

CORRECTED

Meeting Held Electronically



COMMITTEE OF THE WHOLE MEETING

Monday, March 15, 2021

(Immediately following the Village Board Meeting)

AGENDA

CALL TO ORDER

ROLL CALL

AUDIENCE COMMENTS

TRUSTEE COMMENTS

DISCUSSION

- Fairview Concept Review
- Petition 21-01: Opus I-88 Corporate Park
- Outdoor Dining
- Formal FY2021-22 Draft Budget

EXECUTIVE SESSION

ADJOURN

Initials: 

VILLAGE OF NORTH AURORA BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: FAIRVIEW DRIVE INDUSTRIAL DEVELOPMENT CONCEPT PLAN
AGENDA: MARCH 15, 2021 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

Conceptual development plans have been submitted to staff with a request for feedback from the Village Board. The plan includes two speculative industrial warehouse buildings on 26.5 acres of vacant land located directly to the west of the Tinseltown theatre property. The site would have access to the north utilizing Smoketree Plaza and Sullivan Road to the south via Fairview Drive. Fairview Drive appears to be obsolete Village right of way. Access to Smoketree would be achieved through the acquisition of a vacant 3.94 acre parcel of land currently owned by the owners of the Comfort Inn and Suites. Said parcel is located in the B-2 General Commercial District while the remainder of the subject parcels are located in the E-R Estate Rural Residence District.

The Comprehensive Plan notes the following with regard to the properties and general vicinity:

- The future land use designation for the properties is 'Office/Industrial'.
- The Commercial and Industrial Area Plan states: *This industrial area includes a large distribution facility and vacant land accessed by Smoketree Lane, Fairview Drive and Evergreen Drive. The Village should encourage key roadway improvements, landscape treatments, and signage. Potential roadway improvements include the extensions of Fairview Drive to Smoketree Lane, and Smoketree Lane west to provide access to additional industrial properties. Access to these areas should be encouraged from Evergreen Drive.*

Chapter 5 of the Zoning Ordinance states: *any non-residential or multiple-family parcel, or parcels of land two (2) acres or more in size is required to be a planned unit development.* As such, a special use for a planned unit development would be required. A map amendment to rezone the properties would also be required. The properties would most likely be rezoned to the O-R-I Office, Research and Light Industrial District where Warehousing, Storage, and Distribution Facility is classified as a permitted use. A public hearing before the Plan Commission would be required for the PUD special use and map amendment. Formal plat of subdivision submittal and site plan review would also be required.

Staff has concerns relative to the access to/from the site, specifically truck access. The speculative nature of the development does not include a specific end user, which does not allow for a more precise evaluation of the anticipated traffic impacts. The Village expended considerable tax increment financing resources for improvements to Smoketree Plaza. While the property is currently in the Route 31 TIF District, the properties are located south of I-88 where the Route 31 TIF District will be expiring in a few years. Smoketree Plaza was designed to accommodate the required geometrics for semi-truck traffic; however, the additional truck traffic could reduce its lifespan. A full traffic study would be required as part of the advancement of the development plans.

Staff would like to take this opportunity to solicit feedback from the Village Board.

February 23, 2021

Mike Toth
Community and Economic Development Director
Village of North Aurora
25 E. State Street
North Aurora, IL. 60542

Re: Redevelopment & Rezoning of +/- 26 Acres, Located on Fairview Drive between Smoketree Plaza and Sullivan Road, North Aurora, IL.

Dear Conceptual Plan Review Committee of North Aurora,

Ridgeline Property Group (RPG) is thrilled to present this exciting development opportunity to construct two state-of-the-art, Class A, industrial buildings, totaling 406,960 SF, on Fairview Drive between Smoketree Plaza and Sullivan Road in the Village of North Aurora. RPG is in the final stages of completing the Purchase and Sale Agreements with both Sellers and anticipates being under contract by the time we have the meeting with the Conceptual Plan Review Committee on March 15, 2021.

