

Meeting Held Electronically



COMMITTEE OF THE WHOLE MEETING
MONDAY, AUGUST 16, 2021
(Immediately following the Village Board Meeting)

AGENDA

CALL TO ORDER

ROLL CALL

AUDIENCE COMMENTS

TRUSTEE COMMENTS

DISCUSSION

1. Petition 21-08: Randall Square PUD Amendment (Casey's)
2. Gerald Genesis Dealership Incentive Agreement
3. Moose Lake Estates Unit 3 Plat of Subdivision
4. 19 South Lincolnway Demolition

EXECUTIVE SESSION

ADJOURN

Initials: SB

**VILLAGE OF NORTH AURORA
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: PETITION 21-08: RANDALL SQUARE PUD AMENDMENT
AGENDA: AUGUST 16, 2021 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

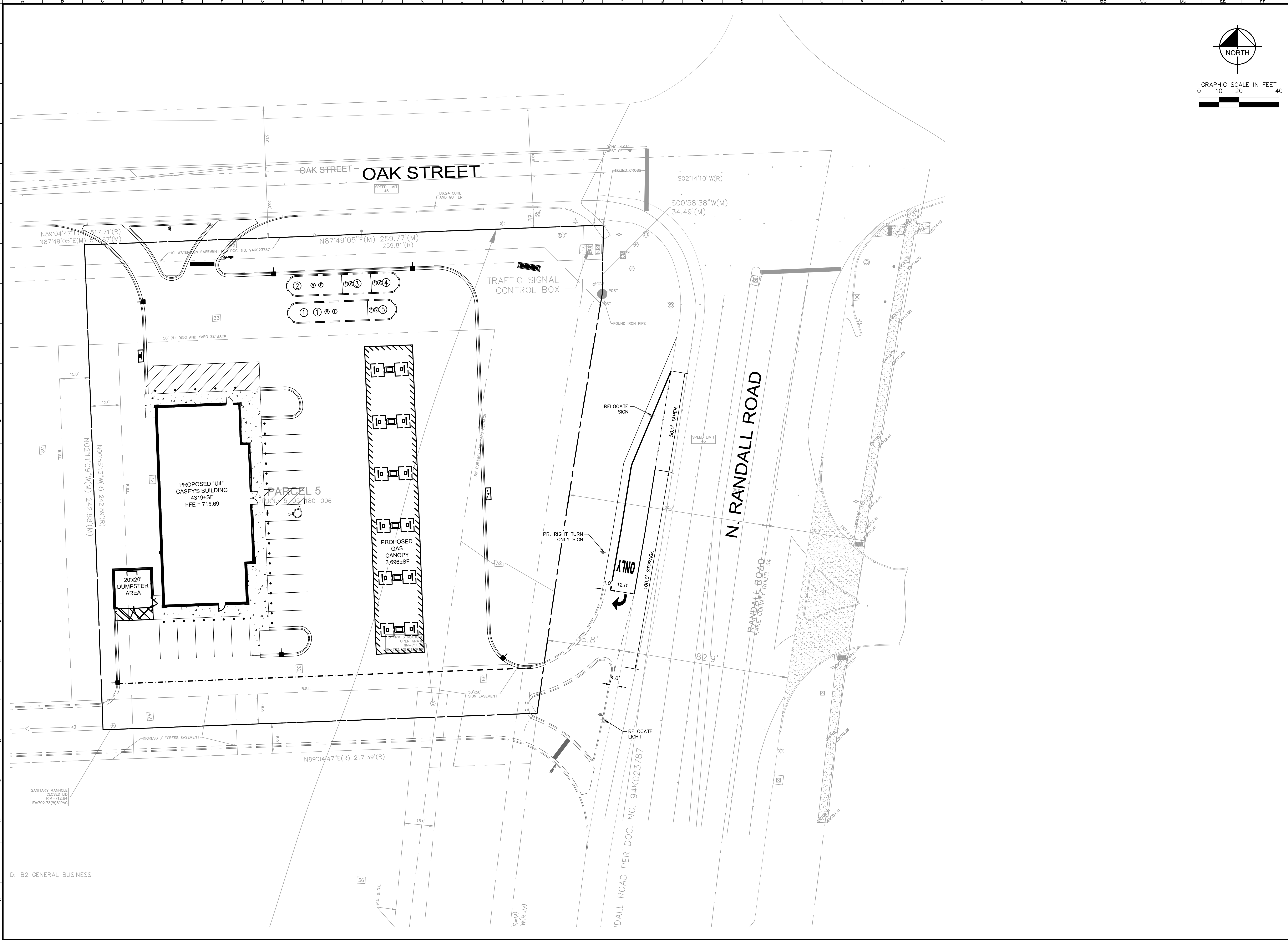
The subject property is located in the B-2 General Business District and has already been granted a special use for a General Commercial Planned Unit Development (Ordinance #06-04-24-02), known as the Randall Square Planned Unit Development, approved by the Village Board on April 24, 2006. The petitioner is proposing to develop Parcel 5 with a Gas Station with a Convenience Store.

According to the Randall Square Annexation Agreement, any change to the development of the property, which requires a formal amendment to the Annexation Agreement through a public hearing, shall be considered a 'major change' to the development. Major changes must be approved by the Village Board after such hearing and recommendation by the Plan Commission. The PUD Ordinance is part of the Annexation Agreement; therefore, deviations to the PUD are considered an amendment to the Annexation Agreement. Further, the original PUD was created as a special use, which requires any amendment to the PUD be conducted through the special use process.

A public hearing was conducted on this item before the Plan Commission at their August 3, 2021 meeting. The Plan Commission was supportive of the proposed development, but did add a condition requiring the private drive connecting Randall Road to Miller Drive be installed prior to issuance of a Final Certificate of Occupancy. Staff notes an updated site plan was provided to the Plan Commission, which added a deceleration lane on Randall Road.

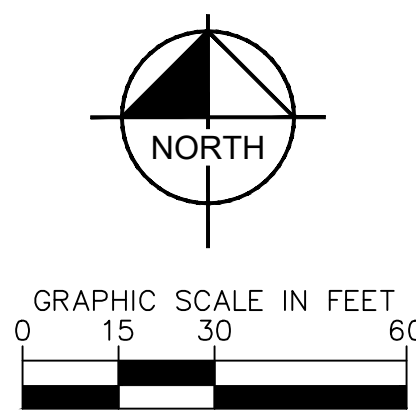
The Plan Commission unanimously recommended approval of Petition #21-08 subject to staff's conditions and their added condition. Staff would like to take this opportunity to solicit feedback from the Village Board on Petition #21-08.

Drawing name: K:\GIS\DE\168865006_Casey's_North Aurora_IL\2 Design\CAD\Exhibits\Right Turn Lane N.Randall.dwg Layout: Aug 02, 2021 11:47am by: Ian.Spence
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



D: B2 GENERAL BUSINESS

ORIGINAL ISSUE: 05/18/2021		CASEY'S #4013 NORTH AURORA		RIGHT TURN LANE NORTH RANDALL EXHIBIT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												</	
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**STAFF REPORT TO THE VILLAGE OF NORTH AURORA PLANNING COMMISSION
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR**

GENERAL INFORMATION

Meeting Date: August 3, 2021

Petition Number: #21-08

Petitioner: Casey's Retail Company

Requests: 1) Special Use - Planned Unit Development Amendment with deviations to the Planned Unit Development 2) Site Plan Approval

Location: Parcel 5 of the Randall Square Subdivision

Parcel Number(s): 15-05-180-006

Current Zoning: B-2 General Business District Planned Unit Development (PUD)

Contiguous Zoning: North: B-2 General Business District, South: B-2 General Business District, East: B-2 General Business District, West: B-2 General Business District

Comprehensive Plan Designation: 'Regional Commercial'

BACKGROUND

The subject property is located in the B-2 General Business District and have already been granted a special use for a General Commercial Planned Unit Development (Ordinance #06-04-24-02), known as the Randall Square Planned Unit Development, approved by the Village Board on April 24, 2006.

The petitioner is proposing to develop Parcel 5 with a Gas Station with a Convenience Store. The development would consist of a 4,319+/- Convenience Store, 12 fuel positions, outdoor sales (propane, ice, seasonal offerings) and associated utilities, parking, and landscaping.

REQUESTED ACTIONS

Special Use –Planned Unit Development with deviations

According to the Randall Square Annexation Agreement, any change to the development of the property, which requires a formal amendment to the Annexation Agreement through a public hearing, shall be considered a 'major change' to the development. Major changes must be approved by the Village Board after such hearing and recommendation by the Plan Commission. The PUD Ordinance is part of the Annexation Agreement; therefore, deviations to the PUD are considered an amendment to the Annexation Agreement. Further, the original PUD was created as a special use, which requires any amendment to the PUD be conducted through the special use process.



The following table depicts the differing land uses contained in the Randall Square PUD, in comparison with the proposed plans:

Approved PUD Plan Use (Parcel 5)	Current Land Use	Proposed Land Uses	Gas Station Zoning Use Status	Convenience Store Zoning Use Status
Video Store	Vacant	Gas Station with Convenience Store	Permitted Use (PUD)	Special Use; however, Gas Stations may offer convenience items for sale as a secondary activity

Staff reviewed the yard and bulk regulations of the B-2 General Business District and Randall Square PUD and determined the following deviations would be required:

50' Building and Yard Setback Encroachment (PUD Ordinance Requirement)

The Randall Square PUD requires a 50' building and yard setback for those applicable properties along Randall Road and Oak Street, intended for open space and landscaping. According to the submitted plans, the northern and eastern portions of the gas station fueling area would encroach into said 50' yard. The underground petroleum storage tanks would be located in the ground in the area located north of the fueling stations.

The 50' building and yard setback encroachment is similar to that of the 50' landscape buffer required along major arterial and collector streets (Chapter 14.103.C.3.A of the Zoning Ordinance). Staff notes this provision as the gas station located across Randall Road from the subject property would be subject to said provision and is deficient in the 50' landscape setback along both Randall Road and Oak Street.

Chapter 14.9.A of the Sign Ordinance states: one parking lot island should be provided between every ten (10) parking spaces. Rows of parking spaces shall be terminated by a parking lot island. The parking area adjacent to the front of the building (east elevation) includes a row of 11 parking spaces. In order to increase the amount of visible on-site landscaping, a condition has been added that requires the northernmost parking space adjacent to the front of the building be eliminated and the area be added to the landscape area directly to the north of said parking space. According to the submitted landscape plans, the shade tree in the landscape area located south of said parking spaces has been substituted with 10 shrubs due to a conflict with a light pole. In order to keep with the theme of increased on-site landscaping, two shade trees shall be added to the landscape area adjacent to Oak Street.

Monument Sign Square Footage (PUD Ordinance Requirement)

Per the Randall Square PUD, each lot is afforded rights to one monument sign, not to exceed 6' in height and 10' in width. Additionally, the identifying area within the signage structure shall not exceed 32 square feet in area. The proposed monument sign is 6' in height and 10' wide; however, the identifying area within the sign structure would be 46 square feet.

The proposed landscape plan includes two deciduous shrubs adjacent to the monument sign. Per Chapter 15.48.100.B.6 of the Sign Ordinance, a landscaped area shall be provided around the base of the monument sign, which shall be equal to 2.5 square feet for each square foot of sign area; as such, a

condition of approval has been added that requires 115 square foot landscaped area be provided around the base of the proposed monument sign.

Site Access (PUD Requirement)

The Randall Square development currently has a full access intersection at Oak Street and Miller Drive (private drive) and two full access intersections on Randall Road, one at Voss Avenue (private drive), and another to the south of Voss at the continuation of Miller Drive. The subject property is currently landlocked with no vehicular access at any point. According to the Preliminary Plan for the Randall Square development, the subject property would take access through cross access from adjoining properties that abut Miller Drive and/or Voss Avenue.

The proposed site plan for the development of the subject property includes a right-in, right-out on both Randall Road and Oak Street. The right-in, right-out would be shared with the property located to the south, with the continuation of a private drive connecting to the west at Miller Drive. According to the petitioner, said access drive would be built all at once, prior to the development of the Casey's. There currently is no cross access shared with the property located to the west (Parcel 4); however, the two properties could revisit that topic in the future, if desired. Parcel 4 already has indirect access to Randall Road and Oak Street via Miller Drive and Voss Avenue. With the development of the aforementioned access road, Parcel 4 would have closer access to Randall Road.

Village staff is currently working with the petitioner on the finalized off-site traffic improvements. It is undetermined at this time if any additional traffic improvements are needed. Once the petitioner provides certain traffic information to the Village, the Village Engineer will review the information to determine if any improvements are needed; as such, a condition of approval has been added, which states: *the installation of offsite access improvements are subject to the recommendation from the Village Engineer upon review of traffic information submitted by the petitioner.*

Site Plan Approval

Per the Randall Square PUD, prior to development of any one or more lots a final site plan shall be approved by the Village Administrator and Plan Commission without the need for a public hearing.

The standards for review and approval of final site plans shall be limited to the following:

Compliance: Final site plan is in compliance with the terms of this PUD Ordinance.

Circulation: The traffic circulation for the one or more lots is deemed adequate for the use contemplated for such one or more lots is deemed adequate for the use contemplated for such one or more lots.

Pedestrian Pathways: Pedestrian pathways within such lots are approved as adequate for the use contemplated for such one or more lots and for circulation within the subdivision. The pedestrian pathways for various Final Site Plans shall tie into a unitary scheme of pedestrian pathways throughout the subdivision.

Site Plan Engineering: The Village Engineer approves the final engineering within the area to be developed within the Site Plan submitted.

Site Plan Landscaping. Approval by the Village Administrator that the parking lot and foundation landscaping proposed for the area within the Final Site Plan is in compliance with the Village Ordinances existing as of the date hereof, it being acknowledged that in addition, the landscaping depicted on the General Landscape Plan which is located in the development area of the proposed Final Site Plan shall also be installed concurrently with development of the development area within the proposed Final Site Plan.

Signage: Signage other than (i) signage permitted by Paragraph 26 herein and (ii) signage on buildings as permitted by Village ordinance shall require approval as a variation in accordance with the Village Sign Ordinance.

FINDINGS

The Department of Community Development finds that the information presented **meets** the Standards for Specials Uses. The proposed site plans meet the Randall Square Site Plan Review Standards and the Orchard Commons Development PUD Ordinance, as amended. Based on the above considerations, Staff recommends the Plan Commission make the following motion recommending **approval** of Petition #21-08, subject to the following conditions:

1. Sidewalk shall be installed along Randall Road and Oak Street, per the requirement of the Randall Square PUD. The sidewalk along Oak Street shall extend west and terminate at Miller Drive, aligned with the existing sidewalk located on the west side of Miller Drive.
2. The installation of offsite access improvements are subject to the recommendation from the Village Engineer upon review of traffic information submitted by the petitioner.
3. A 115 square foot landscaped area shall be provided around the base of the proposed monument sign. The landscaped area shall contain living landscape material consisting of shrubs, perennial ground cover plants or a combination of both, placed throughout the landscaped area. Plantings shall be selected and placed such that views to the sign are not blocked. Plantings shall be properly maintained to avoid excessive growth and prevent the growth of weeds.
4. The northernmost parking space adjacent to the front of the building shall be eliminated and the area shall be added to the landscape area directly to the north of said parking space.
5. Two shade trees shall be added to the landscape area adjacent to Oak Street.
6. A photometric plan shall be submitted and approved by the Village prior to building permit issuance.

APPLICATION FOR SPECIAL USE

VILLAGE OF NORTH AURORA
Board of Trustees
25 East State Street
North Aurora, IL 60542

PETITION NO. 21-08

FILE NAME CASEY'S

DATE STAMP

RECEIVED

MAY 24 2021

VILLAGE OF
NORTH AURORA

I. APPLICANT AND OWNER DATA

Name of Applicant Casey's Retail Company

Applicant Address PO Box 3004 | 3305 SE Delaware Ave. , Ankeny IA, 50021

Applicant Telephone # 515 381 5722

Email Address erik.nikkel@caseys.com

Property Owner(s) ATTN: Randall/Oaks, LLC
RE Development Solutions

Owner Address 2200 Cabot Drive, Suite 110, Lisle, IL 60532

Owner Telephone # 630-324-1214

II. ADDRESS, USE AND ZONING OF PROPERTY

Address of Property Lots 4-11 located at the S/W corner of Oak & Randall Road,
North Aurora IL, 60542
(indicate location if no common address)

Legal Description: Parcels 4-11 as set forth in the final plat of subdivision of Randall
Square recorded April 10, 2007 as document 2007K039057, in Kane County, IL.

Parcel Size Parcel 5: 1.34 Acres

Present Use Undeveloped land

(business, manufacturing, residential, etc.)

Present Zoning District General Business District (B2) Planned Unit Development
(Zoning Ordinance Classification)

III. PROPOSED SPECIAL USE

Proposed Special Use Convenience store and gas station
(Zoning Ordinance Classification)

Code Section that authorizes Special Use Village of North Aurora Code: Title 17, Chapter 8.2

Has the present applicant previously sought to rezone or request a special use for the property or any part thereof? No

If so, when? _____ to what district? _____

Describe briefly the type of use and improvement proposed _____

The proposed development consists of a 4,319 SF convenience store as well as a 3,696 SF gas canopy / fuel station. Associated demolition, utility layout, and grading is included in the scope.

What are the existing uses of property within the general area of the Property in question? _____

The existing site is undeveloped land.

To the best of your knowledge, can you affirm that there is a need for the special use at the particular location? (Explain) Yes, per the village code referenced above a special use permit is required at this location.

Attach hereto a statement with supporting data that the proposed special use will conform to the following standards:

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located.
2. The proposed special use is deemed necessary for the public convenience at that location.
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community.
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations.

5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity.
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located.
7. The proposed special use is compatible with development on adjacent or neighboring property.
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site.
9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance.
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities.
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations.

IV CHECKLIST FOR ATTACHMENTS

The following items are attached here to and made a part hereof:

1. Introduction Letter. Please include information relevant to the proposed use of the property and business operations (hours of operation, number of employees, etc.).
2. Legal Description of the subject property(s).
3. Illinois Land Surveyor's plat of survey.
4. Site Plan illustrating all existing and proposed improvements.
5. Statement and supporting data regarding Standards for Special Uses (above).
6. Filing fee in the amount of \$300.00, if paid by check make payable to the Village of North Aurora.
7. Specified escrow deposit (\$4,000 minimum). May be included with filing fee. Remaining funds refundable upon project completion.
8. Visit the Illinois Department of Natural Resources' website www.dnr.state.il.us and initiate a consultation using DNR's EcoCat online application.
9. Visit the Kane DuPage Soil and Water Conservation District's website www.kanedupageswcd.org for a Land Use Opinion Application

The Applicant authorizes the Village of North Aurora representatives to enter on to the property to make inspection during the hearing process.

The Applicant is responsible for publishing a legal notice in the newspaper, sending United States mail notices to properties within 250 feet, and posting a sign on the property advertising the public hearing. These shall be in accordance with village Ordinances at the times decided by the Village of North Aurora.

The undersigned hereby agrees to reimburse the Village for all costs of court reporter fees for attendance at and transcript of hearing(s) and other professional service fees for services rendered in connection with this application as defined in Appendix B of the North Aurora Zoning Ordinance. Such reimbursement shall be made promptly upon receipt of invoices from the Village, whether or not this application for special use is approved.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Eric Glickel, Agent
Applicant or Authorized Agent

5/14/21
Date

Rammy Elle
Owner

5/17/2021
Date

COUNTY OF KANE)

I, _____, being first duly sworn on oath depose
and say that I am trust officer of _____ and that the following are all of the
beneficiaries of the _____.

TRUST OFFICER

SUBSCRIBED AND SWORN TO

Before me this _____ day of _____, 20_____.

A Notary Public in and for such County

Following are the names and addresses of all property owners within 250 feet of the property in questions for which the special use being is being requested.

TAX PARCEL NO.	PROPERTY OWNER	MAILING ADDRESS
15-05-135-003	Exchangeright Real Estate LLC	1055 E Colorado Blvd, STE 310, Pasadena CA, 91106
15-05-135-004	Sequoia Realty Group	1900 S Highland Ave, STE 104, Lombard IL, 60148
15-05-180-005	Randall/Oaks LLC, Ramsey Elshafei	PO Box 5598, Woodridge IL, 60517
15-05-180-007	Randall/Oaks LLC, Ramsey Elshafei	PO Box 5598, Woodridge IL, 60517
15-05-180-012	98 Miller LLC, Ramsey Elshafei	PO Box 5598, Woodridge IL, 60517
15-05-180-013	CCI Aurora LLC	8902 N Meridian St, STE 205, Indianapolis IN, 46260
15-05-205-001	Old Kent Bank, Trust: 5132 Mouroukas Developers, T Mouroukas	1649 Montgomery Rd, STE 1, Aurora IL, 60504
15-05-251-031	Emro Marketing Company, % Property Tax Records	539 South Main St, Findlay OH, 45840
15-05-255-055	United States Postal Service, % Great Lakes Facilities SVC CTR Stevens	222 S Riverside Plaza, STE 1200, Chicago IL, 60606

I, Erik Nikkel, being first duly sworn on oath certifies that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct.

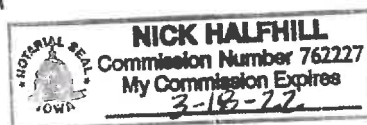
Erik Nikkel
Applicant Signature

5/14/21
Date

SUBSCRIBED AND SWORN TO

Before me this 14 day of MAY, 2021.

Nick Halfhill
Notary Public





May 21, 2021

Mike Toth
Community and Economic Development Director
Village of North Aurora
25 E. State St.
North Aurora, IL 60542

RE: *Casey's*
SWC N. Randall Road & Oak Street

Dear Mr. Toth:

On behalf of Casey's Retail Company, Kimley-Horn and Associates is requesting and Special Use Permit for the development of a Casey's Convenience Store and Fuel Station. The proposed development consists of a 4,319+/- Convenience Store, 12 fuel positions, outdoor sales (propane, ice, seasonal offerings) and associated utilities, parking, and landscaping. Casey's typical hours of operation are 5:00am to 1:00am, however, 24-hour operation would be requested if competition dictated. The proposed Casey's will have approximately 8 employees.

