES
PASSENGER VEHICLES



PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

ESTIMATED SITE-GENERATED TRAFFIC VOLUMES
TRUCKS

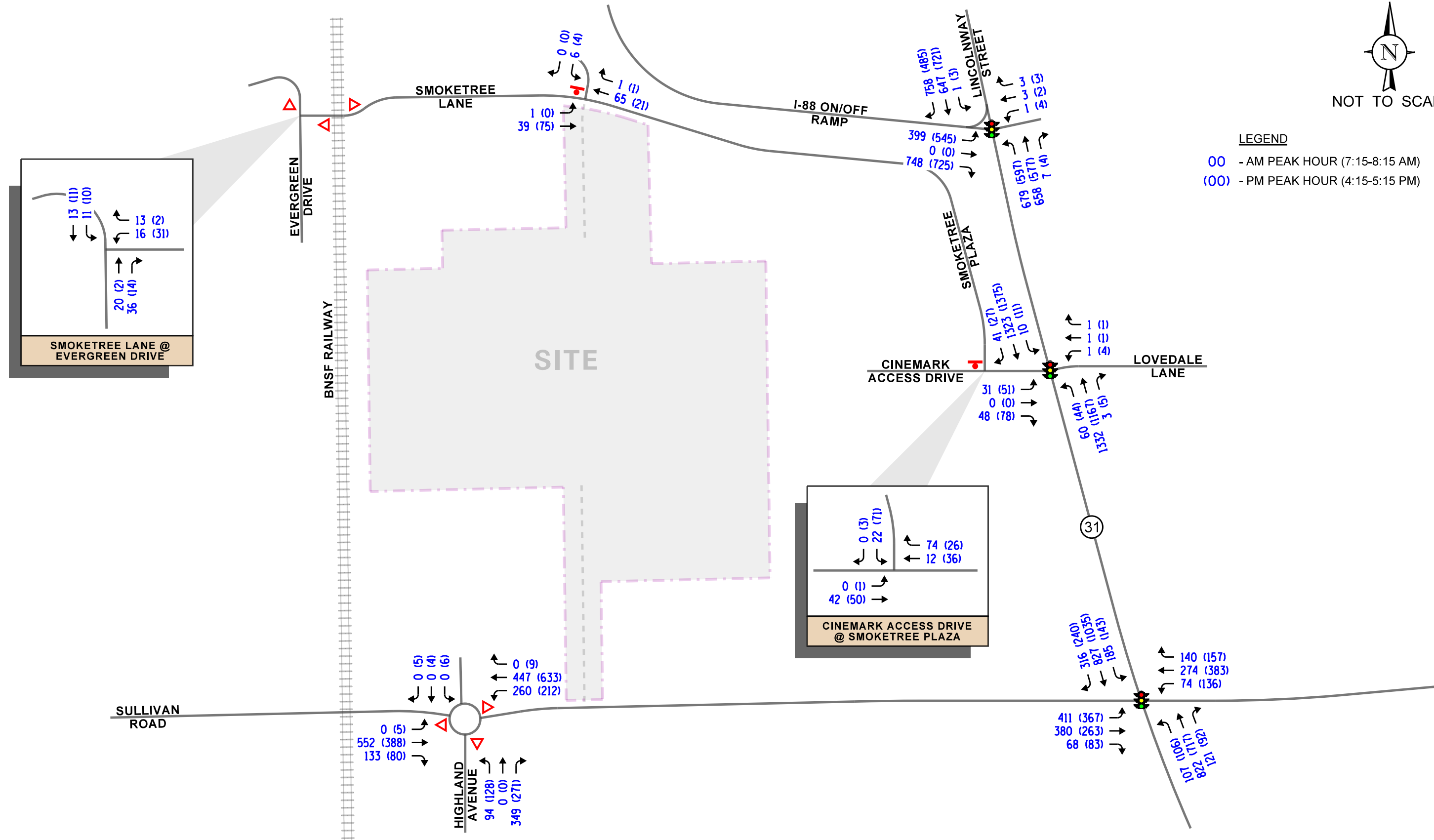


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LEGEND

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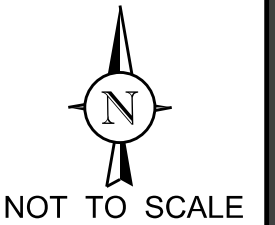
PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

YEAR 2028 NO-BUILD TRAFFIC VOLUMES



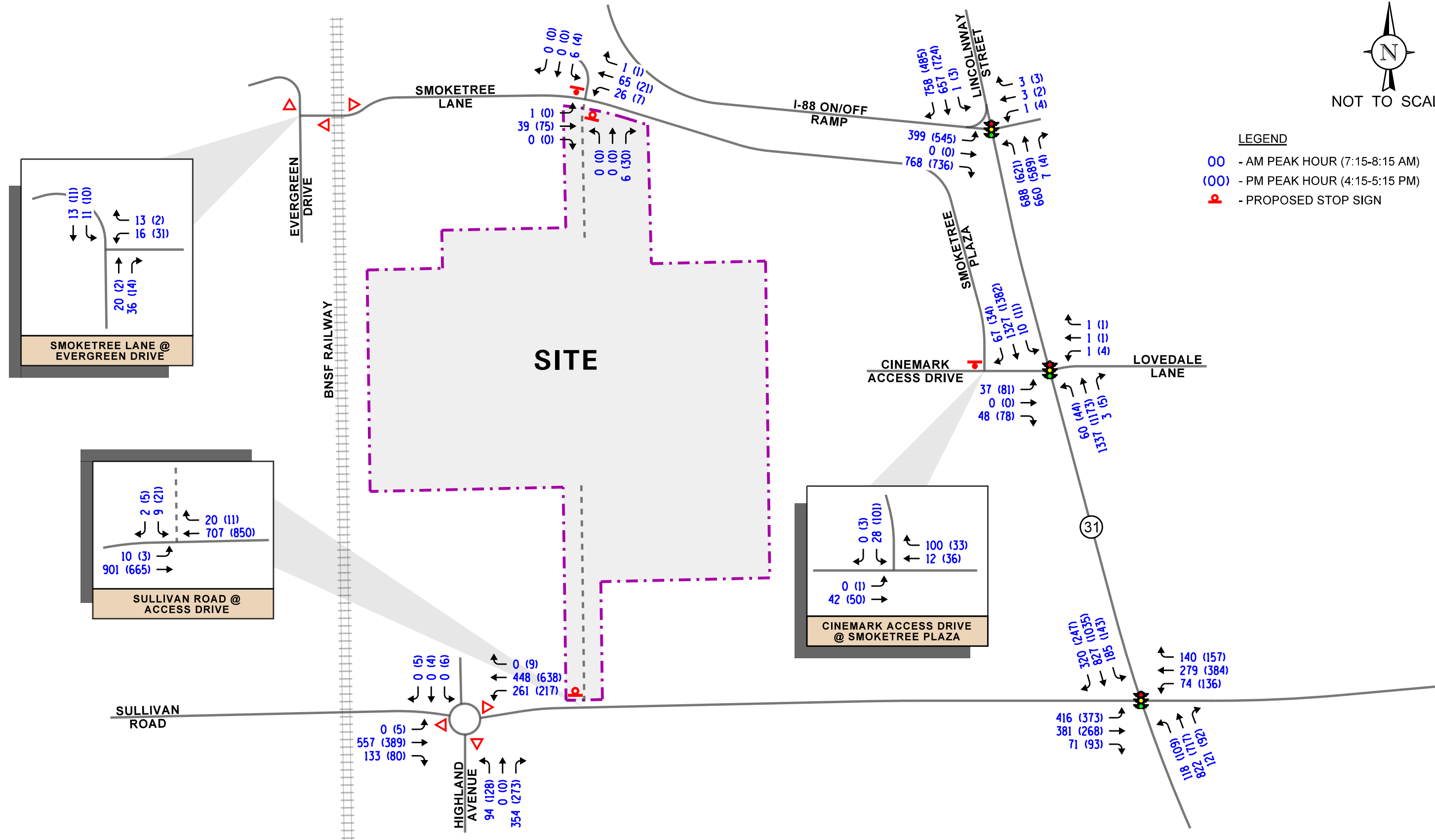
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Figure: 9



LEGEND

- 00 - AM PEAK HOUR (7:15-8:15 AM)
- (00) - PM PEAK HOUR (4:15-5:15 PM)
- P - PROPOSED STOP SIGN



PROPOSED WAREHOUSE
NORTH AURORA, ILLINOIS

YEAR 2028 TOTAL PROJECTED TRAFFIC VOLUMES

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the Year 2022 base, Year 2028 no-build, and Year 2028 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 11 software. The analysis for the signalized intersections were accomplished using field measured cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the base, no-build, and total projected conditions are presented in **Tables 6 through 11**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 6

IL 31 WITH SULLIVAN ROAD – SIGNALIZED

Base Conditions	Peak Hour	Eastbound		Westbound			Northbound			Southbound		Overall	
		L	T/R	L	T	R	L	T	R	L	T/R		
	Weekday Morning	F 99+	D 50.7	C 34.6	E 57.1	D 39.1	B 18.2	C 29.3	B 15.4	B 18.8	C 31.3	D 41.5	
		E – 74.3		D – 48.5			C – 26.6			C – 29.6			
	Weekday Evening	F 83.3	D 49.9	C 34.9	E 57.7	D 39.7	B 19.2	C 25.5	B 12.4	A 8.7	C 20.9	D 35.0	
		E – 67.1		D – 48.9			C – 23.4			B – 19.7			
	No-Build Conditions	Weekday Morning	F 99+	D 49.4	C 32.9	D 53.5	D 35.3	C 23.9	C 33.4	B 17.7	C 22.4	D 35.5	D 46.0
			F – 84.1		D – 45.1			C – 30.6			C – 33.7		
		Weekday Evening	F 99+	D 49.4	C 34.1	E 56.5	D 38.3	C 26.0	C 27.4	B 13.3	B 10.4	C 25.2	D 38.5
			E – 75.5		D – 47.8			C – 25.8			C – 23.7		
Projected Conditions	Weekday Morning	F 99+	D 49.0	C 32.6	D 53.2	C 35.0	C 27.3	C 33.7	B 17.8	C 22.8	D 36.7	D 46.7	
		F – 85.0		D – 44.9			C – 31.2			C – 34.7			
	Weekday Evening	F 99+	D 49.8	C 34.2	E 56.5	D 38.3	C 27.1	C 27.4	B 13.3	B 11.1	C 25.1	D 39.3	
		E – 78.2		D – 47.8			C – 26.0			C – 23.7			
Letter denotes Level of Service L – Left Turn R – Right Turn Delay is measured in seconds. T – Through													

TABLE 7
IL 31 WITH I-88 RAMPS – SIGNALIZED

Base Conditions	Peak Hour	Eastbound		Westbound	Northbound		Southbound			Overall	
		L/T	R	L/T/R	L	T/R	L	T	R		
	Weekday Morning	F 85.0	B 19.9	C – 24.1	F 99+	B 14.2	B 14.0	D 43.5	C 21.0	D 45.7	
		D – 42.3			E – 63.7		C – 31.3				
	Weekday Evening	E 75.8	B 14.8	C – 22.0	F 99+	C 23.9	B 19.3	E 60.1	A 8.5	D 48.1	
		D – 41.0			E – 65.2		D – 39.2				
	No-Build Conditions	Weekday Morning	F 99+	C 23.0	C – 24.3	F 99+	B 13.7	B 14.0	D 45.0	C 31.7	E 57.9
			D – 50.4			F – 85.5		D – 37.8			
		Weekday Evening	F 91.7	B 16.4	C – 22.0	F 99+	C 23.2	B 19.3	E 64.3	B 10.2	E 56.4
			D – 48.7			E – 79.2		D – 42.5			
Projected Conditions	Weekday Morning	F 99+	C 24.6	C – 24.3	F 99+	B 13.3	B 14.0	D 45.4	C 32.2	E 60.2	
		D – 51.0			F – 91.3		D – 38.3				
	Weekday Evening	F 91.7	B 16.8	C – 22.0	F 99+	C 22.5	B 19.3	E 64.6	B 10.4	E 59.6	
		D – 48.7			F – 88.2		D – 42.8				
Letter denotes Level of Service Delay is measured in seconds.		L – Left Turn R – Right Turn T – Through									

TABLE 8

IL 31 WITH LOVEDALE LANE/CINEMARK ACCESS DRIVE – SIGNALIZED

Base Conditions	Peak Hour	Eastbound		Westbound	Northbound		Southbound		Overall	
		L/T	R	L/T/R	L	T/R	L	T/R		
	Weekday Morning	E 59.4	E 67.2	D – 49.3	A 2.8	A 4.7	A 3.0	A 9.6	A 8.7	
		E – 64.1			A – 4.6		A – 9.5			
	Weekday Evening	E 70.4	E 75.3	E – 57.0	A 2.6	A 4.5	A 1.6	A 6.7	A 8.9	
		E – 73.7			A – 4.4		A – 6.7			
	No-Build Conditions	Weekday Morning	E 59.8	E 68.2	D – 49.3	A 3.2	A 5.1	A 3.8	B 12.0	B 10.0
			E – 64.9			A – 5.0		B – 11.9		
		Weekday Evening	E 70.0	E 75.9	E – 56.3	A 3.0	A 5.1	A 2.1	A 9.0	B 10.3
			E – 73.6			A – 5.0		A – 9.0		
Projected Conditions	Weekday Morning	E 63.3	E 68.4	D – 49.3	A 3.3	A 5.1	A 3.7	B 12.8	B 10.6	
		E – 66.2			A – 5.0		B – 12.7			
	Weekday Evening	E 80.0	E 70.9	D – 54.8	A 3.6	A 5.7	A 2.5	B 10.4	B 12.1	
		E – 75.6			A – 5.6		B – 10.3			
Letter denotes Level of Service Delay is measured in seconds.		L – Left Turn R – Right Turn T – Through								

Table 9

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – BASE CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Sullivan Road with Highland Avenue ¹				
• Overall	C	15.5	B	11.1
• Eastbound Approach	C	17.3	A	8.0
• Westbound Approach	B	11.7	B	13.8
• Northbound Approach	C	18.9	A	9.2
• Southbound Approach	--	--	A	7.4
Cinemark Access Drive with Smoketree Plaza ²				
• Southbound Approach	A	9.4	A	9.3
• Eastbound Left Turn	A	0.0	A	7.3
Smoketree Lane with Rodeway Inn Access Drive ²				
• Southbound Approach	A	9.2	A	9.1
• Eastbound Left Turn	A	7.4	A	0.0
Smoketree Lane with Evergreen Drive/Styrofoam Recycling Access Drive ³				
• Westbound Approach	A	9.2	A	8.9
LOS = Level of Service		1 – Roundabout		3 – Yield
Delay is measured in seconds		2 – Two-way stop control		

Table 10-

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – NO-BUILD CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Sullivan Road with Highland Avenue ¹				
• Overall	C	19.3	B	12.8
• Eastbound Approach	C	22.1	A	8.7
• Westbound Approach	B	13.3	C	16.4
• Northbound Approach	C	24.4	B	10.2
• Southbound Approach	--	--	A	8.0
Cinemark Access Drive with Smoketree Plaza ²				
• Southbound Approach	A	9.5	A	9.4
• Eastbound Left Turn	A	0.0	A	7.3
Smoketree Lane with Rodeway Inn Access Drive ²				
• Southbound Approach	A	9.3	A	9.1
• Eastbound Left Turn	A	7.4	A	0.0
Smoketree Lane with Evergreen Drive/Styrofoam Recycling Access Drive ³				
• Westbound Approach	A	9.2	A	8.9
LOS = Level of Service		1 – Roundabout		3 – Yield
Delay is measured in seconds		2 – Two-way stop control		

Table 11

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – TOTAL CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Sullivan Road with Highland Avenue¹				
• Overall	C	19.8	B	13.1
• Eastbound Approach	C	22.7	A	8.8
• Westbound Approach	B	13.4	C	16.9
• Northbound Approach	C	24.7	B	10.2
• Southbound Approach	--	--	A	8.1
Cinemark Access Drive with Smoketree Plaza²				
• Southbound Approach	A	9.6	A	9.6
• Eastbound Left Turn	A	0.0	A	7.3
Smoketree Lane with Rodeway Inn Access Drive/Proposed Access Drive²				
• Northbound Approach	A	8.6	A	8.9
• Southbound Approach	A	9.9	A	9.6
• Eastbound Left Turn	A	7.4	A	0.0
• Westbound Left Turn	A	7.4	A	7.4
Smoketree Lane with Evergreen Drive/Styrofoam Recycling Access Drive³				
• Westbound Approach	A	9.2	A	8.9
Sullivan Road with Proposed Access Drive²				
• Southbound Approach	D	25.3	F	99+
• Eastbound Left Turn	A	9.9	B	11.6
LOS = Level of Service		1 – Roundabout	3 – Yield	
Delay is measured in seconds		2 – Two-way stop control		

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development-generated traffic.

IL 31 with Sullivan Road

The results of the capacity analysis indicate that this intersection currently operates at an overall Level of Service (LOS) D during the weekday morning and weekday evening peak hours. All the intersection movements operate at LOS D or better during both peak hours except the eastbound left-turn movement and the westbound through movement. During both peak hours, the eastbound left-turn movement operates at LOS F and the westbound through movement operates on the threshold between LOS D/E. This is due in part to the fact that IL 31 is the primary road at this intersection and receives the majority of the green time.

Under Year 2028 no-build conditions, the intersection is projected to operate at an overall LOS D during both the weekday morning and evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn movement and the westbound through movement. The eastbound left-turn movement is projected to continue to operate at LOS F during both peak hours and the westbound movement is projected to continue to operate on the threshold of LOS D/E during the weekday evening peak hour.

Under Year 2028 total projected conditions, the intersection is projected to continue to operate at an overall LOS D during the weekday morning and evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn movement and the westbound through movement. The eastbound left-turn movement is projected to continue to operate at LOS F during both peak hours and the westbound movement is projected to continue to operate on the threshold of LOS D/E during the weekday evening peak hour. It is recommended that the signal timings at this intersection be optimized. With the reallocation of some green time from the IL 31 approaches to the Sullivan Road approaches, the intersection is projected to operate at LOS D and all the movements are projected to operate at LOS D or better during both peak hours. As such, this intersection has sufficient reserve capacity to accommodate the traffic to be generated by the proposed development and no additional roadway improvements or traffic control modifications are required at this intersection.

IL 31 with I-88 Ramps

The results of the capacity analysis indicate that this intersection currently operates at LOS D during the weekday morning and weekday evening peak hours. All the intersection movements operate at LOS D or better during both peak hours except the eastbound left-turn/through movement, the northbound left-turn movement, and the southbound through movement. The eastbound through/left-turn movement and the northbound left-turn movement operate at LOS E or F during both peak hours and the northbound through movements operates at LOS E during the evening peak hour.

Under Year 2028 no-build conditions, the overall intersection is projected to operate on the threshold between LOS D/E during the weekday morning and evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn/through movement, the northbound left-turn movement, and the southbound through movement, which are projected to continue to operate at LOS E or F.

Under Year 2028 total projected conditions, the intersection is projected to operate at an overall LOS E during the weekday morning and weekday evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn/through movement, the northbound left-turn movement, and the southbound through movement, which are projected to continue to operate at LOS E or F. The development-generated traffic is projected to represent just over one percent of the traffic at this intersection during the peak hours. As such, the development will have a limited impact on the operation of this intersection and no roadway improvements or traffic signal modifications are required.

IL 31 with Lovedale Lane/Cinemark Access Drive

The results of the capacity analysis indicate that the intersection currently operates at an overall LOS A during the weekday morning and evening peak hours. All the intersection movements operate at LOS D or better during both peak hours except the eastbound left-turn movement, eastbound through/right-turn movement, and westbound approach during the evening peak hour, which are projected to operate at LOS E. This is due in part to the fact that IL 31 is the primary road at this intersection and receives the majority of the green time.

Under Year 2028 no-build conditions, the overall intersection is projected to operate at LOS B during the weekday morning and evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn movement, eastbound through/right-turn movement, and westbound approach during the evening peak hour, which are projected to continue to operate at LOS E.

Under Year 2028 total projected conditions, the overall intersection is projected to operate at LOS B during the weekday morning and evening peak hours. All the intersection movements are projected to continue to operate at LOS D or better during both peak hours except the eastbound left-turn movement, eastbound through/right-turn movement, and westbound approach during the weekday evening peak hour, which are projected to continue to operate at LOS E. As such, intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed development and no roadway improvements or signal modifications will be required.

Sullivan Road with Highland Avenue

The results of the capacity analysis indicate that the roundabout currently operates at an overall LOS C during the weekday morning peak hour and at LOS B during the weekday evening peak hour. All approaches currently operate at LOS C or better during the peak hours.

Under Year 2028 no-build conditions, the roundabout is projected to continue to operate at LOS C during the weekday morning peak hour and at LOS B during the weekday evening peak hour. All approaches are projected to continue operating at LOS C or better during the peak hours.

Under Year 2028 total projected conditions, the roundabout is projected to continue to operate at LOS C during the weekday morning peak hour and at LOS B during the weekday evening peak hour. All approaches are projected to continue to operate at LOS C or better during the peak hours. As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed development and no roadway improvements or traffic control modifications are required.

Smoketree Plaza with Cinemark Access Drive

The results of the capacity analysis indicate that the Smoketree Plaza southbound approach currently operates at LOS A during the weekday morning and weekday evening peak hours. The eastbound left-turn movement is projected to operate at LOS A during both peak hours. It should be noted that given the proximity of the intersection to IL 31, the southbound approach and the eastbound approach does experience some queuing as the traffic on these approaches must wait for the green phase for the Cinemark/Smoketree Plaza approach at its intersection with IL 31. Under Year 2028 no-build conditions, the southbound approach and eastbound left-turn movement are projected to continue operating at their current levels of service. Under Year 2028 total projected conditions, the southbound approach and the eastbound left-turn movement are projected to continue to operate at LOS A during both peak hours. As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed development and no roadway improvements or traffic control modifications are required.

Smoketree Lane with Evergreen Drive/Styrofoam Recycling Access Drive

Since the southbound approach at this intersection is under yield sign control, the intersection was analyzed assuming all-way stop sign control. The results of the capacity analysis indicate that the westbound, northbound, and southbound approaches all currently operate at LOS A during the weekday morning and evening peak hours. Under Year 2028 no-build conditions, all approaches are projected to continue operating at LOS A during both peak hours. Under Year 2028 total projected conditions, all approaches are projected to operate at LOS A during the weekday morning and evening peak hours. As such, this intersection has sufficient reserve capacity to accommodate the traffic estimated to be generated by the proposed development and no roadway improvements or traffic control modifications are required.

Sullivan Road with Proposed Access Drive

Access to the development is proposed via an access drive located on the north side of Sullivan Road approximately 345 feet east of the Sullivan Road/Highland Avenue roundabout and immediately west of the Fairview Dental access drive. Given that Sullivan Road is a designated truck route and the tight turn between IL 31 and Smoketree Lane, all semi-trailer trucks will be directed to use this access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic. In addition, an approximate 225-foot eastbound left-turn lane with a 110-foot taper will be provided on Sullivan Road serving the proposed access drive and Fairview Dental access drive.

It should be noted that the proximity of the proposed access drive to the Highland Avenue roundabout and the Fairview Dental access drive should not pose any operational issues due to the following:

- The lower travel speeds experienced along Sullivan Road within the vicinity of the access drive, as westbound vehicles are slowing down as they approach the roundabout and westbound vehicles are starting to accelerate after exiting the roundabout.
- The excellent sight lines that will be provided between the roundabout, the proposed access drive, and the Fairview Dental access drive with the elimination of the existing trees and brush as part of the construction of the access drive.
- The eastbound left-turn lane proposed to be provided on Sullivan Road serving the proposed access drive and the Fairview Dental access drive.
- The lower volume of traffic projected to use the access drive and that currently uses the Fairview Dental access drive.

Further, it is important to note that Sullivan Road is designated a truck route and currently has a number of access drives serving industrial and warehouse uses located along Sullivan Road.