The property that Ridgeline plans to redevelop is located on Fairview Drive and the size is approximately 26.5 acres. It is inclusive of the vacant 4-acre piece owned by the hotel operator of the Comfort Inn and Suites and the 22-acre piece that Fairview Drive leads into. Please see site plan below.



Based on conversations with Mr. Toth, it is RPG's understanding that the site has been under contract by multiple industrial developers; however, there is reluctance from the Village to have trucks come onto Sullivan Road. With the purchase and assemblage of the 4-acre piece controlled by the hotel operator, trucks can now use Smoketree Plaza for ingress/egress access to the site. Below is a diagram showing how trucks and cars will access the site from I-88. The blue line represents both truck and car access on Smoketree Plaza, while the orange line represents only car access on Fairview Drive.

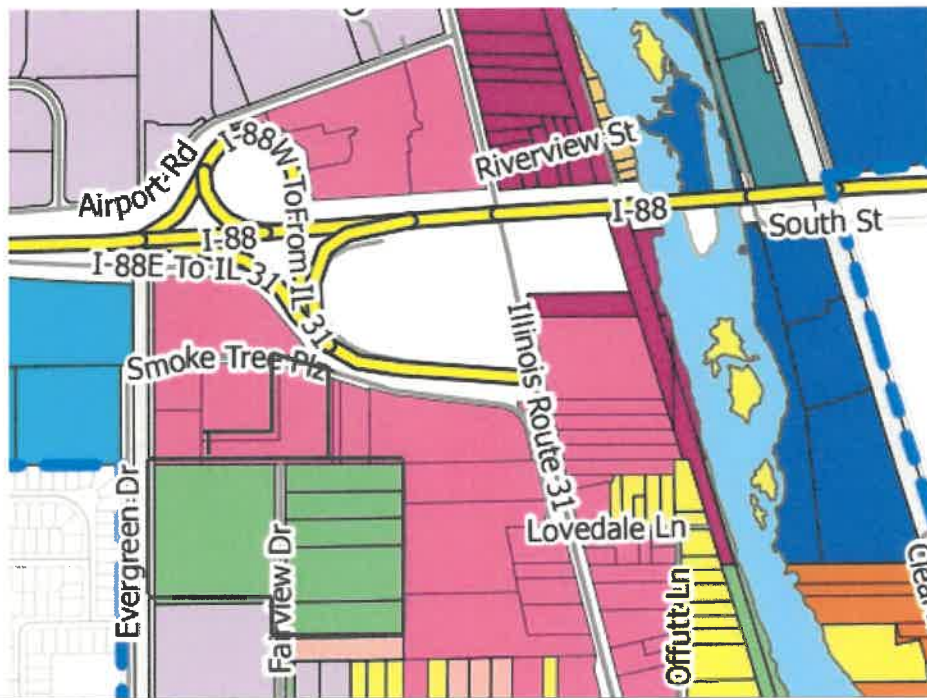


CURRENT ZONING

The assemblage of the proposed development has two different zoning designations. The north, 4-acre piece is zoned B-2 General Business District, and the south 22-acre piece is zoned E-R Estate Rural District. After discussions with Mike Toth, RPG learned that the 22-acre piece is designated as a Planned Unit Development (PUD). The objectives during the entitlement phase with North Aurora are to:

- 1.) Get the site rezoned to ORI, Office Research Industrial District,
- 2.) Get the site re-platted, and
- 3.) Obtain Village approval for the proposed development to construct two Class A industrial buildings.