If you have any questions or require any additional information, please contact me at 630-487-5560.

Sincerely,

A handwritten signature in blue ink that reads "Eric Tracy".

Eric Tracy, P.E.
Kimley-Horn and Associates, Inc.
Phone: 630-487-5560
Email: eric.tracy@kimley-horn.com

LEGAL DESCRIPTION

PARCELS 4-11 AS SET FORTH IN THE FINAL PLAT OF SUBDIVISION OF RANDALL SQUARE RECORDED APRIL 10, 2007 AS DOCUMENT 2007K039057, IN KANE COUNTY, ILLINOIS.

STATEMENT IN SUPPORT OF CASEY'S RETAIL COMPANY SPECIAL USE APPLICATION

The property is zoned B-2. A convenience store and gas station are both special uses in B-2 per Section 8.2 of the North Aurora Zoning Code. The proposed use is necessary. This stretch of Randall Road gets a significant amount of traffic, 20,000 cars at this intersection alone and there is only one other convenience store and gas station in the vicinity, which is not enough to meet demand. The proposed use will generate sales tax and property tax revenue and not create excessive public expenses or public facilities. The proposed use is in conformance with the Comprehensive Plan and (with a special Use Permit) all Village codes and regulations.

The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located. Casey's uses cameras, security staff (where appropriate), and other deterrents (lighting etc.) to mitigate crime. The proposed special use is compatible with development on adjacent or neighboring properties which are commercial in nature.

The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site. The applicant is working with the appropriate departments of transportation to ensure safe turning movements. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of the North Aurora zoning ordinance. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities. The proposed special use conforms with the requirements of the North Aurora zoning ordinance and other applicable regulations.

1. The proposed special use is, in fact, a special use authorized in the zoning district in which the property is located. **The proposed special use is authorized in the zoning district in which the property is located.**
2. The proposed special use is deemed necessary for the public convenience at that location. **The special use is necessary for the sale of fuel at the location. The proposed use will provide the public a convenient location to refuel and access the convenient store.**
3. The proposed special use does not create excessive additional impacts at public expense for public facilities and services, and will be beneficial to the economic welfare of the community. **The proposed special use does not create excessive additional impacts at the public expense and will benefit the economic welfare of the community.**
4. The proposed use is in conformance with the goals and policies of the Comprehensive Plan, and all Village codes and regulations. **The proposed use is within general conformance of the goals and policies of the comprehensive plan and Village code & regulations.**
5. The proposed special use will be designed, located, operated, and maintained so as to be harmonious and compatible in use and appearance with the existing or intended character of the general vicinity. **The proposed special use will be compatible with the surrounding area.**
6. The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is located. **The proposed special use will not significantly diminish the safety, use, enjoyment, and value of other property in the neighborhood in which it is proposed.**
7. The proposed special use is compatible with development on adjacent or neighboring property. **The proposed special use is compatible with the development on the adjacent properties.**
8. The proposed special use minimizes potentially dangerous traffic movements, and provides adequate and safe access to the site. **The proposed special use proposes adequate and safe access to the site.**

9. The proposed special use provides the required number of parking spaces and maintains parking areas, in accordance with the requirements of this Ordinance. **The proposed special use provides the number of parking spaces required by the Ordinance.**
10. The proposed special use is served by adequate utilities, drainage, road access, public safety, and other necessary facilities. **The proposed special use is served by adequate utilities, drainage, road access, public safety, and all other necessary facilities.**
11. The proposed special use conforms with the requirements of this Ordinance and other applicable regulations. **The proposed special use is in general conformance with the requirements of this Ordinance and other applicable regulations.**

Applicant: Eric Tracy
Contact: Eric Tracy
Address: 4201 Winfield Road, Suite 600
Warrenville, IL 60555

Project: Casey's Fuel Station - North Aurora
Address: SWC N Randall Road and Oak Street, North Aurora

IDNR Project Number: 2110894
Date: 02/26/2021

Description: Construction of a fuel station building with gas canopy, associated sidewalks, surface parking and utilities.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kane

Township, Range, Section:
38N, 8E, 5



IL Department of Natural Resources
Contact
Brian Willard
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction
IL Environmental Protection Agency
Terri LeMasters
1020 North Grand Avenue East
Springfield, Illinois 62794 -9276

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

Land Use Opinion Report (LUO) Application



Petitioner: Casey's General Services
Contact person: Erik Nikkel
Address: PO Box 3004 | 3305 SE Delaware Ave.
City, State, Zip: , Ankeny IA, 50021
Phone Number: 515 381 5722
Email: erik.nikkel@caseys.com

Owner: _____
Address: _____
City, State, Zip: _____
Phone Number: _____
Email: _____

Please select: How would you like to receive a copy of the LUO Report? Email ☒ Mail ☐

Site Location

Address: SWC N Randall Road & Oak Street
City, State, Zip: North Aurora, IL
Township(s) 38N N Range(s) 8E E Section(s) 5
Parcel Index Number(s): 15-05-180-006

Type of Request

- ☐ Change in Zoning from _____ to _____
☐ Subdivision or Planned Unit Development (PUD)
☐ Variance (Please describe fully on a separate sheet)
☒ Special Use Permit (Please describe on separate sheet)

Site Information

Permitting Unit of Government: _____ Hearing Date: _____
Project Name: Casey's North Aurora Total Acres: 1.34 Area of Disturbance: _____
Current Use of Site: Undeveloped Land Proposed Use: Convenience Store & Gas Station

Proposed Improvements (Check all that apply)

- ☐ Dwellings with Basements ☒ Parking Lots ☒ Commercial Buildings ☒ Common Open Space
☐ Dwellings without Basements ☒ Roads and Streets ☒ Utility Structures ☐ Other _____

Stormwater Treatment

- ☐ Drainage Ditches or Swales ☐ Dry Detention Basins ☐ No Detention Facilities Proposed
☒ Storm Sewers ☐ Wet Detention Basins ☐ Other _____

Water Supply

- ☐ Individual Wells
☐ Community Water

Wastewater Treatment

- ☐ Septic System ☐ Other _____
☒ Sewers

Required: Include One Copy of Each of the Following (Processing will not begin until all items are received)

MAIL TO: 2315 DEAN ST. SUITE 100, ST. CHARLES, IL 60175

- ☐ **Application** (completed and signed)
☐ **Fee** (according to fee schedule on back)
☐ Make Checks payable to Kane-DuPage Soil and Water Conservation District
☐ **Plat of Survey** showing legal description, legal measurements
☐ **Site Plan/Drawings** showing lots, storm water detention areas, open areas, streets etc.
☐ **Project Narrative** with additional details on the proposed use, including total area of ground disturbance
☐ **Location Map** (if not on maps above) include distances from major roadways or tax parcel numbers

If Available- Not Required:

Any applicable surveys including wetland delineation, detailed soil survey, topographic survey etc.

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent _____ **Date** _____

FOR OFFICE USE ONLY

LUO # _____ Natural Resource Review Letter _____ Date Initially rec'd _____ Date all rec'd _____
Date Due _____ Fee Due \$ _____ Refund Due _____ Check # _____

The opinion will be issued on a nondiscriminatory basis without regard to race, color, religion, sex, age, marital status, handicap, or national origin.

Effective July 1, 2020

Land Use Opinion Report (LUO) Fees



FEE AMOUNTS FOR TOTAL ACRES OF PARCEL*: Effective July 1, 2020

¼ acre or less= \$100

¼ acre-5 acres or fraction thereof= \$475.00

6 acres or fraction thereof = \$500.00

ADD \$20 for each additional acre or fraction thereof OVER 6

*****Please contact KDSWCD for non-contiguous parcels. *****

MAKE CHECKS PAYABLE TO: Kane DuPage Soil and Water Conservation District

Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee	Acres	Fee
1	475	21	800	41	1200	61	1600	81	2000	101	2400	121	2800	141	3200	161	3600
2	475	22	820	42	1220	62	1620	82	2020	102	2420	122	2820	142	3220	162	3620
3	475	23	840	43	1240	63	1640	83	2040	103	2440	123	2840	143	3240	163	3640
4	475	24	860	44	1260	64	1660	84	2060	104	2460	124	2860	144	3260	164	3660
5	475	25	880	45	1280	65	1680	85	2080	105	2480	125	2880	145	3280	165	3680
6	500	26	900	46	1300	66	1700	86	2100	106	2500	126	2900	146	3300	166	3700
7	520	27	920	47	1320	67	1720	87	2120	107	2520	127	2920	147	3320	167	3720
8	540	28	940	48	1340	68	1740	88	2140	108	2540	128	2940	148	3340	168	3740
9	560	29	960	49	1360	69	1760	89	2160	109	2560	129	2960	149	3360	169	3760
10	580	30	980	50	1380	70	1780	90	2180	110	2580	130	2980	150	3380	170	3780
11	600	31	1000	51	1400	71	1800	91	2200	111	2600	131	3000	151	3400	171	3800
12	620	32	1020	52	1420	72	1820	92	2220	112	2620	132	3020	152	3420	172	3820
13	640	33	1040	53	1440	73	1840	93	2240	113	2640	133	3040	153	3440	173	3840
14	660	34	1060	54	1460	74	1860	94	2260	114	2660	134	3060	154	3460	174	3860
15	680	35	1080	55	1480	75	1880	95	2280	115	2680	135	3080	155	3480	175	3880
16	700	36	1100	56	1500	76	1900	96	2300	116	2700	136	3100	156	3500	176	3900
17	720	37	1120	57	1520	77	1920	97	2320	117	2720	137	3120	157	3520	177	3920
18	740	38	1140	58	1540	78	1940	98	2340	118	2740	138	3140	158	3540	178	3940
19	760	39	1160	59	1560	79	1960	99	2360	119	2760	139	3160	159	3560	179	3960
20	780	40	1180	60	1580	80	1980	100	2380	120	2780	140	3180	160	3580	180	3980

For the convenience of those who must comply with the provisions of the Illinois Soil and Water Conservation District Act, Section 22.02a (Illinois Compiled Statutes, Chapter 70, Paragraph 405, Section 22.02a), enacted December 3, 1971, effective July 1, 1972, we quote this section:

“The Soil and Water Conservation District shall make all-natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality’s or county’s zoning ordinance or who proposes to subdivide vacant or agricultural lands therein shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall be given not more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action.”

***Fees may be adjusted based on size of disturbance and adjacent natural resources which may be impacted.**



FRONT (LOOKING NORTHWEST)



BACK (LOOKING SOUTHEAST)



FRONT ELEVATION(EAST)



RIGHT ELEVATION (NORTH)

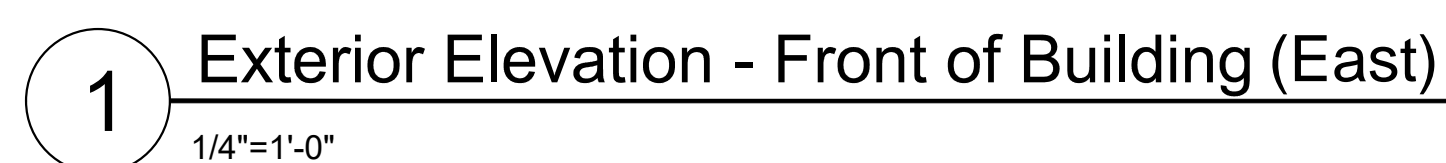
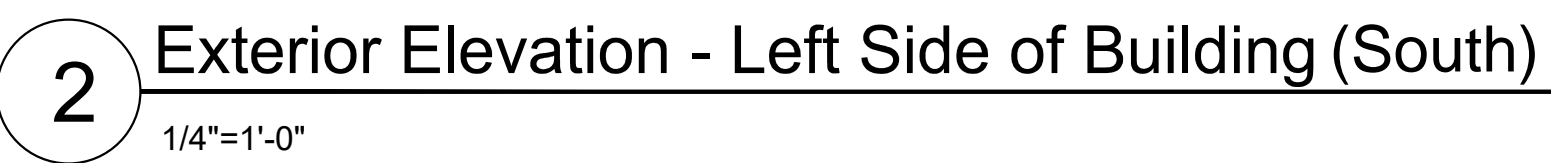




BACK ELEVATION(WEST)



LEFT ELEVATION(SOUTH)

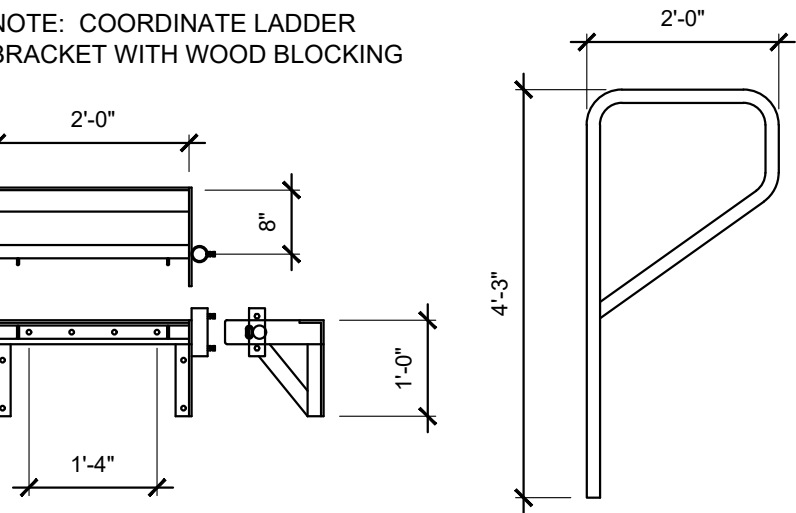
1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. **RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
 - AL-101: FOR BUILDING LOCATION ON SITE
 - AL-601: FOR INFORMATION RELATING TO SIGNAGE
 - A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
 - A-121: ROOF PLAN/ROOF TOP EQUIPMENT
 - A-601: DOOR & WINDOW SCHEDULES AND NOTES
 - S-101: FOOTINGS AND FOUNDATIONS
 - S-102: ROOF TRUSSES
3. **WORKING POINT:** THE WORKING POINT (**WP**) INDICATED ON THE DRAWINGS IS REF. TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



 	
<h1>Casey's</h1>	
<h2>CASEY'S CONSTRUCTION DIVISION</h2> <p>One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100</p>	
PROJECT: 1201 "U4"- STYLE STORE (FLAT / BRICK & STONE)	PERMIT DATE: <div style="border: 1px solid black; padding: 2px; text-align: center;">02/15/21</div> <div style="border: 1px solid black; padding: 2px; text-align: center;">03/24/21</div> <div style="border: 1px solid black; padding: 2px; text-align: center;">05/20/21</div> <div style="border: 1px solid black; padding: 2px; text-align: center;">06/18/21</div>
DRAWING INFORMATION: <h3>CONSTRUCTION DIVISION</h3>	
DESIGNED BY: JIM VILMAIN	CHECKED BY:
<div style="border: 1px solid black; padding: 10px; display: inline-block;"> <h1>A-201</h1> </div>	

General Notes

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:
AL-101: FOR BUILDING LOCATION ON SITE
AL-601: FOR INFORMATION RELATING TO SIGNAGE
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
A-121: ROOF PLAN/ROOF TOP EQUIPMENT
A-601: DOOR & WINDOW SCHEDULES AND NOTES
S-101: FOOTINGS AND FOUNDATIONS
S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



2 Exterior Elevation - Right Side of Building (North)

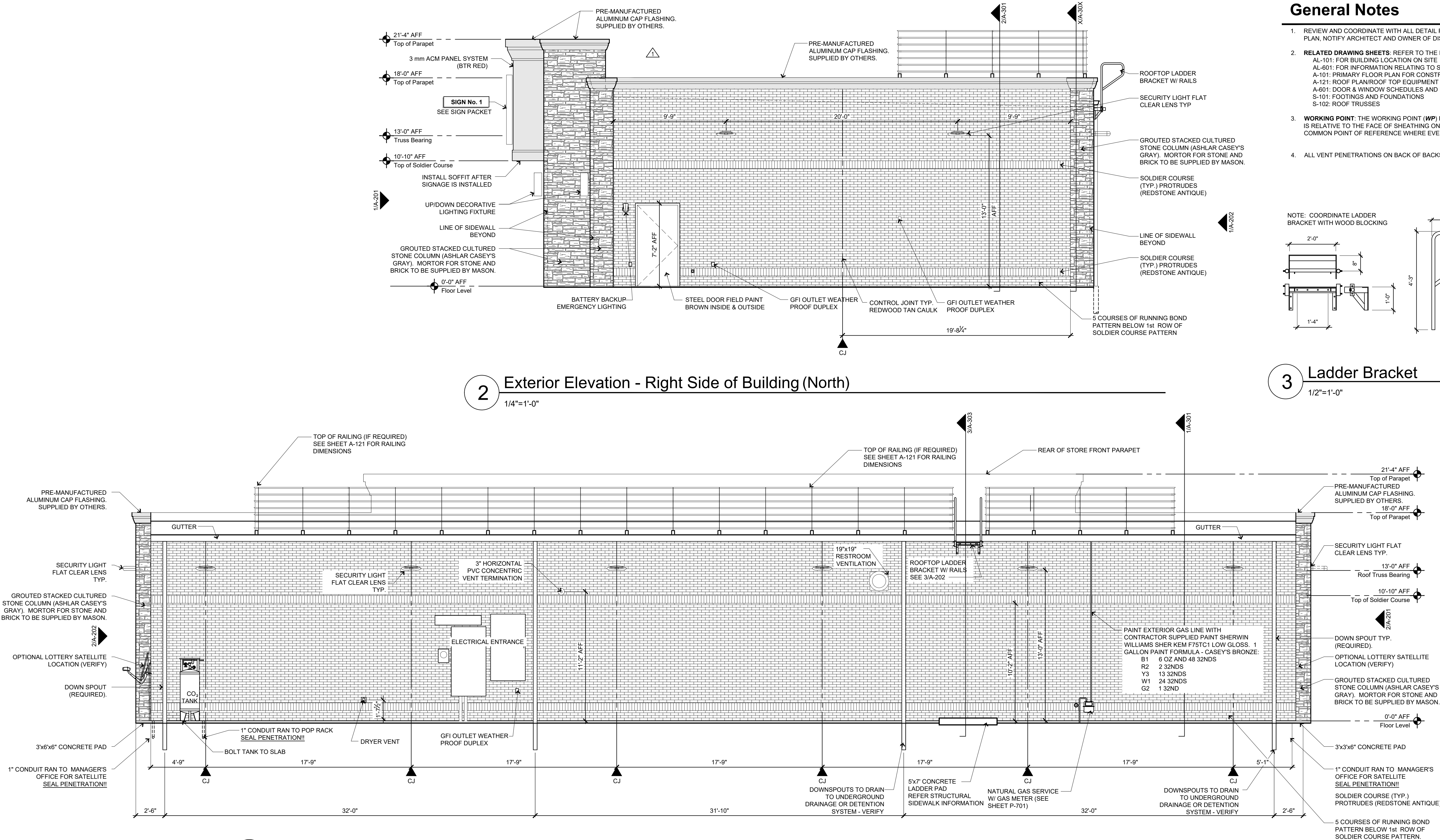
1/4"=1'-0"

3 Ladder Bracket

1/2"=1'-0"

1 Exterior Elevation - Back of Building (West)

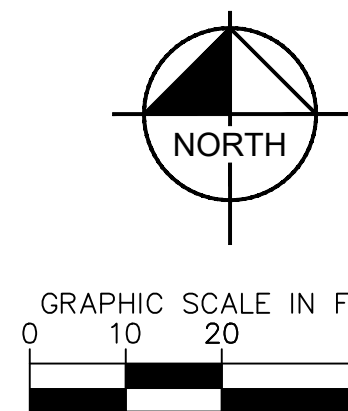
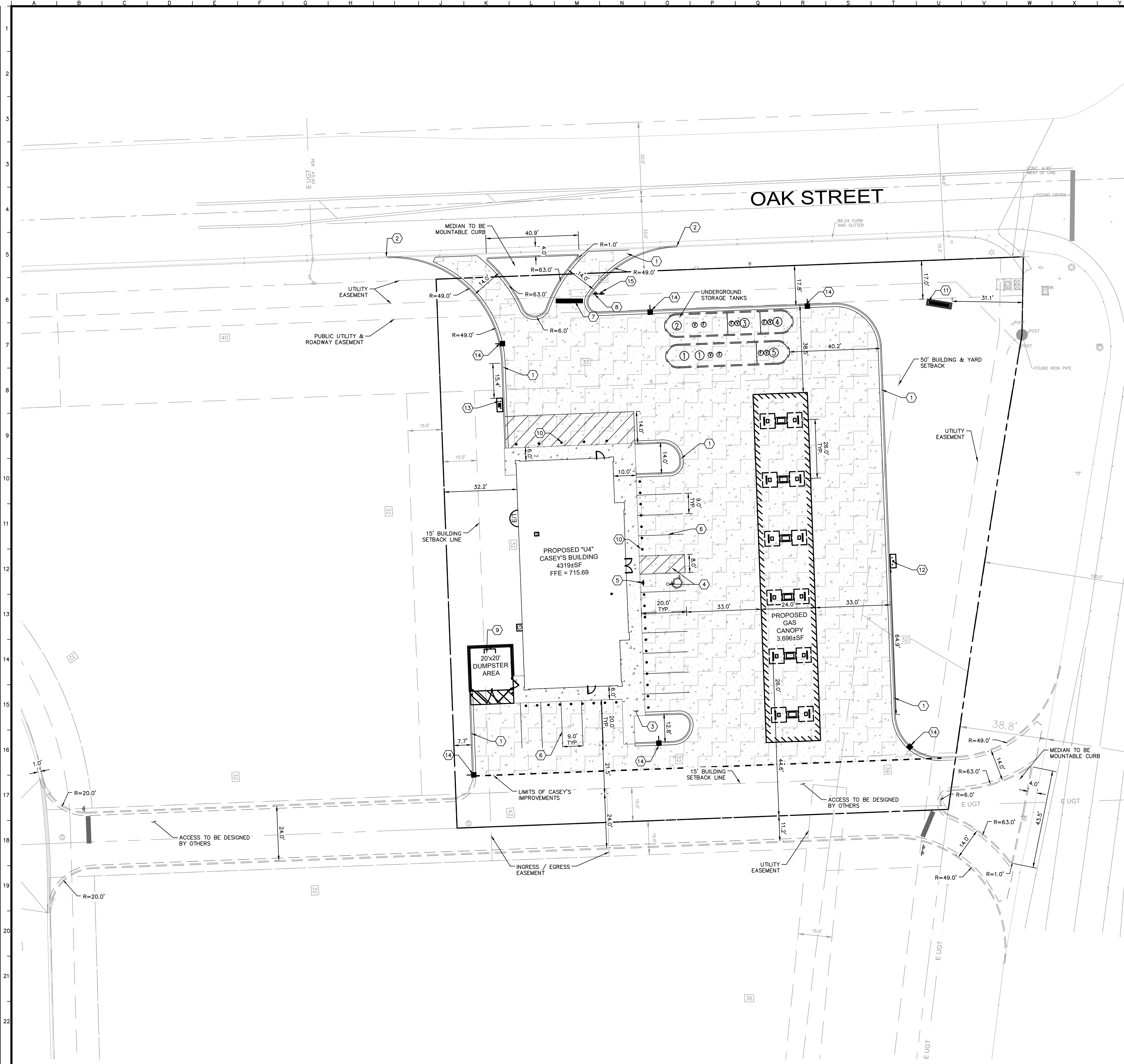
1/4"=1'-0"