Under Year 2028 total projected conditions, the southbound approach from the proposed access drive is projected to operate at LOS D during the weekday morning peak hour and at LOS F during the weekday evening peak hour. The development traffic will be able to exit onto Sullivan Road. However, during the evening peak period this traffic will experience some additional delay. This is common and expected for an access drive intersecting a major roadway such as Sullivan Road. Further, it is important to note that the analysis provides a conservative (worst-case) analysis as it did not consider the following factors:

- The signalized intersection of Sullivan Road and IL 31 and the roundabout at Sullivan Road/Highland Avenue intersection, which both create additional gaps in the Sullivan Road traffic stream.
- The median that will be provided along Sullivan Road with proposed left-turn lane that will allow exiting vehicles to complete a two-stage left turn.

As such, the access drive approach is projected to operate better than the capacity analyses are indicating.

Smoketree Lane with Rodeway Inn Access Drive/Proposed Access Drive

The results of the capacity analysis indicate that the southbound approach currently operates at LOS A during the weekday morning and weekday evening peak hours. The eastbound left-turn movement is projected to operate at LOS A during both peak hours. Under Year 2028 no-build conditions, the southbound approach and eastbound left-turn movement are projected to continue operating at their current levels of service.

Access to the development is proposed via an access drive on located on the south side of Smoketree Lane aligned opposite the Rodeway Inn access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic. Under Year 2028 total projected conditions, the northbound approach from the proposed development and the southbound approach are projected to operate at LOS A during the weekday morning and evening peak hours. The eastbound and westbound left turns are projected to operate at LOS A during both peak hours. As such, the proposed site access drive will provide efficient and flexible access to the site with limited impact on Smoketree Lane.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- Access to the development will be provided via one access drive on Sullivan Road and one access drive on Smoketree Lane as summarized below:
 - The Sullivan Road access drive will be located on the north side of the road approximately 345 feet east of the Sullivan Road/Highland Avenue roundabout and immediately west of the Fairview Dental access drive. Given that Sullivan Road is a designated truck route and the tight turn between IL 31 and Smoketree Plaza, all semi-trailer trucks will be directed to use this access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic. In addition, an approximate 225-foot eastbound left-turn lane with a 110-foot taper will be provided on Sullivan Road serving the proposed access drive and Fairview Dental access drive.
 - The Smoketree Lane access drive will be located on the south side of the road aligned opposite the Rodeway Inn access drive. This access drive will provide one inbound lane and one outbound lane with larger radii to accommodate the turning truck traffic.
- The proximity of the proposed access drive to the Highland Avenue roundabout and the Fairview Dental access drive should not pose any operational issues due to the following:
 - The lower travel speeds experienced along Sullivan Road within the vicinity of the access drive, as westbound vehicles are slowing down as they approach the roundabout and westbound vehicles are starting to accelerate after exiting the roundabout.
 - The excellent sight lines that will be provided between the roundabout, the proposed access drive, and the Fairview Dental access drive with the elimination of the existing trees and brush as part of the construction of the access drive.
 - The eastbound left-turn lane proposed to be provided on Sullivan Road serving proposed the access drive and the Fairview Dental access drive.
 - The lower volume of traffic projected to use the access drive and currently using the Fairview Dental access drive.
 - That Sullivan Road is designated a truck route and that a number of access drives serving industrial and warehouse uses are currently located along Sullivan Road.

- The proposed access system will be adequate in accommodating the traffic projected to be generated by the proposed development.
- The results of the capacity analyses indicate that the existing roadway system generally has sufficient reserve capacity to accommodate the traffic to be generated by the proposed development.

Appendix

Traffic Count Summary Sheets

Site Plan

CMAP 2050 Projections Letter

Level of Service Criteria

Capacity Analysis Summary Sheets

Traffic Count Summary Sheets



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Count Name: IL+31+with+Sullivan+Road
Site Code:
Start Date: 04/05/2022
Page No: 1

Turning Movement Data

Start Time	Sullivan Rd Eastbound					Sullivan Rd Westbound					IL 31 Northbound					IL 31 Southbound					Int. Total					
	Left	Thru	Right	App. Total		Left	Thru	Right	U-Turn	Peds	App. Total		Left	Thru	U-Turn	Peds	App. Total		Left	Thru		Right	U-Turn	Peds	App. Total	
6:30 AM	74	53	10	137		7	39	31	0	0	77		33	157	0	0	190		26	114	54	0	0	194	598	
6:45 AM	61	40	11	112		16	53	27	0	0	96		21	131	0	0	152		30	128	57	0	0	215	575	
Hourly Total	135	93	21	249		23	92	58	0	0	173		54	288	0	0	342		56	242	111	0	0	409	1173	
7:00 AM	81	63	15	159		17	58	30	0	0	105		10	111	0	0	121		36	103	40	0	0	179	564	
7:15 AM	68	46	10	124		11	51	19	0	0	81		18	153	0	0	171		43	149	39	0	0	231	607	
7:30 AM	75	94	8	177		14	63	27	0	0	104		24	178	0	0	202		32	149	62	0	0	243	726	
7:45 AM	94	84	15	193		16	54	28	0	0	98		28	131	0	0	159		29	145	70	0	0	244	694	
Hourly Total	318	287	48	653		58	226	104	0	0	388		80	573	0	0	653		140	546	211	0	0	897	2591	
8:00 AM	70	60	18	148		14	37	31	0	0	82		10	152	0	0	162		34	175	65	0	0	274	666	
8:15 AM	80	28	14	122		20	40	27	0	0	87		23	110	0	0	133		15	123	39	0	0	177	519	
8:30 AM	64	43	15	122		17	34	28	0	0	79		13	122	0	0	135		19	153	37	1	0	210	546	
8:45 AM	49	52	20	121		17	37	25	0	0	79		13	84	0	0	97		22	140	45	0	0	207	504	
Hourly Total	263	183	67	513		68	148	111	0	0	327		59	468	0	0	527		90	591	186	1	0	868	2235	
*** BREAK ***	-	-	-	-		-	-	-	-	-	-		-	-	-	-	-		-	-	-	-	-	-	-	
3:00 PM	49	94	33	176		26	98	35	0	0	159		18	113	0	0	131		20	175	41	0	0	236	702	
3:15 PM	53	74	16	143		25	63	23	0	0	111		19	159	0	1	178		29	217	52	1	0	299	731	
3:30 PM	78	81	27	186		39	99	33	0	0	171		28	151	0	0	179		40	191	45	0	0	276	812	
3:45 PM	69	52	20	141		36	89	32	0	0	157		25	139	0	0	164		28	222	48	3	0	301	763	
Hourly Total	249	301	96	646		126	349	123	0	0	598		90	562	0	1	652		117	805	186	4	0	1112	3008	
4:00 PM	72	54	14	140		22	64	44	0	0	130		25	174	0	0	199		42	193	51	0	0	286	755	
4:15 PM	79	48	20	147		36	83	29	0	0	148		22	164	0	0	186		33	228	51	0	0	312	793	
4:30 PM	82	59	16	157		32	90	46	0	1	168		25	150	0	0	175		37	199	43	0	0	279	779	
4:45 PM	65	48	14	127		28	64	32	0	0	124		15	149	0	0	164		21	239	68	0	0	328	743	
Hourly Total	298	209	64	571		118	301	151	0	1	570		87	637	0	0	724		133	859	213	0	0	1205	3070	
5:00 PM	86	69	21	176		19	88	27	0	0	134		28	146	0	0	174		31	213	42	0	0	286	770	
5:15 PM	52	54	17	123		34	83	30	0	0	147		27	187	0	0	214		21	223	39	1	0	284	768	
5:30 PM	50	43	21	114		24	65	35	0	0	124		25	143	0	0	168		21	200	56	0	2	277	683	
5:45 PM	47	49	17	113		25	68	28	0	0	121		17	125	0	0	142		27	168	48	0	2	243	619	
Hourly Total	235	215	76	526		102	304	120	0	0	526		97	601	0	0	698		100	804	185	1	4	1090	2840	
Grand Total	1498	1288	372	3158		495	1420	667	0	1	2582		467	3129	0	1	3596		636	3847	1092	6	4	5581	14917	
Approach %	47.4	40.8	11.8	-		19.2	55.0	25.8	0.0	-	-		13.0	87.0	0.0	-	-		11.4	68.9	19.6	0.1	-	-	-	
Total %	10.0	8.6	2.5	21.2		3.3	9.5	4.5	0.0	-	17.3		3.1	21.0	0.0	-	24.1		4.3	25.8	7.3	0.0	-	-	37.4	
Lights	1432	1246	359	3037		467	1384	588	0	-	2439		454	2957	0	-	3411		554	3642	1060	6	-	5262	14149	
% Lights	95.6	96.7	96.5	96.2		94.3	97.5	88.2	-	-	94.5		97.2	94.5	-	-	94.9		87.1	94.7	97.1	100.0	-	-	94.3	94.9
Buses	17	15	1	33		0	6	0	0	0	6		3	30	0	0	33		9	31	5	0	-	45	117	
% Buses	1.1	1.2	0.3	1.0		0.0	0.4	0.0	-	-	0.2		0.6	1.0	-	-	0.9		1.4	0.8	0.5	0.0	-	-	0.8	0.8

Single-Unit Trucks	28	12	9	49	11	12	26	0	-	49	6	57	0	-	63	24	82	19	0	-	125	286
% Single-Unit Trucks	1.9	0.9	2.4	1.6	2.2	0.8	3.9	-	-	1.9	1.3	1.8	-	-	1.8	3.8	2.1	1.7	0.0	-	2.2	1.9
Articulated Trucks	21	15	3	39	17	18	53	0	-	88	4	85	0	-	89	49	92	8	0	-	149	365
% Articulated Trucks	1.4	1.2	0.8	1.2	3.4	1.3	7.9	-	-	3.4	0.9	2.7	-	-	2.5	7.7	2.4	0.7	0.0	-	2.7	2.4
Bicycles on Road	0	0	0	0	0	0	0	0	-	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	-	-	-	-	1	-	-	-	-	-	1	-	-	-	-	4	-	-
% Pedestrians	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-

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Sullivan Rd
IL 31

Start Time	Sullivan Rd Eastbound				Sullivan Rd Westbound				IL 31 Northbound				IL 31 Southbound				Int. Total			
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	U-Turn	Peds	App. Total	Left	Thru	Right		U-Turn	Peds	App. Total
4:15 PM	79	48	20	147	36	83	29	0	148	22	164	0	0	186	33	228	51	0	0	312
4:30 PM	82	59	16	157	32	90	46	0	168	25	150	0	0	167	37	199	43	0	0	279
4:45 PM	65	48	14	127	28	64	32	0	124	15	149	0	0	164	21	239	68	0	0	328
5:00 PM	86	69	21	176	19	88	27	0	134	28	146	0	0	174	31	213	42	0	0	286
Total	312	224	71	607	115	325	134	0	574	90	609	0	0	699	122	879	204	0	0	1205
Approach %	51.4	36.9	11.7	-	20.0	56.6	23.3	0.0	-	12.9	87.1	0.0	-	-	10.1	72.9	16.9	0.0	-	-
Total %	10.1	7.3	2.3	19.7	3.7	10.5	4.3	0.0	-	2.9	19.7	0.0	-	22.7	4.0	28.5	6.6	0.0	-	39.1
PHF	0.907	0.812	0.845	0.862	0.799	0.903	0.728	0.000	-	0.804	0.928	0.000	-	0.940	0.824	0.919	0.750	0.000	-	0.918
Lights	303	223	69	595	113	321	128	0	562	89	591	0	-	680	113	847	199	0	-	1159
% Lights	97.1	99.6	97.2	98.0	98.3	98.8	95.5	-	97.9	98.9	97.0	-	-	97.3	92.6	96.4	97.5	-	-	96.2
Buses	3	0	0	3	0	0	0	0	0	0	5	0	0	5	0	3	0	0	0	3
% Buses	1.0	0.0	0.0	0.5	0.0	0.0	0.0	-	0.0	0.0	0.8	-	-	0.7	0.0	0.3	0.0	-	-	0.2
Single-Unit Trucks	3	1	1	5	1	3	2	0	6	1	4	0	-	5	1	15	2	0	-	18
% Single-Unit Trucks	1.0	0.4	1.4	0.8	0.9	0.9	1.5	-	1.0	1.1	0.7	-	-	0.7	0.8	1.7	1.0	-	-	1.5
Articulated Trucks	3	0	1	4	1	1	4	0	6	0	9	0	-	9	8	14	3	0	-	25
% Articulated Trucks	1.0	0.0	1.4	0.7	0.9	0.3	3.0	-	1.0	0.0	1.5	-	-	1.3	6.6	1.6	1.5	-	-	2.1
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bicycles on Road	0.0	0.0	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	-	-	0.0
Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	0	-	-	-	-	-	0	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-



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Count Name: IL+31+with+I-88+Ramps
Site Code:
Start Date: 04/05/2022
Page No: 1

Turning Movement Data

Start Time	I-88 Ramps Eastbound						Access Dr Westbound						IL 31 Northbound						IL 31 Southbound						
	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Int. Total
6:30 AM	55	0	116	0	0	171	0	0	0	0	0	0	141	117	0	0	0	258	0	78	124	0	0	202	631
6:45 AM	70	0	125	0	0	195	1	0	0	0	0	1	116	124	4	0	0	244	0	90	137	0	0	227	667
Hourly Total	125	0	241	0	0	366	1	0	0	0	0	1	257	241	4	0	0	502	0	168	261	0	0	429	1298
7:00 AM	77	0	114	0	0	191	0	0	0	0	0	0	109	86	2	0	0	197	0	86	145	0	0	231	619
7:15 AM	79	0	131	0	0	210	0	1	1	0	0	2	106	113	0	0	0	219	1	106	151	0	0	258	689
7:30 AM	68	0	143	1	0	212	1	0	1	0	0	2	150	126	1	0	0	277	0	140	146	0	0	286	777
7:45 AM	97	0	142	0	0	239	0	2	1	0	0	3	135	137	3	0	0	275	0	116	142	0	0	258	775
Hourly Total	321	0	530	1	0	852	1	3	3	0	0	7	500	462	6	0	0	968	1	448	584	0	0	1033	2860
8:00 AM	52	0	143	1	0	196	0	0	0	0	0	0	117	116	3	0	0	236	0	122	127	0	0	249	681
8:15 AM	64	1	101	0	0	166	2	1	0	0	1	3	108	102	2	0	0	212	0	84	130	0	0	214	595
8:30 AM	57	1	105	0	0	163	3	0	1	0	0	4	98	98	4	0	0	200	1	100	114	0	0	215	582
8:45 AM	63	0	99	0	0	162	1	0	0	0	0	1	92	87	3	0	0	182	0	100	94	0	0	194	539
Hourly Total	236	2	448	1	0	687	6	1	1	0	1	8	415	403	12	0	0	830	1	406	465	0	0	872	2397
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	62	0	106	0	0	168	4	1	1	0	0	6	122	89	0	1	0	212	0	152	110	0	0	262	648
3:15 PM	77	0	142	0	0	219	1	0	1	0	2	2	101	110	1	0	0	212	2	163	109	0	0	274	707
3:30 PM	87	0	109	0	0	196	4	0	2	0	0	6	122	117	1	0	0	240	1	188	114	0	0	303	745
3:45 PM	101	0	164	0	0	265	2	0	0	0	1	2	116	89	2	0	0	207	0	151	99	0	0	250	724
Hourly Total	327	0	521	0	0	848	11	1	4	0	3	16	461	405	4	1	0	871	3	654	432	0	0	1089	2824
4:00 PM	99	0	138	1	0	238	2	0	1	0	1	3	120	128	3	0	0	251	0	161	117	0	0	278	770
4:15 PM	126	0	145	0	0	271	0	1	1	0	2	2	132	105	1	1	0	239	1	140	101	0	0	242	754
4:30 PM	97	0	147	0	0	244	2	0	1	0	0	3	129	132	1	0	0	262	1	171	104	0	0	276	785
4:45 PM	129	0	173	1	0	303	1	0	1	0	0	2	123	124	0	0	0	247	0	153	106	0	0	259	811
Hourly Total	451	0	603	2	0	1056	5	1	4	0	3	10	504	489	5	1	0	999	2	625	428	0	0	1055	3120
5:00 PM	110	0	151	0	0	261	1	1	0	0	1	2	122	129	2	0	0	253	1	149	101	0	0	251	767
5:15 PM	114	0	144	0	0	258	3	1	1	0	1	5	136	117	2	0	0	255	0	133	103	0	0	236	754
5:30 PM	101	0	180	0	0	281	0	0	0	0	1	0	108	128	1	0	0	237	1	113	98	0	0	212	730
5:45 PM	124	0	108	0	0	232	0	0	2	0	1	2	64	101	4	0	0	169	0	150	93	0	0	243	646
Hourly Total	449	0	583	0	0	1032	4	2	3	0	4	9	430	475	9	0	0	914	2	545	395	0	0	942	2897
Grand Total	1909	2	2926	4	0	4841	28	8	15	0	11	51	2567	2475	40	2	0	5084	9	2846	2565	0	0	5420	15396
Approach %	39.4	0.0	60.4	0.1	-	-	54.9	15.7	29.4	0.0	-	-	50.5	48.7	0.8	0.0	-	-	0.2	52.5	47.3	0.0	-	-	-
Total %	12.4	0.0	19.0	0.0	-	31.4	0.2	0.1	0.1	0.0	-	0.3	16.7	16.1	0.3	0.0	-	33.0	0.1	18.5	16.7	0.0	-	35.2	-
Lights	1815	1	2677	4	-	4497	27	7	14	0	-	48	2325	2382	39	2	-	4748	9	2739	2447	0	-	5195	14488
% Lights	95.1	50.0	91.5	100.0	-	92.9	96.4	87.5	93.3	-	-	94.1	90.6	96.2	97.5	100.0	-	93.4	100.0	96.2	95.4	-	-	95.8	94.1
Buses	2	0	15	0	-	17	0	0	0	0	-	0	13	34	0	0	-	47	0	42	4	0	-	46	110

Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Start Date: 04/05/2022
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Start Time	I-88 Ramps Eastbound						Access Dr Westbound						IL 31 Northbound						IL 31 Southbound					
	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Int. Total					
4:15 PM 4:30 PM 4:45 PM	126	0	145	0	0	271	0	1	1	0	2	2	132	105	1	1	0	239	754					
	97	0	147	0	0	244	2	0	1	0	0	3	129	132	1	0	0	262	785					
	129	0	173	1	0	303	1	0	1	0	0	2	123	124	0	0	0	247	811					
5:00 PM Total	110	0	151	0	0	261	1	1	0	0	1	2	122	129	2	0	0	253	767					
	462	0	616	1	0	1079	4	2	3	0	3	9	506	490	4	1	0	1001	3117					
Approach %	42.8	0.0	57.1	0.1	-	-	44.4	22.2	33.3	0.0	-	-	50.5	49.0	0.4	0.1	-	-	-					
Total %	14.8	0.0	19.8	0.0	-	34.6	0.1	0.1	0.1	0.0	-	0.3	16.2	15.7	0.1	0.0	-	32.1	33.0					
PHF	0.895	0.000	0.890	0.250	-	0.890	0.500	0.500	0.750	0.000	-	0.750	0.958	0.928	0.500	0.250	-	0.955	0.931					
Lights	456	0	572	1	-	1029	4	1	3	0	-	8	479	478	4	1	-	962	1006					
% Lights	98.7	-	92.9	100.0	-	95.4	100.0	50.0	100.0	-	-	88.9	94.7	97.6	100.0	100.0	-	96.1	96.4					
Buses	0	0	2	0	-	2	0	0	0	0	-	0	0	4	0	0	-	4	10					
% Buses	0.0	-	0.3	0.0	-	0.2	0.0	0.0	0.0	-	-	0.0	0.0	0.8	0.0	0.0	-	0.4	0.3					
Single-Unit Trucks	4	0	15	0	-	19	0	1	0	0	-	1	12	6	0	0	-	18	47					
% Single-Unit Trucks	0.9	-	2.4	0.0	-	1.8	0.0	50.0	0.0	-	-	11.1	2.4	1.2	0.0	0.0	-	1.8	1.5					
Articulated Trucks	2	0	27	0	-	29	0	0	0	0	-	0	15	2	0	0	-	17	55					
% Articulated Trucks	0.4	-	4.4	0.0	-	2.7	0.0	0.0	0.0	-	-	0.0	3.0	0.4	0.0	0.0	-	1.7	1.8					
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0					
% Bicycles on Road	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0					
Pedestrians	-	-	-	-	0	-	-	-	-	-	3	-	-	-	-	-	0	-	-					
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-					

Study Name	IL 31 with Smokefree Plaza
Start Date	Tuesday, April 05, 2022 6:00 AM
End Date	Tuesday, April 05, 2022 6:00 PM
Site Code	

Report Summary

[illegible]



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Count Name: Sullivan Rd with Highland Ave
Roundabout
Site Code:
Start Date: 04/05/2022
Page No: 1

Turning Movement Data

Start Time	Sullivan Rd Eastbound						Sullivan Rd Westbound						Highland Ave Northbound						Access Rd Southbound						
	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	Right	U-Turn	Peds	App. Total	Int. Total
6:30 AM	0	96	13	0	0	109	26	78	0	0	0	104	15	0	52	0	0	67	0	0	0	0	0	0	280
6:45 AM	0	73	23	0	0	96	42	85	0	0	0	127	25	0	44	0	0	69	0	0	0	0	0	0	292
Hourly Total	0	169	36	0	0	205	68	163	0	0	0	231	40	0	96	0	0	136	0	0	0	0	0	0	572
7:00 AM	0	85	17	0	0	102	37	58	0	0	0	95	4	0	67	0	0	71	0	0	0	0	0	0	268
7:15 AM	0	82	20	0	0	102	47	72	0	0	0	119	17	0	55	0	0	72	0	0	0	0	0	0	293
7:30 AM	0	105	20	0	0	125	47	92	0	0	0	139	13	0	86	0	0	99	0	0	0	0	0	0	363
7:45 AM	0	129	29	0	0	158	56	103	0	1	0	160	21	0	60	0	0	81	0	0	0	0	0	0	399
Hourly Total	0	401	86	0	0	487	187	325	0	1	0	513	55	0	268	0	0	323	0	0	0	0	0	0	1323
8:00 AM	0	97	30	0	0	127	44	67	0	0	0	111	19	0	60	0	0	79	0	0	0	0	0	0	317
8:15 AM	0	66	19	0	0	85	41	61	0	0	0	102	10	0	39	0	0	49	0	0	0	0	0	0	236
8:30 AM	0	84	22	0	0	106	38	51	0	0	0	89	17	0	51	0	0	68	0	0	0	0	0	0	263
8:45 AM	0	77	14	0	0	91	27	57	0	1	0	85	20	0	41	0	0	61	0	0	0	0	0	0	237
Hourly Total	0	324	85	0	0	409	150	236	0	1	0	387	66	0	191	0	0	257	0	0	0	0	0	0	1053
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	1	125	22	0	0	148	43	128	0	0	0	171	41	1	45	0	0	87	2	2	2	0	0	6	412
3:15 PM	1	96	28	0	0	125	56	105	0	1	0	162	37	1	52	2	0	92	0	1	1	0	0	2	381
3:30 PM	1	89	19	0	0	109	51	129	5	1	0	186	18	1	54	0	0	73	2	1	0	0	0	3	371
3:45 PM	0	73	26	1	0	100	47	130	3	0	0	180	22	3	55	0	0	80	3	1	1	0	0	5	365
Hourly Total	3	383	95	1	0	482	197	492	8	2	0	699	118	6	206	2	0	332	7	5	4	0	0	16	1529
4:00 PM	1	87	23	0	0	111	49	118	2	0	0	169	24	1	49	0	0	74	2	3	0	0	0	5	359
4:15 PM	0	78	20	0	0	98	43	134	1	0	0	178	22	0	66	0	0	88	4	0	2	0	0	6	370
4:30 PM	3	77	13	0	0	93	35	159	5	0	0	199	33	0	65	0	0	98	0	1	0	0	0	1	391
4:45 PM	1	80	18	1	0	100	44	124	2	0	0	170	25	0	50	0	0	75	2	1	1	0	0	4	349
Hourly Total	5	322	74	1	0	402	171	535	10	0	0	716	104	1	230	0	0	335	8	5	3	0	0	16	1469
5:00 PM	0	95	17	0	0	112	58	121	1	0	0	180	29	0	49	0	0	78	0	2	2	0	0	4	374
5:15 PM	0	66	17	0	0	83	46	127	0	0	0	173	19	0	46	0	0	65	0	1	1	0	0	2	323
5:30 PM	0	73	16	0	0	89	48	122	0	0	0	170	19	0	25	0	0	44	1	0	0	0	0	1	304
5:45 PM	0	75	16	0	0	91	45	122	0	0	0	167	22	0	30	0	0	52	0	0	0	0	0	0	310
Hourly Total	0	309	66	0	0	375	197	492	1	0	0	690	89	0	150	0	0	239	1	3	3	0	0	7	1311
Grand Total	8	1908	442	2	0	2360	970	2243	19	4	0	3236	472	7	1141	2	0	1622	16	13	10	0	0	39	7257
Approach %	0.3	80.8	18.7	0.1	-	-	30.0	69.3	0.6	0.1	-	-	29.1	0.4	70.3	0.1	-	-	41.0	33.3	25.6	0.0	-	-	-
Total %	0.1	26.3	6.1	0.0	-	32.5	13.4	30.9	0.3	0.1	-	44.6	6.5	0.1	15.7	0.0	-	22.4	0.2	0.2	0.1	0.0	-	0.5	-
Lights	8	1839	427	2	-	2276	936	2174	19	4	-	3133	460	7	1096	2	-	1565	16	13	10	0	-	39	7013
% Lights	100.0	96.4	96.6	100.0	-	96.4	96.5	96.9	100.0	100.0	-	96.8	97.5	100.0	96.1	100.0	-	96.5	100.0	100.0	100.0	-	-	100.0	96.6
Buses	0	12	6	0	-	18	10	12	0	0	-	22	9	0	16	0	-	25	0	0	0	0	-	0	65