Please see zoning map below:



Legend

CURRENT BOUNDARY
 FOX RIVER
 INTERSTATE 88
 KANE COUNTY FOREST PRESERVE

R-2 SINGLE FAMILY RESIDENCE DISTRICT
 R-2A TWO FAMILY RESIDENCE DISTRICT
 R-3 GENERAL RESIDENCE DISTRICT
 R-4 GENERAL RESIDENCE DISTRICT
 B-2 GENERAL BUSINESS DISTRICT
 B-3 CENTRAL BUSINESS DISTRICT
 B-2/R-4 MIXED USE PLANNED UNIT DEVELOPMENT
 O-R OFFICE RESEARCH DISTRICT
 ORI OFFICE RESEARCH INDUSTRIAL DISTRICT

I-1 LIMITED INDUSTRIAL DISTRICT
 I-2 GENERAL INDUSTRIAL DISTRICT
 I-3 CENTRAL INDUSTRIAL DISTRICT
 E-3 ESTATE STANDARD DISTRICT
 E-R ESTATE RURAL DISTRICT
 UNINCORPORATED
 NICOR GAS
 BNSF RR

Zoning

R-1 SINGLE FAMILY RESIDENCE DISTRICT
 R-1A SINGLE FAMILY RESIDENCE DISTRICT

For the purpose of our meeting, RPG would like to get preliminary feedback on the development concept and the probability of getting the site rezoned, so the proposed development conforms with the correct zoning use.

PROJECT DESIGN AND SITE PLAN

RPG designed the 26-acre industrial development to accommodate the site's surroundings and slope, while maximizing its lease-ability to a variety of users. The two-building design is planned to attract both smaller users, ranging between 30,000 and 60,000 SF in Building B, and larger, distribution users that will be closer to 125,000 SF in Building A. Below is a breakdown of the two-building design, highlighting key specs of the project:

| | Bldg. Type | Size (SF) | Office SF @ 7% | Clear Height | Dock Doors | Parking Stalls | Trailer Stalls |
|---------|------------------|-----------|-------------------|-----------------|---------------|-------------------|-------------------|
| Bldg. A | Rear Single Load | 258,750 | 18,112 | 36' | 34 | 244 | 33 |
| Bldg. B | Rear Single Load | 148,200 | 10,374 | 32' | 24 | 203 | 0 |
| TOTAL | | 406,950 | 28,486 | | 58 | 447 | 33 |

RPG believes the location of the development will receive major attention from smaller users who have greater office needs, wants to be closer to an abundance of amenities and have quick access to S. Lincolnway Street and I-88. Additionally, because of the proximity to I-88 and dense housing population, the location is an exceptional, last-mile delivery station for distribution companies that Building 1 can facilitate with its additional trailer parking and dock positions.

Typically, developers underwrite 3-5% office space for industrial developments, but RPG believes the

property will have a greater amount of office use and so underwrote the project with 7% office space, equating to 28,486 SF for the entire 406,950 SF project. Another key feature for the development is the number of car parks provided for the development. RPG is providing 447 car parks, which equates to an above parking ratio of 1.1/1,000. Types of users we believe that will fill these buildings include eCommerce, tech and biotech related companies, and potentially light manufacturing.

The development plan also includes elegant landscaping to shield the proposed truck court from Smoketree Plaza and the Comfort Inn Suites. Please see a concept image below:



PROJECTED JOBS

At 100% occupancy, Ridgeline Property Group projects a total job count of 425 jobs. There are two different formulas applied to derive this calculation. To calculate office space, RPG is assuming 1 person for every 200 SF and to calculate industrial space, RPG is assuming 0.75 people for every 1,000 SF of industrial space (0.75/1,000 SF). RPG is applying 7% factor for total office space in each building.

Building #1 Size: 258,750 SF

Office Space: 18,112 SF

Industrial Space: 240,638 SF

Building # 2 Size: 148,200 SF

Office Space: 10,374 SF

Industrial Space: 137,826 SF

Total Project Size: 406,950 SF

Total Office Space: 28,486 SF

Total Industrial Space: 378,464 SF

| Employee Formula | Office 1/200 SF | Industrial .75/1,000 SF | Total |
|-------------------------|----------------------------|------------------------------------|--------------|
| Bldg. 1 # of Jobs | 90 | 180 | 270 |
| Bldg. 2 # of Jobs | 52 | 103 | 155 |
| Total # of Jobs | 142 | 283 | 425 |

*Number of jobs represents an estimate based on similar properties and may be subject to change.