Screening

<div><div>Casey's</div><div>Casey's</div><div>Casey's</div></div>		CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT 2021 "U4"- STYLE STORE (FLAT / BRICK & STONE)	REVISED 02/15/21 03/24/21 05/20/21 06/18/21	DRAWING INFORMATION CONSTRUCTION DIVISION DRAWN BY JIM VILMAIN	EXTERIOR ELEVATIONS A-202

Drawing name: K:\OHS_DEVELOPMENT\168865006_Caseys_North_Aurora_IL\2_Design\CAD\PlanSheets\C3.0 SITE PLAN.dwg May 21, 2021 12:55pm by Lauren.DeAngelis
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which



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JULIE
1-800-892-0123

PARKING SUMMARY

PARKING SPACES REQUIRED (2 SPACES / 1000 SF)	=	9 SPACES
STANDARD PARKING SPACES PROVIDED	=	15 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	=	1 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	1 SPACES
TOTAL PARKING SPACES PROVIDED	=	16 SPACES

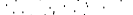
FEMA NOTE


PER FLOOD INSURANCE RATE MAP PANEL NO. 17089C0340H, THE SITE OR A PORTION OF THE SITE IS LOCATED IN ZONE X. AREAS OF MINIMAL FLOOD HAZARD


KEY NOTES


- | | |
|----|---|
| 1 | B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS) |
| 2 | CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP. |
| 3 | CONCRETE SIDEWALK, TYP. (SEE DETAILS) |
| 4 | ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS) |
| 5 | ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS) |
| 6 | 4" WIDE PAINTED SOLID LINE, TYP. |
| 7 | 24" WIDE STOP BAR, TYP. (SEE DETAILS) |
| 8 | STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS) |
| 9 | TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS) |
| 10 | BOLLARD, TYP. (SEE DETAILS) |
| 11 | MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS) |
| 12 | EMERGENCY SHUT-OFF SWITCH |
| 13 | AIR COMPRESSOR BOX |
| 14 | LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS) |
| 15 | RIGHT-TURN ONLY SIGN |

PAVING AND CURB LEGEND

 **CONCRETE SIDEWALK**
SEE CASEY'S CONSTRUCTION DETAILS SHEET C-601 #1 FOR PAVEMENT SECTION

 **CONCRETE PAVEMENT**
SEE CASEY'S CONSTRUCTION DETAILS SHEET C-601 #2 FOR PAVEMENT SECTION

 STANDARD PITCH CONCRETE CURB AND GUTTER

 REVERSE PITCH CONCRETE CURB AND GUTTER

[illegible]

Kimley»Horn
© 2021, KIMLEY+HORN AND ASSOCIATES, INC.
42021 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY+HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	INS
DRAWN BY:	INS
CHECKED BY:	EJT



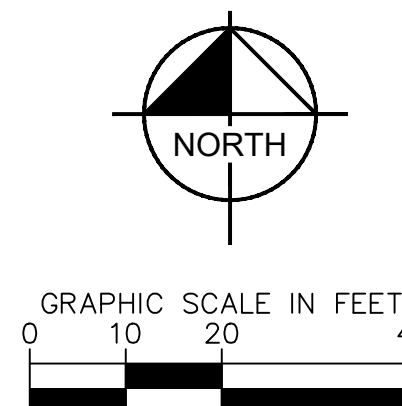
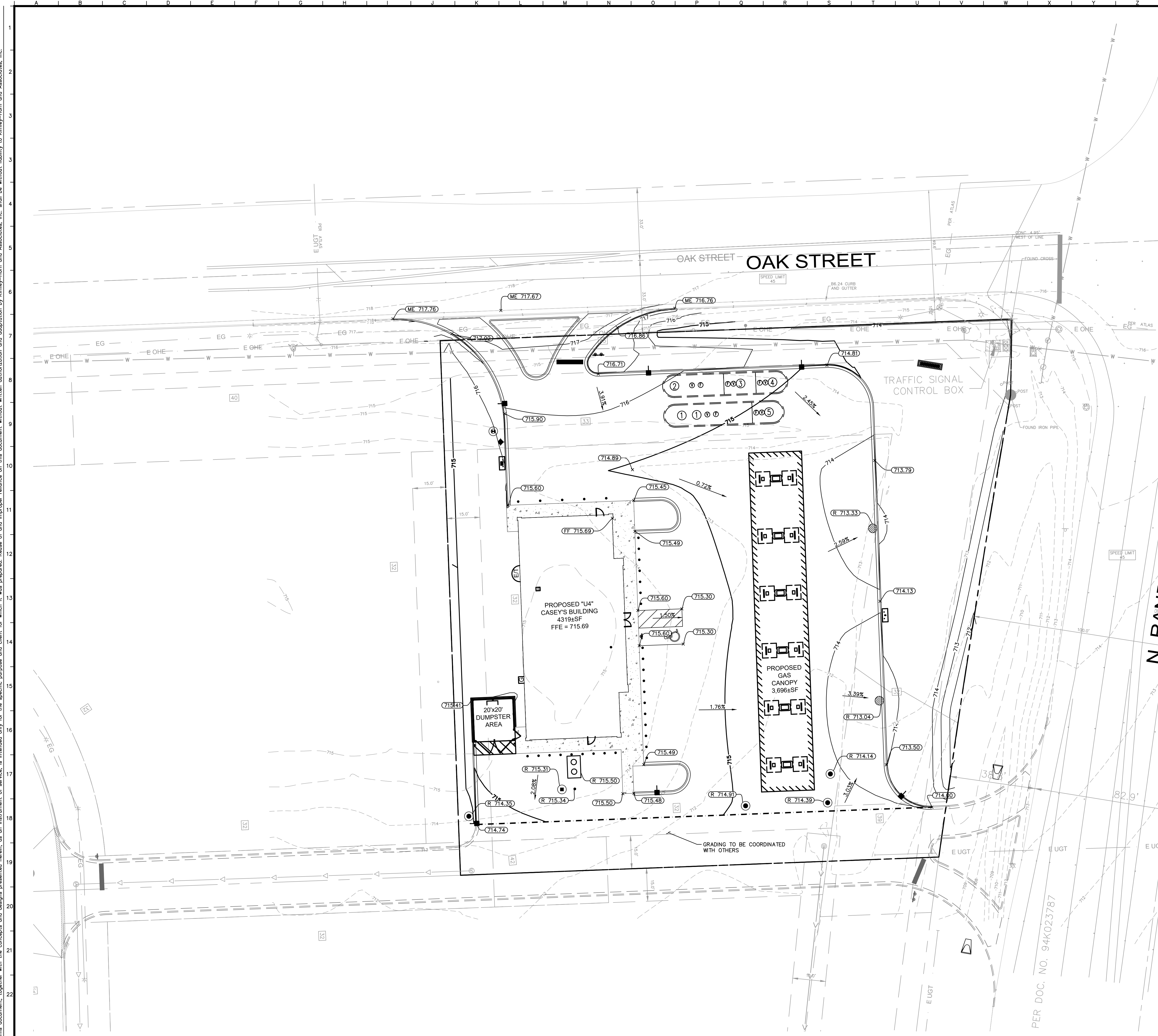
SITE PLAN

CASEY'S NORTH
AURORA

SWC N RANDALL ROAD & OAK STREET
NORTH ALI RORA II 60542

ORIGINAL ISSUE: 05/18/2021
KHA PROJECT NO. 168865006
SHEET NUMBER

C-101



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1-800-892-0123

GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SLOPE GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TPOISIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

- TP = TOP OF PAVEMENT
EP = EDGE OF PAVEMENT
FL = FLOW LINE
TC = TOP OF CURB
ME = MATCH ELEVATION
TF = TOP OF FOUNDATION
R = RIM ELEVATION
TW = TOP OF WALL
FG = FINISHED GRADE
TS = TOP OF STAIRS
BS = BOTTOM OF STAIRS
PROPOSED CONTOUR
EXISTING CONTOUR
RIDGE LINE
SLOPE AND FLOW DIRECTION
100-YEAR OVERLAND OVERFLOW ROUTE
DETENTION BASIN 100-YEAR EMERGENCY
OVERLAND OVERFLOW ROUTE
PROPOSED SWALE
PROPOSED RETAINING WALL
REVERSED PITCH CURB AND GUTTER
ACCESSIBLE ROUTE
RIP RAP (SEE DETAILS)

[illegible]

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	INS
DRAWN BY:	INS
CHECKED BY:	EJT



GRADING PLAN

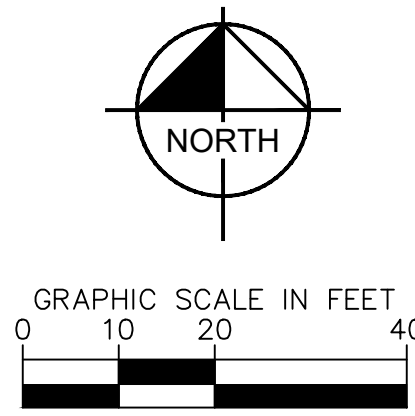
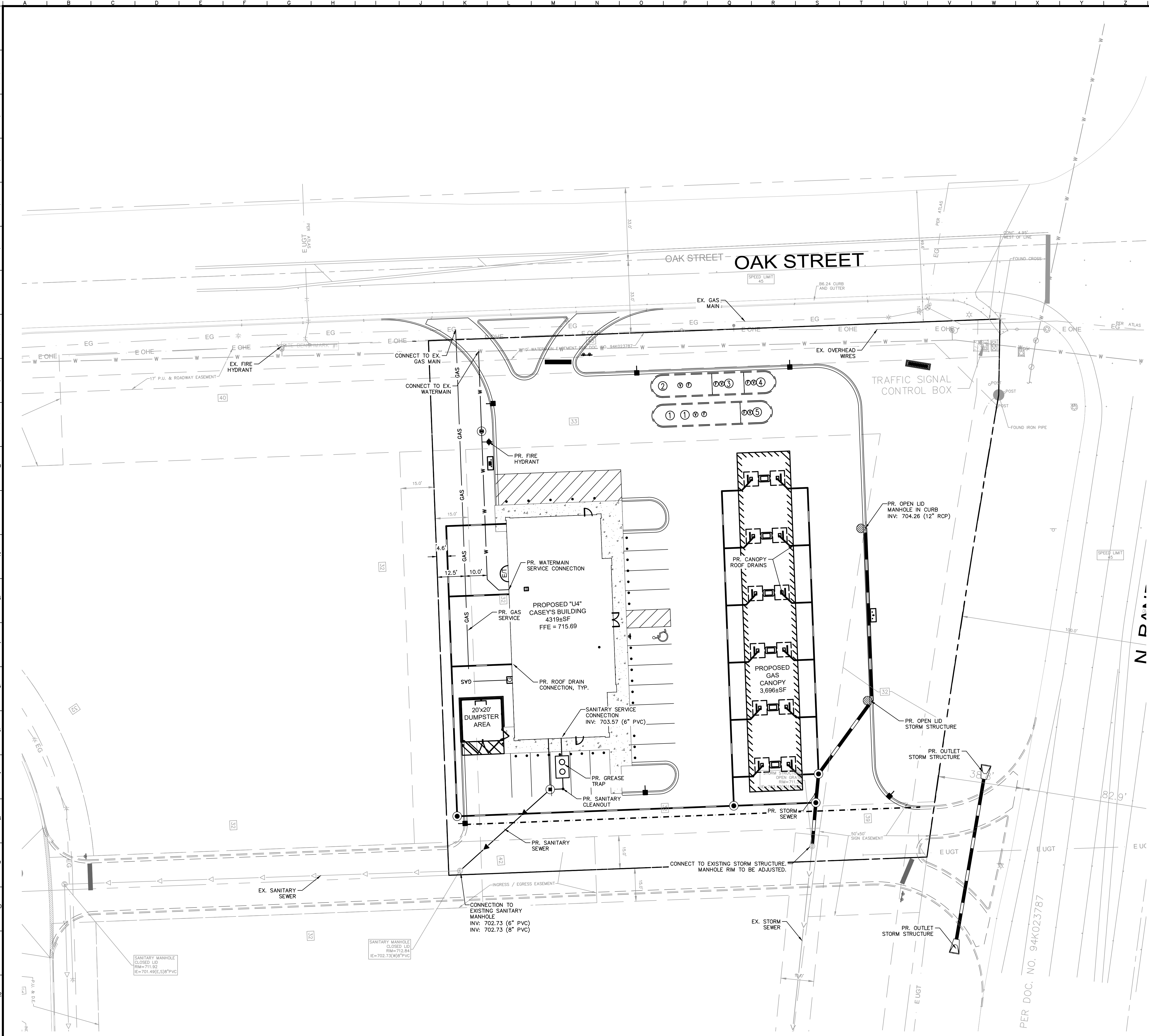
CASEY'S NORTH
AURORA

WC N RANDALL ROAD & OAK STREET
NORTH AURORA, IL 60542

ORIGINAL ISSUE: 05/18/2021
KHA PROJECT NO. 168865006
SHEET NUMBER

C-201

Drawing name: K:\GIS\DEVA\168865006_Casey's North Aurora\12 Design\CAD\Plan\Sheets\C-301 UTILITY PLAN.dwg Layout1 May 21, 2021 12:56pm by: LaurenDeAngelis
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UTILITY NOTES

1. ALL WATER LINES $\geq 3"$ SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
14. STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS IF REQUIRED BY AUTHORITY HAVING JURISDICTION.

UTILITY LEGEND

— W —	W	EX. WATER LINE
⊗		EX. HYDRANT
⊙		EX. WATER VALVE
⊗		EX. WATER MANHOLE
⊙		EX. SANITARY SEWER LINE
⊙		EX. SANITARY SEWER MANHOLE
⊙		EX. STORM DRAIN LINE
⊙		EX. STORM MANHOLE
⊙		EX. STORM STRUCTURE/INLET
— E UGT —		EX. UNDERGROUND TELECOM LINE
— EG —		EX. GAS LINE
— EUG —		EX. UNDERGROUND ELECTRIC LINE
— E OHE —		EX. OVERHEAD TELEPHONE LINE
⊙		EX. LIGHT POLE
— ELEC —		PROPOSED UNDERGROUND ELECTRIC LINE
— GAS —		GAS LINE (BY GAS COMPANY)
— TEL —		PROPOSED PHONE LINE
— — —		PROPOSED STORM SEWER LINE
⊙		PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
⊙		PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
⊙		PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)
— — —		PROPOSED SANITARY SEWER LINE
⊙		PROPOSED SANITARY MANHOLE
⊙		PROPOSED STORM/SANITARY CLEANOUT
— W —		PROPOSED WATER LINE
⊙		PROPOSED VALVE VAULT
⊙		PROPOSED VALVE BOX
⊙		PROPOSED FIRE HYDRANT
⊙		PROPOSED LIGHT POLE
⊙		PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
⊙		RIP RAP (SEE DETAILS)

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
NORTH AURORA, IL 60142
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	NS
DRAWN BY:	NS
CHECKED BY:	EJT



UTILITY PLAN

CASEY'S NORTH AURORA

SWC N RANDALL ROAD & OAK STREET
NORTH AURORA, IL 60142

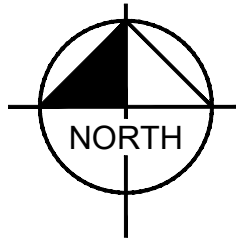
ORIGINAL ISSUE:
05/18/2021
KHA PROJECT NO.
168865006

SHEET NUMBER

C-301

This is a detailed site plan for a proposed Casey's building. The plan shows the building footprint, parking areas, and various landscaping elements including trees and shrubs. Key features include:

- Proposed "U4" Casey's Building:** 4319±SF.
- Proposed Gas Canopy:** 3,696±SF.
- 20'x20' Dumpster Area:** Located near the building.
- Landscaping:** Includes 10 large evergreen shrubs, 6 large deciduous shrubs, 2 shade trees, 13 large evergreen shrubs, 3 shade trees, 3 evergreen trees, 5 large deciduous shrubs, 18 large evergreen shrubs, 8 small deciduous shrubs, 2 large evergreen shrubs, 1 shade tree, 7 large evergreen shrubs, and 7 small deciduous shrubs.
- Easements:** 10'-0" water main easement, 50'-0" sign easement, and ingress/egress easement.
- Other Features:** Proposed monument sign, proposed lightpole, live ground cover, and turf seed.
- Streets:** Oak Street to the north and N. Randall Road to the east.
- Scale and Orientation:** A graphic scale in feet (0, 10, 20, 40) and a north arrow are provided.



* 1 TREE NOT PROVIDED DUE TO UTILITY CONFLICT IN LANDSCAPE ISLAND. 10 SHRUBS ARE SUBSTITUTED FOR TREE.

[illegible]

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

PARCELS 4-11 AS SET FORTH IN THE FINAL PLAT OF
SUBDIVISION OF RANDALL SQUARE RECORDED APRIL 10, 2007 AS
DOCUMENT 2007K039057, IN KANE COUNTY, ILLINOIS.

PARCELS 4-11 AS SET FORTH IN THE FINAL PLAT OF
SUBDIVISION OF RANDALL SQUARE RECORDED APRIL 10, 2007 AS
DOCUMENT 2007K039057, IN KANE COUNTY, ILLINOIS.

D.D.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FLARED END SECTION
VC = VITRIFIED CLAY PIPE
DP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(D) = DEED BEARING OR DISTANCE
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
E.S.E. = END OF EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

(TO HEAVY LINES)
XX,XXX SQUARE FEET
OR
X.XXX ACRES
(BASED ON MEASURED VALUES)

SHOWN OR NOTED HEREON

- 32 BUILDING SETBACK LINE(S) AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 33 BUILDING AND YARD SETBACK LINE(S) AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 34 YARD SETBACK LINE(S) AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 35 TERMS AND CONDITIONS OF THE EASEMENT PROVISIONS NOTED ON THE PLAT OF SUBDIVISION.
- 36 EASEMENTS FOR PUBLIC UTILITIES AND DRAINAGE, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 37 EASEMENTS FOR STORM WATER DETENTION AND DRAINAGE, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS ALL OF PARCEL 11)
- 38 EASEMENTS FOR ACCESS, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 39 EASEMENTS FOR SIGN, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 40 EASEMENTS FOR PUBLIC UTILITIES AND ROADWAY, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 41 EASEMENTS FOR GAS MAIN, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 42 EASEMENTS FOR INGRESS AND EGRESS, AS SHOWN ON THE PLAT OF SUBDIVISION.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 43 NOTES CONTAINED ON THE PLAT:

THE LAND DESCRIBED IN THE ATTACHED LEGAL DESCRIPTION IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) ACCORDING TO THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NUMBER 17089C 0340 F WITH AN EFFECTIVE DATE OF DECEMBER 20, 2002.
- 44 EASEMENT IN FAVOR OF NORTHERN ILLINOIS GAS COMPANY FOR THE INSTALLATION, MAINTENANCE, REPAIR, RELOCATION, REMOVAL AND RENEWAL OF GAS MAINS GRANTED BY DOCUMENT 1174256 ON OCTOBER 2, 1970, AND THE TERMS AND CONDITIONS THEREOF.
(AFFECTS THE EAST 10 FEET OF PARCELS 5 THROUGH 10)
- 45 GRANT OF EASEMENT TO THE VILLAGE OF NORTH AURORA FOR WATER MAIN LINE AND APPURTEANCES RECORDED AS DOCUMENT NO. 94K023787, AND SHOWN ON THE PLAT OF SUBDIVISION, AND THE TERMS AND CONDITIONS THEREIN.
(AFFECTS --- SEE RECORDED DOCUMENT FOR PARTICULARS)
- 46 GRANT OF EASEMENT TO THE VILLAGE OF NORTH AURORA FOR PUBLIC UTILITIES RECORDED AS DOCUMENT NO.94K049435 AND SHOWN ON THE PLAT OF SUBDIVISION, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
(AFFECTS THE SOUTH 15 FEET OF PARCELS 10 AND 11)
- 47 DEVELOPMENT AGREEMENT RECORDED AUGUST 22, 2006 AS DOCUMENT NO. 2006K092320, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
- 48 COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED AS DOCUMENT NO. 7013071024 AND ANY AMENDMENTS THERETO, AND THE TERMS AND PROVISIONS CONTAINED THEREIN.

1. THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS OF RECORD AS IDENTIFIED IN TITLE COMMITMENT NUMBER 308540 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF FEBRUARY 09, 2021.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), ZONE 12 (ILLINOIS EAST)
3. THIS SITE FALLS WITHIN "OTHER AREAS OF FLOOD HAZARD ZONE X", NO SCREEN, AREA OF MINIMAL FLOOD HAZARD, DEFINED BY THE FLOOD INSURANCE RATE MAP COUNTY QUANTITY PLAN 170329 0340, H, MAP NUMBER 170890340H HAVING A REASON CODE OF ADJ-01.
4. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS, AND IS BASED ON FIELD WORK PERFORMED ON 03/10/2021.
5. THE SURVEYOR CONTACTED JULLIE. (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS) FOR AN ON-SITE LOCATE WHICH WAS ASSIGNED A DIG NUMBER OF 160000. THE UTILITIES MARKED ON-SITE AT THE TIME OF THE SURVEY ARE SHOWN HEREIN. ADDITIONALLY, THE SURVEYOR CONTACTED JULLIE. FOR A DESIGN REQUEST FOR THIS SITE, WHICH WAS ASSIGNED A DIG NUMBER OF 160000. INQUIRE TO 160000 TO VARIOUS UTILITY COMPANIES REQUESTING NAMES AND/OR ALIASES OF THEIR RESPECTIVE FACILITIES. THE INFORMATION RECEIVED TO DATE IS SHOWN HEREIN.
6. IN ACCORDANCE WITH TABLE A ITEMS (6A) AND (6B), A ZONING REPORT OR LETTER HAS NOT BEEN PROVIDED. THE SURVEYOR HAS REVIEWED THE ZONING
7. DECLARATION DOCUMENT D21X00712024 DESCRIBES RIGHTS AND RESPONSIBILITIES OF THE CASHEMETER HOLDERS.

FOLLOWING INFORMATION IS FROM THE VILLAGE OF NORTH AURORA ON-LINE ZONING REGULATIONS. THIS IS NECESSARILY A LIMITED SUMMARY AND A ZONING PERMIT REQUEST SHOULD BE CONSULTED BEFORE DEVELOPMENT. A SITE PLAN MAY BE REQUIRED.

ADDRESS: SW CORNER RANDALL RD. AND OAK ST., NORTH AURORA, IL.

CURRENT ZONING CLASSIFICATION: B-2 GENERAL BUSINESS

1. SETBACKS (FT)

FRONT = 35

SIDE - INTERIOR = 10, ABUTTING RESIDENTIAL = 20, CORNER = 35

REAR = 20, ABUTTING RESIDENTIAL = 40

2. LIGHTING =

A. ALL COMMERCIAL AND INDUSTRIAL OUTDOOR LIGHTING SHALL BE FULLY-SHIELDED (FULL-CUTOFF) AS DEFINED IN THIS CHAPTER. THE VILLAGE MAY WAIVE THIS REQUIREMENT TO ALLOW FOR APPROPRIATE HISTORIC OR DECORATIVE LIGHTING FIXTURES.

B. ALL OUTDOOR LIGHTING SHALL BE SO DESIGNED AND PLACED AS TO LIMIT LIGHT GLARE AND LIGHT POLLUTION. LIGHT LEVELS AT LOT LINES, WITH THE EXCEPTION OF INGRESS AND EGRESS POINTS, SHALL BE A MAXIMUM OF ONE-HALF FOOT-CANDELES.

C. THE AVERAGE LIGHT LEVEL FOR ALL PARKING AREAS SHALL FALL BETWEEN ONE AND TWO FOOT-CANDELES. LIGHT LEVELS SHALL NOT EXCEED A MINIMUM TO MAXIMUM RATIO OF 8:1, OR AN AVERAGE TO MINIMUM RATIO OF 6:1. VARIANCES FOR INCREASED LIGHT LEVELS FOR GAS STATIONS MAY BE GRANTED, BUT SHALL NOT EXCEED A MAXIMUM OF THIRTY (30) FOOTCANDELES OR AN AVERAGE OF TWENTY-FIVE (25) FOOTCANDELES.

D. THE MOUNTING HEIGHT OF OUTDOOR LIGHTING SHALL NOT EXCEED THE AVERAGE ROOF HEIGHT OF THE PRINCIPLE BUILDING TO WHICH IT RELATES OR TWENTY (40) FEET, WHICHEVER IS LESS. UNSHIELDED RESIDENTIAL AND PEDESTRIAN FIXTURES SHALL NOT EXCEED TEN (10) FEET IN HEIGHT.

E. METAL HALIDE LAMP, OR EQUIVALENT ARE REQUIRED. THE VILLAGE MAY WAIVE THIS REQUIREMENT TO ALLOW FOR APPROPRIATE HISTORIC OR DECORATIVE LIGHTING FIXTURES.

F. IN ALL MULTI-LOT DEVELOPMENTS, UNIFIED LIGHTING STANDARDS, INCLUDING MOUNTING HEIGHT AND FIXTURE STYLE, SHALL BE REQUIRED.

3. SIGNAGE =

SIGNS SHALL COMPLY WITH 15.48 OF THE ZONING CODE. PERMIT REQUIRED.

4. LANDSCAPING =

LANDSCAPE PLAN REQUIRED. A DETAILED LANDSCAPE PLAN SHALL BE SUBMITTED TO THE VILLAGE AS PART OF A SITE PLAN REVIEW AND SHALL BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

_____ LIMITS OF LAND PER
 _____ LEGAL DESCRIPTION
 _____ ADJACENT LAND
 _____ PARCEL LINE
 ----- EASEMENT LINE
 - - - - - CENTERLINE
 - - - - - BUILDING SETBACK LINE
 - - - - - SECTION LINE

TO: FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9 AND 11(A) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 12, 2021.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-00277
LICENSE EXPIRES 4/30/2021
DATE OF PLAT OR MAP: MARCH 23, 2021

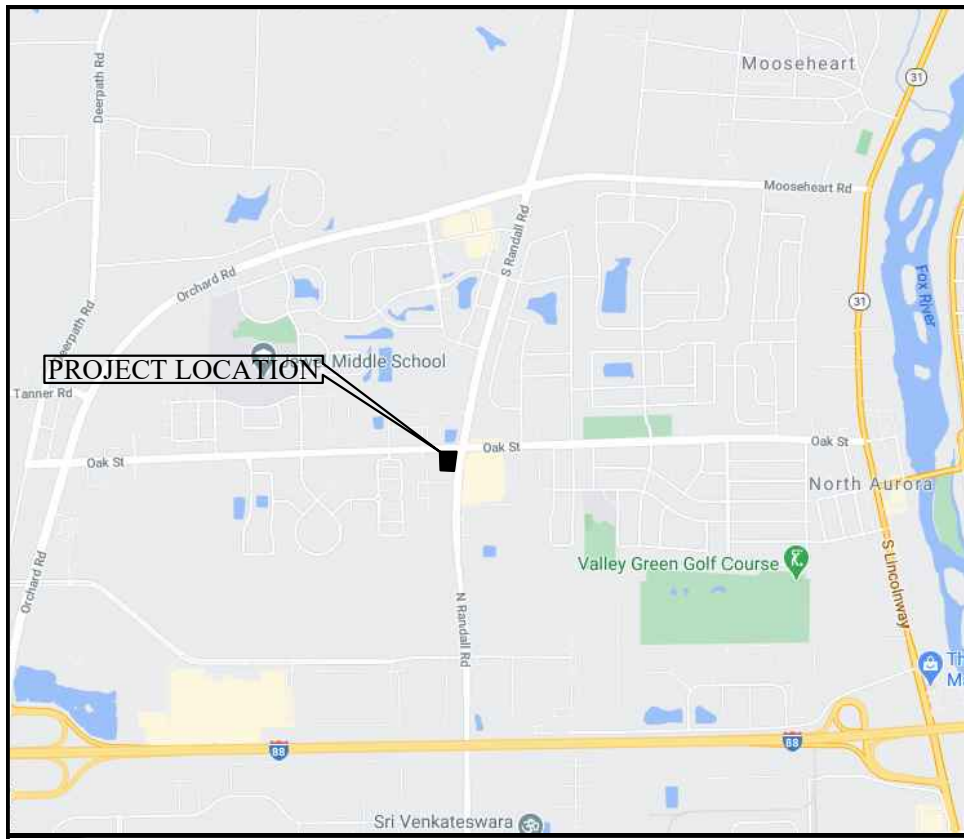
BY: _____
SCOTT C. KREBS
IL PROFESSIONAL LAND SURVEYOR NO. 3509
LICENSE EXPIRES 11/30/22

J:\Pdata\2021 Projects\21.0054\21.0054 LTS Topo.dwg

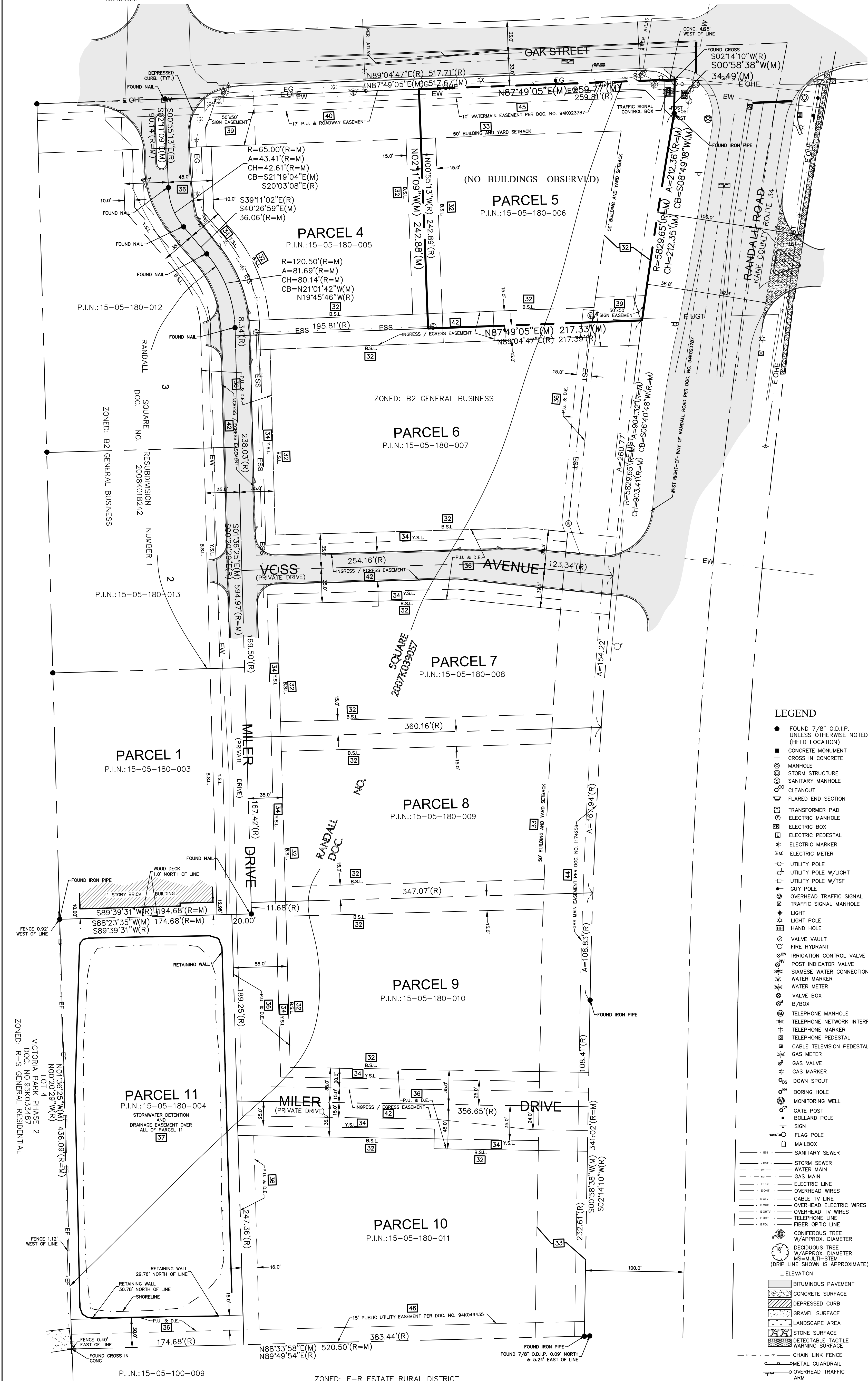
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE SHOWN UTILITIES SHOW THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NO PHYSICALLY LOCATED THE UNDERGROUND LINES.



Know what's below.
Call 1-800-368-2262.



VICINITY MAP



ZONED: E-R ESTATE RURAL DISTRICT

1 OF 2

SCALE: 1" = 50'

COMPASS

SURVEYING LTD

2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

CASEY'S
SOUTHWEST CORNER OF RANDALL
ROAD AND OAK STREET
NORTH AURORA, IL

CLIENT

Kimley»»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

DATE: 3-22-21

PC JC

DRAWN

BT

CHECK

BY SK

BOOK

PG 13

6

FURTHER

STAT

MENT

1

1

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE AT THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

T.D.P. = OUTSIDE DIAMETER IRON PIPE
 TOP = TOP OF FOUNDATION
 UNFINISHED FLOOR
 VES = FLARED END SECTION
 VCP = MATTED CLAY PIPE
 W = WELDED IRON PIPE
 WP = POLYVINYL CHLORIDE
 WPC = CORRUGATED RIBBED PIPE
 CMC = CORRUGATED METAL PIPE
 (R) = RECORD BEARING OR DISTANCE
 (C) = CALCULATED BEARING OR DISTANCE
 (C) = CALCULATED BEARING OR DISTANCE
 (D) = DEEP BEARING OR DISTANCE
 S = SOUTH
 E = NORTH
 W = WEST
 A = AREA
 A.C. = ARC LENGTH
 R = RADIUS
 CH = CHORD
 CR = CHORD BEARING
 S.B. = BUILDING SETBACK LINE
 U.E. = UTILITY EASEMENT
 G.E. = GRASS EASEMENT
 P.U.E. = PUBLIC UTILITY EASEMENT
 P.O.C. = POINT OF COMMENCEMENT
 P.O.B. = POINT OF BEGINNING
 P.U. & D.E. = PUBLIC UTILITY AND
 DRAINAGE EASEMENT
 B.C. = BACK OF CURB
 BDC = BACK OF DEPRESSION
 C = CONCRETE
 F.L. = FLOW LINE
 G = GRAVEL
 EW = EDGE OF WALK
 TP = TOP OF WALL
 TP = TOP OF PIPE
 ELEV = ELEVATION
 PL = PROPERTY LINE
 DS = DOWN SLOUT
 S.F. = SQUARE FEET
 SL. = SHORE LINE
 T.F. = TRANSFORMER
 B = BAYERS

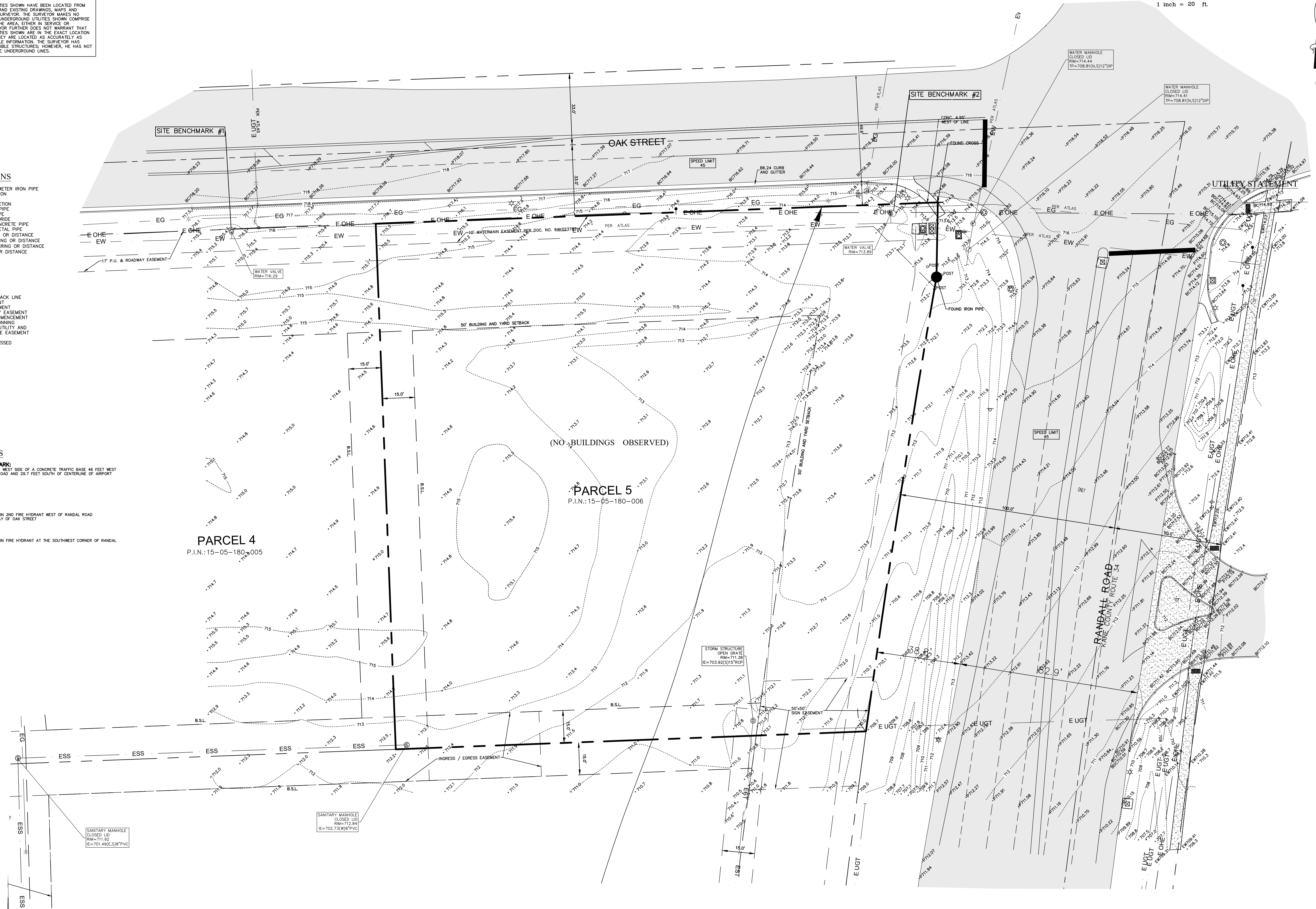
REFERENCE BENCHMARK:
BRASS SURVEY DISK SET IN WEST SIDE OF A CONCRETE TRAFFIC BASE 46 FEET WEST
OF CENTERLINE OF STATE ROAD AND 29.7 FEET SOUTH OF CENTERLINE OF AIRPORT
ROAD

DATUM: NAVD 88
ELEVATION = 687.80

SITE BENCHMARK #1
NORTHWEST BONNET BOLT ON 2ND FIRE HYDRANT WEST OF RANDAL ROAD
IN THE SOUTH RIGHT OF WAY OF OAK STREET
ELEVATION = 718.77

SITE BENCHMARK

ELEVATION = 716.18



J:\PSDATA\2021 PROJECTS\21.0054\21.0054 LTS TOPO.DWG



Now what's below.
Call before you dig.