[illegible]

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Start Date: 04/05/2022
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Turning Movement Peak Hour Data (7:15 AM)

[illegible]

Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Start Date: 04/05/2022

Turning Movement Peak Hour Data (4:15 PM)

[illegible]



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Count Name: Smoketree Plaza with Smoketree
access Dr TMC
Site Code:
Start Date: 04/05/2022
Page No: 1

Turning Movement Data

Start Time	Smoketree Plaza Eastbound						Smoketree Plaza Westbound						Smoketree Plaza Access Drive Southbound					
	Left	Thru	U-Turn	Peds	App. Total		Thru	Right	U-Turn	Peds	App. Total		Left	Right	U-Turn	Peds	App. Total	Int. Total
6:30 AM	1	4	0	0	5		9	1	0	0	10		1	0	0	0	1	16
6:45 AM	0	4	0	0	4		11	1	0	0	12		2	1	0	0	3	19
Hourly Total	1	8	0	0	9		20	2	0	0	22		3	1	0	0	4	35
7:00 AM	1	3	0	0	4		12	1	0	2	13		3	0	0	1	3	20
7:15 AM	1	12	0	0	13		13	0	0	0	13		3	0	0	0	3	29
7:30 AM	0	5	0	0	5		9	0	0	0	9		2	0	0	0	2	16
7:45 AM	0	5	0	0	5		16	1	0	1	17		1	0	0	0	1	23
Hourly Total	2	25	0	0	27		50	2	0	3	52		9	0	0	1	9	88
8:00 AM	0	7	0	0	7		11	0	0	0	11		0	0	0	0	0	18
8:15 AM	0	7	0	0	7		22	1	0	0	23		0	2	0	0	2	32
8:30 AM	0	11	0	0	11		9	1	0	0	10		1	0	0	0	1	22
8:45 AM	1	4	0	0	5		6	2	0	0	8		2	0	0	0	2	15
Hourly Total	1	29	0	0	30		48	4	0	0	52		3	2	0	0	5	87
*** BREAK ***	-	-	-	-	-		-	-	-	-	-		-	-	-	-	-	-
3:00 PM	0	14	0	0	14		5	2	0	1	7		4	0	0	0	4	25
3:15 PM	0	14	0	0	14		9	5	0	0	14		1	3	0	0	4	32
3:30 PM	1	14	0	0	15		7	2	0	0	9		2	1	0	0	3	27
3:45 PM	0	8	0	0	8		5	1	0	0	6		1	1	0	0	2	16
Hourly Total	1	50	0	0	51		26	10	0	1	36		8	5	0	0	13	100
4:00 PM	0	18	0	0	18		6	1	0	1	7		1	0	0	0	1	26
4:15 PM	0	13	0	0	13		2	1	0	0	3		0	0	0	0	0	16
4:30 PM	0	11	0	0	11		7	1	0	0	8		1	0	0	0	1	20
4:45 PM	0	22	0	0	22		6	0	0	0	6		1	0	0	0	1	29
Hourly Total	0	64	0	0	64		21	3	0	1	24		3	0	0	0	3	91
5:00 PM	0	18	0	0	18		3	3	0	2	6		2	0	0	0	2	26
5:15 PM	1	5	0	0	6		1	2	0	1	3		2	1	0	0	3	12
5:30 PM	0	1	0	0	1		4	3	0	1	7		3	0	0	0	3	11
5:45 PM	1	5	0	0	6		3	2	0	0	5		0	1	0	0	1	12
Hourly Total	2	29	0	0	31		11	10	0	4	21		7	2	0	0	9	61
Grand Total	7	205	0	0	212		176	31	0	9	207		33	10	0	1	43	462
Approach %	3.3	96.7	0.0	-	-		85.0	15.0	0.0	-	-		76.7	23.3	0.0	-	-	-
Total %	1.5	44.4	0.0	-	45.9		38.1	6.7	0.0	-	44.8		7.1	2.2	0.0	-	9.3	-
Lights	7	186	0	-	193		159	31	0	-	190		33	10	0	-	43	426
% Lights	100.0	90.7	-	-	91.0		90.3	100.0	-	-	91.8		100.0	100.0	-	-	100.0	92.2
Buses	0	0	0	-	0		1	0	0	-	1		0	0	0	-	0	1
% Buses	0.0	0.0	-	-	0.0		0.6	0.0	-	-	0.5		0.0	0.0	-	-	0.0	0.2

Single-Unit Trucks	0	11	0	-	11	7	0	0	0	7	0	0	0	-	0	18
% Single-Unit Trucks	0.0	5.4	-	-	5.2	4.0	0.0	-	-	3.4	0.0	0.0	-	-	0.0	3.9
Articulated Trucks	0	8	0	-	8	9	0	0	0	9	0	0	0	-	0	17
% Articulated Trucks	0.0	3.9	-	-	3.8	5.1	0.0	-	-	4.3	0.0	0.0	-	-	0.0	3.7
Bicycles on Road	0	0	0	-	0	0	0	0	0	0	0	0	0	-	0	0
% Bicycles on Road	0.0	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0
Pedestrians	-	-	-	0	-	-	-	-	9	-	-	-	-	1	-	-
% Pedestrians	-	-	-	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.
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Count Name: Smoketree Plaza with Smoketree
access Dr TMC
Site Code:
Start Date: 04/05/2022
Page No: 3

Turning Movement Peak Hour Data (7:15 AM)

Start Time	Smoketree Plaza Eastbound					Smoketree Plaza Westbound					Smoketree Plaza Access Drive Southbound				
	Left	Thru	U-Turn	Peds	App. Total	Thru	Right	U-Turn	Peds	App. Total	Left	Right	U-Turn	Peds	Int. Total
7:15 AM	1	12	0	0	13	13	0	0	0	13	3	0	0	0	29
7:30 AM	0	5	0	0	5	9	0	0	0	9	2	0	0	0	16
7:45 AM	0	5	0	0	5	16	1	0	1	17	1	0	0	0	23
8:00 AM	0	7	0	0	7	11	0	0	0	11	0	0	0	0	18
Total	1	29	0	0	30	49	1	0	1	50	6	0	0	0	86
Approach %	3.3	96.7	0.0	-	-	98.0	2.0	0.0	-	-	100.0	0.0	0.0	-	-
Total %	1.2	33.7	0.0	-	34.9	57.0	1.2	0.0	-	58.1	7.0	0.0	0.0	-	-
PHF	0.250	0.604	0.000	-	0.577	0.766	0.250	0.000	-	0.735	0.500	0.000	0.000	-	0.741
Lights	1	20	0	-	21	46	1	0	-	47	6	0	0	-	74
% Lights	100.0	69.0	-	-	70.0	93.9	100.0	-	-	94.0	100.0	-	-	-	86.0
Buses	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Buses	0.0	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	-	-	-	0.0
Single-Unit Trucks	0	6	0	-	6	2	0	0	-	2	0	0	0	-	8
% Single-Unit Trucks	0.0	20.7	-	-	20.0	4.1	0.0	-	-	4.0	0.0	-	-	-	9.3
Articulated Trucks	0	3	0	-	3	1	0	0	-	1	0	0	0	-	4
% Articulated Trucks	0.0	10.3	-	-	10.0	2.0	0.0	-	-	2.0	0.0	-	-	-	4.7
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Bicycles on Road	0.0	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	-	-	-	0.0
Pedestrians	-	-	-	0	-	-	-	-	1	-	-	-	-	0	-
% Pedestrians	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-



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Count Name: Smoketree Plaza with Smoketree
access Dr TMC
Site Code:
Start Date: 04/05/2022
Page No: 4

Turning Movement Peak Hour Data (4:15 PM)

Start Time	Smoketree Plaza Eastbound					Smoketree Plaza Westbound					Smoketree Plaza Access Drive Southbound				
	Left	Thru	U-Turn	Peds	App. Total	Thru	Right	U-Turn	Peds	App. Total	Left	Right	U-Turn	Peds	Int. Total
4:15 PM	0	13	0	0	13	2	1	0	0	3	0	0	0	0	16
4:30 PM	0	11	0	0	11	7	1	0	0	8	1	0	0	0	20
4:45 PM	0	22	0	0	22	6	0	0	0	6	1	0	0	0	29
5:00 PM	0	18	0	0	18	3	3	0	2	6	2	0	0	0	26
Total	0	64	0	0	64	18	5	0	2	23	4	0	0	0	91
Approach %	0.0	100.0	0.0	-	-	78.3	21.7	0.0	-	-	100.0	0.0	0.0	-	-
Total %	0.0	70.3	0.0	-	70.3	19.8	5.5	0.0	-	25.3	4.4	0.0	0.0	-	-
PHF	0.000	0.727	0.000	-	0.727	0.643	0.417	0.000	-	0.719	0.500	0.000	0.000	-	0.784
Lights	0	62	0	-	62	14	5	0	-	19	4	0	0	-	4
% Lights	-	96.9	-	-	96.9	77.8	100.0	-	-	82.6	100.0	-	-	-	100.0
Buses	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Buses	-	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	-	-	-	0.0
Single-Unit Trucks	0	2	0	-	2	3	0	0	-	3	0	0	0	-	5
% Single-Unit Trucks	-	3.1	-	-	3.1	16.7	0.0	-	-	13.0	0.0	-	-	-	5.5
Articulated Trucks	0	0	0	-	0	1	0	0	-	1	0	0	0	-	1
% Articulated Trucks	-	0.0	-	-	0.0	5.6	0.0	-	-	4.3	0.0	-	-	-	0.0
Bicycles on Road	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0
% Bicycles on Road	-	0.0	-	-	0.0	0.0	0.0	-	-	0.0	0.0	-	-	-	0.0
Pedestrians	-	-	-	0	-	-	-	-	2	-	-	-	-	0	-
% Pedestrians	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400
Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Count Name: Smoketree Ln with Evergreen
Drive
Site Code:
Start Date: 04/05/2022
Page No: 1

Turning Movement Data

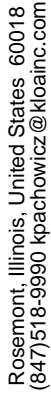
Start Time	Smoketree Plaza Westbound					Evergreen Dr Northbound					Evergreen Dr Southbound				
	Left	Right	U-Turn	Peds	App. Total	Thru	Right	U-Turn	Peds	App. Total	Left	Thru	U-Turn	Peds	App. Total
6:30 AM	2	2	0	0	4	2	6	0	0	8	1	2	0	0	3
6:45 AM	5	6	0	0	11	10	2	1	0	13	0	0	0	0	0
Hourly Total	7	8	0	0	15	12	8	1	0	21	1	2	0	0	3
7:00 AM	0	4	0	0	4	2	3	0	0	5	1	7	0	0	8
7:15 AM	2	2	0	0	4	7	8	1	0	16	1	3	0	0	4
7:30 AM	2	7	0	0	9	7	6	0	0	13	1	0	0	0	1
7:45 AM	6	3	0	0	9	5	7	0	0	12	2	0	0	0	2
Hourly Total	10	16	0	0	26	21	24	1	0	46	5	10	0	0	15
8:00 AM	2	1	0	0	3	0	6	0	0	6	7	10	0	0	17
8:15 AM	3	1	0	0	4	2	1	0	0	3	1	5	0	0	6
8:30 AM	4	0	1	0	5	2	2	1	0	5	5	3	0	0	8
8:45 AM	5	0	0	0	5	2	3	0	0	5	4	3	0	0	7
Hourly Total	14	2	1	0	17	6	12	1	0	19	17	21	0	0	38
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	2	0	0	0	2	1	0	0	0	1	7	9	0	0	16
3:15 PM	6	2	0	0	8	5	1	0	0	6	5	6	0	0	11
3:30 PM	9	3	0	1	12	8	3	0	0	11	2	3	0	0	5
3:45 PM	4	1	0	0	5	11	6	0	0	17	0	2	0	0	2
Hourly Total	21	6	0	1	27	25	10	0	0	35	14	20	0	0	34
4:00 PM	7	0	0	0	7	1	1	3	0	5	10	22	0	0	32
4:15 PM	6	0	0	0	6	1	3	0	0	4	4	5	0	0	9
4:30 PM	4	0	0	0	4	1	5	0	0	6	2	2	0	0	4
4:45 PM	2	0	1	0	3	0	1	0	0	1	1	3	0	0	4
Hourly Total	19	0	1	0	20	3	10	3	0	16	17	32	0	0	49
5:00 PM	12	2	1	0	15	0	3	0	0	3	3	1	0	0	4
5:15 PM	6	0	0	0	6	1	3	0	0	4	2	1	0	0	3
5:30 PM	2	0	0	0	2	0	0	0	0	0	1	0	0	0	1
5:45 PM	4	0	0	0	4	1	5	0	0	6	0	0	0	0	0
Hourly Total	24	2	1	0	27	2	11	0	0	13	6	2	0	0	8
Grand Total	95	34	3	1	132	69	75	6	0	150	60	87	0	0	147
Approach %	72.0	25.8	2.3	-	-	46.0	50.0	4.0	-	-	40.8	59.2	0.0	-	-
Total %	22.1	7.9	0.7	-	30.8	16.1	17.5	1.4	-	35.0	14.0	20.3	0.0	-	34.3
Lights	89	27	3	-	119	60	74	6	-	140	48	78	0	-	126
% Lights	93.7	79.4	100.0	-	90.2	87.0	98.7	100.0	-	93.3	80.0	89.7	-	-	85.7
Buses	1	1	0	-	2	0	0	0	-	0	1	0	0	-	1
% Buses	1.1	2.9	0.0	-	1.5	0.0	0.0	0.0	-	0.0	1.7	0.0	-	-	0.7

[illegible]

Rosemont, Illinois, United States 60018
(847)518-9990 kpachowicz@kloainc.com

Count Name: Smoketree Ln with Evergreen Drive
Site Code:
Start Date: 04/05/2022
Page No: 3

[illegible]



Site Code:
Start Date: 04/05/2022
Page No: 4

Turning Movement Peak Hour Data (4:15 PM)

[illegible]

Site Plan

SITE DATA

SITE AREA: ±1,281,906 S.F. (29.428 AC)

PROPOSED BUILDING B

165,568 SF
FF=692.00

PROPOSED BUILDING A

263,358 SF
FF=692.00



SCALE: 1"=150'

4/28/2022 11:38 AM - Z:\Projects\2021\2335.00-IL\312 - ENGINEERING MASTER\SITE6 04-25-22.dwg



SULLIVAN ROAD - 1 OF 2 SITE PLAN

PINNACLE ENGINEERING GROUP

1051 E. MAIN STREET | SUITE 217 | EAST DUNDEE, IL 60118 | WWW.PINNACLE-ENGR.COM | CHICAGO@PINNACLE-ENGR.COM

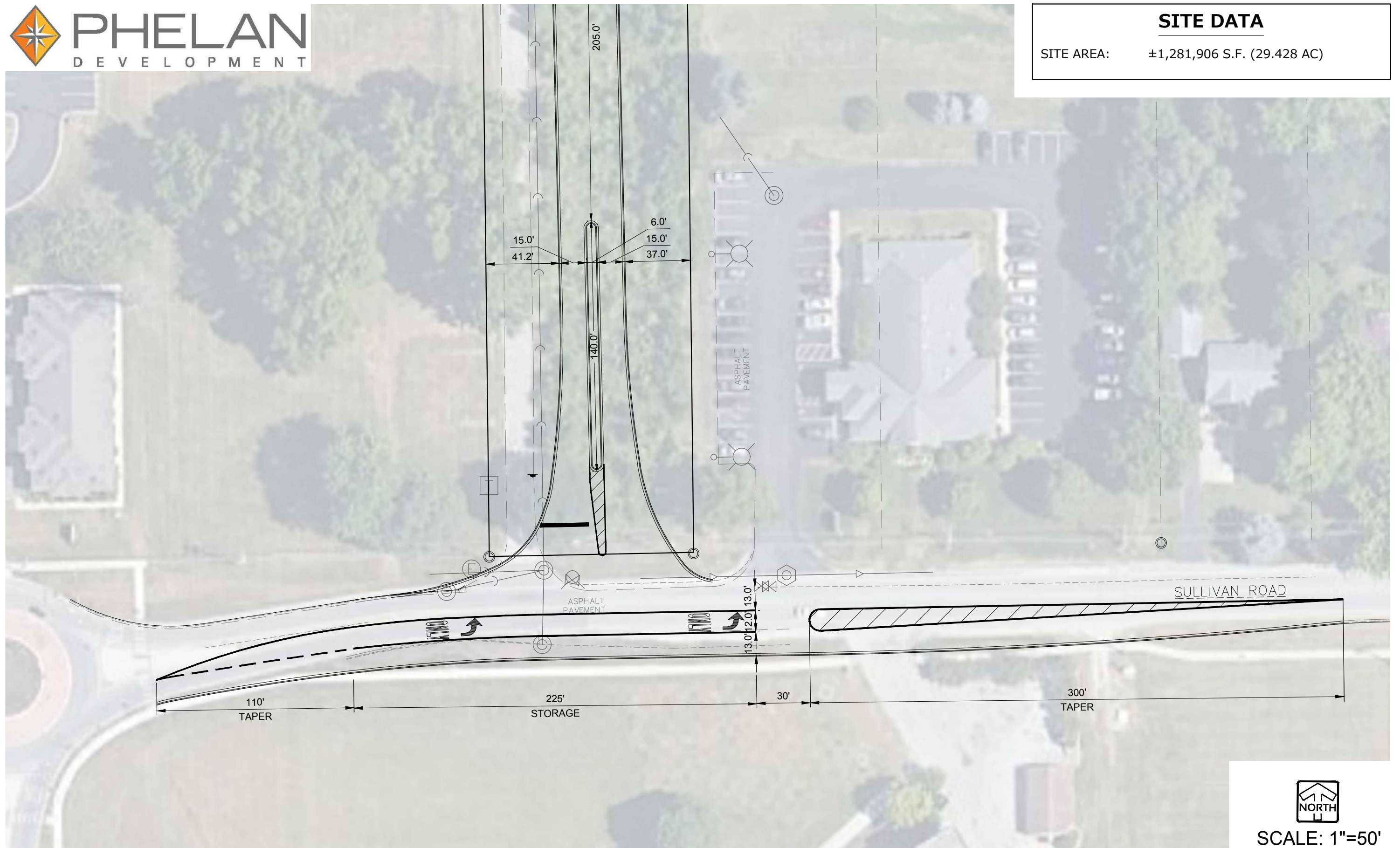
JOB NO. 2335.00-IL 04/28/2022

PLAN | DESIGN | DELIVER

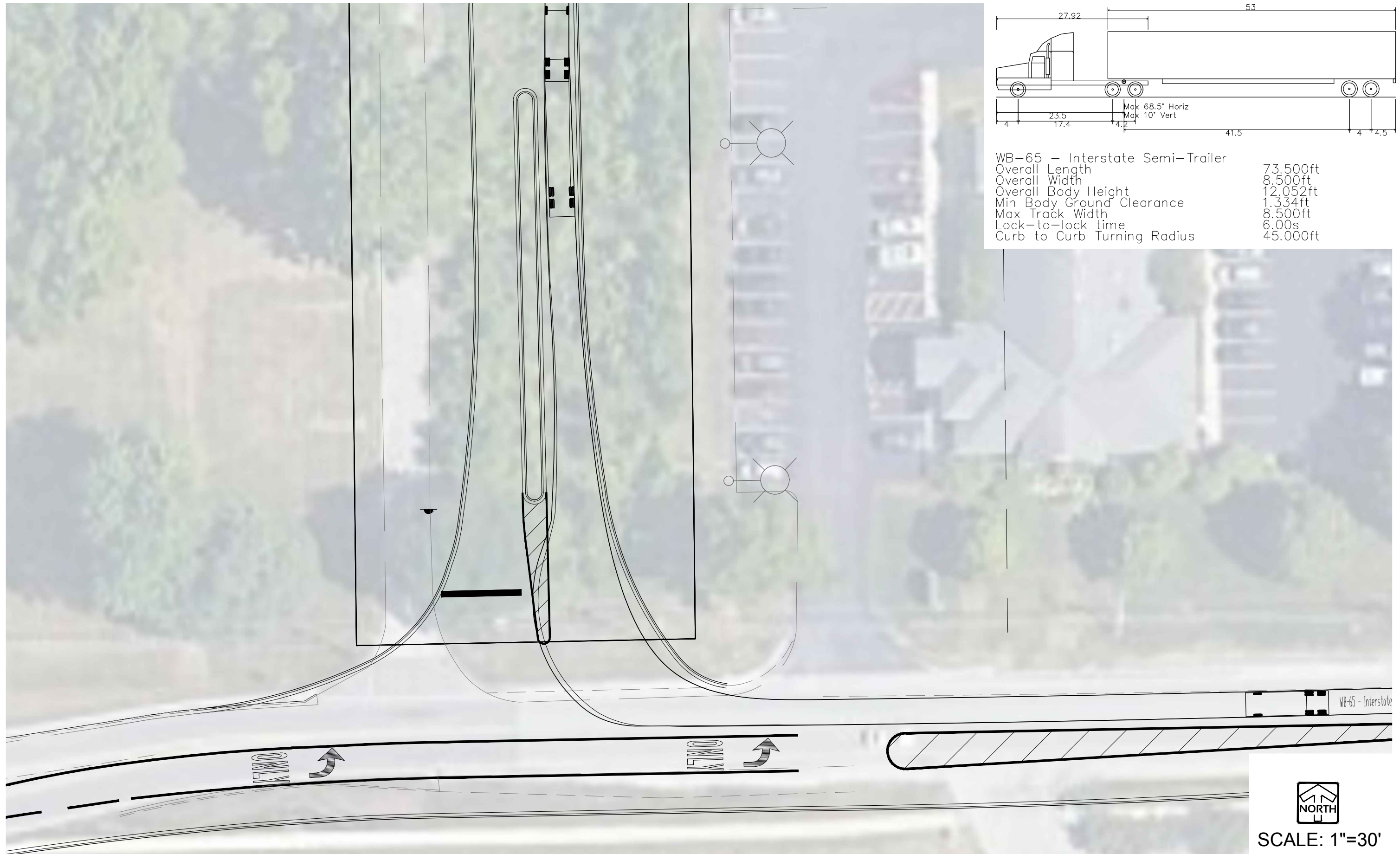
SITE DATA

SITE AREA: ±1,281,906 S.F. (29.428 AC)