CURRENT USE

To RPG's knowledge, the land is vacant and not currently being used at this time.

RIDGELINE PROPERTY GROUP

Ridgeline Property Group (RPG) is a privately held, commercial real estate development firm headquartered in Atlanta, Georgia with regional offices in Chicago, Washington D.C./Baltimore, Dallas, Houston, and Northern California. RPG's regional partners have more than 125 years of combined experience in the commercial real estate industry and have developed more than 130 million SF of industrial product in 30 states. Presently, the company has more than 9 million square feet of active development projects underway, totaling \$400 Million in total consideration across 12 markets in the US.

RPG serves as a capital deployment vehicle and a third-party operator for investors and users who are focused on investment grade development and acquisition opportunities. Through its strategic relationships with both private and institutional debt and equity, the firm focuses on speculative and build-to-suit developments, "value-add" acquisitions, as well as third party asset and development management opportunities.

RPG has been developing in Chicago for over 10 years and has completed successful developments such as the "Chariot Logistics Center" in Melrose Park and "Channahon Business Center" in Channahon among other developments.

CONCLUSION

Ridgeline Property Group truly appreciates the Village's time and consideration for this exciting development. With the partnership and guidance from the Village of North Aurora, RPG is convinced that we can build a development that will be beneficial not only to businesses within the marketplace but also to the community.

For more information, please see the development package attached. Following items in the package include:

- 1.) Site Plan with Elevations
- 2.) Labor Calculations
- 3.) Tenants in the marketplace

Sincerely,



Ben Harris
Vice President

cc: Greg Thurman
CEO

Mike Gray
COO



North Aurora Industrial Development

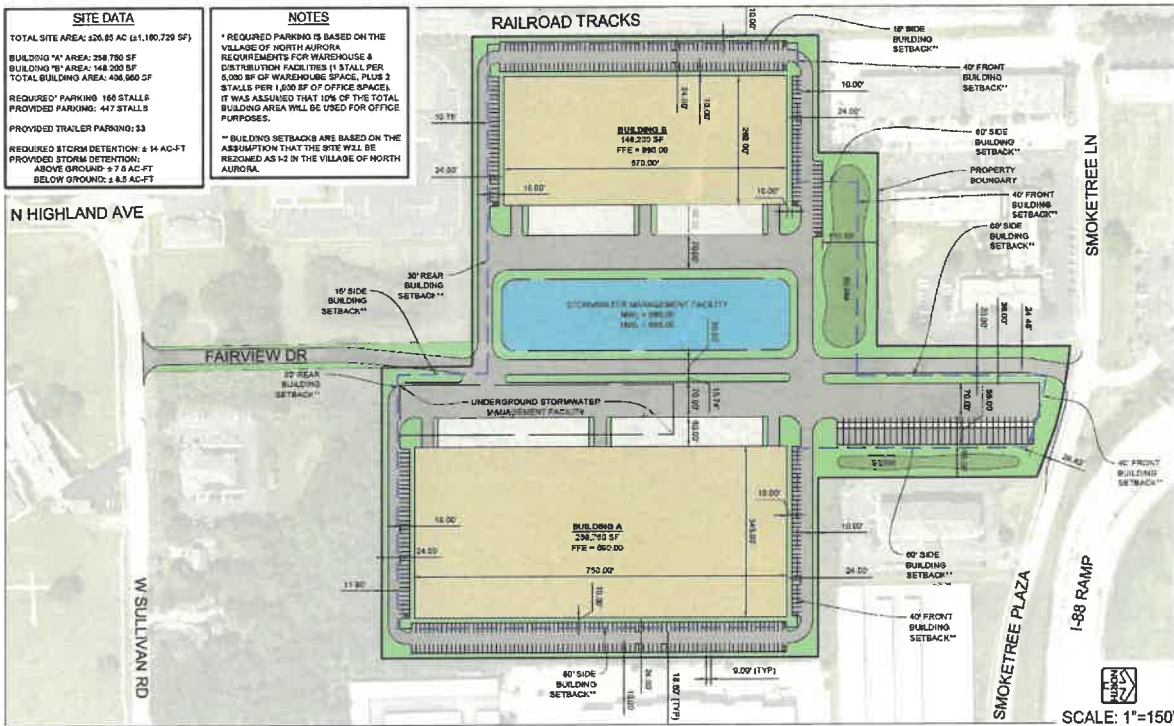
Fairview Avenue, North Aurora
Ridgeline Property Group