[illegible]

Kimley»»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

CASEY'S
SOUTHWEST CORNER OF RANDALL
ROAD AND OAK STREET
NORTH AURORA, IL

COMPASS
SURVEYING LTD

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60012

PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: 1" = 20'

2 OF 2

U. NO.:	21.0054
---------	---------

Casey's SIGN PACKET

JACOB CLARK | SIGNAGE PROJECT BUYER
3305 SE Delaware Ave | Ankeny, IA 50021
P: 515-963-3831 | E: jacob.clark@caseys.com

North Aurora, IL

U4 Flat

- 6' Building Signage
- 29" Canopy Signage
- 4 Product Brick Monument

04-12-21

Building & Wall Signs (U3, U4 Flat Roof)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft²
1	"Casey's"	Surface	Building Front	Internal	6'-0"	15' 4-1/4"	12' 7"	18' 7"	37.85
2	DO NOT INSTALL								
3	Snap Frame	Advertising	Building Front	N/A	3' 0"	8' 0"	3' 4"	6' 8-1/2"	24
4	Snap Frame	Advertising	Building Front	N/A	3' 8"	2' 4"	2' 10"	6' 10-1/2"	8.56
								Total	70.41

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
5	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
								Total	86.9

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft²
	Price Sign	Freestanding	Street	Internal	4' 7"	10' 0"	0' 8"	5' 3"	45.83
								Total	45.83

SIGNS 1, 3, 4

1

Casey's

4

3



**U4 FLAT
BUILDING SIGNAGE**

**DRAWN BY:
J. CLARK**

**DATE:
03-08-21**

SIGNS 4, 5



GAS CANOPY 6 IN A ROW HEAD-IN

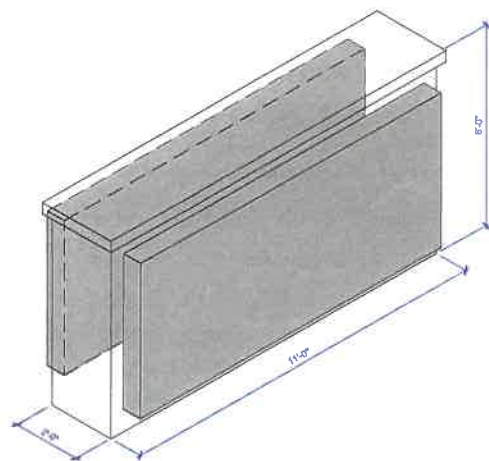
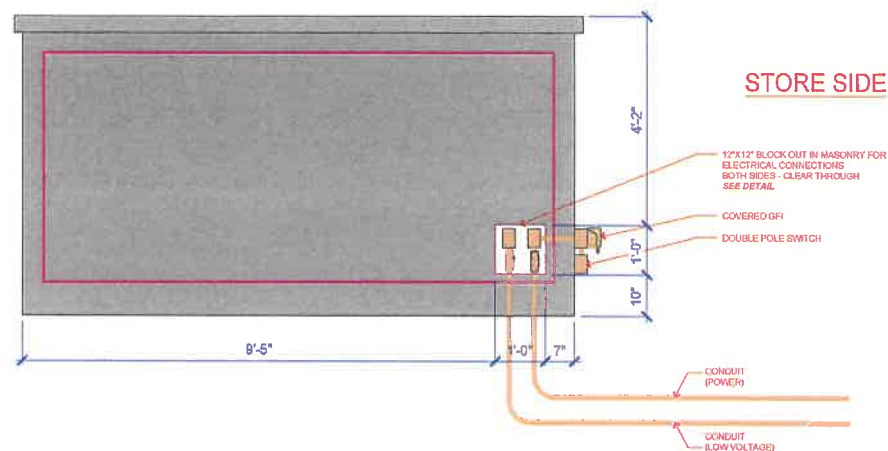
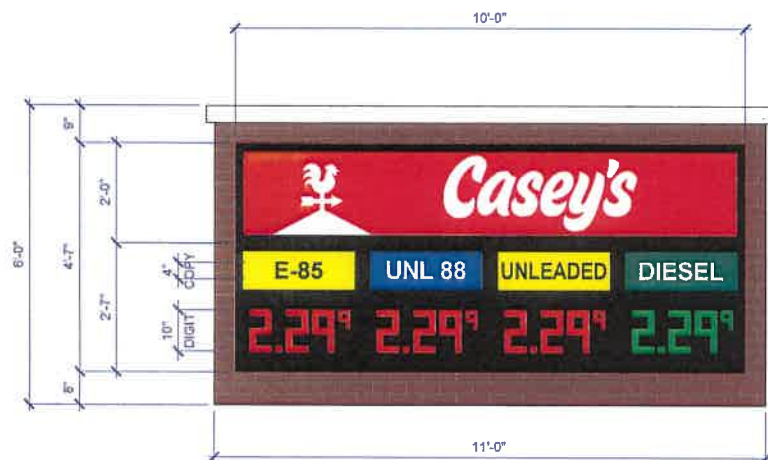
DRAWN BY:
J. CLARK

DATE:
02-08-21

Brick Monument Sign (4 Product Monument at 6' OAH)

SIGN 6

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
	Price Sign	Freestanding	Street	Internal	4' 7"	10' 0"	0' 8"	5' 3"	45.83
Total									45.83



PRICER NOTES:

- 10" RED AND GREEN LED DIGITS
- STATIC LABELS, NON-INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES

OTHER NOTES

- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE



NORTH AURORA, IL
4 PRODUCT - 6' OAH

DRAWN BY:
 J. CLARK

DATE:
 03-29-21

VILLAGE OF NORTH AURORA BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: 204 HANSEN BOULEVARD: GERALD GENESIS DEALERSHIP
AGENDA: AUGUST 16, 2021 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

Over the past few years, the Gerald Auto Group has been making significant investments in their facilities located in the North Aurora Auto Mall. The Gerald Group owns and operates the KIA, Subaru, Hyundai and Nissan dealerships located on Hansen Boulevard. In 2018, Gerald purchased the former Fox Valley Ford property at 208 Hansen Boulevard. and opened Gerald Ford. On September 21, 2020, the Village Board approved an Economic Incentive Agreement for the Gerald Ford Dealership. The Economic Incentive Agreement approved a rebate of \$900,000 to be paid over a 10-year period based upon annual sales over the \$219,500 sales tax base threshold rebated back to Gerald at 85%.

Gerald has conducted sales of the Genesis automobile franchise along with the Hyundai franchise at 209 Hansen Boulevard for several years. Genesis has recently encouraged dealers to create separate facilities for Genesis apart from Hyundai to facilitate establishment of Genesis as a luxury brand. The property located across the street at 204 Hansen Boulevard has been utilized as the Gerald Auto Group's centralized accounting office since 2016. 204 Hansen Boulevard was last used for Motor Vehicle Sales in 2016 when Kia operated on the property. Kia later moved to 201 Hansen Boulevard Gerald would now like to remodel 204 Hansen Boulevard and move the Genesis franchise to that property to become the first standalone Genesis dealership in the Chicago area.

According to Gerald, the estimated remodeling cost would be approximately \$4,000,000. They anticipate this project will generate approximately \$150,000 of annual incremental retailer's occupation tax revenue to the Village in the first full year of operations and over \$300,000 of annual incremental retailers' occupation tax in six to seven years once fully operational.

Gerald is requesting financial assistance with the Genesis project. Gerald is requesting a rebate of 50% of the retailers' occupation tax generated by Genesis of North Aurora for up to fifteen years, including a cap of \$2,000,000. According to Gerald, the \$2,000,000 represents approximately half of the estimated remodeling project investment.

Staff is soliciting feedback from the Village Board on the proposed incentive request.

Staff is currently evaluating whether any zoning actions are needed to facilitate the remodel project and use of the property. As such, staff would also like to take this opportunity to solicit any feedback on the proposed use of the property and the conceptual development plans.



August 10, 2021

Mr. Mark Gaffino
Village President
Village of North Aurora
25 East State Street
North Aurora, IL 60542

Dear Mr. Gaffino:

I hope this letter finds you well!

Gerald has operated the Genesis automobile franchise along with the Hyundai franchise for several years at 209 Hansen Blvd. in the North Aurora Auto Mall. Across the street, 204 Hansen Blvd. has been occupied and utilized as the Gerald Auto Group's centralized accounting office since 2016. Genesis has recently encouraged dealers to separate facilities for that franchise apart from Hyundai to facilitate establishing Genesis as a substantial luxury brand similar to Lexus and Acura. Genesis is planning to release multiple additional models over the next couple years, and focus exclusively on electric vehicles by 2025. This property at 204 Hansen currently does not generate any sales tax revenue for the State or Village. Remodeling that property and moving the Genesis franchise from 209 Hansen to 204 Hansen to become the first stand-alone Genesis dealership in the Chicago area would add meaningful additional employment as well as substantial additional retailers' occupation tax collections for the Village.

Over the past several years, we have carefully invested in various improvements to the Auto Mall dealerships which have helped produce increased taxable sales and increased employment, and we expect this growth to continue. The scale and cost to remodel 204 Hansen would be greater than any remodeling investments to date. The just completed remodeling of the Ford dealership at 208 Hansen cost more than initially planned and will take some time to generate incremental cash flow. And, the Group is commencing a substantial remodeling of Gerald Hyundai at 209 Hansen Blvd., substantially increasing its service capacity. The cumulative level of capital already deployed and committed will stress the Group's balance sheet. Further, the Genesis franchise currently does not sell enough volume to support a stand-alone operation. We project several hundred thousand dollars of losses the first two years of operations, but believe this could be a great opportunity to establish the first luxury brand in the area.

We estimate remodeling 204 Hansen will cost approximately \$4,000,000. We anticipate that this project will generate approximately \$150,000 of annual incremental retailers' occupation tax revenue to the Village in the first full year of operations and over \$300,000 of annual incremental retailers' occupation tax in six to seven years. The Genesis store would hire 24 employees within its first year of operations. We plan to move the Group's centralized accounting office to a

Mr. Mark Gaffino
August 10, 2021
Page 2

location within North Aurora, 365 Smoke Tree Plaza, which will provide capacity for further employment growth. Please see the enclosed summary of investment and employment metrics and the enclosed preliminary renderings presenting the potential look of the interior and exterior remodeled building.

We request an Economic Incentive Agreement to rebate 50% of the retailers' occupation tax generated by Genesis of North Aurora for up to fifteen years, up to a cap of \$2,000,000, subsequent to completion of the project. The \$2,000,000 represents approximately half of the estimated remodeling project investment. We understand that the trigger date to begin to measure the retailers' occupation tax is the date of the Certificate of Occupancy to be received upon project completion, and we understand that the rebate would be funded some months after each year-end. Please see the enclosed fifteen-year projection of the retailers' occupation tax with the proposed annual rebate and the annual amount retained by the Village.

Such an Economic Incentive Agreement would enable the Gerald Auto Group to undertake this exciting opportunity to establish a true luxury brand in North Aurora, an all-electric luxury brand at that, drive incremental sales, and further community growth. We believe our request fulfills all legal requirements for such an Agreement as we have outlined in the enclosed narration comments associated with each section of Illinois Municipal Code 65 ILCS 5/8-11-20.

We would like to meet with you and the Village Board to present our plans and address any questions. Please contact me at your earliest convenience, and I would be happy to address any immediate questions or suggestions to move forward to an agreement.

Sincerely,

A handwritten signature in black ink, appearing to read "John Dvorak", with a long horizontal flourish extending to the right.

John Dvorak, CPA
CFO
Gerald Auto Group

cc: Doug Gerald
Mike Toth
Bill Hannah

Enclosures

GENESIS OF NORTH AURORA PROJECTED TAXABLE SALES

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
	PROJECTED 2022	PROJECTED 2023	PROJECTED 2024	PROJECTED 2025	PROJECTED 2026	PROJECTED 2027	PROJECTED 2028	PROJECTED 2029	PROJECTED 2030	PROJECTED 2031	PROJECTED 2032	PROJECTED 2033	PROJECTED 2034	PROJECTED 2035	PROJECTED 2036
New Car Units	248	278	311	348	387	425	464	492	511	532	548	564	575	587	604
Used Cars Units	136	153	171	192	213	234	255	270	281	292	301	310	316	323	332
Total Units	384	431	482	540	599	659	719	762	792	824	849	874	892	910	937
Vehicle Sales *	14,961,426	17,091,933	19,525,824	22,306,301	25,255,194	28,336,328	31,504,329	34,062,481	36,133,480	38,330,395	40,269,913	42,307,571	44,016,797	45,795,075	48,112,306
Parts Sales	18,283	27,425	38,395	51,833	67,383	84,228	105,286	126,343	151,611	174,353	200,506	232,587	272,126	321,109	378,909
Total Sales	14,979,709	17,119,357	19,564,219	22,358,134	25,322,577	28,420,556	31,609,615	34,188,823	36,285,091	38,504,748	40,470,419	42,540,157	44,288,923	46,116,184	48,491,215
Avg taxable sale *															
Vehicle Sales Tax 1.0%	149,614	170,919	195,258	223,063	252,552	283,363	315,043	340,625	361,335	383,304	402,699	423,076	440,168	457,951	481,123
Parts Sales Tax 1.0%	183	274	384	518	674	842	1,053	1,263	1,516	1,744	2,005	2,326	2,721	3,211	3,789
Total Tax	149,797	171,194	195,642	223,581	253,226	284,206	316,096	341,888	362,851	385,047	404,704	425,402	442,889	461,162	484,912
Cumulative sales tax	149,797	320,991	516,633	740,214	993,440	1,277,646	1,593,742	1,935,630	2,298,481	2,683,528	3,088,232	3,513,634	3,956,523	4,417,685	4,902,597
Rebate at 50%	74,899	85,597	97,821	111,791	126,613	142,103	158,048	170,944	181,425	192,524	202,352	212,701	221,445	21,738	-
Cumulative Rebate	74,899	160,495	258,316	370,107	496,720	638,823	796,871	967,815	1,149,240	1,341,764	1,544,116	1,756,817	1,978,262	2,000,000	2,000,000
Village retained tax	74,899	85,597	97,821	111,791	126,613	142,103	158,048	170,944	181,425	192,524	202,352	212,701	221,445	439,423	484,912
Village cumulative tax	74,899	160,495	258,316	370,107	496,720	638,823	796,871	967,815	1,149,240	1,341,764	1,544,116	1,756,817	1,978,262	2,417,685	2,902,597

* Taxable vehicle sales are estimated at 85% of recorded sales to account for average value of non-taxable trade-in values.
Model assumes 2.0% inflation.

Parts sales appears very low, but that appears likely to be the case as a result of initial low units in operation and the nature of EV's and parts for used vehicle reconditioning being recognized with the used vehicle sale.

Note: Some wholesale parts sales are subject to sales tax. However, the actual and projected numbers here do not include any wholesale parts sales in the interest of conservatism.

Sec. 8-11-20. Economic incentive agreements. The corporate authorities of a municipality may enter into an economic incentive agreement relating to the development or redevelopment of land within the corporate limits of the municipality. Under this agreement, the municipality may agree to share or rebate a portion of any retailers' occupation taxes received by the municipality that were generated by the development or redevelopment over a finite period of time. Before entering into the agreement authorized by this Section, the corporate authorities shall make the following findings:

(1) If the property subject to the agreement is vacant:

- (A) that the property has remained vacant for at least one year, or
- (B) that any building located on the property was demolished within the last year and that the building would have qualified under finding (2) of this Section;

(2) If the property subject to the agreement is currently developed:

- (A) that the buildings on the property no longer comply with current building codes, or

(B) that the buildings on the property have remained less than significantly unoccupied or underutilized for a period of at least one year;

(3) That the project is expected to create or retain job opportunities within the municipality;

(4) That the project will serve to further the development of adjacent areas;

(5) That without the agreement, the project would not be possible;

(6) That the developer meets high standards of creditworthiness and financial strength as demonstrated by one or more of the following:

- (A) corporate debenture ratings of BBB or higher by Standard & Poor's Corporation or Baa or higher by Moody's Investors Service, Inc.;
- (B) a letter from a financial institution with assets of \$10,000,000 or more attesting to the financial strength of the developer; or
- (C) specific evidence of equity financing for not less than 10% of the total project costs;

(7) That the project will strengthen the commercial sector of the municipality;

(8) That the project will enhance the tax base of the municipality; and

(9) That the agreement is made in the best interest of the municipality.

The building on the property was built in 1996. It has been occupied and utilized as the Gerald Auto Group's centralized accounting office since 2016. Genesis has encouraged dealers to separate facilities for that franchise apart from Hyundai. Genesis is planning to release additional models, focus exclusively on electric vehicles, and become a substantial luxury franchise similar to Lexus or Acura. This property currently does not generate any sales tax revenue for the State or Village. Remodeling the property to again accommodate a dealership operation will add meaningful additional employment as well as substantial additional retailers' occupation taxes.

We project that this project will create 24 new full time jobs in the short term and more new jobs in the long term, increasing this dealership and office employment by at least 69 percent.

The project will result in the existing Auto Mall becoming fully occupied with retail dealerships, improve the look of the Auto Mall with a refined luxury store, create the need for additional office space to be built out (at 365 Smoke Tree Plaza in North Aurora), and drive the need for any further new dealership franchises to develop and build new facilities on Orchard Gateway Blvd or Towne Center Drive.

The financial support of an Economic Incentive Agreement is needed to finance this project. The scale and cost to remodel 204 Hansen would be greater than any Gerald Auto Group's remodeling investments to date. The remodeling of the Ford dealership at 208 Hansen just completed cost more than initially planned and will take some time to generate incremental cash flow. And, the Group is commencing a substantial remodeling of Gerald Hyundai at 209 Hansen Blvd., substantially increasing its service capacity. The cumulative level of capital already deployed and committed will stress the Group's balance sheet. Further, the Genesis franchise currently does not sell enough volume to support a stand-alone operation. We project several hundred thousand dollars of losses the first two years of operations, but believe this could be a great opportunity to establish the first luxury brand in the area.

We plan to finance this project with a construction loan for 82% of project costs provided by Comerica Bank, which is rated "A-" by Standard & Poor's and "A3" by Moody's.

The commercial sector will enjoy a new business, the first luxury brand dealership in North Aurora, the first all electric vehicle brand in North Aurora (Genesis to be 100% EV by 2025), higher employment (which itself will generate more nearby retail activity) as well as a substantial increase in taxable sales.

The property generates no taxable sales today. The first year pro forma financial statement reflects \$15 million of vehicle sales, and we expect substantial future growth. It would not be unrealistic to expect taxable sales to exceed \$30 million in five to six years.

The agreement is in the best interest of the municipality by providing increased employment, generating substantial incremental retailers' occupation taxes, and adding the first luxury brand dealership to the North Aurora Auto Mall with visibility from Orchard Road.

Gerald Hyundai, Inc. D/B/A Genesis of North Aurora
204 Hansen Remodeling Investment Proposal
2021

We are exploring a substantial remodeling of 204 Hansen Boulevard, from its current use as our corporate accounting office into the first stand-alone Genesis dealership in the Chicagoland area. This would establish the first luxury vehicle dealership and first Electric Vehicle focused dealership brand in North Aurora which will drive incremental sales and employment growth in the North Aurora Auto Mall. The Gerald centralized accounting office will be retained in North Aurora, moving to 365 Smoke Tree Plaza which provides for further space and employment growth. The data below summarizes the approximate possible investment and employment metrics for the Genesis franchise facilities and new corporate office space.

Investment

Existing Facility Investment

		<u>Facility Sq. Ft.</u>	<u>Per architect</u>
		14,502	First floor
		1,415	Second floor
Purchase cost and improvements to 204 Hansen at 12/31/20	<u>\$ 1,986,270</u>	<u>15,917</u>	

New Facility Investment

Estimated 204 Hansen remodeling costs	3,794,015	2,556	
Building permits, utility fees	123,820		
Landscaping	10,000		
Holding costs during construction	<u>50,570</u>		
Total investment in expansion	<u>\$ 3,978,406</u>	200% increase	
Total Genesis North Aurora and office facilities investment	<u>\$ 5,964,675</u>	18,473	16.1% increase
Memo:			
Additional investment in 365 Smoke Tree Plaza for new office	<u>\$ 458,000</u>		

Employment

Genesis and office employees in North Aurora after remodeling	59	
Office employees currently working at 204 Hansen (no current Genesis employees)	<u>35</u>	
Incremental employment	<u>24</u>	69% increase in employment

Employee roles to be hired:

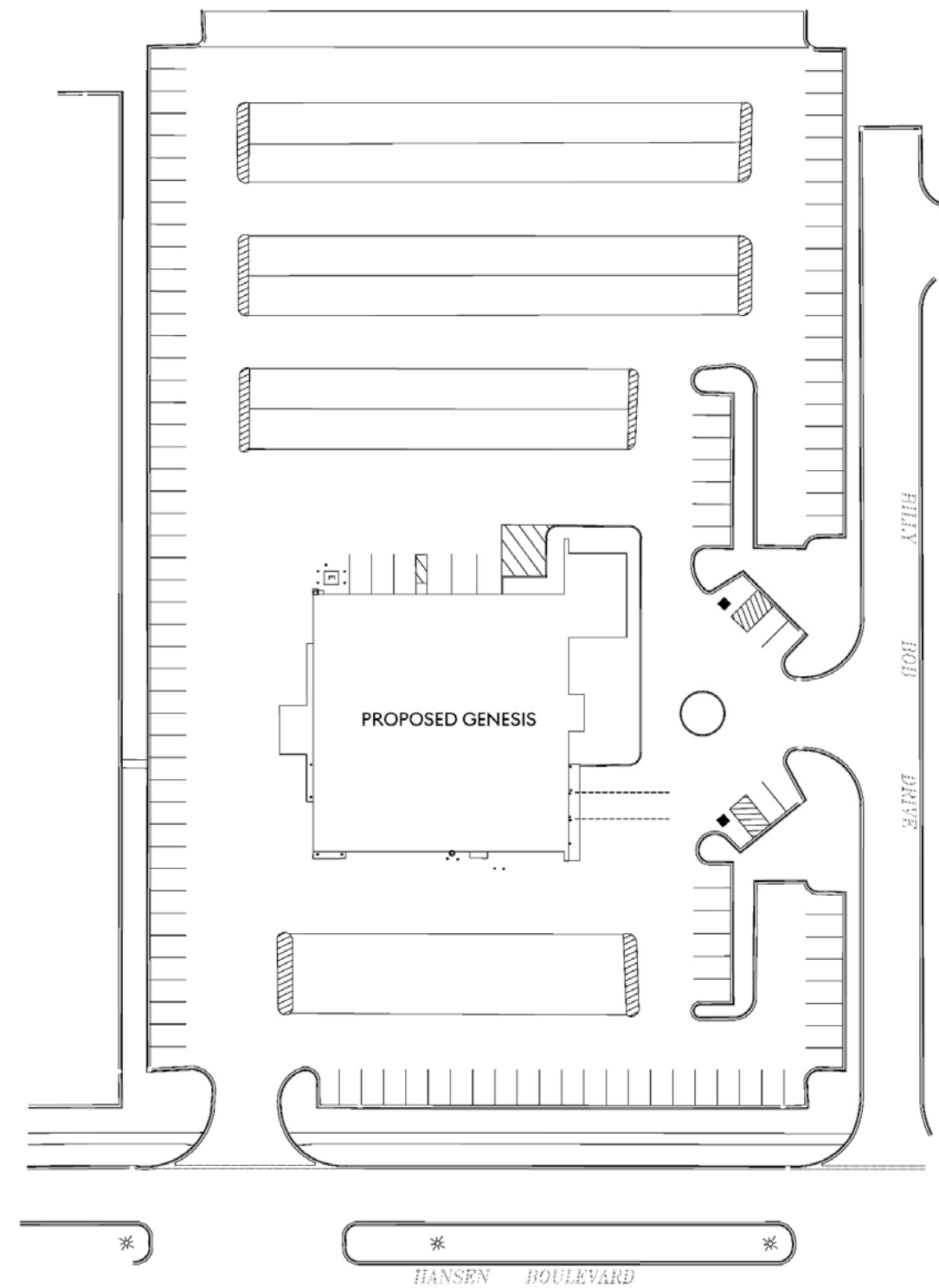
New Vehicle Sales Manager	1	
Used Vehicle Sales Manager	1	
F & I Managers	2	
Service Manager	1	
Parts Manager	1	
Salespeople	6	
Parts Counterperson	1	
Service Advisor	1	
Technicians	4	
Get Ready Team	2	
Sales Assistant/Receptionist	1	
Additional office staff supporting Genesis and Group	<u>3</u>	to 11
	<u><u>24</u></u>	to 32

sketchup model

GENESIS OF NORTH AURORA



EXISTING SITE DIAGRAM



EXISTING SITE DIAGRAM
SCALE: 1" = 20'-0"