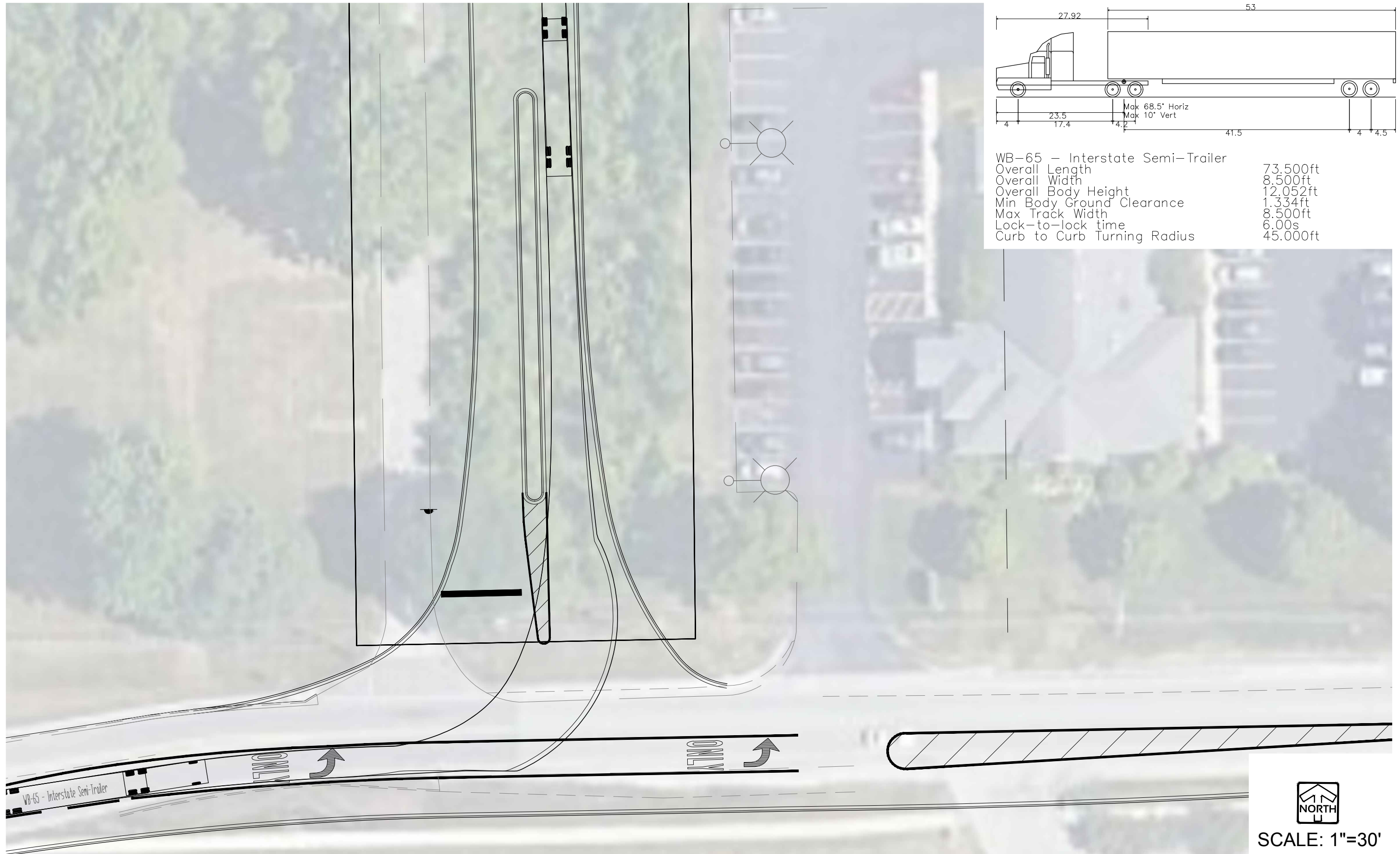
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4/28/2022 11:41 AM - Z:\Projects\2021\2335.00-IL\312 - ENGINEERING\FINAL\EXHIBITS\2335.00-IL AutoTurn Exhibit 3.dwg



WB-65 TURNING EXHIBIT - 2 OF 4 ENTERING SMOKETREE PLAZA (LEFT)

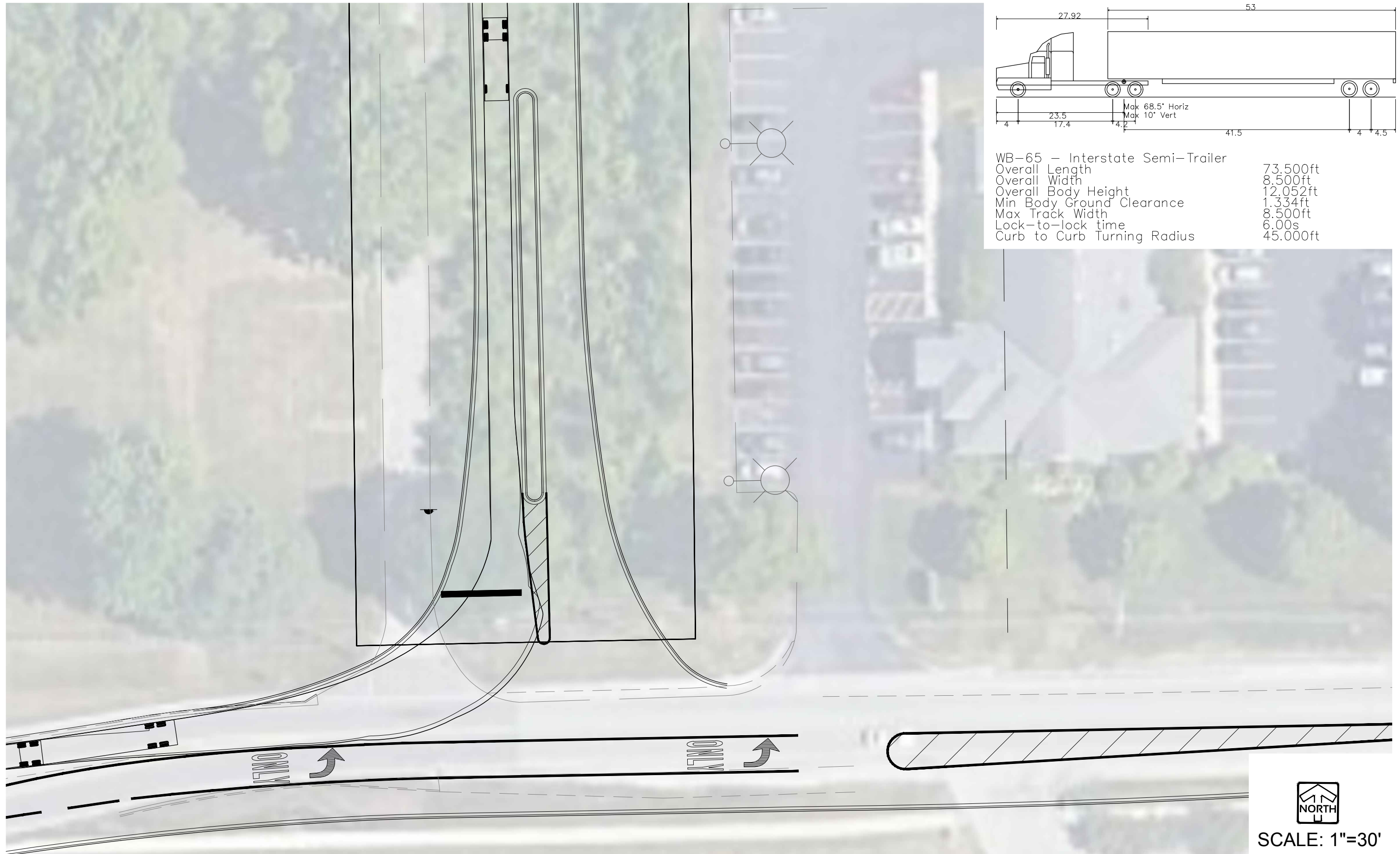
PINNACLE ENGINEERING GROUP

1051 E. MAIN STREET | SUITE 217 | EAST DUNDEE, IL 60118 | WWW.PINNACLE-ENGR.COM | CHICAGO@PINNACLE-ENGR.COM

JOB NO. 2335.00-IL 04/28/22

PLAN | DESIGN | DELIVER

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WB-65 TURNING EXHIBIT - 3 OF 4 EXITING SMOKETREE PLAZA (RIGHT)

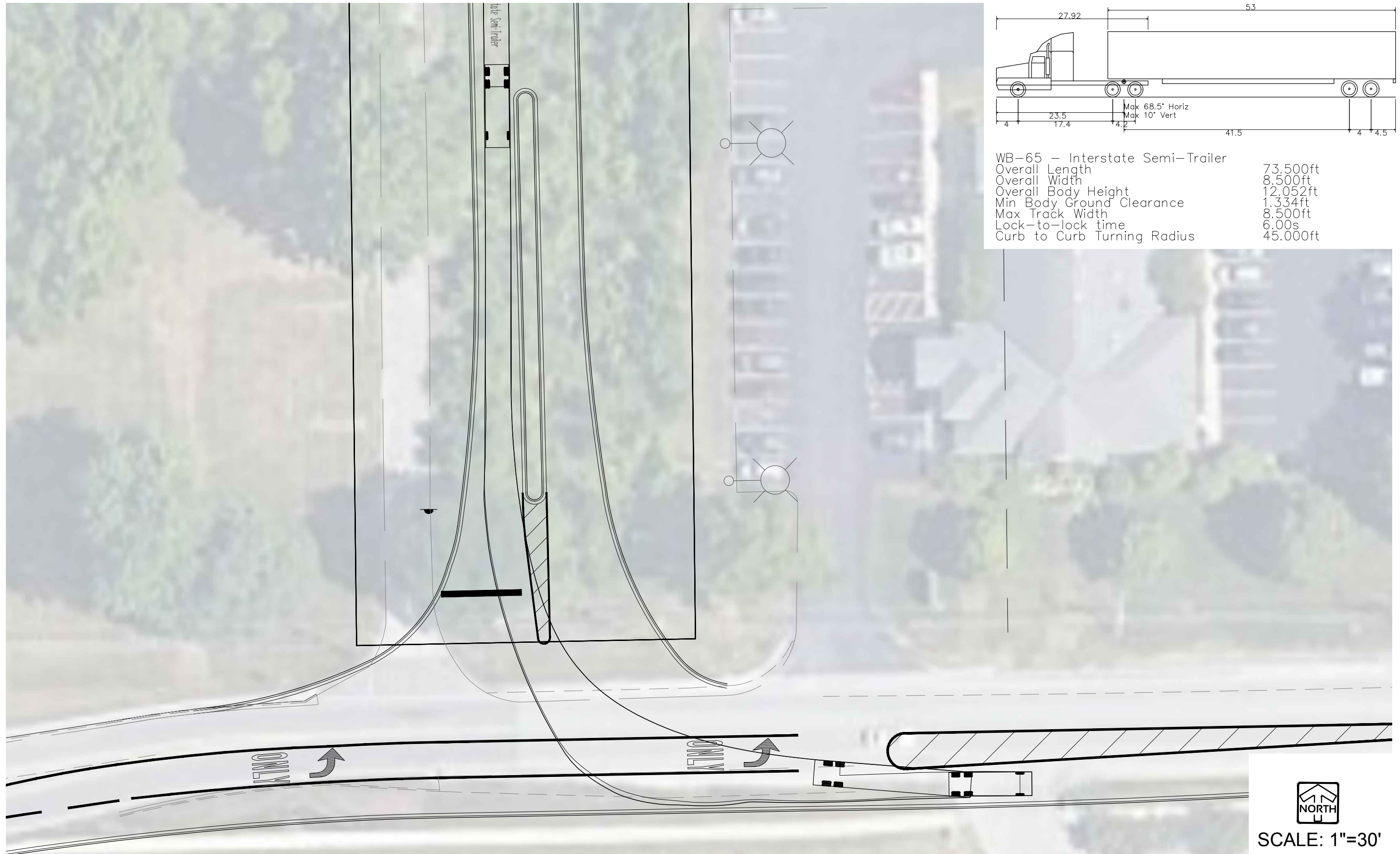
PINNACLE ENGINEERING GROUP

1051 E. MAIN STREET | SUITE 217 | EAST DUNDEE, IL 60118 | WWW.PINNACLE-ENGR.COM | CHICAGO@PINNACLE-ENGR.COM

JOB NO. 2335.00-IL 04/28/22

PLAN | DESIGN | DELIVER

4/28/2022 11:41 AM - Z:\Projects\2021\2335.00-IL\312 - ENGINEERING\FINAL\EXHIBITS\2335.00-IL AutoTurn Exhibit 3.dwg



WB-65 TURNING EXHIBIT - 4 OF 4 EXITING SMOKETREE PLAZA (LEFT)

PINNACLE ENGINEERING GROUP

1051 E. MAIN STREET | SUITE 217 | EAST DUNDEE, IL 60118 | WWW.PINNACLE-ENGR.COM | CHICAGO@PINNACLE-ENGR.COM

JOB NO. 2335.00-IL 04/28/22

PLAN | DESIGN | DELIVER

CMAP 2050 Projections Letter



Chicago Metropolitan
Agency for Planning

433 West Van Buren Street
Suite 450
Chicago, IL 60607

312-454-0400
cmap.illinois.gov

April 18, 2022

Kelly Pachowicz
Consultant
Kenig, Lindgren, O'Hara and Aboona, Inc.
9575 West Higgins Road
Suite 400
Rosemont, IL 60048

Subject: Sullivan Road east of Highland Avenue Development
IDOT

Dear Ms. Pachowicz:

In response to a request made on your behalf and dated April 18, 2022, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current ADT	Year 2050 ADT
Lincolnway St (IL 31) south of I-88	21,600	31,600
I-88 On-Ramps, @ Lincolnway St	10,900	15,900
I-88 Off-Ramps, @ Lincolnway St	10,400	15,200
Sullivan Rd east of Lincolnway St	11,700	17,100
Sullivan Rd west of Lincolnway St	13,400	19,200
Highland Ave south of Sullivan Rd	6,150	8,900
Evergreen Dr north of Sullivan Rd	950	1,400

Traffic projections are developed using existing ADT data provided in the request letter and the results from the December 2021 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806.

Sincerely,

Jose Rodriguez, PTP, AICP
Senior Planner, Research & Analysis

Level of Service Criteria

LEVEL OF SERVICE CRITERIA

Signalized Intersections		
Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	>80.0
Unsignalized Intersections		
Level of Service	Average Total Delay (SEC/VEH)	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	

Source: *Highway Capacity Manual*, 2010.

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: LIPPOLD PARK
AGENDA: JUNE 6, 2022 2019 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

Lippold Park is owned and operated by the Fox Valley Park District. It is located the east bank of the Fox River, north of Red Oak Nature Center and directly west of IL Route 25. It was annexed into the Village in 2019.

Per Chapter 6.3 of the Zoning Ordinance, any territory annexed into the Village of North Aurora shall automatically, upon annexation, be classified in the E-R Estate Rural Residence District and be subject to the requirements of this E-R District until such territory is rezoned. Staff notes that parks are classified as a permitted use in the E-R District.

The Fox Valley Park District is proposing to construct a seasonal shelter in Lippold Park for the use of public education and special events. According to the submitted plans, the shelter would be serviced by a private well for water supply and a septic field for sewage purposes. The North Aurora Municipal Code requires every building in which plumbing fixtures are installed for human use shall be connected to the Village water supply system and any private wells may be maintained for purposes of outside water usage only.

There are no connections to the Village water supply system or sanitary sewer system within reasonable access or distance of Lippold Park.

Staff is seeking feedback from the Village Board on the use of septic and well for the shelter at Lippold Park. If there are any formal approvals needed to allow the use of septic and well, staff will bring the item back at a later date for consideration.



LIPPOLD PARK 3-SEASON SHELTER AND RESTROOM STRUCTURE

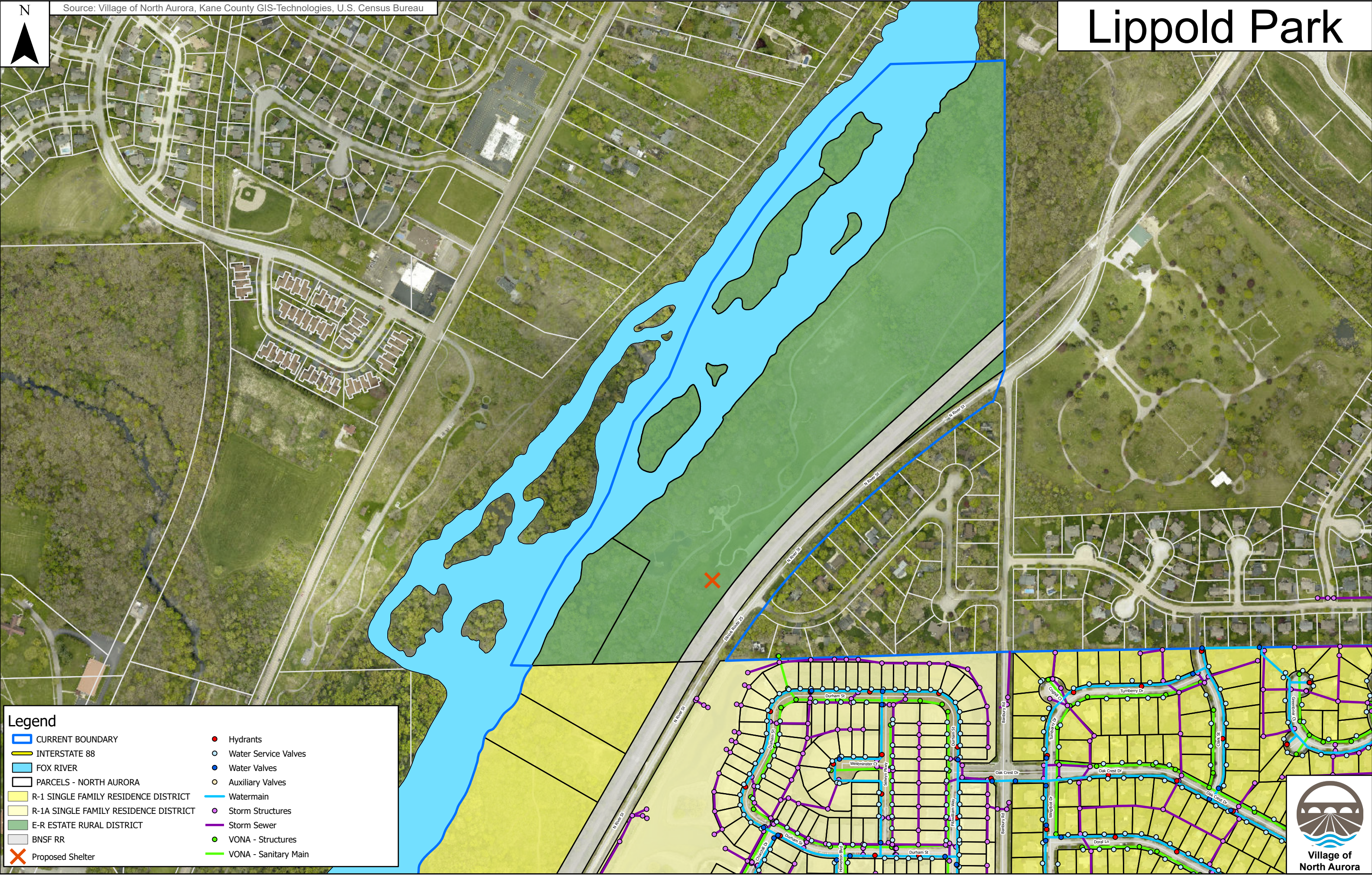
The Fox Valley Park District is proposing to construct a 3-season outdoor environmental education and event structure at Lippold Park. Lippold Park is located along the east side of Route 25, directly north of the Park District's Red Oak Nature Center. Currently, the lack of a shelter and restrooms with running water limit the Fox Valley Park District's ability to fully program Lippold Park for outdoor education and special events. The new education and event facility will feature a 3-season meeting/gathering space to accommodate 150 visitors. The facility will allow the Park District to expand nature-based environmental educational programming- aligned with local school districts curricula- summer camps and Scout programs, along with serving as a destination for field trips and event rentals.

The project includes the construction of the shelter with open air space of 3,186 s.f., with an attached public restroom facility of 313 s.f. Additionally, 517 s.f. of storage/closet area is to be provided. The one-story building is to be constructed of steel frame structure with cement board cladding; the roof is to be a standing seam metal roof. Existing electrical service will be utilized with a new panel located in the new shelter. The structure will not include HVAC but will feature a masonry 2-way fireplace.

Due to the lack of readily available sanitary sewer and water service, the restroom is to be served by a new well and septic system. For many years, a well and septic field supported the indoor archery range and single-family home that sat on the general location of the proposed new facility. These structures have since been torn down and the well was capped in 2015. The new well is to be placed near site of the old well. The new septic field is optimally located beneath the grass area to the north of the restroom and 3-season structure.

The facility is sited near the Lippold Part site entrance. The accessible building will connect to an existing accessible concrete path that extends from the existing parking lot. The east wall of the structure is set back 84 feet from the westerly railroad property line and 184 feet from the westerly Route 25 right-of-way line.





LIPPOLD PARK 3-SEASON SHELTER

FOX VALLEY PARK DISTRICT

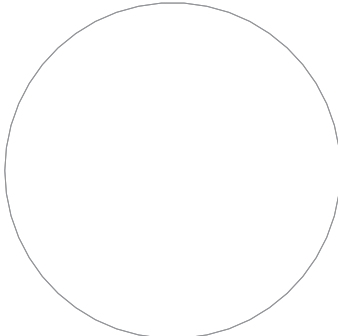
2001 S. RIVER STREET

NORTH AURORA, IL 60510

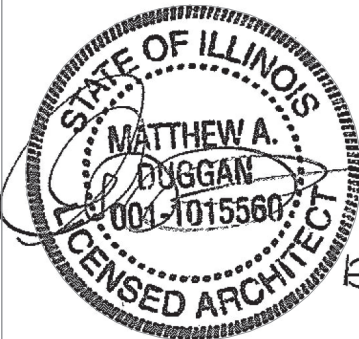
210246

04/29/2022

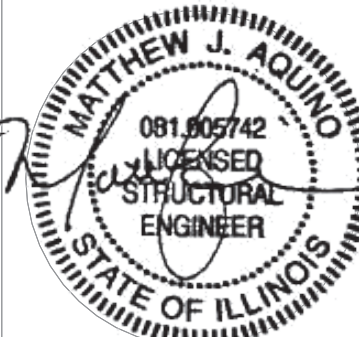
ISSUED FOR PERMIT AND BID



CLIENT
FOX VALLEY PARK DISTRICT
101 W ILLINOIS AVE
AURORA, IL 60506
PHONE: (630) 897-0516
FAX: (630) 897-6896
CONTACT: JEFF PALMQUIST



ARCHITECT
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 0561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: MATTHEW DUGGAN
Design Firm Registration #184-000451



STRUCTURAL ENGINEER
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: MATT AQUINO
Design Firm Registration #184-000451



MEP ENGINEER
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: SUDESH SARAF
Design Firm Registration #184-000451



CIVIL ENGINEER
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: KYLE BUCK
Design Firm Registration #184-000451



FOR UNDERGROUND UTILITY
LOCATIONS, CALL J.U.L.I.E.