Table of Contents



- 1.) Site Plan
- 2.) Rendering and Elevations
- 3.) Cross-Sectional View of Berm Wall
- 4.) Projected Jobs
- 5.) Industrial Economic Ecosystem
- 6.) Tenant Demand

Site Plan



PROJECT SPECS:

Building A:

- Size: 258,750 SF
- Clear Height: 36'
- Car Parks: 244 Stalls
- Parking Ratio: .93/1,000
- Trailer Parking: 33 Stalls

Building B:

- Size: 148,200 SF
- Clear Height: 32'
- Car Parks: 203
- Parking Ratio: 1.37/1,000
- Trailer Parking: 0 Stalls

Total Project:

- Size: 406,950 SF
- Car Parks: 447 Stalls
- Required Parking: 156 Stalls
- Trailer Parking: 33 Stalls



Rendering



Elevations



3D - Rendering



Aerial View of Berm Wall and Trailer Court



Cross-Sectional Rendering of Berm Wall



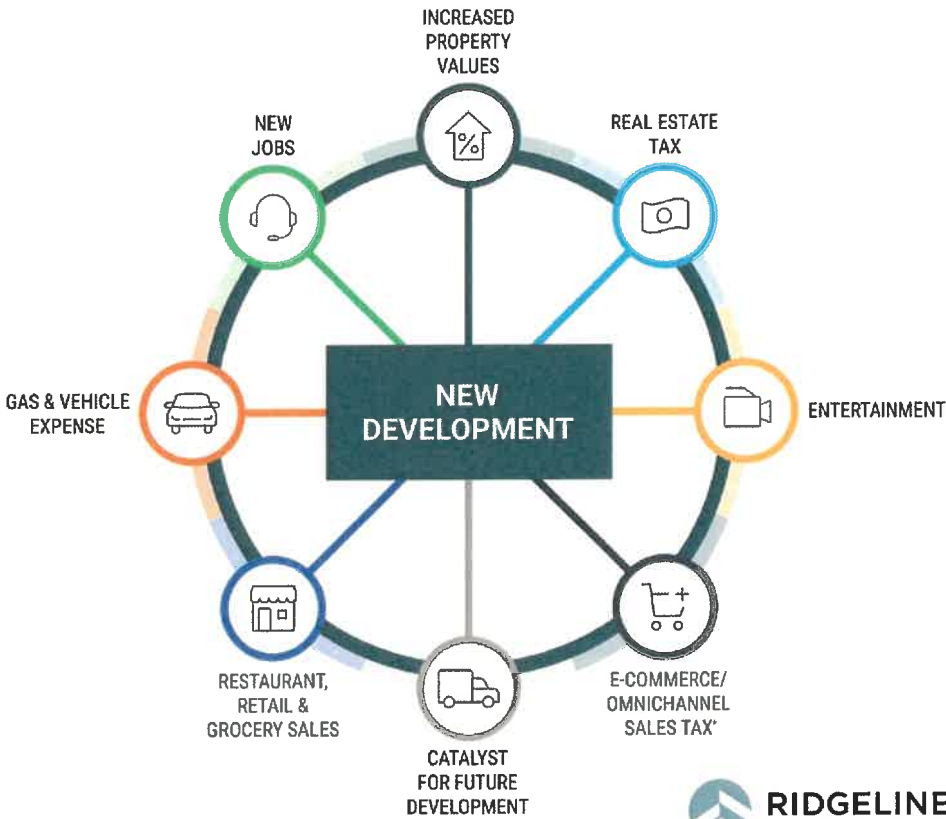
Labor Calculations

- **Project Size:**
- 406,950 SF
- **Office Space:**
- 28,486 SF @ 7% Office

| Employee Formula | Office 1/300 SF | Industrial .75/1,000 SF | Total |
|---|----------------------|----------------------------|--------------|
| # of Jobs:* | 142 | 283 | 425 |
| Office: | \$70,000 - \$100,000 | | \$12,070,000 |
| Warehouse Wages: | | \$15/hour | \$8,829,600 |
| Manufacturing: | \$70,000 - \$80,000 | | \$21,225,000 |
| Total Projected Warehouse Yearly Wages: | | | \$20,899,600 |
| Total Projected Manufacturing Wages: | | | \$33,295,000 |

* Number of jobs represents an estimate based on similar projects and may be subject to change.

Industrial Economic Ecosystem








Types of Tenants for Fairview Ave, North Aurora

- Ridgeline Property Group (RPG) has evaluated historical, current and future data to infer the types of tenants, who will occupy Fairview Ave, North Aurora
- After evaluating the market, RPG has a strong conviction for the following types of companies:
 - eCommerce – Logistical Distribution for a wide array of goods and products for both B2C and B2B
 - Warehousing and Distribution for home & office interior solutions