GENESIS
OF
NORTH
AURORA

Dealer Code: IL704

204 Hanson Blvd
North Aurora, IL
60542



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OR PERMITTING PURPOSES

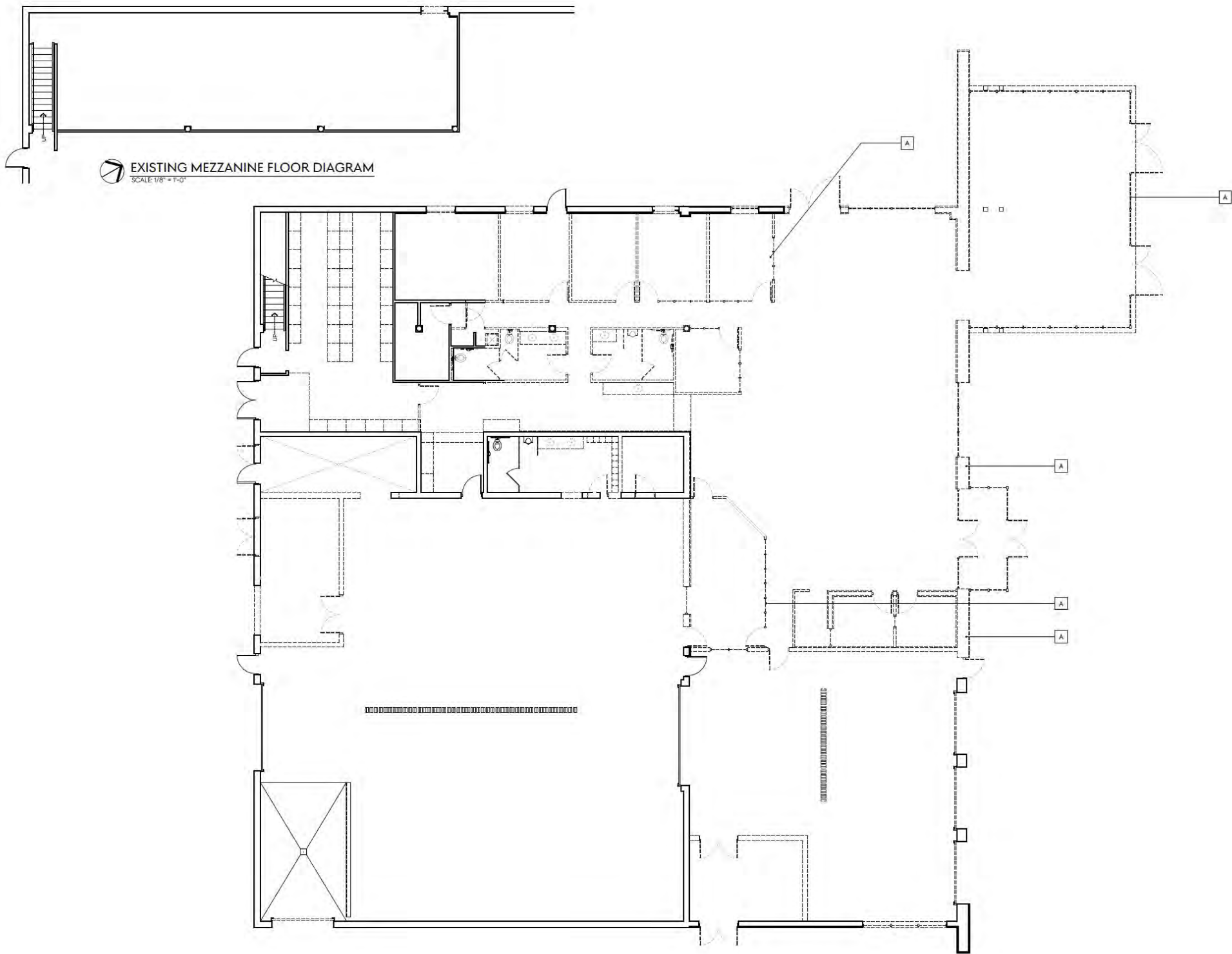
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Issue Date: 6/9/2021
Drawn By:

Revisions:
1 5/23/2021 LOUNGE

EXISTING
SITE
DIAGRAM

EXISTING FLOOR DIAGRAM



GENESIS
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Drawn By:

Revisions:		
1	5/23/2021	LOUNGE

EXISTING FLOOR
DIAGRAM

A-2

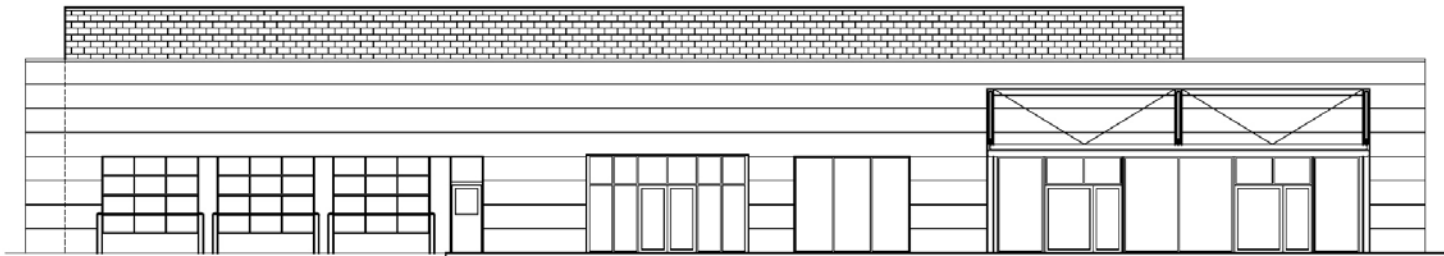
Sheet 2 of 8

EXISTING FLOOR DIAGRAM KEYNOTES

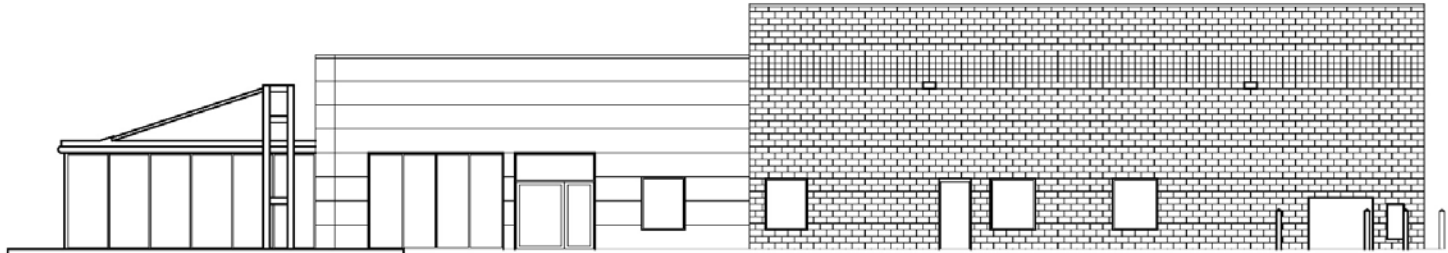
A EXISTING DASHED ITEMS TO BE REMOVED

EXISTING FLOOR DIAGRAM
SCALE: 1/8" = 1'-0"

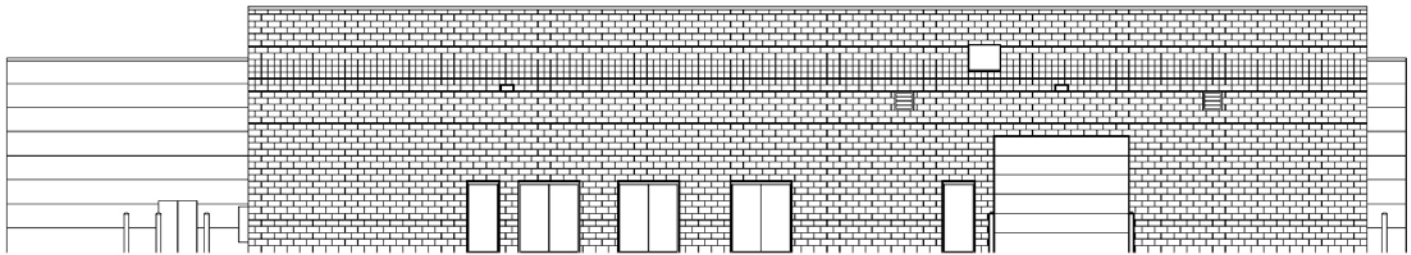
EXISTING ELEVATION DIAGRAMS



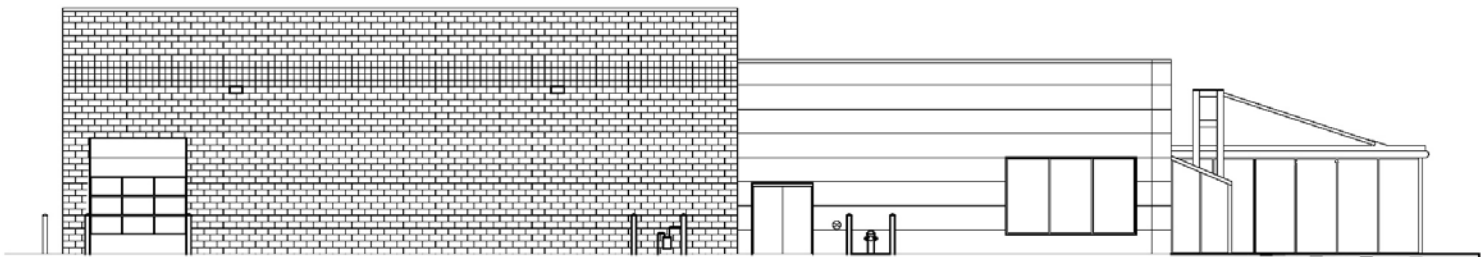
FRONT ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



REAR ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



GENESIS
OF
NORTH
AURORA

Dealer Code: IL704

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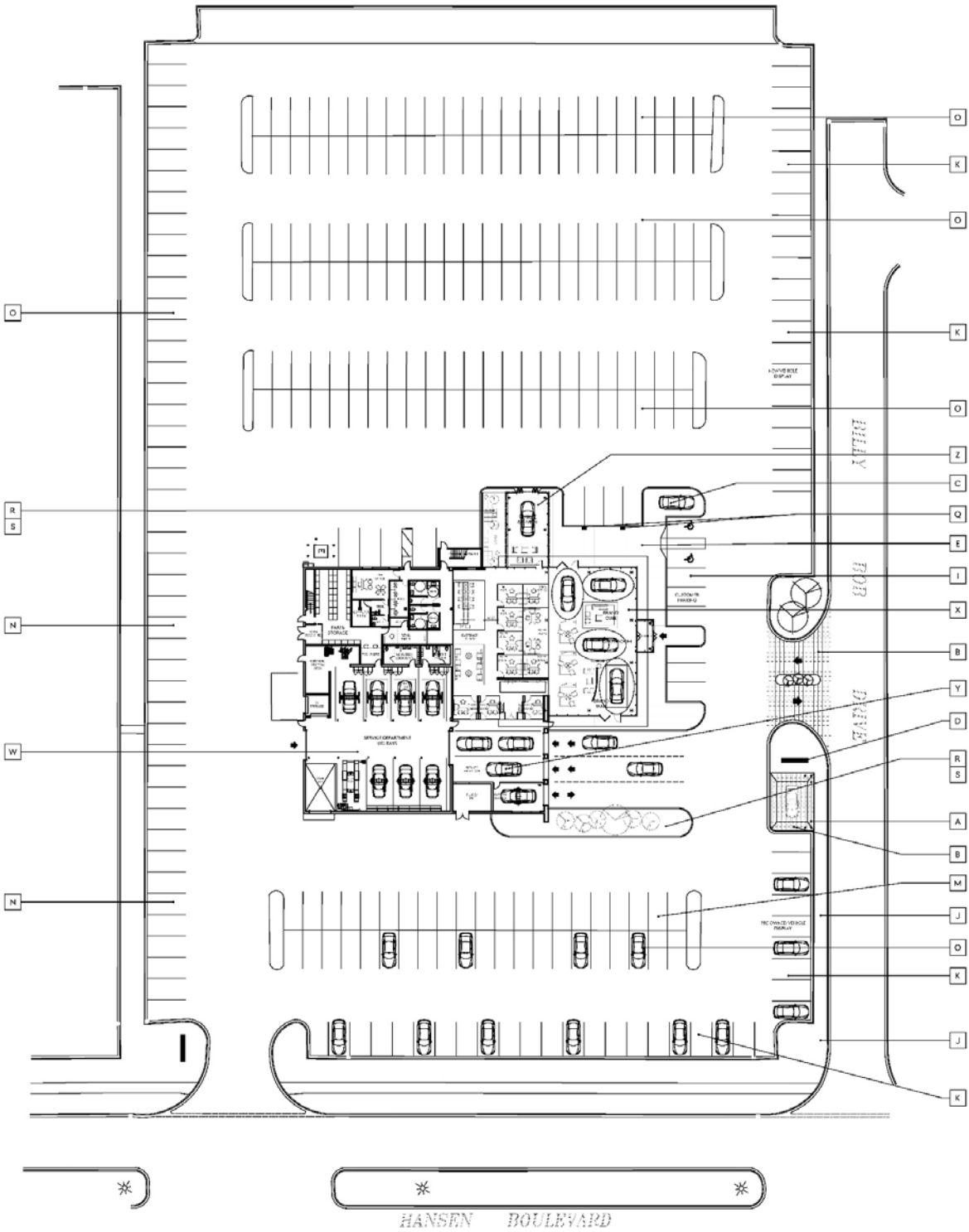
Revisions:
1 5/23/2021 LOUNGE

EXISTING
ELEVATIONS
DIAGRAM

A-3
Sheet 3 of 8

PROPOSED SITE DIAGRAM

SITE DIAGRAM KEYNOTES	
A	LIGHT BOLLARD
B	SITE MAIN ENTRY PAVERS PV-1
C	FEATURE VEHICLE DISPLAY
D	PYLON SIGN
E	DECORATIVE GRAVEL PAVER PV-2
F	UPLIGHT SCULPTURE LANDSCAPE FEATURE PLANS (UTILIZE PLANTS SPECIFIC TO THE LOCAL CLIMATE)
G	DIRECTIONAL SIGNAGE
H	SITE LIGHTING
I	CUSTOMER PARKING
J	LANDSCAPING
K	NEW VEHICLE DISPLAY
L	SERVICE VEHICLES
M	EMPLOYEE PARKING
N	SERVICE VEHICLE PARKING
O	INVENTORY VEHICLES
P	PRE-OWNED VEHICLE DISPLAY
Q	ELECTRIC VEHICLE CHARGING
R	SCREEN NON-CUSTOMER ACTIVITIES ON SITE WITH LANDSCAPE AND SOLID WALLS AND GATES, PAINT TO MATCH BUILDING
S	SCREEN WALL
T	SERVICE DELIVERY
U	SCREEN TRASH ENCLOSURE WITH SOLID WALLS, PAINT TO MATCH BUILDING
V	SCREEN SITE EQUIPMENT AND TRANSFORMER FROM CUSTOMER VIEW
W	SERVICE BAYS
X	SHOWROOM
Y	SERVICE RECEPTION
Z	NEW VEHICLE DELIVERY



PROPOSED SITE DIAGRAM
SCALE: 1" = 20'-0"



GENESIS OF NORTH AURORA

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Drawn By:

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1 5/23/2021 LOUNGE

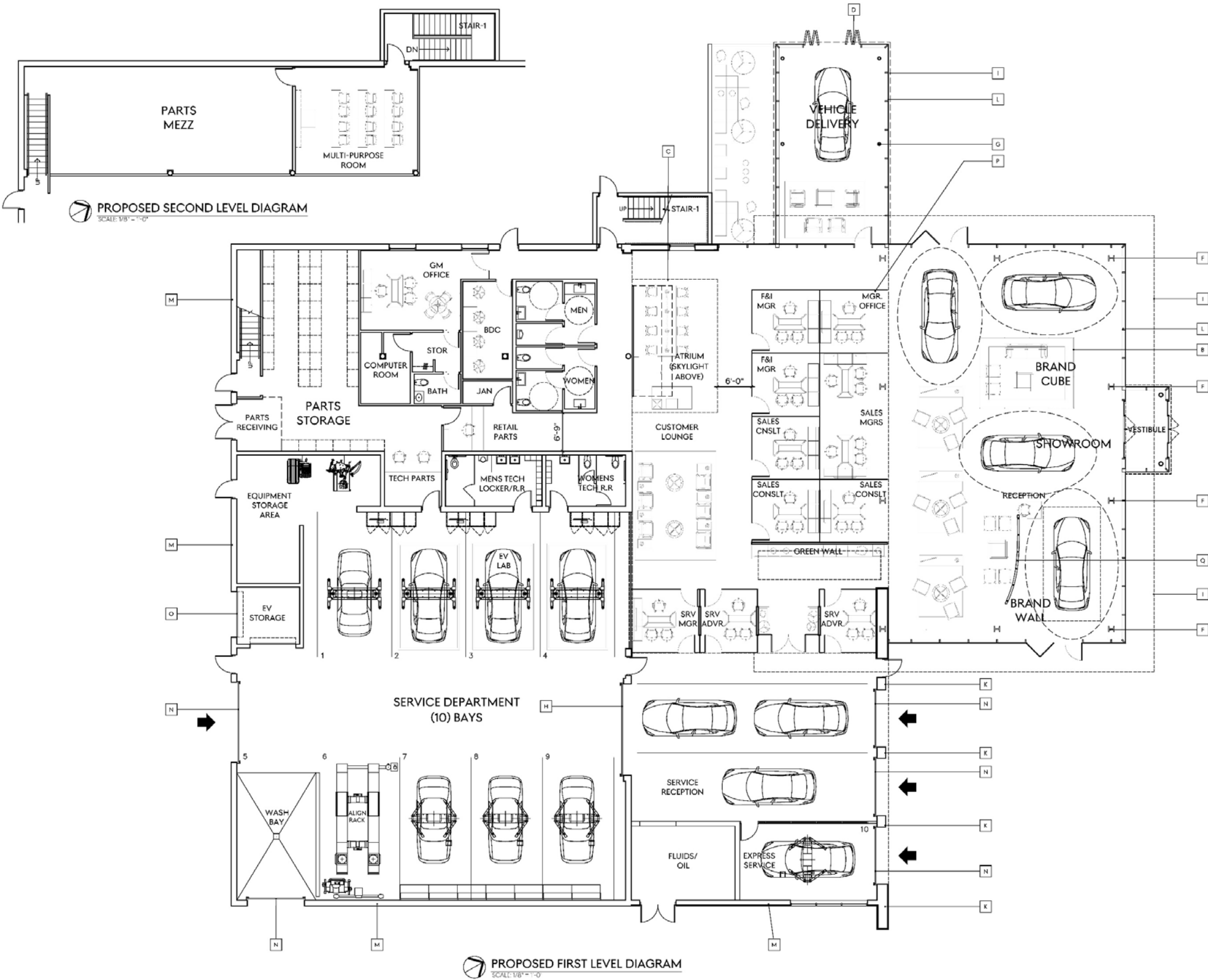
PROPOSED SITE DIAGRAM

A-4

Sheet 4 of 8

PROPOSED FLOOR DIAGRAM

FLOOR DIAGRAM KEYNOTES	
A	SHOWCASE VEHICLE W/ SURFACE LIGHT ABOVE
B	BRAND CUBE
C	ATRIUM WITH SKYLIGHT
D	NANAWALL DOOR
E	EV LAB
F	CROSS COLUMN
G	ROUND COLUMN
H	OVERHEAD DOORS
I	FASCIA OVERHANG
J	ACM-1, ALUMINUM COMPOSITE MATERIAL
K	ACM-2, ALUMINUM COMPOSITE MATERIAL
L	EXTERIOR GLAZING, 1" CLEAR INSULATED GLASS
M	PAINTED CMU WALL
N	RYTEC COILING DOOR
O	FIRE-RATED OVERHEAD DOOR
P	INTERIOR GLASS PARTITION
Q	BRAND WALL



GENESIS
OF
NORTH
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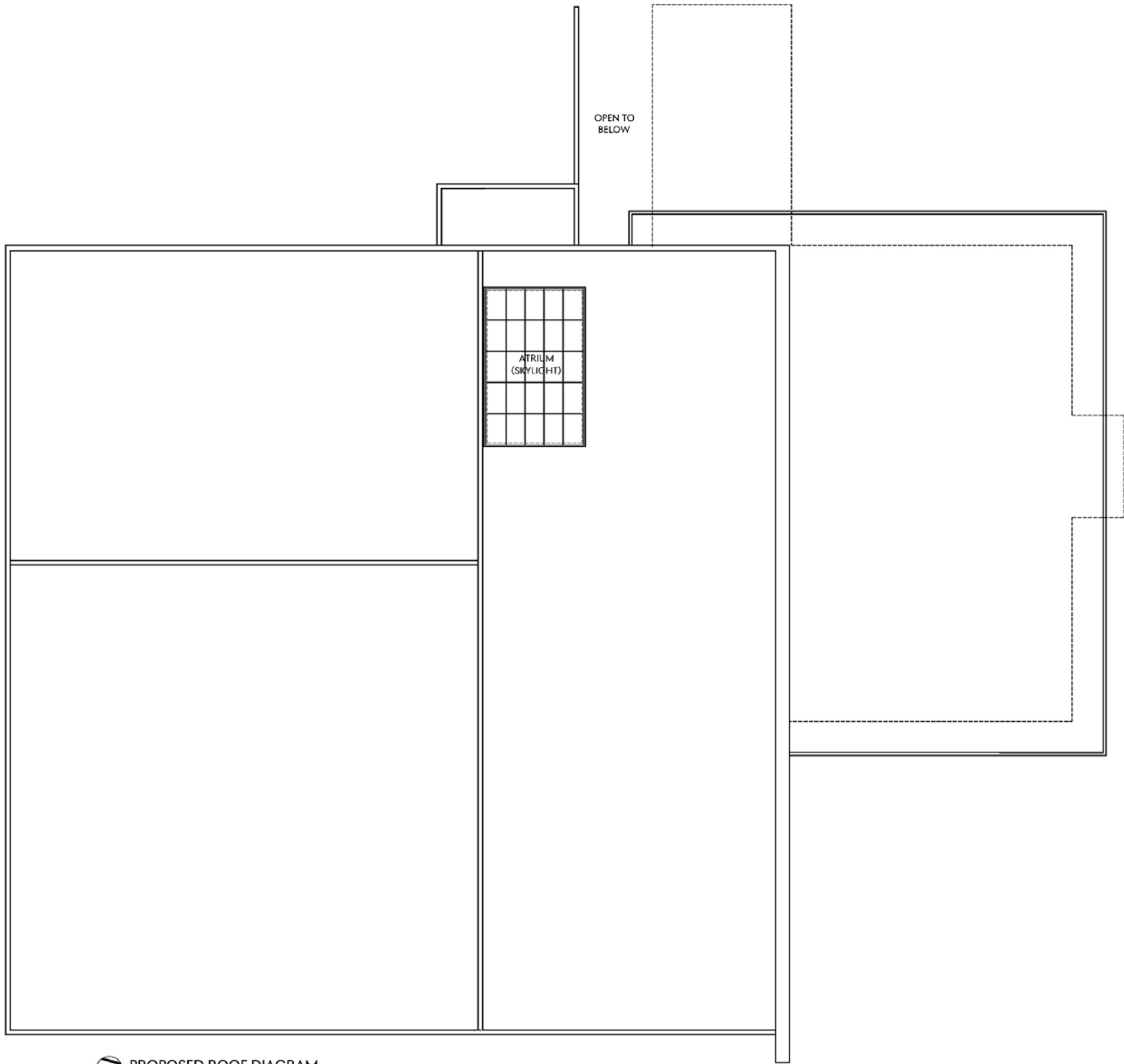
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Revisions:
1 5/23/2021 LOUNGE