TOLL FREE TEL. 1-800-892-0123
JULIE SUBURBS & DIGG CHICAGO

- YELLOW _____ GAS
- RED _____ ELECTRICAL
- ORANGE _____ PHONE / TV COMMUNICATION
- BLUE _____ WATER
- GREEN _____ SEWERS
- WHITE _____ SAFE TO DIG

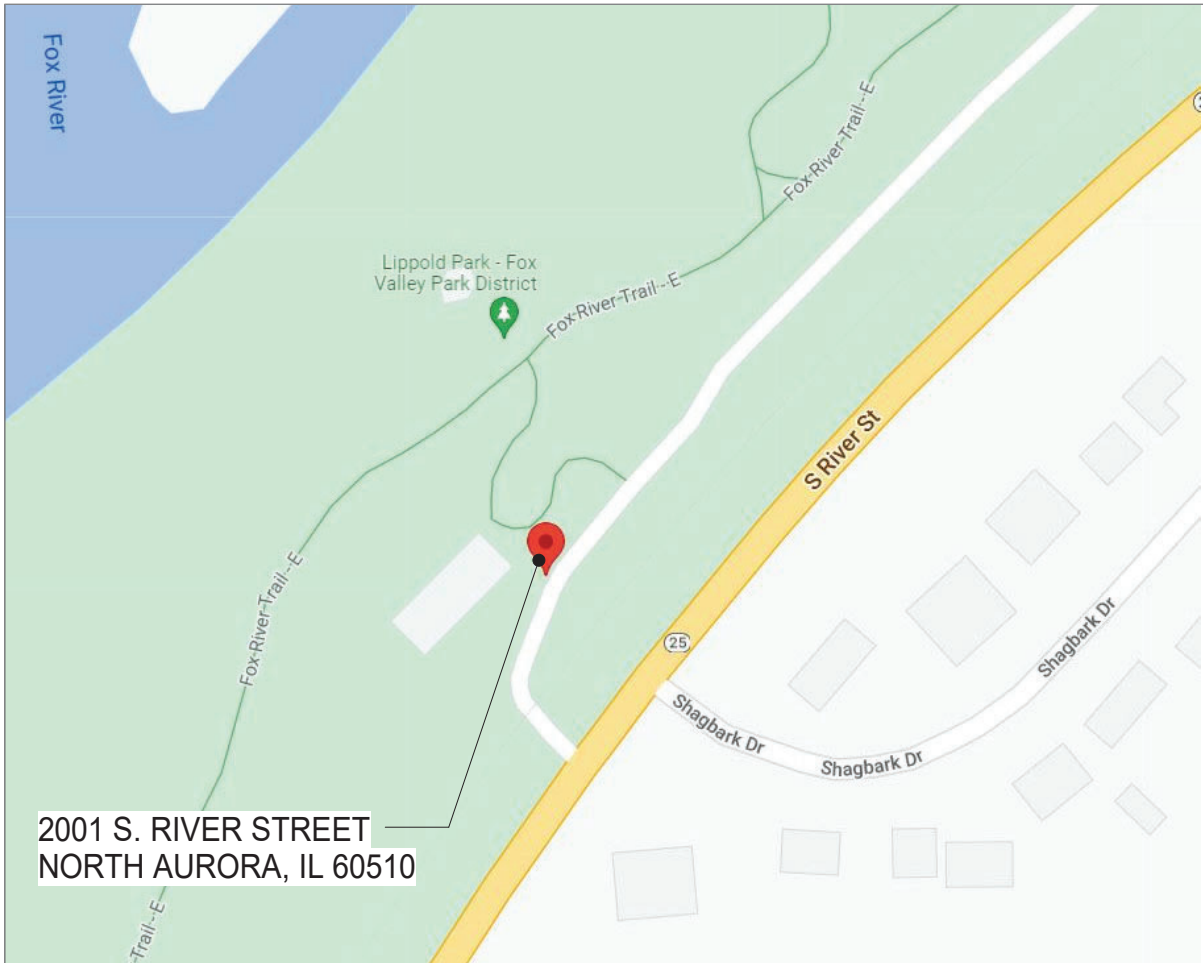
STATEMENT OF COMPLIANCE

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IL. REV. STAT. 1985, CH. 111 1/2, PARS. 3711 ET SEQ AS AMENDED) AND THE ILLINOIS ACCESSIBILITY CODE, 71 IL ADM. CODE 400.

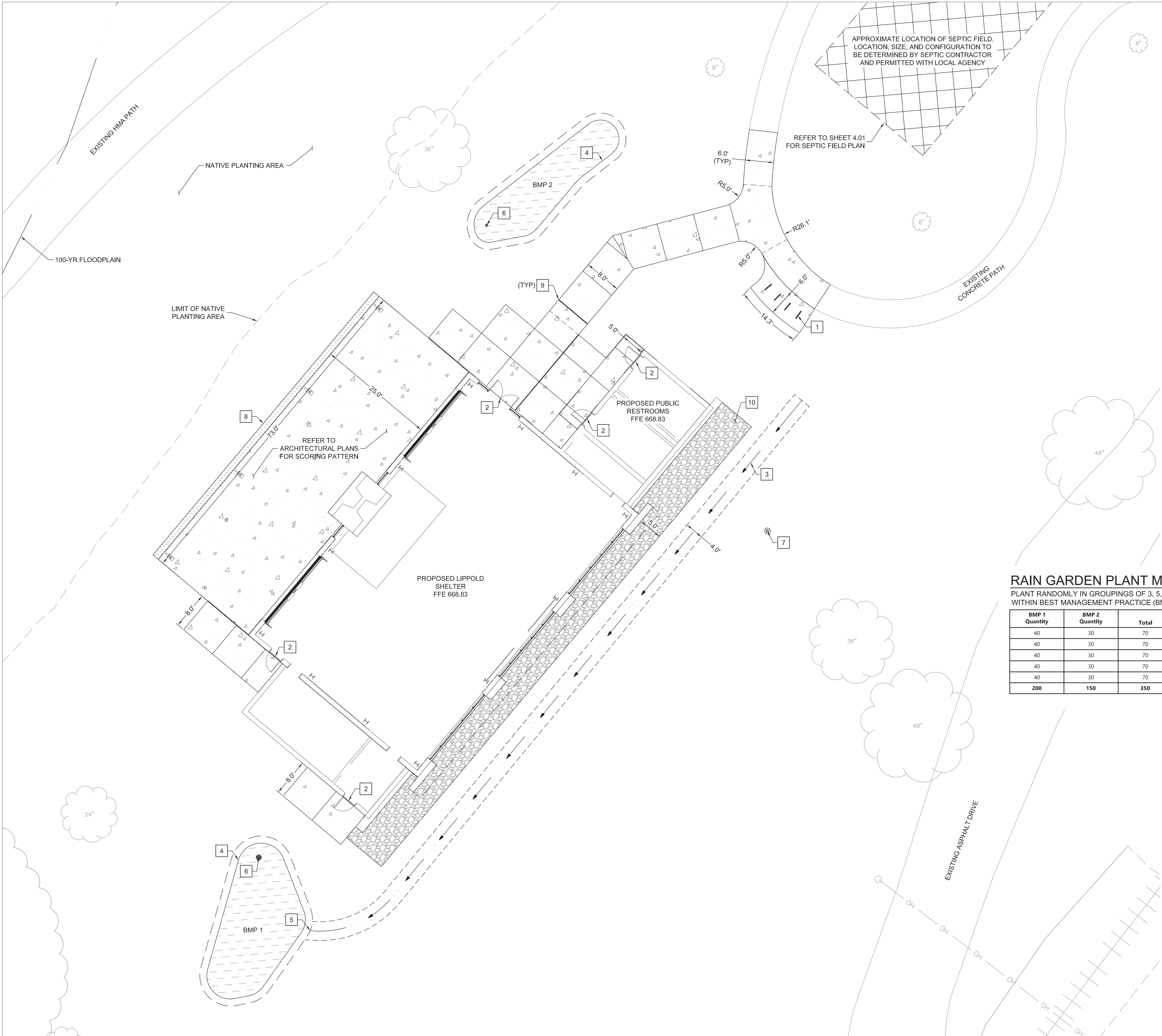
SIGNED: Matthew A. Duggan
ARCHITECT/ENGINEER

ILLINOIS REGISTRATION NO.: 001-1015560

DATE: 5/12/2022



4/13/2022 5:18:04 PM
S: \\Darien\Fox Valley Park District\210246_Lippold Park_3 Season Shelter & Restroom\01\11 Drawings\02 CD\210246 C2.00 SITE PLAN.dwg nkherero Apr 29, 2022 9:00:06 am
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LEGEND

PROPERTY LINE

EXISTING RAILROAD TRACKS

PCC SIDEWALK AND STONE BASE

SITE RESTORATION LIMITS

EXPANSION JOINT

KEY NOTES

- 1 BIKE RACK
- 2 DOWEL #4 REBAR (1'-0" LONG) IN CONCRETE INTO FOUNDATION. EMBED 4" AND PLACE 18" O.C. WITH BUILDING SLAB DOWELS.
- 3 CONVEYANCE SWALE
- 4 RAIN GARDEN
- 5 RIP RAP OUTFALL
- 6 OVERFLOW STRUCTURE
- 7 WELL
- 8 FRENCH DRAIN
- 9 EXPANSION JOINT
- 10 8" GRAVEL STRIP

SITE PLAN NOTES

1. ALL EXISTING CURB TO BE REMOVED UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
4. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO COORDINATE WITH OWNER ON FINAL LOCATIONS OF SIGNS.

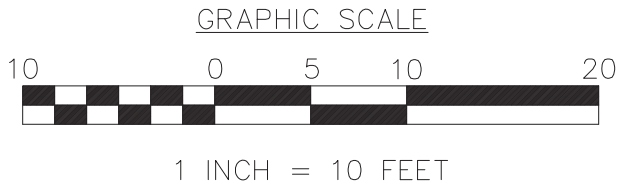
LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

RAIN GARDEN PLANT MATERIAL

PLANT RANDOMLY IN GROUPINGS OF 3, 5, OR 7 PLANTS OF EACH SPECIES, APPROXIMATELY 18" O.C WITHIN BEST MANAGEMENT PRACTICE (BMP) AREA.

BMP 1 Quantity	BMP 2 Quantity	Total	Size	Botanic Name	Common Name
40	30	70	#1	Calamagrostis canadensis	Blue Joint Grass
40	30	70	#1	Carex vulpinoidea	Brown Fox Sedge
40	30	70	#1	Echinacea purpurea	Purple Coneflower
40	30	70	#1	Tradescantia ohiensis	Ohio Spiderwort
40	30	70	#1	Lobelia cardinalis	Cardinal Flower
200	150	350	TOTAL		



Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	ISSUED FOR PERMIT AND BID	04/29/2022

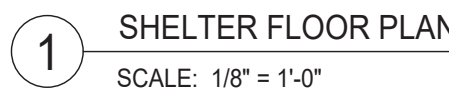
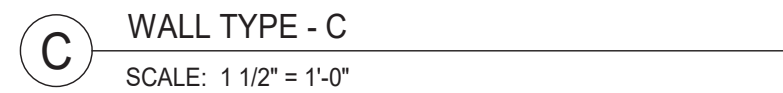
LIPPOLD PARK
3-SEASON SHELTER

2001 S. RIVER STREET
NORTH AURORA, IL 60510

SITE PLAN

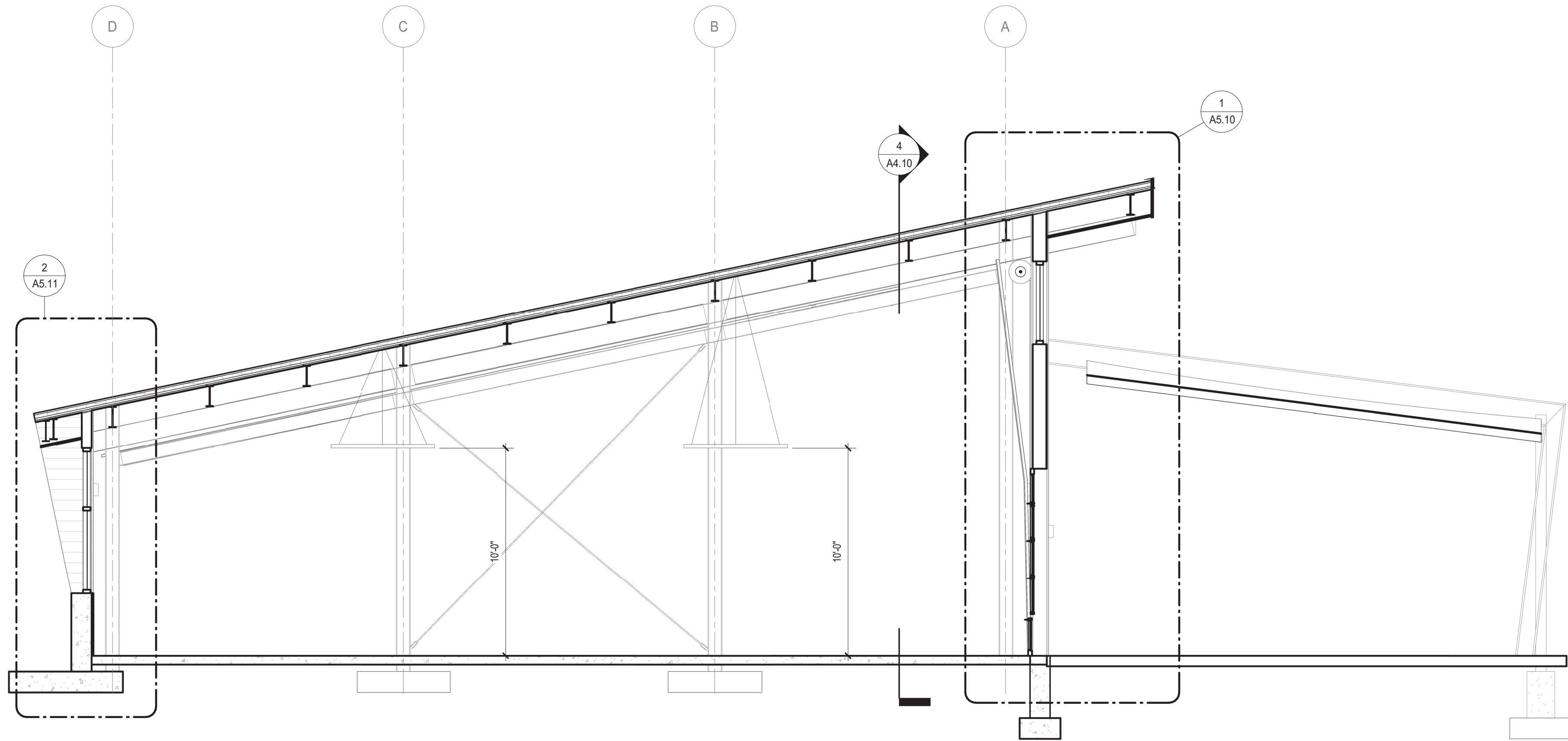
Project Number:
210246
Drawn By:
NKH
Sheet:

C2.00

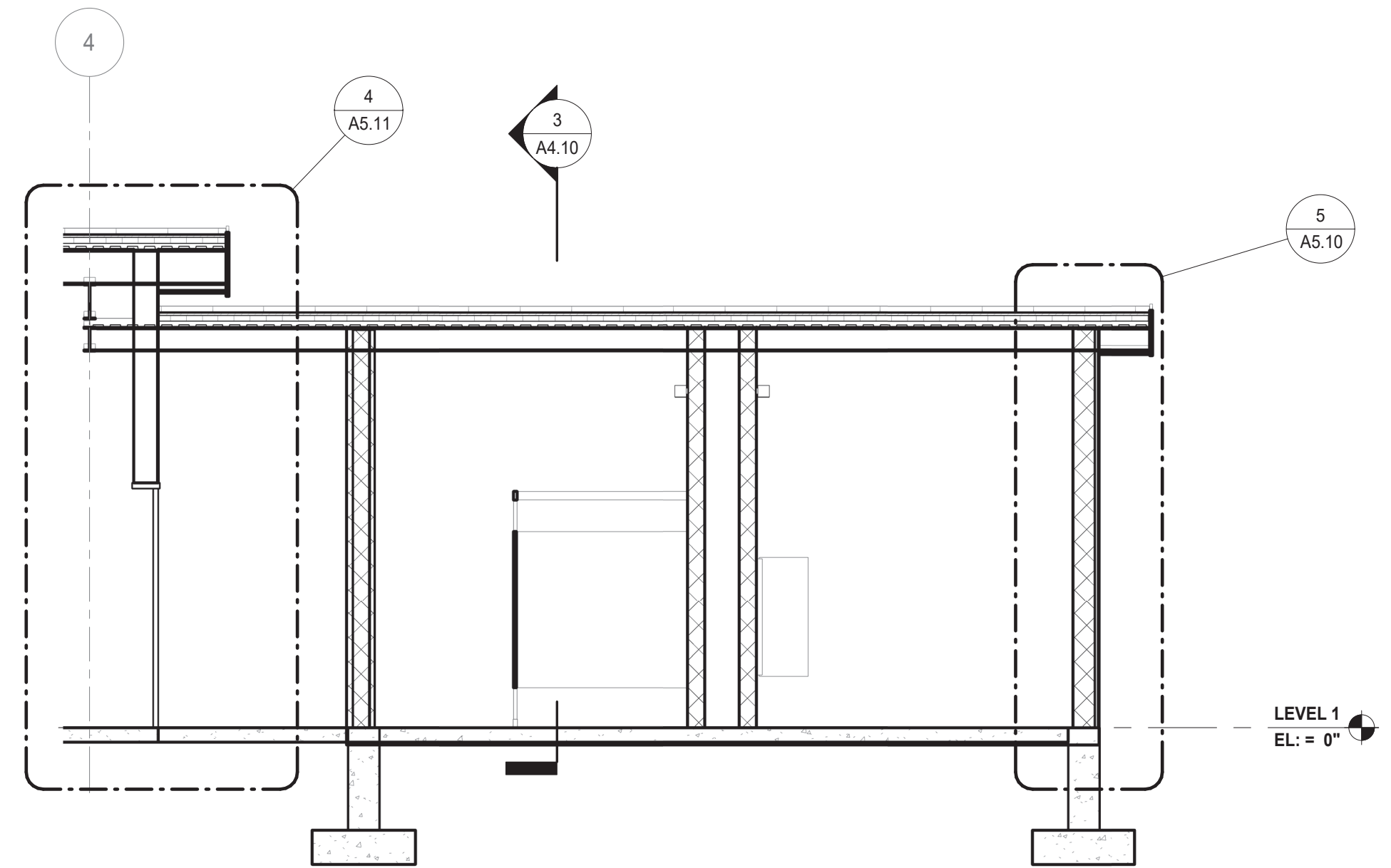


A2.10

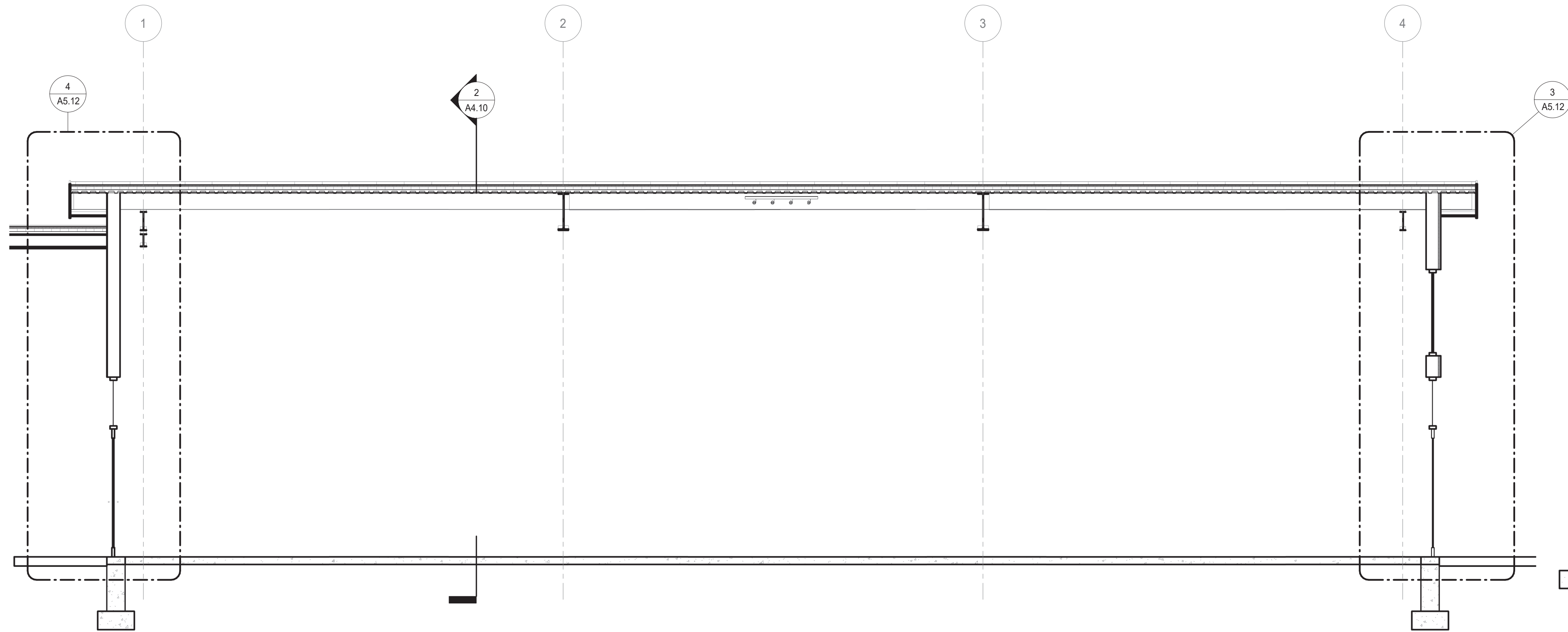
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C:\Users\daustudio\Documents\Revit\temp\210246_Lippold Park 3 Season Shelter & Restroom_ARCH_2021_daustudio.rvt
Wight & Co. © Copyright 2016 All rights reserved. No part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight & Co.



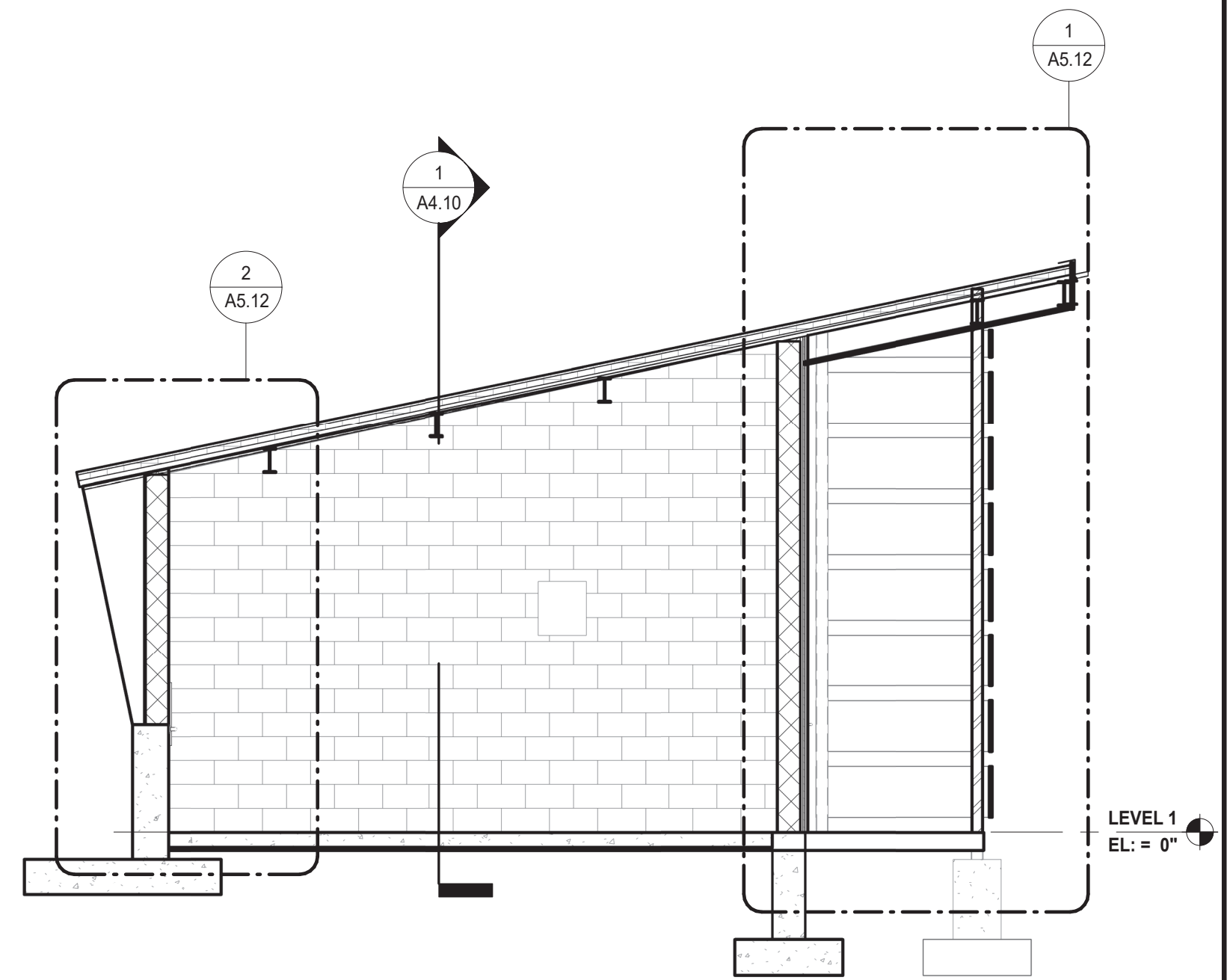
2 SHELTER NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"