 - Light Manufacturing for various high-tech industries in aeronautics, robotics and metal components
 - Warehousing and Distribution for consumer goods (beauty supplies, pet supplies, etc.)
 - Light Manufacturing and Distribution for health science related companies (pharmaceutical and biotechnology)

Tenants in the Marketplace

| # | Tenant | Size | Industry | Desired Location |
|---|---|----------------------|--|--------------------------------|
| 1 |  | 225,000 – 250,000 SF | Warehousing and Distribution - Outdoor Furniture | I-88 Corridor / Fox Valley |
| 2 |  | 200,000 – 225,000 SF | Light Manufacturer and Distribution - Agriculture Manufacturer | I-88 Corridor |
| 3 |  | 150,000 – 200,000 SF | Warehousing and Distribution - Auto parts | I-88 Corridor / I-55 Corridor |
| 4 |  | 125,000 – 150,000 SF | Warehousing and Distribution - Healthcare Products | I-88 Corridor & Central DuPage |
| 5 |  | 125,000 – 150,000 SF | Packaging for liquid products (detergents and soaps) | I-88 Corridor |

Tenants in the Marketplace

| # | Tenant | Size | Industry Type | Desired Location |
|----|---|---------------------|--|------------------|
| 6 |  Control Solutions Inc. <small>A member of the AFPM Group</small> | 80,000 – 100,000 SF | Manufacturer of Control Devices for Sensory Motion Vehicles & Self Defense | I-88 Corridor |
| 7 |  tmax <small>(Understanding Temperature.)</small> | 70,000 – 80,000 SF | Manufacturer of Thermal & Acoustic Insulation Systems | I-88 Corridor |
| 8 |  Wozniak Industries, Inc. | 70,000 – 80,000 SF | Light Manufacturer for Metal Solutions | I-88 Corridor |
| 9 |  MAGNET-SCHULTZ OF AMERICA <small>SPECIALISTS IN ELECTROMAGNETIC DEVICES</small> | 60,000 – 80,000 SF | Light Manufacturing – Soap & Cleaning | I-88 Corridor |
| 10 |  turbo air <small>REFRIGERATION SYSTEM</small> | 60,000 – 80,000 SF | Manufacturer and Distributor of Kitchen Cleaning Products | I-88 Corridor |