PROPOSED
FLOOR
DIAGRAM

PROPOSED ROOF DIAGRAM



PROPOSED ROOF DIAGRAM
SCALE: 1/8" = 1'-0"



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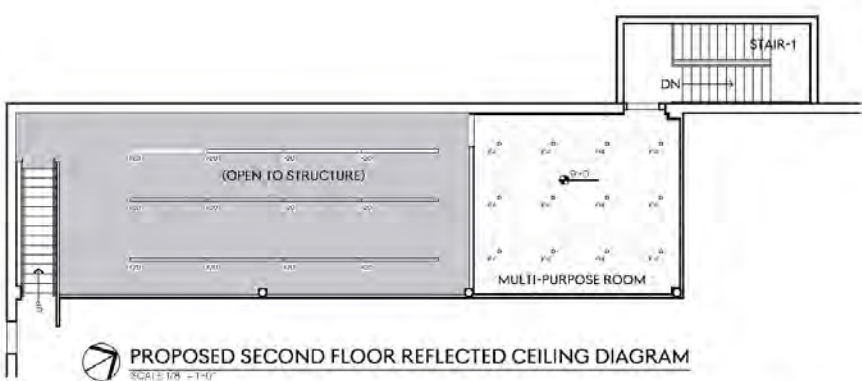
PROPOSED
ROOF DIAGRAM

A-6

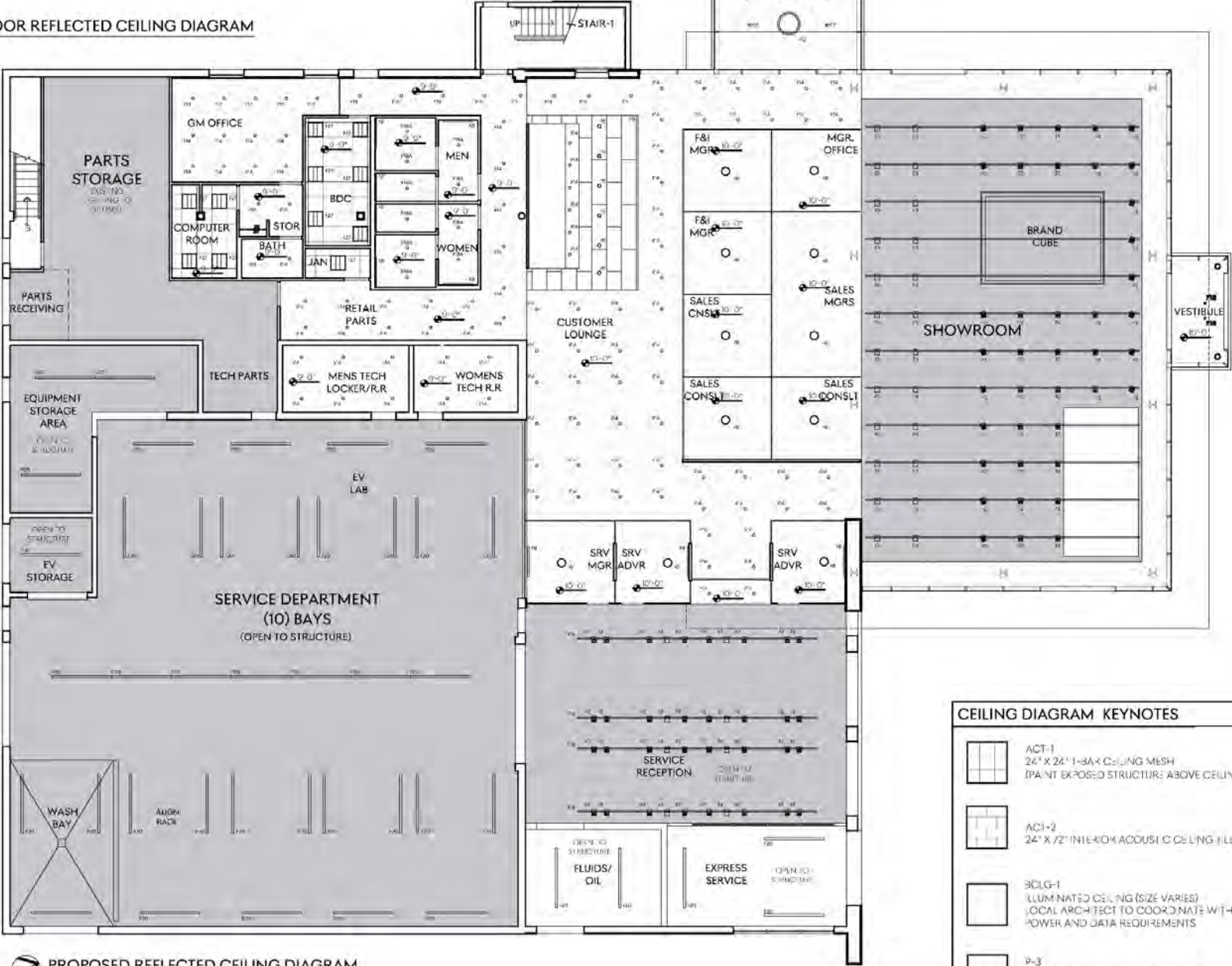
Sheet 6 of 8

PROPOSED REFLECTED CEILING & LIGHTING DIAGRAM

LIGHTING DIAGRAM KEYNOTES	
	CORONET LINEAR UPLIGHTING/TRACK
	CORONET LINEAR UPLIGHTING/TRACK
	CORONET LINEAR TRACK
	JUNO TRACK LIGHT SPOT 15°
	JUNO TRACK LIGHT NARROW FLOOD 24°
	JUNO TRACK LIGHT NARROW FLOOD 41°
	LINDSLEY LED PENDANT
	EUREKA LED PENDANT
	CORONET LINEAR WALL WASH 4000K
	CORONET LINEAR WALL WASH 3000K
	CORONET WALL LINEAR UPLIGHT
	COOLEGE BARRISOL #1 LUMINATED CEILING
	COOLEGE BARRISOL #2 LUMINATED CEILING
	DELRAY LED PENDANT
	JUNO TRACK LIGHT WW
	USAI LED DOWNLIGHT 16W 3K
	USAI LED ADJUSTABLE DOWNLIGHT 16W 4K
	USAI LED ADJUSTABLE DOWNLIGHT 16W 3K
	USAI LED DOWNLIGHT 16W 4K
	USAI LED DOWNLIGHT 9W 4K
	USAI LED DOWNLIGHT 9W 3K
	JUNO LED DOWNLIGHT 7W 3K
	LITHONIA LINEAR LED
	LITHONIA LINEAR LED
	WAC TREE UP LIGHT - ADJUSTABLE WATTAGE AND BEAM
	TARGETTI LINEAR IN GROUND UP LIGHT
	TARGETTI IN GROUND UP LIGHT
	MODALIGHT LED TAPE LIGHT
	LITHONIA 2X2 RECESS GRID LIGHT FIXTURE



PROPOSED SECOND FLOOR REFLECTED CEILING DIAGRAM
SCALE: 1/8" = 1'-0"



PROPOSED REFLECTED CEILING DIAGRAM
SCALE: 1/8" = 1'-0"

CEILING DIAGRAM KEYNOTES	
	ACT-1 24" X 24" 1-BAY CEILING MESH (PAINT EXPOSED STRUCTURE ABOVE CEILING BLACK)
	ACT-2 24" X 72" INTERIOR ACOUSTIC CEILING TILE
	BCLG-1 ILLUMINATED CEILING (SIZE VARIES) LOCAL ARCHITECT TO COORDINATE WITH VENDOR POWER AND DATA REQUIREMENTS
	P-3 GYP BOARD CEILING TO BE PAINTED (PAINT P-3)
	P-4 OPEN STRUCTURE CEILING TO BE PAINTED WITH P-4



GENESIS
OF
NORTH
AURORA

Dealer Code: IL704

204 Hanson Blvd
North Aurora, IL
60542



PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMITTING PURPOSES
1. This design concept drawing is not intended for
construction or permit purposes but to express
the general requirements for the project.
2. The representation in this drawing is in compliance
with local, state or federal regulations and neither
the designer nor the dealer assumes any
responsibility or liability with reference thereto.

Issue Date: 6/9/2021
Drawn By:

Revisions:
1. 5/23/2021 LOUNGE

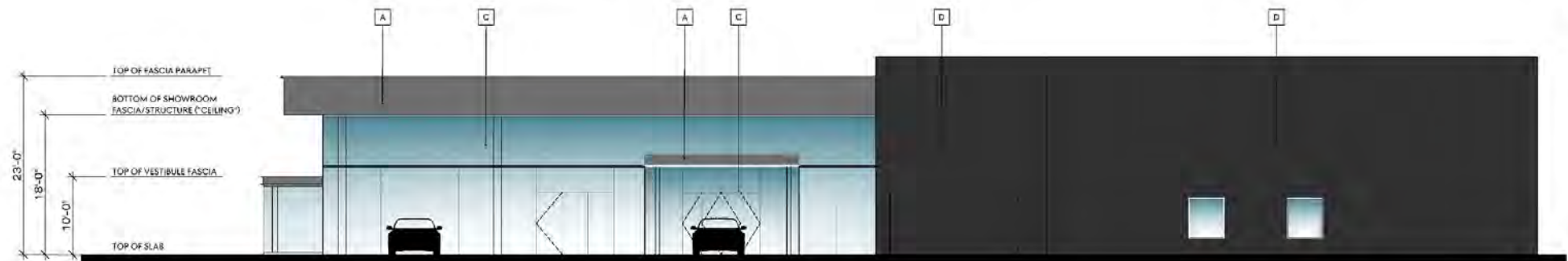
PROPOSED
REFLECTED
CEILING/LIGHTING
DIAGRAM

A-7
Sheet 7 of 8

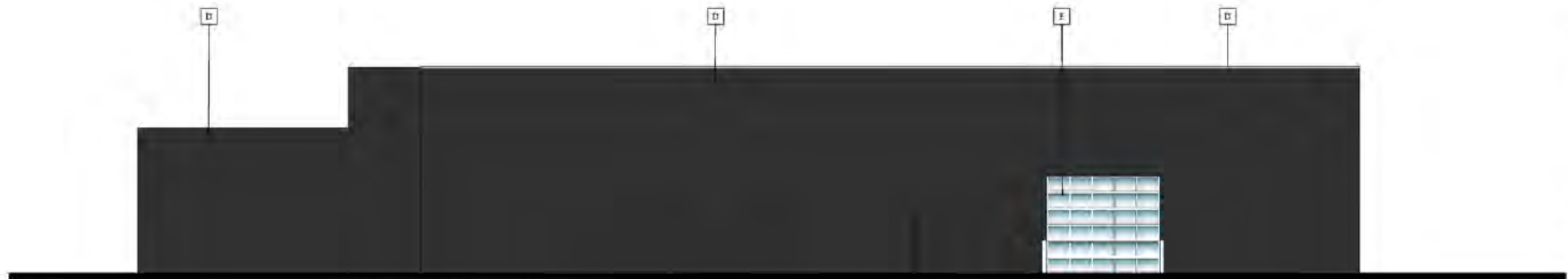
PROPOSED ELEVATION DIAGRAMS



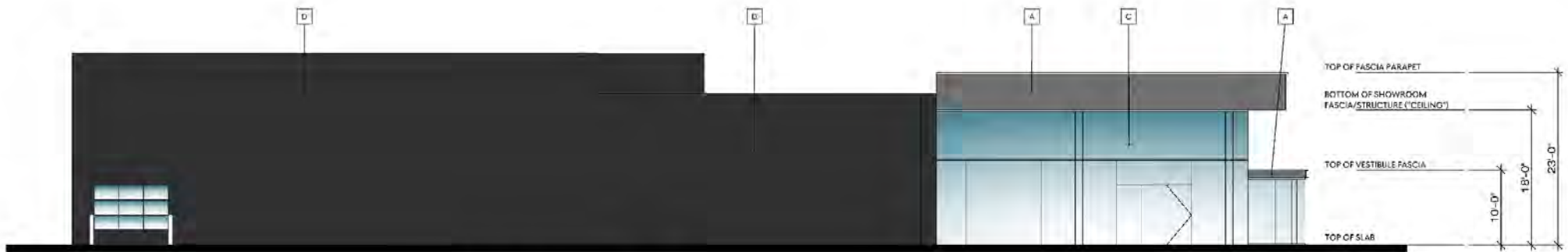
FRONT ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



REAR ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION DIAGRAM
SCALE: 1/8" = 1'-0"



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Issue Date: 6/9/2021
Drawn By:

Revisions:
1 5/23/2021 LOUNGE

PROPOSED
ELEVATION
DIAGRAMS

A-8
Sheet 8 of 8

EXTERIOR VIEW KEYNOTES	
A	ACM-1, ALUMINUM COMPOSITE MATERIAL, BASALT GRAY
B	ACM-2, ALUMINUM COMPOSITE MATERIAL, TRICORN BLACK
C	GL-2, EXTERIOR GLAZING, 1" CLEAR INSULATED GLASS
D	P-1, SHERWIN WILLIAMS, SW7076 CYBERSPACE
E	RYTEC COILING DOOR

INTERIOR BRANDING

BRAND CUBE & ROOF DECK



INTERIOR BRANDING

BRAND WALL AND FEATURE VEHICLE DISPLAY



INTERIOR BRANDING

SALES CONSULTATION & MANAGEMENT OFFICES



INTERIOR BRANDING CUSTOMER LOUNGE



INTERIOR BRANDING CUSTOMER LOUNGE



INTERIOR BRANDING

EV LAB



INTERIOR BRANDING

SKYLIGHT, ATRIUM AND LIGHT WELL



VILLAGE OF NORTH AURORA BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: MOOSE LAKE ESTATES – UNIT 3 PLAT OF SUBDIVISION
AGENDA: AUGUST 16, 2021 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

There are 68 vacant lots remaining (of the 250 total lots) that comprise Moose Lake Estates Units 1, 2 & 3. There are 32 lots remaining in Units 1 & 2 and 36 lots that would be available in Unit 3. The Unit 3 plat was approved by the Village, recorded in 2006 and then later vacated in 2011. Moose Lake Estates is located in the E-3 Estate Standard District.

In 2020, M/I Homes intended to develop the remaining lots in Moose Lake Estates with single-family homes. M/I was seeking approval of the Moose Lake Estates – Unit 3 plat of subdivision and an amendment to the Annexation Agreement. The Village Board first discussed this item at their October 19, 2020 Committee of the Whole meeting.

A public hearing was held at the November 16, 2020 Village Board meeting for consideration of the amendment to the Annexation Agreement. Both the Amendment and the Moose Lake Estates - Unit 3 plat of subdivision were to be formally considered at that time. The meeting was heavily attended by Moose Lake Estate residents who were concerned with the size and design of the homes M/I intended to build in the subdivision. As a result, the Village Board tabled the item to the December 7, 2020 Committee of the Whole meeting to further discuss the matter.

Both the Village Attorney and Village Staff presented information specific to M/I Homes' requests at the December 7, 2020 Committee of the Whole meeting. With regard to the Unit 3 plat, it was noted in the presentation that the proposed Unit 3 plat meets the E-3 District lot area and width minimums and the only changes from the original plat were technical and requested by the Village. Concluding the conversation, the Village Board directed staff to bring the items back for formal consideration.

On December 21, 2020, an ordinance approving a plat for Moose Lake Estates – Unit 3 was presented to the Village Board for consideration; however, the Village Board voted against approval of the ordinance.

Now, a contract is in place with the property owner and McCue Development, Inc. for the purchase of all of the remaining improved lots and Phase III (Unit 3) of Moose Lakes Subdivision. A Design Review and Approval Agreement between the HOA and McCue was provided to staff which acknowledges that the building plans (included in the Agreement) satisfy any applicable Architectural Review Guidelines. The Agreement includes specific building models as well as minimum square footage requirements for ranch homes and 2-story homes.

A Final Plat of Subdivision for Moose Lake Estates - Unit 3 has been submitted. Staff finds the proposed Plat to be virtually identical to the Plat that was originally approved then later vacated.

Staff is seeking feedback from the Village Board on consideration of the Moose Lake Estates Unit 3 Plat for final approval.

FINAL PLAT OF SUBDIVISION
Moose Lake Estates - Unit 3

Being a Subdivision of Part of Section 33, Township 39 North, Range 8 East of the Third Principal Meridian Lying South of Mooseheart Road, Kane County, Illinois.

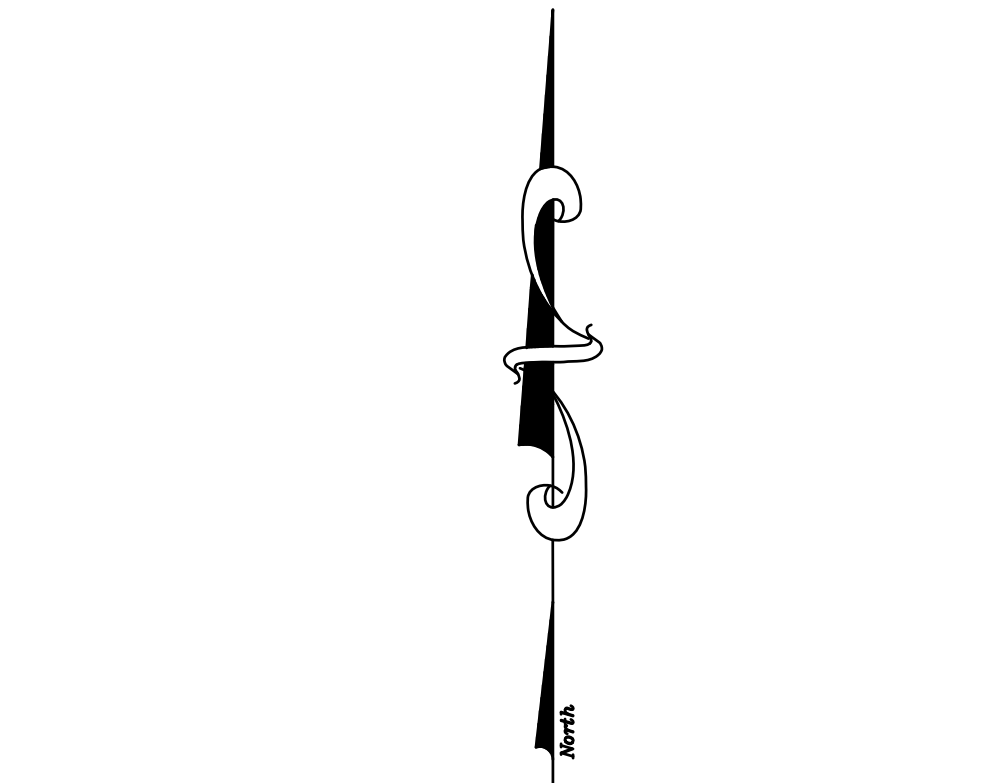
PREPARED FOR:

MI Homes of Chicago, LLC
400 E Diehl Road, STE 230
Naperville, IL 60563
www.mihomes.com/Chicago

PREPARED BY:

TAURUS ENGINEERING
5N557 Route 59
Bartlett, IL 60103
tauruseng@sbcglobal.net

P.I.N. 12-33-304-014



GRAPHIC SCALE

(IN FEET)
1 inch = 150 ft.

LEGEND

- CENTERLINE OF R.O.W.
- LOT LINES
- BOUNDARY
- ADJACENT PROPERTY LINES
- SECTION LINES
- BUILDING LINES
- EASEMENT LINES

- sf SQUARE FEET
- L = ARC LENGTH
- R = RADIUS LENGTH
- C = CORD LENGTH
- CB = CORD BEARING
- P.U.E. PUBLIC UTILITY & DRAINAGE EASEMENT
- BL BUILDING LINE
- FOUND IRON PIPE
- SET CONCRETE MONUMENT
- 3 2
10 11 SECTION CORNER

Interior lot corners shall be monumentated prior to the conveyance thereof all monuments shall be set upon the completion of the construction operations but no later than 12 months after the recording of the plat of subdivision. 3/4 inch iron pipe stakes, shall be placed at all lot corners and at all curve control points as permanent monuments from which future surveys may be made. All measurements are shown in feet and decimal parts of a foot.