1 RESTROOM EAST-WEST SECTION
SCALE: 1/4" = 1'-0"



4 SHELTER EAST-WEST SECTION
SCALE: 1/4" = 1'-0"



3 RESTROOM NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"

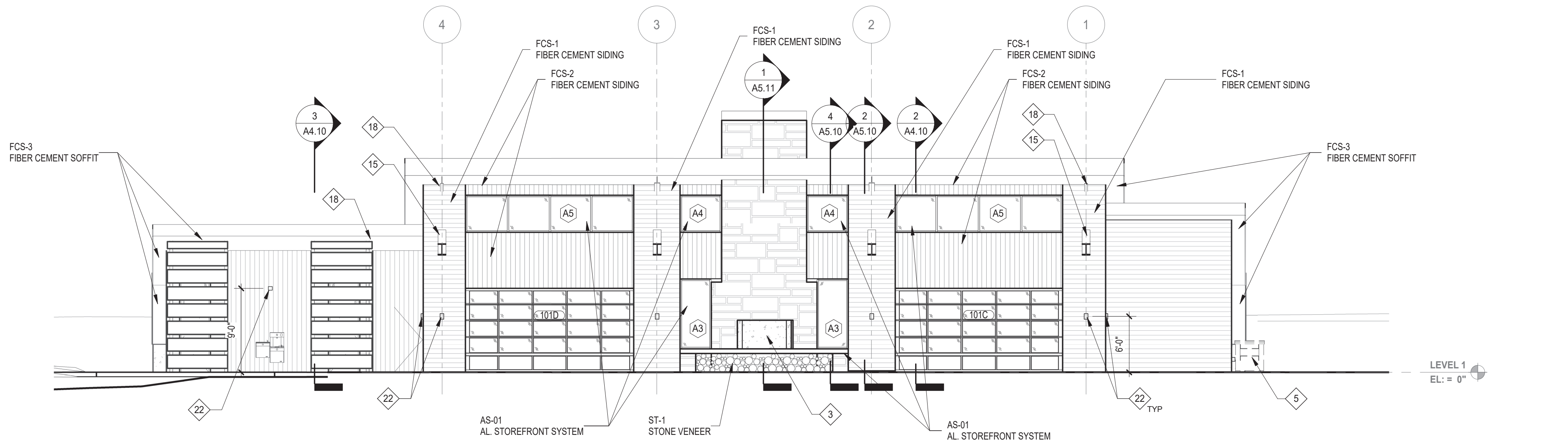
LIPPOLD PARK 3-SEASON SHELTER

2001 S. RIVER STREET
NORTH AURORA, IL 60510

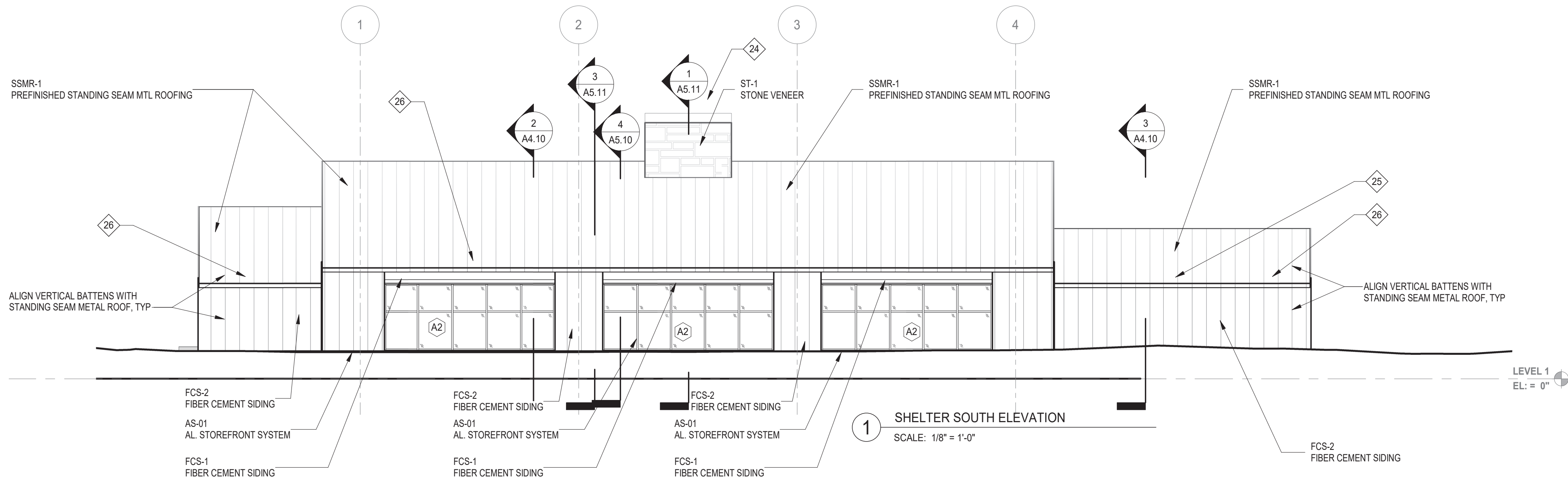
SHELTER BUILDING SECTIONS

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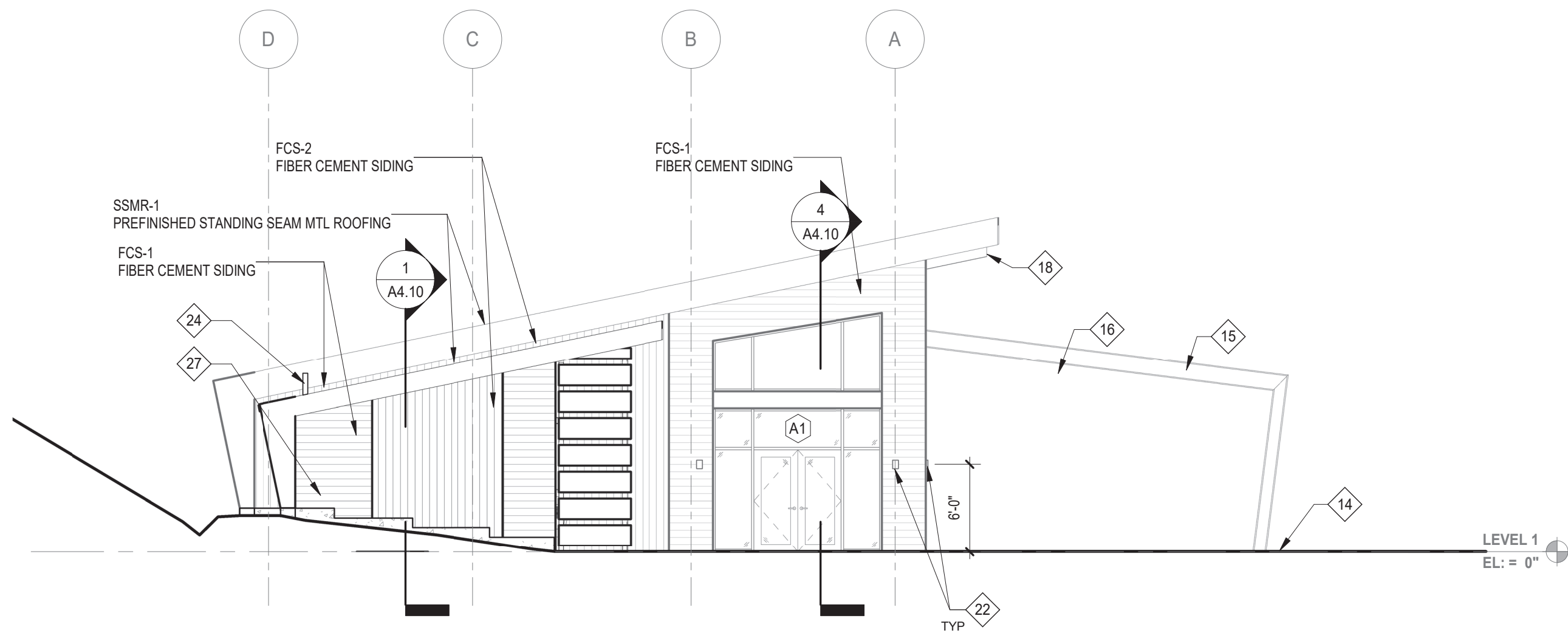
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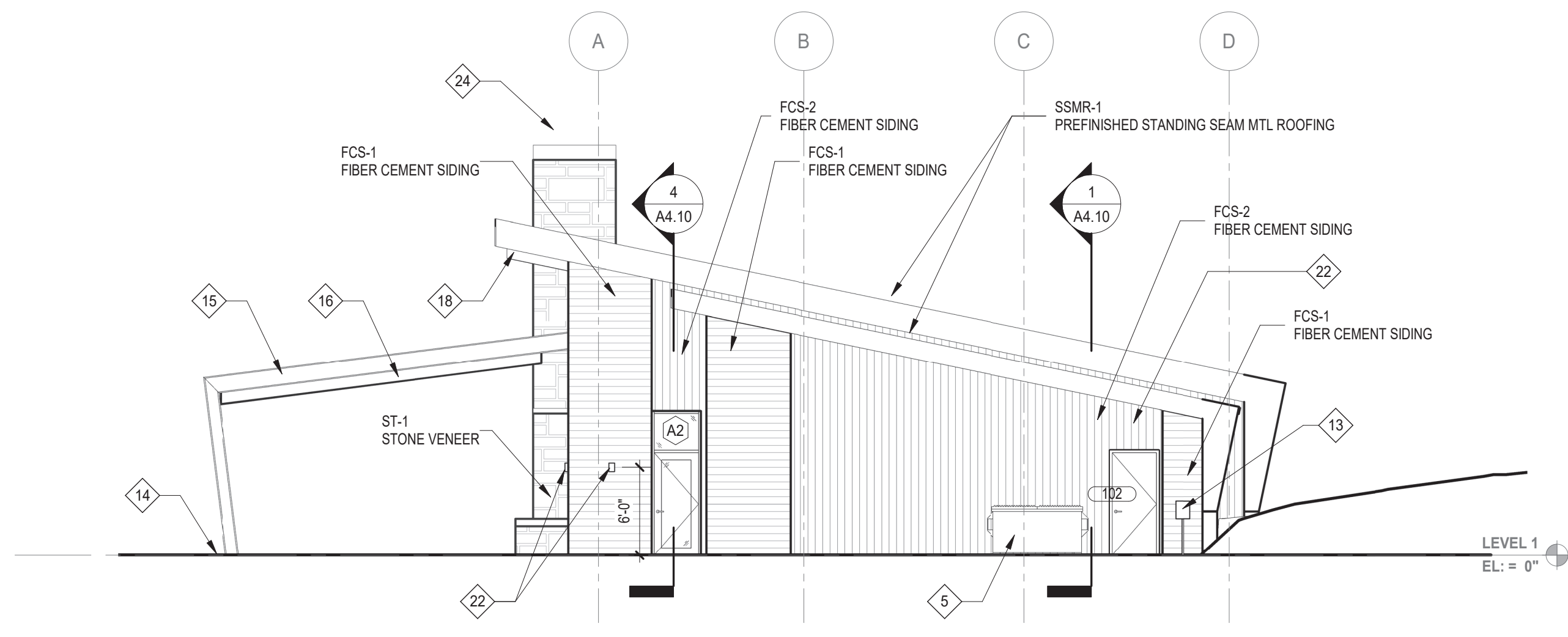
2 SHELTER NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SHELTER SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SHELTER EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 SHELTER WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE			
SYMBOL	MATERIAL	DESCRIPTION	REMARKS
AS-01	ALUMINUM STOREFRONT SYSTEM	KAWNEER, TRIFAB VERSAGLAZE 450 1/4" CENTER GLASS 4 1/2" DEEP	REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR OPERABLE WINDOW LOCATIONS
AVB-01	HIGH TEMPERATURE SELF ADHERED ROOFING UNDERLAYMENT	NON PERMEABLE AIR & VAPOR BARRIER GRACE CONSTRUCTION PRODUCTS GRACE ICE & WATER SHIELD HT	-
AVB-02	PERMEABLE AIR & VAPOR BARRIER	GRACE CONSTRUCTION PRODUCTS PERMA-A-BARRIER VPL - FLUID APPLIED	-
CONC-01	CAST IN PLACE CONCRETE	-	WHERE EXPOSED IN RESTROOMS, COAT WITH EPOXY
FCS-1	FIBER CEMENT SIDING	NICHHA AWP WOODTONE	COLOR T.B.D.
FCS-2	FIBER CEMENT SIDING	JAMES HARDIE HARDIE PANEL VERTICAL SIDING SMOOTH, WITH FC BATTENS	COLOR A: EXTERIOR AND INTERIOR (UP TO 3' AFF) WALLS, COLOR T.B.D. COLOR B: SOUTH WALL - COLOR TO MATCH SSMR-1
FCS-3	FIBER CEMENT SOFFIT	JAMES HARDIE	COLOR TO MATCH SSMR-1
FCS-TR	FIBER CEMENT TRIM, COLOR TO MATCH ADJACENT WALL FINISH (FCS-1 OR FCS-2)	HARDIE OR NICHITRIM, DEPENDING ON ADJACENT MATERIAL	COLOR TO MATCH ADJACENT MATERIAL
GL-01	GLASS	GUARDIAN CLEAR	ALL GLAZING TO BE TEMPERED, EXCEPT CLERESTORY
GL-02	GLASS	1/4" CLEAR GLASS WITH LOW-E	-
SC-1	SEALED CONCRETE	-	ALTERNATE BID - STAIN (MAIN SHELTER, ROOM 101 ONLY)
SSMR-1	PREFINISHED STANDING SEAM METAL ROOFING	PAC CLAD SNAPCLAD 18" O.C. SEAMS	COLOR T.B.D. PROVIDE SNOW GUARDS AS SHOWN
ST-1	STONE VENEER	4" NOM HALQUIST STONE CHILTON BROWN	-
ST-2	STONE CAP	INDIANA LIMESTONE	-
WB-1	WEATHER BARRIER	DUPONT TYVEK COMMERCIAL WRAP	-
WP-1	WATER PROOFING	GCP PROCOR FLUID APPLIED MEMBRANE	FOUNDATION WALLS

#	KEYNOTES
3	FIREPLACE
5	DUMPSTER, BY OWNER
13	METER, REFER TO ELECTRICAL
14	IN-GRADE LUMINAIRE, REFER TO ELECTRICAL
15	CANVAS SHADE SUPPORT COLUMN, REFER TO STRUCTURAL
16	CANVAS SHADE
18	EXPOSED STRUCTURAL FRAMING, REFER TO STRUCTURAL
22	EXTERIOR SCONCES
24	CHIMNEY FLUE CAP
25	VENT THRU ROOF, REFER TO PLUMBING
26	SNOW GUARDS
27	EXHAUST FAN, REFER TO MECHANICAL



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ISSUED FOR PERMIT AND BID 04/29/2022
REV DESCRIPTION DATE

LIPPOLD PARK 3-SEASON SHELTER

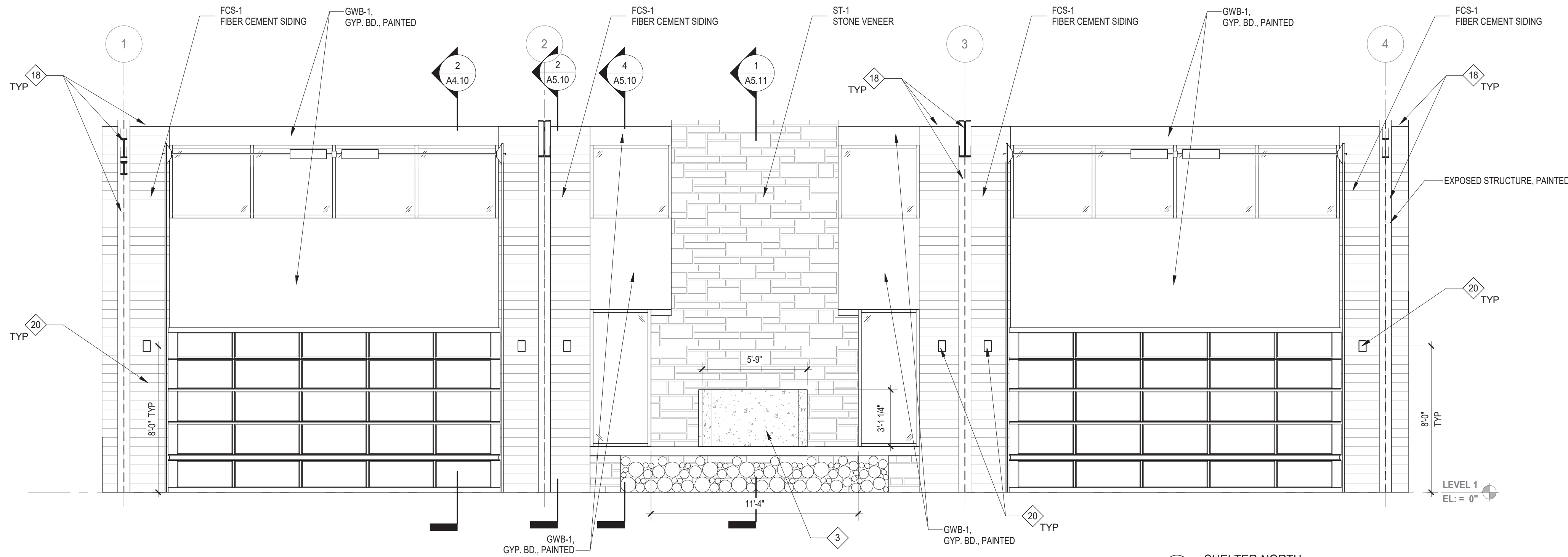
2001 S. RIVER STREET
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SHELTER EXTERIOR ELEVATIONS

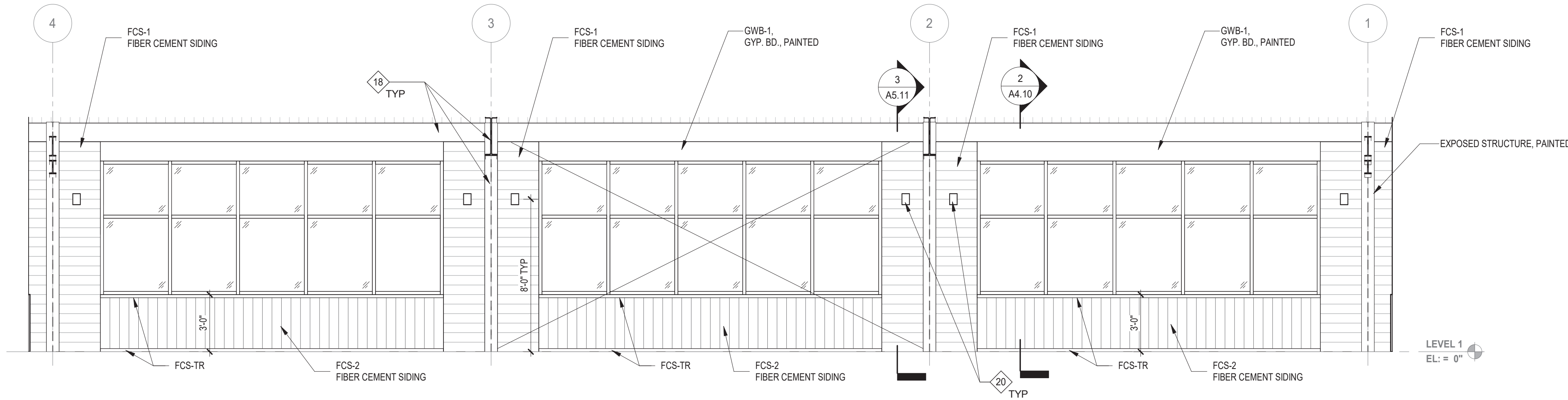
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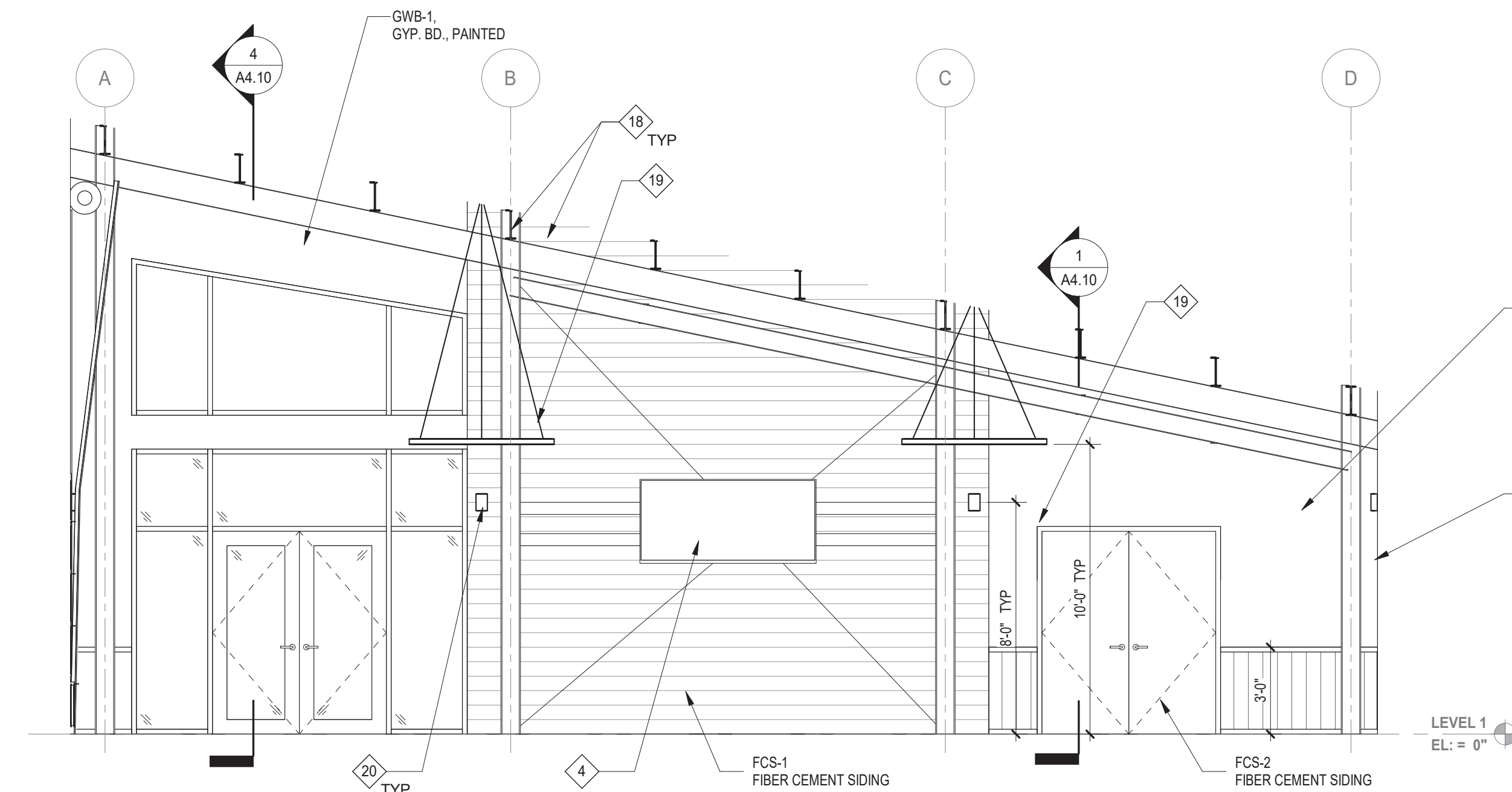
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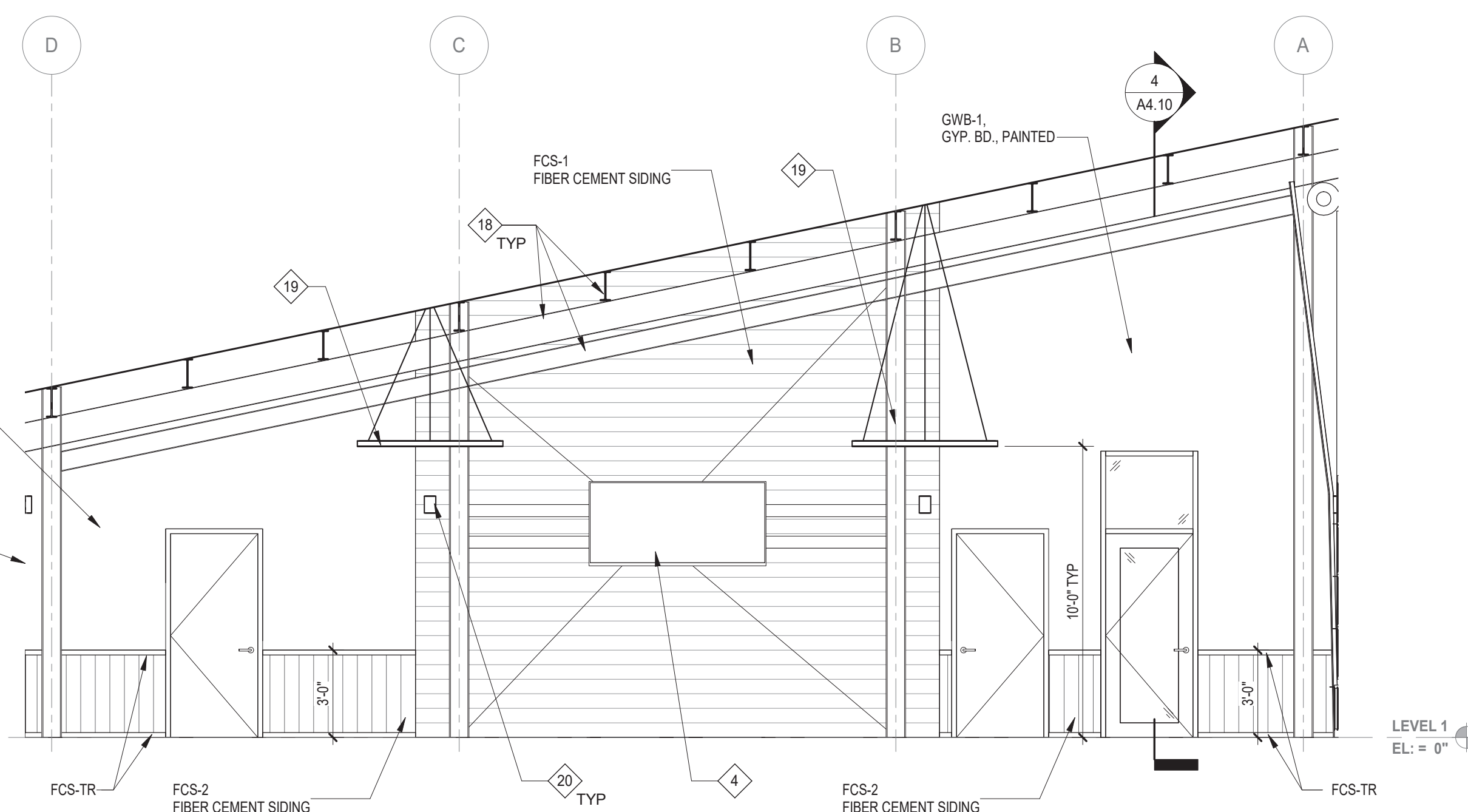
1 SHELTER-NORTH
SCALE: 1/4" = 1'-0"



2 SHELTER-SOUTH
SCALE: 1/4" = 1'-0"



3 SHELTER-EAST
SCALE: 1/4" = 1'-0"



4 SHELTER-WEST
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE

SYMBOL	MATERIAL	DESCRIPTION	REMARKS
AS-01	ALUMINUM STOREFRONT SYSTEM	KAWNEER, TRIFAB VERSAGLAZE 450 1/4" CENTER GLASS 4 1/2" DEEP	REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR OPERABLE WINDOW LOCATIONS
AVB-01	HIGH TEMPERATURE SELF ADHERED ROOFING UNDERLAYMENT	NON PERMEABLE AIR & VAPOR BARRIER GRACE CONSTRUCTION PRODUCTS GRACE ICE & WATER SHIELD HT	-
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CONC-01	CAST IN PLACE CONCRETE	-	WHERE EXPOSED IN RESTROOMS, COAT WITH EPOXY
FCS-1	FIBER CEMENT SIDING	NICHHA AWP WOODTONE	COLOR T.B.D.
FCS-2	FIBER CEMENT SIDING	JAMES HARDIE HARDIE PANEL VERTICAL SIDING SMOOTH, WITH FC BATTENS	COLOR A: EXTERIOR AND INTERIOR (UP TO 3' AFF) WALLS, COLOR T.B.D. COLOR B: SOUTH WALL - COLOR TO MATCH SSMR-1
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WB-1	WEATHER BARRIER	DUPONT TYVEK COMMERCIAL WRAP	-
WP-1	WATER PROOFING	GCP PROCOR FLUID APPLIED MEMBRANE	FOUNDATION WALLS

KEYNOTES

- 3 FIREPLACE
- 4 PROVIDE MOUNTING BRACKET, ELECTRICAL AND DATA CONNECTION FOR TV MONITOR (TV MONITOR BY OWNER)
- 18 EXPOSED STRUCTURAL FRAMING, REFER TO STRUCTURAL
- 19 PENDANT LIGHT FIXTURES
- 20 INTERIOR SCONCES, ALTERNATE BID



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LIPPOLD PARK 3-SEASON SHELTER

2001 S. RIVER STREET
NORTH AURORA, IL 60510

SHELTER INTERIOR ELEVATIONS

Project Number:

210246

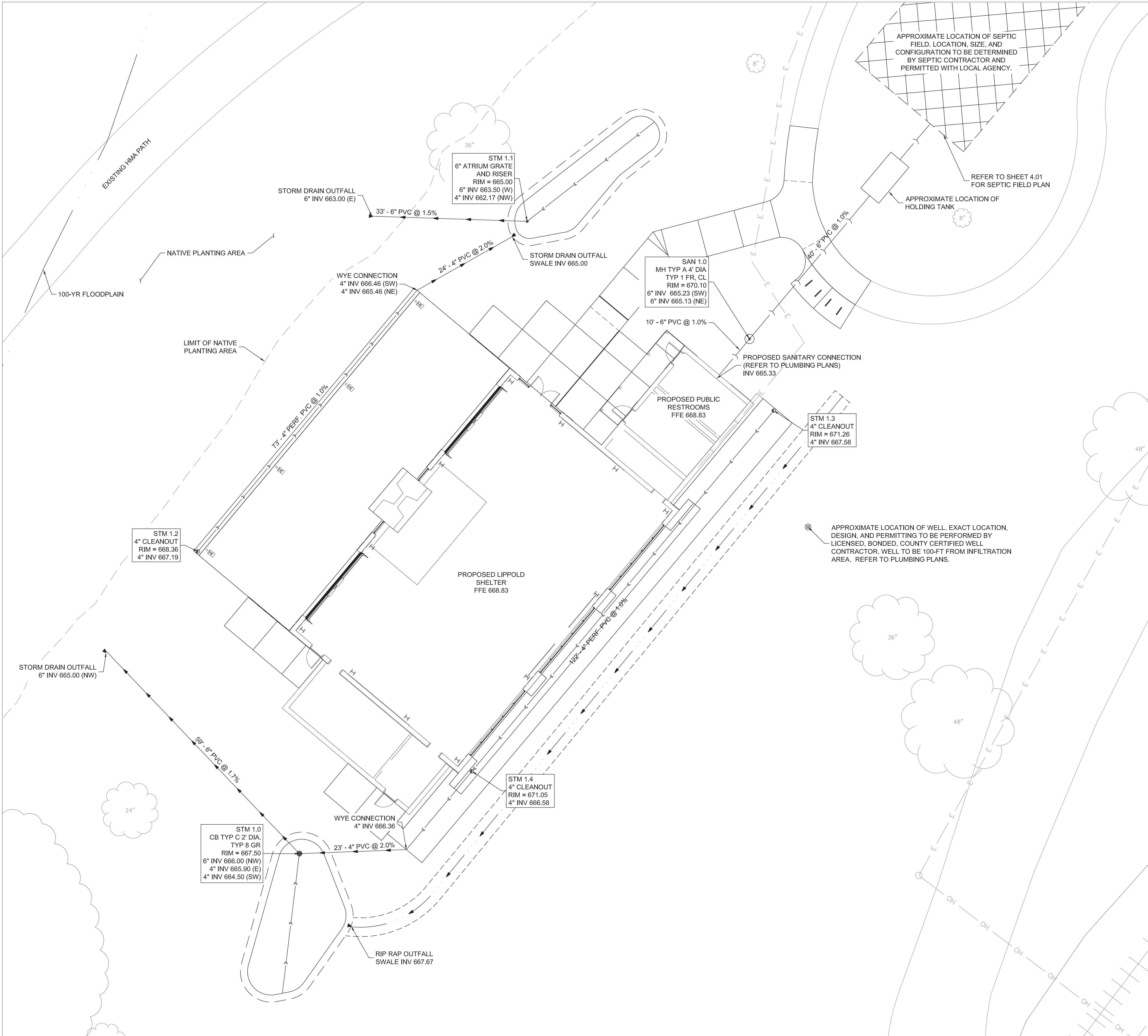
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LEGEND

→	STORM SEWER
—>—	SANITARY SEWER
—W—W—	UNDERDRAIN
—W—W—	WATER SERVICE
—E—E—	ELECTRIC
●	CLEANOUT
●	OVERFLOW STRUCTURE
⊙	WELL

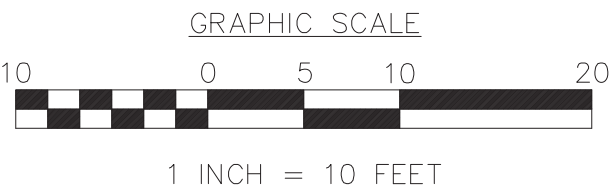
UTILITY NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS AT THE BUILDING WITH THE MEP TO VERIFY CONNECTION LOCATION, PIPE SIZE, AND INVERT.
- CONTRACTOR TO SEE MEP PLANS FOR ALL DETAILS, LOCATION, ROUTING, SIZE, ETC. REGARDING GAS, TELEPHONE, ELECTRIC, AND LIGHTING DESIGN. FOLLOW ALL REQUIREMENTS OF UTILITY PROVIDERS.
- ALL STORM SEWER SHOULD BE PVC SDR 26 OR STRONGER.

AS-BUILT NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT SURVEYS. ALL AS-BUILT SURVEYS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR AND BE SIGNED AND SEALED. THE CONTRACTOR SHALL SUBMIT TWO SETS OF THE "AS-BUILT" FINAL ENGINEERING DRAWINGS (I.E. RECORD DRAWINGS) AND STORMWATER MANAGEMENT CALCULATIONS UPON COMPLETION OF IMPROVEMENTS AND INCLUDE ELECTRONIC CAD FILES. THE RECORD DRAWINGS SHOULD AT LEAST INCLUDE THE FOLLOWING INFORMATION: AS-BUILT DETENTION CONTOURS, ELEVATIONS (INCLUDING DETENTION BASIN TOP OF BERM AND OVERFLOW WEIR GRADES) AND VOLUME (VERIFIED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER (PE) OR PROFESSIONAL LAND SURVEYOR (PLS)); ELEVATION, AND LOCATION (TIES TO TWO POINTS) OF ALL NEW STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINESSTOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), ALL STORM/SANITARY SEWER STRUCTURES (INCLUDING INVERTS AND PIPE SIZES), ALL PIPES (LOCATIONS, SLOPES, LENGTHS, ETC.), OUTLET CONTROL STRUCTURES (INCLUDING RESTRICTOR SIZES AND ELEVATIONS PLUS TOP OF WALL) AND ABANDONED WATER OR SANITARY SERVICE LINES. DETAILED TOPOGRAPHIC SURVEY OF ALL HIGH POINTS, LOW POINTS, CHANGE OF SLOPE INCLUDING GUTTER GRADES, TOP OF CURB GRADES, PAVEMENT GRADES, SIDEWALK GRADES, RAMP GRADES, ETC. TO VERIFY POSITIVE DRAINAGE. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS.

WITHIN DETENTION/BMP AREAS: FOR VERIFICATION OF DETENTION VOLUME AND SUBBASE GRADES, PRIOR TO BACK FILLING WITH CA-7, THE CONTRACTOR SHALL PROVIDE ENGINEER WITH A CERTIFIED TOPO SURVEY OF AS-BUILT SUBBASE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF RECEIPT OF THE CA-7 AGGREGATE.



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REV	DESCRIPTION	DATE
ISSUED FOR PERMIT AND BID		04/29/2022

**LIPPOLD PARK
3-SEASON SHELTER**

2001 S. RIVER STREET
NORTH AURORA, IL 60510

UTILITY PLAN

Project Number:
210246
Drawn By:
NKH
Sheet:

C4.00

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LEGEND

STORM SEWER

SANITARY SEWER

UNDERDRAIN

WATER SERVICE

ELECTRIC

CLEANOUT

UTILITY NOTES:

1.

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2.

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4.

CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS AT THE BUILDING WITH THE MEP TO VERIFY CONNECTION LOCATION, PIPE SIZE, AND INVERT.

5.

CONTRACTOR TO SEE MEP PLANS FOR ALL DETAILS, LOCATION, ROUTING, SIZE, ETC. REGARDING GAS, TELEPHONE, ELECTRIC, AND LIGHTING DESIGN. FOLLOW ALL REQUIREMENTS OF UTILITY PROVIDERS.

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NORTH

GRAPHIC SCALE

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1 INCH = 10 FEET

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REV	DESCRIPTION	DATE

LIPPOLD PARK
3-SEASON SHELTER

2001 S. RIVER STREET
NORTH AURORA, IL 60510

SEPTIC FIELD PLAN

Project Number:
210246
Drawn By:
NKH
Sheet:

C4.01

Village of North Aurora Memorandum



To: President and Village Board of Trustees

From: Jason Paprocki, Finance Director

CC: Steven Bosco, Village Administrator

Date: June 6, 2022

RE: Village Purchasing Policy Update

Staff is proposing the following updates to the Village's Purchasing Policy. In addition, changes to Section 3.40.020 Advertising for bids in the Village Code are being proposed to be consistent with the Purchasing Policy. The proposed changes are included in the attached ordinance and resolution, as well as summarized below.

Village Code – Section 3.40.020 – Advertising for bids

The attached ordinance removes reference to notification in a local newspaper and replaces it with reference to procedures outlined in the Village's Purchasing Policy.

3.40.020 Advertising for bids.

The appropriate department head, under the supervision of the Village Administrator, shall prepare the bidding specifications, in keeping with the village Purchasing Policy as approved by the Village Board from time to time, and advertise for bids ~~by placing a notice inviting bids at least once in a newspaper published and having general circulation in the Village of North Aurora, the publication date to be not less than ten (10) days prior to the date for letting the contract~~ **publically in keeping with the Illinois Municipal Code in a manner outlined by the Village purchasing policy.**

Purchasing Policy – Section II – Purchasing Policy Authorizations

Staff is proposing raising the Village Administrator's spending authority from less than \$15,000 to less than \$25,000. No changes have been made to requiring three written quotes for purchases in this category. This change aligns the spending authority with language already contained in the purchasing policy regarding public improvement projects over \$25,000 (65 ILCS 5/8-9). During the past two fiscal years, there was an average of five payments that fell between the \$15,000 to \$25,000 range that required board approval (four in FY21 and six in FY22).

In addition, staff surveyed the spending authority of our comparable municipalities. Most have a Village Administrator spending authority up to \$25,000, while some have an up to \$20,000 level.

Other references to the \$15,000 spending authority throughout the purchasing policy have been updated to \$25,000 where necessary.

Purchasing Policy - Section IV – Bids and the Bidding Process

In the formal bidding procedures, item 1 states the Village Administrator shall review bid packages and send any recommended changes to the Department Head. This has been changed to the Finance Director shall review bid packages prior to posting. This change helps ensure bids align with the Village's adopted budget prior to issuance.

Item 2 states that formal proposals or bids are to be advertised in a newspaper published or generally circulated with the Village, as well as posted on the Village's website. We are proposing that bids shall be posted to the Village's website as a requirement, with other forums of public notice being secondary. This removes the newspaper requirement, however, newspapers may still be used in certain situations. This change gives the Village greater flexibility when trying to reach potential vendors or longer spend money on newspaper advertisements if not deemed necessary.

Item 3 makes reference to placing legal notice in a local newspaper of general circulation. Consistent with the change noted above, this has been updated to read "any combination of public forums" rather than newspaper.

Item 8 currently states that Departments should prepare bid tabulations and submit to the Village Administrator for review. The next section (item 9) states that Department Heads should meet with the Village Administrator to review the bids. We are proposing a change to item 8 where the Finance Director first reviews the bid tabulations prior to the meeting with the Village Administrator.

Purchasing Policy - Section V – Service Contracts and Professional Services

Language has been added to the professional services section that allows the Village to continue professional services contracts with vendors it has a longstanding, satisfactory relationship with without an RFP or RFQ process as long as the annual amount does not exceed the Village Administrator's spending authority. All new contracts with new service providers will still be required to follow the appropriate procurement process.

Purchasing Policy – Section VI – Other

Language is being added that defines authorized credit limits by position. Previously, the policy stated that limits will not exceed \$10,000. In past practice, limits of \$10,000 were given to the Village Administrator and Department Heads and limits of \$5,000 were

given to all other supervisory employees. A sentence has been added to the policy that clearly states and defines this practice.

VILLAGE OF NORTH AURORA

ORDINANCE NO. _____

AN ORDINANCE AMENDING TITLE 3, CHAPTER 3.40
OF THE NORTH AURORA VILLAGE CODE
REGARDING CONTRACTS FOR PUBLIC WORKS

WHEREAS, the Village Purchasing Policy is being updated, and Title 3, Chapter 3.40 of the North Aurora Code relating to Contracts for Public Works should be amended in keeping with the Purchasing Policy.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of North Aurora, Kane County, Illinois, as follows:

1. The recitals set forth above are adopted and incorporated herein as the material and significant findings of the President and the Board of Trustees as if fully stated herein.
2. Section 3.40.020 of Chapter 3.40 (Contracts for Public Works) of Title 3 (Revenue and finance) is hereby amended in its entirety as follows:

3.40.020 Advertising for bids.

The appropriate department head, under the supervision of the Village Administrator, shall prepare the bidding specifications, in keeping with the village Purchasing Policy as approved by the Village Board from time to time, and advertise for bids publically in keeping with the Illinois Municipal Code in a manner outlined by the Village purchasing policy.

3. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Ordinance, or any part thereof. The Village Board of Trustees hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof irrespective of the fact that anyone or more sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional, invalid or ineffective.

4. This Ordinance shall take immediate full force and effect from and after its passage, approval, publication and such other acts as required by law.

VILLAGE OF NORTH AURORA

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Mark Carroll _____

Laura Curtis _____

Mark Guethle _____

Michael Lowery _____

Todd Niedzwiedz _____

Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this _____ day of _____, 2022, A.D.

Mark Gaffino, Village President

ATTEST:

Village Clerk

VILLAGE OF NORTH AURORA

Resolution No. _____

Resolution to Approve an Amendment to the Village's Purchasing Policy

WHEREAS, the Village of North Aurora has previously adopted Resolution 14-03-17-01, a Resolution adopting a new Purchasing Policy on March 17, 2014 and said Policy was amended on December 17, 2018, January 21, 2019, and October 21, 2019; and

WHEREAS, the Village has determined that it is necessary to update and amend Section IV Bids and the Bidding Process and Section V Service Contracts and Professional Services of the Purchasing Policy; and

NOW, THEREFORE, be it resolved by the President and Board of Trustees of the Village of North Aurora, as follows:

1. The recitals set forth above are incorporated herein as the material findings of the president and the Board of Trustees.
2. The Purchasing Policy revisions attached hereto and incorporated as Exhibit "A" is hereby approved by the corporate authorities.
3. This Resolution shall take immediate full force and effect from and after its passage and approval.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022, A.D.

Mark Carroll _____

Laura Curtis _____

Mark Guethle _____

Michael Lowery _____

Todd Niedzwiedz _____

Carolyn Bird Salazar _____

Approved and signed by me as President of the Board of trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2022 A.D.

Village President Mark Gaffino

ATTEST:

Village Clerk

Village of North Aurora
Purchasing Policy
Adopted: June 6, 2022



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Section I: Overview

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A. Purpose

The purpose of this policy is to provide direction to departments in the procurement of goods and services. When used with good judgment and common sense, the policies will allow the Village to obtain required goods and services efficiently and economically. When necessary, this policy will be revised consistent with current policies and procedures affecting purchasing and contracting. The Village Administrator, or his/her designee, shall be the final authority with regard to enforcement or interpretations of any provisions of this manual.

B. Goals of Policy

The purchasing standards set forth herein are designed to:

1. Attain maximum economy in municipal operations to the ultimate advantage of local taxpayers and residents;
2. Provide equal opportunity for qualified vendors to serve Village needs;
3. To exercise fiscal control over purchasing.
4. To obtain supplies, equipment and services for the Village at the lowest possible cost at the quality necessary for efficient and effective operations.
5. To provide timely and convenient service to residents through the efficient procurement of goods and services.

C. Ethics and Conflicts of Interest

Village employees are expected to conduct daily business with integrity and honesty. It shall be the responsibility of the Village Administrator to determine if there has been an ethics violation in conjunction with this section, if any disciplinary action is required in accordance with the Village's personnel manual and determine the applicability of this section to related questions that may arise from time to time.

1. Employees shall make all purchases without favor or prejudice.
2. Employees shall ensure that identical information is provided to current and potential vendors in order to receive fair and accurate quotes and/or bids.
3. Gift Acceptance – Employees shall adhere to the State Officials and Employees Ethics Act, 5 ILCS 430/1-1 as adopted by the Village per ordinance 04-05-10-07 regarding the acceptance of gifts from "prohibited sources". Furthermore:
 - a. Gifts or gratuities shall not be accepted if the perceived value is beyond that which suggests more than a social context.
 - b. Promotional or advertising items of nominal value, including, but not limited to key chains, pens, coffee mugs and calendars are acceptable.

- c. Association with current or potential vendors during business meals or business organization meetings is not prohibited, nor is it unethical as long as the employee keeps him/herself free of obligation. Should the current or potential vendor pay for or sponsor the business meal, the amount cannot exceed the limits defined in the State Officials and Employees Ethics Act.
 - d. Gifts that can be shared such as food are acceptable and shall be shared among co-workers.
 - e. Cash, gift cards or gift certificates/vouchers are not acceptable. Should an employee receive cash, gift cards or gift certificates/vouchers from a current or potential vendor, or business within the Village, the employee shall return the gift politely citing the Village's gift acceptance policy.
 - f. Personal loans of money or equipment for any employee's personal use are not to be accepted from a vendor conducting or seeking business with the Village.
 - g. Corporate discounts granted to the Village are acceptable only if they are offered to all Village employees and/or other similar corporate or and governmental clients of the vendor.
 - h. Local charity/community group gifts – employees may accept gifts from local charity/community groups or similar groups of that nature if the gift is deemed to stem from a personal friendship with the group's members or similar gifts have been given to other members of the local charity/community
4. Conflict of Interest – Any employee with purchasing authority shall notify their Department Head of any of the following actual or potential conflict of interest circumstances with a potential vendor regardless of whether they are directly or indirectly involved with the purchasing process. Department Heads will be responsible for notifying the Village Administrator of these circumstances:
- a. The employee is simultaneously employed by or doing work in any capacity for the potential vendor.
 - b. The employee, employee's partner or member of the employee's immediate family holds is an employee or agent of a potential vendor who may benefit or be adversely affected by a purchasing decision by or on behalf of the Village.
 - c. The employee, employee's partner or member of the employee's immediate family has any direct or indirect financial interest in the procurement transaction or in the potential vendor.
 - d. The employee, employee's partner or member of the employee's immediate family are currently negotiating terms of employment or agency relationship or are in the process of becoming employed by or forming an agency relationship with a potential vendor.

For purposes of this section, an employee's immediate family is defined as spouse/partner, children, parents, brothers, sisters or anyone else currently living in the same household as the employee.

It shall be the responsibility of the Village Administrator to determine when ethical considerations must be addressed, when there has been an ethics violation in conjunction with this section and whether any disciplinary action is required in accordance with the Village's personnel manual.

D. Budget Approval and Compliance

In general, a budget for all supplies, materials, equipment and contractual/professional services required for the delivery of services by Village Departments will be included in the annual budget document.

Purchase of budgeted items or services as required during the fiscal year shall proceed in accordance with these procedures generally upon approval of the annual Budget by the Village Board. In some cases, the beginning of the process of procurement, or final approval of the purchase of goods or services may be initiated prior to Village Board approval of the annual budget for which the goods or services are being procured, as determined by the Finance Director and if determined to be in the best interests of the Village.

Department Heads are responsible for ensuring that purchases made are within budget. The Department Head shall notify the Finance Director prior to the beginning of any purchase of goods or services if the purchase may result in an account exceeding the budget so that an appropriate budget adjustment can be executed prior to Village Administrator approval of the purchase, if necessary.