FINAL PLAT OF SUBDIVISION
Moose Lake Estates - Unit 3

Being a Subdivision of Part of Section 33, Township 39 North, Range 8 East of the Third Principal Meridian Lying South of Mooseheart Road, Kane County, Illinois.

NOTES:

All easements along the front and rear yard shall be 10' unless otherwise noted.

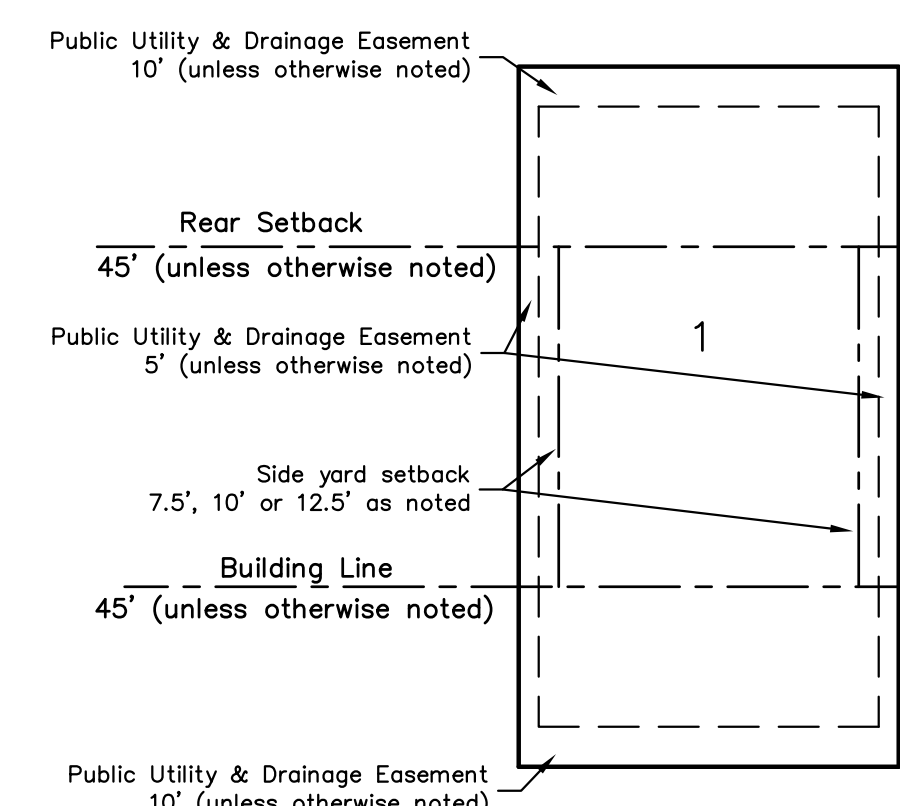
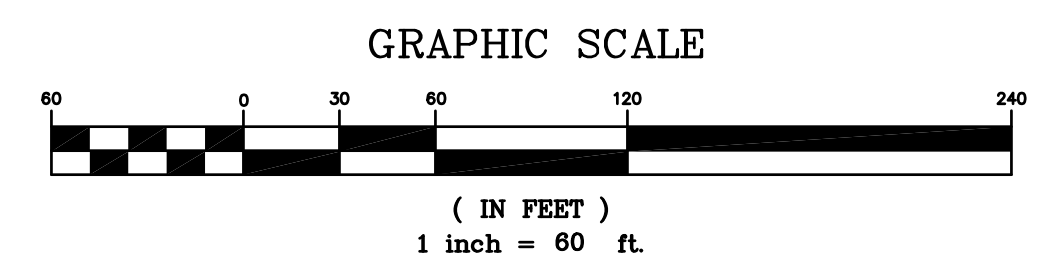
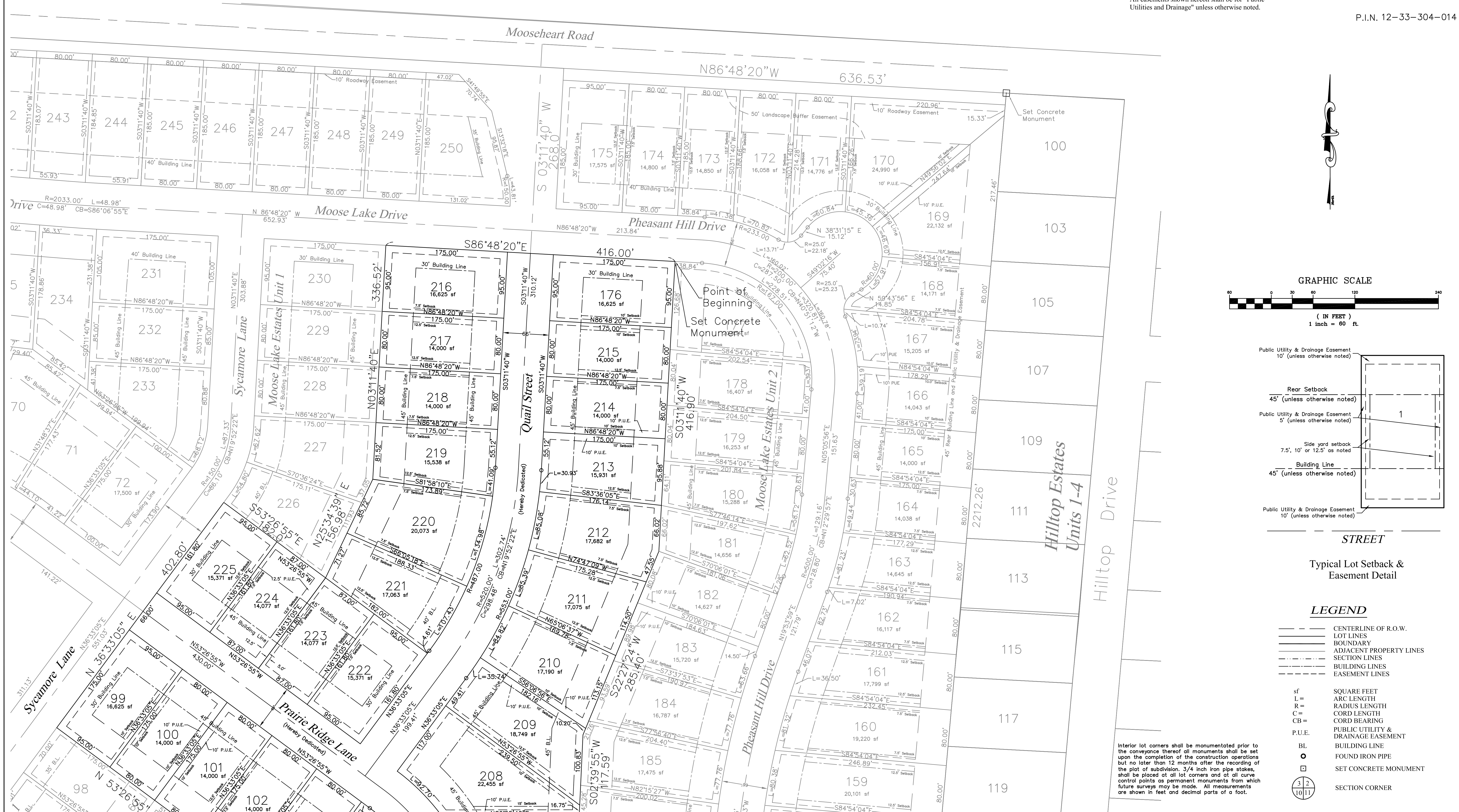
All easements along the sideyard shall be 5' unless otherwise noted.

All easements shown hereon shall be for "Public Utilities and Drainage" unless otherwise noted.

PREPARED FOR:
MI Homes of Chicago, LLC
400 E Diehl Road, STE 230
Naperville, IL 60563
www.mihomes.com/Chicago

PREPARED BY:
TAURUS ENGINEERING
5N557 Route 59
Bartlett, IL 60103
tauruseng@sbcglobal.net

P.I.N. 12-33-304-014



STREET

Typical Lot Setback & Easement Detail

LEGEND

- CENTERLINE OF R.O.W.
- LOT LINES
- BOUNDARY
- ADJACENT PROPERTY LINES
- SECTION LINES
- BUILDING LINES
- EASEMENT LINES
- sf SQUARE FEET
- L= ARC LENGTH
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- C= CORD LENGTH
- CB= CORD BEARING
- P.U.E. PUBLIC UTILITY & DRAINAGE EASEMENT
- BL BUILDING LINE
- FOUND IRON PIPE
- SET CONCRETE MONUMENT
- 3/2 SECTION CORNER
- 10/11

Interior lot corners shall be monumented prior to the conveyance thereof all monuments shall be set upon the completion of the construction operations but no later than 12 months after the recording of the plat of subdivision. 3/4 inch iron pipe stakes, shall be placed at all lot corners and at all curve control points as permanent monuments from which future surveys may be made. All measurements are shown in feet and decimal parts of a foot.

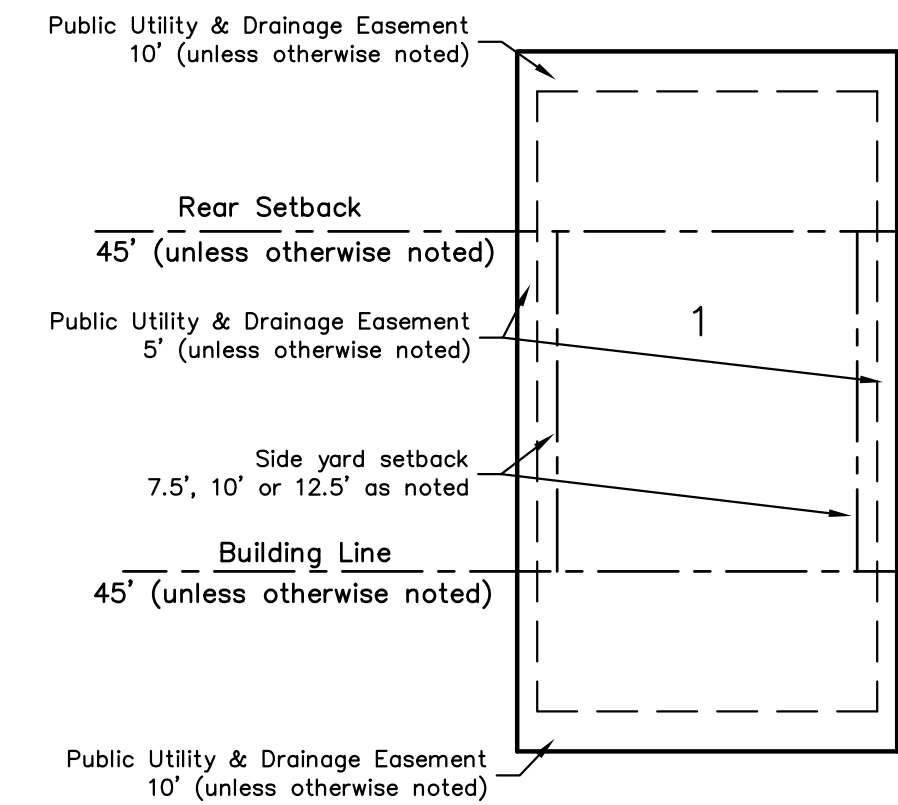
FINAL PLAT OF SUBDIVISION
Moose Lake Estates - Unit 3

Being a Subdivision of Part of Section 33, Township 39 North, Range 8 East of the Third Principal Meridian Lying South of Mooseheart Road, Kane County, Illinois.

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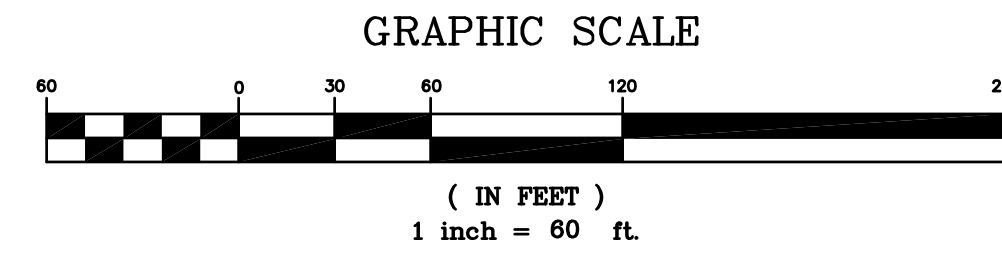
P.I.N. 12-33-304-014



STREET

Typical Lot Setback & Easement Detail

- NOTES:
- All easements along the front & rear yard shall be 10' unless otherwise noted.
 - All easements along the sideyard shall be 5' unless otherwise noted.
 - All easements shown hereon shall be for "Public Utilities and Drainage" unless otherwise noted.



LEGEND

- CENTERLINE OF R.O.W.
 - LOT LINES
 - BOUNDARY
 - ADJACENT PROPERTY LINES
 - SECTION LINES
 - BUILDING LINES
 - EASEMENT LINES
- sf SQUARE FEET
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CB= CORD BEARING
P.U.E. PUBLIC UTILITY & DRAINAGE EASEMENT
BL BUILDING LINE
○ FOUND IRON PIPE
□ SET CONCRETE MONUMENT
3/2 10/11 SECTION CORNER

Interior lot corners shall be monumentated prior to the conveyance thereof all monuments shall be set upon the completion of the construction operations but no later than 12 months after the recording of the plat of subdivision. 3/4 inch iron pipe stakes, shall be placed at all lot corners and at all curve control points as permanent monuments from which future surveys may be made. All measurements are shown in feet and decimal parts of a foot.

PREPARED FOR:

McCue Development
105 Pineridge Drive South
Oswego, IL 60540

PREPARED BY:

TAURUS ENGINEERING
5N557 Route 59
Bartlett IL, 60103
tauruseng@sbeglobal.net

FINAL PLAT OF SUBDIVISION

Moose Lake Estates- Unit 3

BEING A SUBDIVISION OF PART OF SECTION 33, TOWNSHIP 39 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

P.I.N. 12–33–304–014

Kane County Clerk's Certificate

State of Illinois)
County of Kane) ss

This is to certify that I find no delinquent and/or forfeited taxes, no redeemable tax sales and no unpaid special assessments against any of the real estate described and platted hereon.

Dated This ____ day of _____, A.D.2021.

Kane County Clerk

Kane County Recorder's Certificate

State of Illinois)
County of Kane) ss

This instrument No. _____ was filed for record in the Recorder's Office of Kane County, Illinois, on the ____ day of _____ A.D., 2021, at _____ o'clock __.m., and recorded in Plat Envelope Number _____.

Kane County Recorder

Village Board Approval

State of Illinois)
County of Kane) SS

Approved and accepted,

This ____ day of _____, 2021.

Board of Trustees,
Village of North Aurora, Illinois.

President

Village Clerk

Planning Commission Approval

State of Illinois)
County of Kane)

Approved by the plan commission of the Village of North Aurora, Kane County, Illinois.

This ____ day of _____, 2021.

Plan Commission,
Village of North Aurora

Chairman

Drainage Overlay Certificate

State of Illinois)
County of Kane) SS

To the best of our knowledge and belief the drainage of surface waters will not be changed by the construction of such subdivision or any part thereof, or , that if such surface water drainage will be changed, reasonable provision has been made for collection of such surface waters into public areas, or drains which the subdivider has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damaged to the adjoining property because of the construction of the subdivision.

Dated This ____ day of _____, 2021.

Design Engineer

Owner or Attorney

Ni-Gas EASEMENT PROVISIONS

An easement is hereby reserved for and granted to Northern Illinois Gas Company, its successors and assigns ("Ni-Gas") to install, operate, maintain, repair, replace and remove, facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown on this plat marked "Public Utility Easement", and streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Ni-Gas facilities or in, upon or over the property with the dotted lines marked "easement" without the prior written consent of Ni Gas. After installation of any such facilities the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

Right of Way Dedication

All public street right-of-way identified on the hereon plat as "hereby dedicated" shall not be deemed effectively dedicated until construction of the public improvements to be located therein (i.e., curb, gutter, street pavement, street lights, water lines, sanitary sewers and storm sewers) have been completed and said improvements have been conveyed to and accepted by the Village of North Aurora.

Easement Provisions

A permanent non-exclusive easement is hereby reserved for and granted to the Village of North Aurora, and to all public utility companies of any kind operating under franchise granting them easement rights from the Village, including, but not limited to, Jones Spacelink Cablevision, Southern Bell Communications, Commonwealth Edison Company and Northern Illinois Gas Company and their successors and assigns in, upon, across, over, under and though the areas shown by dashed lines and labeled Public Utilities and Drainage Easement, sidewalk & utility easement, landscape buffer easement and streets shown as "hereby dedicated" for the purpose of installing, constructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning and maintaining electrical cable, television, communication, gas, telephone or other utility lines or appurtenaces, sanitary and storm sewers, drainage ways, storm water detention and retention, water mains and any and all manholes, hydrants, pipes, connections, catch basins, buffalo boxes, and without limitation, such other installation as may be required to furnish public utility service to adjacent areas, and such appurtenances and additions thereto as said Village and utilities may deem necessary, together with the right of access across the real estate platted hereon for the necessary personnel and equipment to do any or all of the above work. The right is also hereby granted to said Village and utilities to cut down, trim or remove any trees, shrubs, or other plants that interfere with the operation of or access to said sewers or without limitation, utility installations in, on, upon, or across, under or through said easement. No permanent buildings shall be placed on said easement, but same may be used for gardens, trees, shrubs, landscaping, and other purposes that do not then or later interfere with the aforesaid uses and rights. Where any easement is used for storm sewers, sanitary sewers or any other utility installation, it shall be subject to the prior approval of said village so as not to interfere with other utility lines and drainage. After installation of said utility lines, the final surface of the easement shall be restored in a manner so as not to interfere with the proper operation and drainage thereof. Fences shall not be erected upon said easement except where specifically permitted by written authority of the Village of North Aurora

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communications service is hereby reserved for and granted to

Commonwealth Edision Company
and
Ameritech, Grantees,

Their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and sounds and signals in, over, under, across, along and upon the surface of the property shown with the dotted lines on the plat and marked "Public Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantees' facilities or in, upon or over the property with the dotted lines marked "easement" without the prior written consent of grantees. After installation of any such facilities the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

Relocation of facilities will be done by grantees at cost of grantor/lot owner, upon written request.

Surveyor's Certificate

State of Illinois)
County of DuPage) ss

I, Raymond G. Ulreich, Illinois Professional Land Surveyor No. 2674, hereby certify that I have surveyed, subdivided, and platted the following described property, consisting of 15.57 acres:

A parcel of land being part of Section 33, Township 39 North, Range 8 East of the Third Principal Meridian lying south of Mooseheart Road, Kane County, Illinois, further described as follows:

Beginning at the northwest corner of Lot 177 of Moose Lake Estates Unit 2, according to the plat thereof recorded on June 7, 2004 as document number 2004K073634 in Kane County, Illinois; thence South 03°11'40" West 416.90 feet to the southwest corner of Lot 181 in aforesaid Moose Lake Estates Unit 2; thence South 22°27'24" West 285.40 feet; thence South 02°39'55" West 117.59 feet; thence South 05°05'09" East 140.11 feet to the southwest corner of Lot 187 in aforesaid Moose Lake Estates Unit 2; thence South 07°41'21" East 351.90 feet to the southwest corner of Lot 191 in aforesaid Moose Lake Estates Unit 2; thence South 05°05'56" West 29.75 feet; thence South 89°55'46" West 194.74 feet to the northwest corner of Lot 201 in aforesaid Moose Lake Estates Unit 2; thence South 84°59'02" West 66.25 feet; thence South 89°55'46" West 171.00 feet to the southeast corner of Lot 110 in aforesaid Moose Lake Estates Unit 2; thence North 00°04'14" West 341.00 feet; thence North 33°03'29" West 76.22 feet to the northeast corner of Lot 114 in aforesaid Moose Lake Estates Unit 2; thence North 53°26'55" West 415.00 feet to the northwest corner of Lot 98 in Moose Lake Estates Unit 1, according to the plat thereof recorded on September 30, 2003 as document number 2003K180359 in Kane County, Illinois; thence North 36°33'05" East 402.80 feet along the easterly right of way of Sycamore Lane to the southwest corner of Lot 226 in aforesaid Moose Lake Estates Unit 1; thence South 53°26'55" East 182.00 feet to the southeast corner of Lot 226 in aforesaid Moose Lake Estates Unit 1; thence North 25°34'39" East 156.98 feet; thence North 03°11'40" East 336.52 feet to the northeast corner of Lot 230 in aforesaid Moose Lake Estates Unit 1; thence South 86°48'20" East along the south right-of-way line of Moose Lake Drive, 416.00 feet to the Point of Beginning.

As shown by the plat hereon drawn which is a correct and accurate representation of said survey and subdivision. Permanent monuments and iron pipes have been set in accordance with the Village of North Aurora Subdivision Ordinance and all distances are shown in feet and decimals thereof. I further certify that all regulations enacted by the Village Board of Trustees relative to plats and subdivisions have been complied with in the preparation of this plat and that the property covered by this plat is not located within a special flood hazard area as identified by the Federal Emergency Management Agency per map panel 17089C0329F dated Decemeber 12, 2002.

Monuments will be set in compliance with State of Illinois Standards.

Given under my hand and seal in Bartlett, Illinois, this ____ day of _____, A.D. 2021.

Illinois Professional Land Surveyor Number 2674



This plat submitted for recording by:



Memorandum

To: Village President and Village Board of Trustees

From: Steve Bosco, Village Administrator

Date: August 11, 2021

Re: 19 S. Lincolnway Property Update

As the Village Board is aware, the Village recently acquired 19. S Lincolnway for the purchase price of \$225,000. Staff conducted a walk through and determined the interior is in very poor condition. Staff mentioned at a previous board meeting that they were preparing to receive proposals to demolish the building. Before going out to solicit proposals for demolition, staff would like to know if the Board has any feedback regarding such. Staff has also ordered a pre-demolition asbestos test for the property to see if asbestos removal needs to be added to the proposal language should the Board want to pursue demolition.