E. General Purchase Authority

Purchases of goods or services may be authorized according to the general guidelines below:

1. Department Heads may authorize purchases up to \$5,000.
2. The Village Administrator, or his/her designee, must approve all purchases in excess of or equal to \$5,000.
3. Purchases in excess of or equal to ~~\$15,000~~ \$25,000 also require Village Board approval.

The Village Administrator shall be notified by the respective department prior to the beginning of the procurement process for goods or services over ~~\$15,000~~ \$25,000 in order to ensure that the proper process is followed. The Finance Director will maintain appropriate forms and procedures for the approval of purchasing requests as needed.

F. Estimating Costs to Determine Required Authorization

Estimates of cost should always be obtained and submitted with requests for authorization. When dealing with the unexpected repair of equipment, vehicles or facilities that require immediate action, good faith estimate should be obtained and submitted with the request for authorization. In the event the actual cost exceeds an original estimate, or a revised estimate is obtained, and additional approval levels to proceed are required, the Department Head and/or Village Administrator, as appropriate, shall be notified to obtain authorization to proceed.

Section II
Purchasing Policy Authorizations

- A. A purchase less than \$1,000
- B. A purchase in excess of or equal to \$1,000 but less than \$5,000
- C. A purchase in excess of or equal to \$5,000 but less than ~~\$15,000~~ \$25,000
- ~~D. A purchase in excess of or equal to \$15,000 but less than \$25,000~~
- D. A purchase in excess of or equal to \$25,000 and Formal Bidding
- E. Petty Cash

A. Purchases Less Than \$1,000

Purchases within this category may be authorized by the Department Head who may delegate this authority to subordinates at their discretion. Department Heads still bear ultimate responsibility for purchases made by their subordinates.

Although multiple quotes are not required every time a purchase is authorized within this threshold, periodic price comparisons must be made from time to time to ensure that the price being paid is the best price available and that the quality is the best that is required.

B. Purchases in Excess of or equal to \$1,000 but less than \$5,000

Purchases in this category shall be authorized by the Department Head after seeking at least two (2) quotes from vendors. If two (2) or more quotes can not be obtained, Department Heads shall document the attempts made to receive quotes for those goods or services.

C. Purchases in Excess of or equal to \$5,000, but less than ~~\$15,000~~ \$25,000

Purchases in this category must be authorized by the Village Administrator. Effort shall be taken to secure at least three (3) written quotations. If three (3) or more quotes can not be obtained, Department Heads shall document the attempts made to receive quotes for those goods or services. The requesting department shall secure the quotations themselves and the Department Head will present a recommendation to the Village Administrator. The splitting of a purchase into two or more purchases for the purpose of avoiding this requirement is not allowed.

In the event that a Department Head feels that a purchase under this category should be made from one particular vendor rather than through written quotations, he should submit a recommendation to the Village Administrator stating the reasons for limiting purchase to the certain vendor preference. The Village Administrator will have discretion to determine if a particular vendor should be used in these cases.

~~D. Purchases in Excess of or equal to \$15,000, but less than \$25,000~~

~~Purchases in this category must be approved by the Village Board, unless otherwise defined in this policy. Effort shall be taken to secure at least three (3) written quotations. The splitting of a purchase into two or more purchases for the purpose of avoiding this requirement is not allowed. The Village Board may approve a purchase from one vendor without quotes if presented with justification from the Village Administrator or Department Head.~~

D. Purchases in Excess of \$25,000 and Formal Bidding

Purchases in this category exceeding a cost of \$25,000 must be approved by the Village Board and normally require at least three (3) written quotations.

In addition, public works contracts, public improvement projects and the purchase of supplies over \$25,000 are subject to formal bidding procedures as required and permitted by statute (65 ILCS 5/8-9) and authorized in the Village Code. These bid procedures may be waived by the Village Board per Statute by a two-thirds vote of all Trustees then holding office. Requests for bid waivers may be made only when goods sought are proprietary, when the services require a high degree of creative input, judgment, design or discretion from the person providing the services, where standardization is necessary or desirable, in emergencies as described later in this policy, or if determined to be in the best interests of the Village.

E. Petty Cash

Petty cash drawers in the amount of \$500 each are maintained by the Village at the Finance Department and Police Department for the purpose of reimbursing incidental costs incurred for Village operations.

Petty cash funds will be used primarily to reimburse employees for incidental expenses associated with Village operations or mileage reimbursement for use of personal vehicles. Advances may be requested upon the approval of the Department Head. All requests for petty cash reimbursements must be submitted on an approved petty cash reimbursement form and include appropriate receipts and documentation supporting the amount of the request. Unless otherwise authorized by the Finance Director or his/her designee, petty cash reimbursement shall be limited to no more than \$75 per request.

Responsibility for the safety, security and control of each petty cash drawer rests with the head of the department to which the drawer is assigned. Each Department Head may assign the day-to-day duties of petty cash administration to an appropriate custodian.

When the balance of the drawer is getting low, the designated custodian shall prepare a reconciliation of the petty cash fund providing a count of cash currently in the box as well as a detailed listing of petty cash reimbursement slips received. Upon approval through normal accounts payable procedures a check will be cut to increase the petty cash box to its designated impress balance.

Section III

Exceptions to Normal Purchasing Policies

Emergency Purchases

Emergencies are defined as events or circumstances that could not have been foreseen and where immediate action is necessary to safeguard the public's health, safety and welfare, provide emergency assistance as needed, protect property, remediate situations that may cause public harm and other situations where timing is critical. When an emergency condition exists that requires a public works or public improvement contract or purchase of supplies, the Village Administrator will notify the Mayor. Upon concurrence from the Mayor that an emergency condition exists, the Village Administrator will have authorization to expend funds over and above the Village Administrator's normal authority to alleviate the emergency if the matter must be reasonably addressed before approval can be sought from the Board of Trustees. If the Mayor can not be reached and immediate action is required, the Village Administrator will be authorized to enter into emergency purchases with notification to the Mayor as soon as possible.

During an emergency, the Village Administrator may delegate specific authority to Department Heads to expend funds in order to prevent or alleviate the emergency condition. Documentation of the emergency and the need for immediate action shall be transmitted to the Village Board as soon as practical along with information regarding expenditures that have been made and estimated to be incurred. The Village Administrator will provide regular updates to the Village Board as the event continues. In the event that a situation has been determined to be an emergency, the Finance Director will be notified in order to ensure that funds are available and facilitate payment to contractors if necessary.

Sole Source Purchases

Sole source purchases are defined as orders for parts, supplies, equipment or services that are available only from a single source or for other reasons are necessary to purchase from a single source. Examples include, but are not limited to:

- Equipment or supplies for which there is no comparable competitive product or is available only from one supplier
- Component or replacement parts for which there is no commercially available substitute
- Service contracts where one company is the only company that can provide the service, i.e. proprietary software or software maintenance
- Items where compatibility is the overriding consideration for the purchase of related products
- Items only available from one source, such as due to distributor exclusivity
- Payments made to other governmental agencies as required by law or established through an intergovernmental agreement

Items determined to be sole source that are not subject to normal procurement policies ~~may~~ still require Village Board approval above ~~\$15,000~~ **\$25,000**, ~~if determined by the Village Administrator~~ and ~~may~~ still require a formal waiver of bids if over \$25,000.

State, Joint and Cooperative Purchasing

The State of Illinois annually bids out certain items resulting in low pricing that local governments can take advantage of and take the place of normal procurement procedures. Purchasing through these State contracts allows for efficiencies due to lower administrative costs in procuring quotes, economies of scale and may be a substitute for the normal competitive procurement process.

Other forms of joint or cooperative purchasing may be available through the County or other organizations representing the Village and other local governments. Because these contracts have been competitively bid, normal competitive procurement policies can be waived. Care should be taken to ensure that the best price is still being obtained through due diligence that provides the necessary quality of goods and services.

To the extent that State or other joint purchasing programs are subject to the bidding rules of the State, intergovernmental agreement or the bidding rules of other governmental bodies, the Village bidding rules shall not apply, provided that Purchases over the ~~\$15,000~~ \$25,000 threshold still require Village Board approval.

Section IV Bids and the Bidding Process

Bid Lists

Each Department may, but are not required to, maintain their own lists of prospective vendors for quotes, bids, etc. Requests from prospective vendors to be placed on a bid list will be received or forwarded to the appropriate department and their information retained for future procurements. Each department shall be responsible for determining if prospective vendors qualify and can provide needed goods or services.

Responsible Bidder

The Village has passed by Resolution on September 21, 2009, a resolution that any public works contract under the purview of the Illinois Prevailing Wage Act that is over \$25,000 shall only be awarded to a contractor who is enrolled in a Joint Apprenticeship Training Program that is registered and certified with the United States Department of Labor, Bureau of Apprenticeship and Training.

Formal Bidding Procedures

As stated in Section II.C. of this Policy, certain public works contracts, public improvement contracts and supplies over \$25,000 are subject to formal bidding. The bidding procedures to be followed are:

1. The requesting department prepares the specifications of the item to be let for bid. The ~~Village Administrator~~ Finance Director shall review the bid package and forward any recommended changes to the Department Head. The Department Head arranges the specifications into proper format and prepares the other needed documents to complete the bid invitation package. The specifications should state the minimum standards acceptable to the Village, but should not be restrictive without adequate reason in keeping with the requirements of the work and the needs and best interests of the Village in order to allow as many competent contractors as possible to compete. The approved bidding specifications and bid package shall not be changed after it is made available to the public without notification to all bidders prior to the submittal deadline. After the submittal deadline, no changes shall be made.
2. The Department Head arranges for a bid opening date. The date must be at least ten (10) working days from the published notification date, but not more than forty-five (45) working days.

~~Formal proposals or bids are to be advertised in a newspaper published or generally circulated with the Village, as well as posted on the Village's website.~~

Public notification of bids shall be advertised in a public forum consistent with the requirements of the Illinois Municipal Code. Notice shall be posted on the Village's website. Additional public forums in which bids may be advertised may include newspapers, trade journals, industry websites, and the IDOT bulletin.

The NOTICE TO BID shall include the following, at a minimum:

- The type of material or service desired
- The notification that Prevailing Wage laws will apply, if applicable
- The person or department to contact for information

- The place it will be received
- The date and time of the bid opening
- The Statement that bids will be opened and publicly read at that time
- The statement that bids must be sealed and properly identified on the outside of the envelope that they are sealed bids for a specific item or project
- The Village reserves the right to reject any/all bids and to waive any technicalities.

In certain circumstances, it may be felt by the Department Head and or the Village Administrator that the best interests of the Village would be served by the use of one particular vendor despite the amount of the purchase being in excess of \$25,000. In such case, a request to waive competitive bidding must be submitted to the Village Board for their consideration and approval as allowed per statute.

Construction contracts involving Motor Fuel Tax or federally funded projects must follow applicable procedures dictated by the appropriate state or federal agency.

3. The Department Head shall be responsible for placing a legal notice concerning the bid in a ~~local newspaper of general circulation~~ any combination of public forums and/or IDOT bulletin authorized above to contractors at least ten (10) working days prior to the bid opening.
4. The Department Head may send bid invitations to known responsible vendors on the bidder's list for the particular item as well as to any other prospective bidders. In cases where the bid package may be costly to reproduce, a nominal charge for the package may be assessed.
5. Bids received after the published opening date and time will be returned unopened to the bidder with a cover letter stating the date and time the "Bid" was actually received. Bids received by facsimile shall not be accepted, in that they are not sealed bids as prescribed and do not bear the original signature of the authorized bidder.
6. Bids specifically for construction contracts shall be accompanied by a 5% bid bond. The Village Administrator may decide that no bid bond amount is required or that a higher bid bond is appropriate, but in no case will the amount be higher than 10%. The bid bond amount shall be stated in the bid package and shall be required uniformly from all bidders or no bidders as the case may be.
7. The Department Head or designee and one other Village representative shall be present at the bid opening.
8. Bids shall not be opened prior to the advertised bid opening day and time, and after the bids have been opened, the Department Head shall prepare bid tabulation and forward it to the ~~Village Administrator~~ Finance Director.
9. The Department Head shall meet with the Village Administrator to review the bids and mutually agree upon a recommended bidder. The Department Head will write the Board Agenda Memo for this purpose with the Village Board approving the bid award.
10. The bid award is to be made to the lowest responsible bidder. The lowest responsible bidder is that bidder with the lowest bid price that most closely meets specifications that is in the best interests of the Village to accept and any other criteria that may be set forth within the bid documents. The Village Board retains sole authority to determine that the bid meets specifications, but staff shall make a recommendation on award of based on, but not necessarily limited to, the following considerations:

- a. the ability, capacity, and skill of the bidder to perform the contract to provide the service required;
- b. whether the bidder can perform the contract or provide the service promptly, or within the time specified, without delay or interference;
- c. the character, integrity, reputation, judgment, experience, and efficiency of the bidder;
- d. the quality of the performance of previous contracts or services;
- e. the previous and existing compliance by the bidder with laws and ordinances relating to the contract or service;
- f. the sufficiency of the financial resources and ability of the bidder to perform the contract or provide the service;
- g. the quality, availability, and adaptability of the supplies or contractual services to the particular use required;
- h. the ability of the bidder to provide future maintenance and service for the use of the subject of the contract; and
- i. the number and scope of conditions attached to the bid.

Waiver of Competitive Bids

A requesting department may recommend that formal bid procedures be waived by the Village Board with the advice and consent of the Village Administrator, which case formal bidding must be waived by a two-thirds vote of all Trustees then holding office. Requests for bid waivers shall be made only when goods sought are proprietary, when the services require a high degree of creative input, judgment, design or discretion from the person providing the services, where standardization is necessary or desirable, emergencies as described in this policy, or if determined to be in the best interests of the Village.

Contract Change Orders

The Village must comply with 50 ILCS 525/ Public Works Contract Change Order Act which says that any change order to a contract which results in an increase of 50% or more of the original contract price or 50% or more of the original subcontract price must be rebid in the same manner as the original bid. This policy is consistent with this statute.

1. Change Orders for Less Than ~~\$15,000~~ \$25,000. All change orders increasing or reducing the original contract price by less than ~~\$15,000~~ \$25,000 must be approved by the Village Administrator, regardless of the percentage change. The Village Administrator may at his discretion require change orders less than ~~\$15,000~~ \$25,000 to be approved by the Village Board.
2. Change Order for \$15,000 \$25,000 or More. All change orders increasing or reducing an original contract for \$15,000 or more require approval of the Village Administrator and Village Board, regardless of the percentage change. In certain situations where it is impractical to delay a project while waiting for Village Board approval, the Village Administrator may at his discretion approve change orders up to \$25,000 with Village Board approval to follow at the next regular or special meeting.

3. Other Change Orders. The Village Administrator may execute change orders to extend the length of a construction contract by up to 30 days or other terms and conditions of a contract deemed necessary or in the best interests of the Village. Requests to extend the length of a contract by more than 30 days must be approved by the Village Board.

All change orders should be approved by the Village Administrator, or Village Board, as appropriate, prior to the work beginning.

Aggregate Purchases

The Village Administrator during the year may approve multiple purchases of, or individual contracts for, specific types of supplies and materials which, in the aggregate, exceed \$25,000 but are less individually, and not be subject to the Village's formal bid requirements or require a waiver of bids, unless the aggregate cost exceeding \$25,000 was reasonably foreseeable at the beginning of the applicable year. However, for purchases of commodities subject to frequent price fluctuations such as fuel where the competitive bid process is not practical, purchases may be approved without bidding. As for fuel purchases, specifically, the Public Works Director with the oversight and approval of the Village Administrator shall seek the best pricing currently available on an ongoing basis without the need to bid fuel purchases, and the Village Administrator may authorize individual purchases under \$25,000 and without Village Board approval.

Section V

Service Contracts and Professional Services

Service Contracts

From time to time, the Village enters into contracts for services for the ongoing maintenance of Village facilities, equipment, software, or for the provision of services to the community. The procurement of bids or quotes for these contracts should follow normal procurement procedures based on the estimated annual value of the contract. The Village will entertain contracts for multiple years if it is determined that the best interests of the Village would be served by entering into a multi-year agreement. The Village Administrator will determine if a multi-year service contract should require Village Board approval even if the annual cost of the contract is less than the amount normally required for Village Board approval.

All contracts, to be valid, must be signed by an authorized representative of the company to supply the services and an authorized representative of the Village. The authorized representative for the Village shall be the Village Administrator unless otherwise designated by the Administrator.

The Village Administrator retains the discretion to require that the procurement of a service contract follow the formal bidding process based on the type of contract procurement.

Franchise Contracts

Franchise contracts are contracts awarded by the Village to an entity for the provision of services in situations where the Village does not expend funds, i.e. refuse and recycling contracts. It is the Village's policy in most cases to seek competitive proposals for these contracts in keeping with the Village's objectives of fairness and transparency in the award of business.

Professional Services

Professional service contracts (for services that require the exercise of professional and significant business judgement) by their nature are not adaptive to normal procurement or competitive bidding. Examples include contracts for services of individuals or firms possessing a high degree of professional skill where the education, experience or character of the individual is a significant factor in determining their ability to meet Village needs. Other examples include service contracts where other considerations besides price are involved. These New contracts with new service providers generally result from the development and issuance of a Request for Proposal (RFP) by the respective department to consultants or vendors to provide professional services. Contracts for professional service providers with whom a satisfactory relationship has been established may be continued, extended, renewed, or rewritten without an RFP process as long as the annual amount does not exceed the Village Administrator's spending authority. The Village Administrator shall be notified prior to the issuance of an RFP or the engagement of professional services. Professional services defined in the Local Government Professional Services Selection Act (50 ILCS 510) (architect, engineer, or land surveyor services) shall be generally result from the development and issuance of a Request for Qualifications (RFQ), unless the Village has a satisfactory relationship with a particular service provider or providers, in which case the RFQ process is not necessary.

An RFP may be advertised publicly and sent to a group of known vendors based on prior experience in providing the service or other documented reasons, except when a Request for Qualifications (RFQ) process has been conducted which has determined the pool of vendors to be used.

Based on the complexity of the services sought, interviews and vendor presentations may be appropriate in addition to an evaluation of the proposals received. Factors other than price may be considered when conducting an RFP process. Once proposals are received from interested firms and interviews and/or presentations have been completed, the Village Administrator or designee is authorized to negotiate a contract with the firm deemed most qualified to provide the services based on:

- Fair and reasonable compensation
- Ability of professional personnel to provide services
- Past record and experience with the Village and as well as references
- Ability of firm to meet deadlines and budget

Contracts resulting from an RFP process where the annual amount of the contract is estimated to be greater than ~~\$15,000~~ \$25,000 will require Village Board approval.

The Village is subject to the Local Government Professional Services Selection Act (50 ILCS 510) which requires that a specific RFQ process be followed when hiring an architect, engineer or land surveyor, unless the Village has a satisfactory relationship with a particular service provider or providers, in which case the RFP process is not necessary. This Act should be referred to for current State requirements regarding the solicitation of such services, and current situations upon which certain provisions of the Act can be waived, prior to soliciting for such services. In circumstances in which an RFQ process is not required, the Village will permit firms engaged in these professions to annually file a statement of qualifications and performance data with the Village.

Village Purchasing Cards

The Village maintains a purchasing card program to allow authorized individuals to efficiently procure certain goods and services that may not be easily obtainable through the normal cycle of purchasing, receipt of goods or services and payment through accounts payable, or for expenses incurred through employee training, conferences or other professional development activities.

In general, purchasing cards may be issued to the following positions: Mayor, Village Administrator, Department Heads and other employees responsible for the direct supervision of other employees, or who are responsible for the frequent purchase of items for which a purchasing card would improve efficiency. All requests for a card from a position stated above or other positions must be approved by the Finance Director and Village Administrator. Before a card is issued to an employee the employee must sign a Use Acknowledgement Form provided from the Finance Department. Personal purchases with the card not related to Village business are expressly prohibited. Purchasing card limits and other controls will be maintained by the Finance Director but in any case the maximum monthly limit on a purchasing card will not exceed \$10,000. Credit limits for the positions of Mayor, Village Administrator, and Department Head shall be \$10,000, and all other employees responsible for direct supervision of other employees and that are responsible for frequent purchases shall be \$5,000.

Each employee who uses a Purchasing card must reconcile their purchases on their card on a monthly basis using forms and procedures provided by the Finance Department. Employees with a card are responsible for attaching and saving all receipts. Reconciliations on a monthly basis should include descriptive information on the purchase. Reconciliations must be approved by the employee's Supervisor on a monthly basis and then forwarded to accounts payable for inclusion on the next bill listing.

Open Credit Accounts

The Village maintains a number of credit accounts at various stores where authorized individuals may make a purchase, with the Village being billed at a later date. Department Heads may authorize employees to purchase at these locations provided due diligence is taken to ensure competitive pricing as required in the Policy, and that appropriate authorizations are obtained prior to the purchase.

Disposal of Surplus Property

The Village is required to comply with State statute 65 ILCS 5/11-76-4 which prescribes procedures to follow for the disposal of surplus property. The Village Administrator is responsible for ensuring that all requirements of this policy are met.

Any Department Head identifying surplus property should notify the Village Administrator or his/her designee that such property is no longer in the best interest of the Village to retain custody of.

1. The respective Department Head should provide:
 - a. Description of the item such as make, model, serial number, etc.
 - b. Date originally acquired and original acquisition cost, if any.
 - c. Proposed method of disposal i.e. auction, direct sell, trade-in, etc.
2. If the proposed method of disposition is a trade-in, the Village will have to notify all bidders that the item of a new or replacement item will be traded-in as part of the purchase price.
3. The Village Administrator or designee will then prepare an ordinance and related Exhibit for Village Board consideration which will declare the items as surplus property.

4. Upon approval by the Village Board the Village Administrator will direct staff to proceed with the disposition of the property.
5. Upon sale or disposition of the property the respective Department Head will notify the Finance Director that such sale or disposition has taken place and the amount of the sale price, if any.

If in the opinion of the Department Head a particular item has a potential resale value of less than five hundred dollars (\$500), the Village Administrator is authorized or may delegate staff to sell that item in the manner most expeditious and cost-effective, with or without advertising the sale, taking into account the cost of advertising and staff time and effort, without separate Village Board approval.

The Village Administrator may also authorize certain items to be disposed of, or recycled if the potential value of such item is minimal or negligible. The Village Administrator is also authorized to give away items to charities, not-for-profits or other governmental entities if it makes practical sense to do so. However, in no event shall any items be given away to any elected official, employee, appointed official or immediate family of those individuals. After any item has been sold, disposed, or donated the responsible Department Head will send details of the transaction, or action taken to dispose of the items, to the Finance Director.

Sales Tax Exemption

The Village maintains a sales tax exemption in the State of Illinois. When making purchases for the Village, all reasonable attempts should be made to make purchases exempt from sales tax, which may require presenting the Village's sales tax exemption certificate and completing other forms or documentation. Employees should determine in advance if the Village has already established an exempt account with a business in order to avoid paying sales taxes whenever possible.

Use of the Village's sales tax exemption number is restricted to purchases made on behalf of the Village. State law prohibits use of the Village's sales tax exemption number to secure exemptions for personal reasons and such use will subject the responsible individual to a substantial fine and/or imprisonment.

Inspection and Testing

The inspection and testing of delivered goods or materials should occur at the time of delivery and prior to processing of payment. Department Heads are responsible for ensuring that the quantity and quality of the delivered goods are as ordered and that all purchases made within their department are received and utilized solely for Village business. Authorization to pay a vendor for goods or services rendered shall generally not be done by a Department Head until all goods and services have been accepted and received. Department Heads are responsible for maintaining an inventory of items held for use or resale and appropriate records. Inventory records may be reviewed as part of the annual audit process.

Preference for Environmentally Friendly Goods and Services

Village staff is encouraged to investigate the purchase of "green" products including but not limited to energy star rated equipment, if determined to be a reasonably economical alternative.

Prevailing Wage Laws

All bidding packages, requests for bids, requests for proposals and other processes for the approval of services in conjunction with public works to be performed by or on behalf of the Village as defined in the Illinois Prevailing Wage Act (820 ILCS 130/1 et seq.) (hereinafter for purposes of this Section, the “Act”) shall stipulate that the persons or entities awarded the work shall perform the work in compliance with the Act, including the payment of prevailing wages, the submission to the Village of certified payrolls and all other requirements of the Act.