Lease Expirations (2022 – 2023) Top 25 Prospects

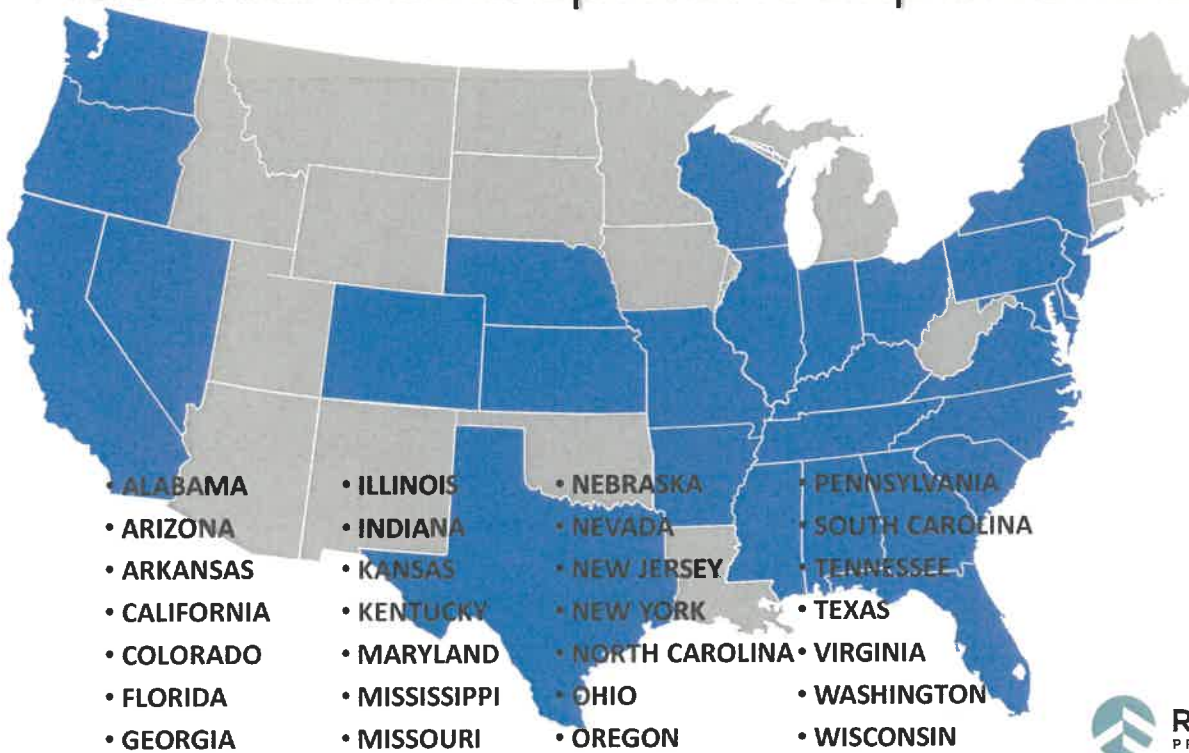
| # | Municipality | Tenant | SF | Lease Expiration Date |
|----|---------------|-----------------------------------|---------|--------------------------|
| 1 | Aurora | RR Donnelley | 251,832 | 4/30/2022 |
| 2 | Aurora | XPO Logistics | 247,360 | 9/15/2022 |
| 3 | Batavia | Diamond Star | 236,460 | 5/21/2023 |
| 4 | Aurora | Optimum Nutrition | 212,485 | 2/14/2022 |
| 5 | Batavia | Safety Supply Illinois | 192,637 | 3/31/2023 |
| 6 | Montgomery | TSA Processing | 170,000 | 6/1/2023 |
| 7 | Aurora | Casio | 147,625 | 5/31/2022 |
| 8 | Aurora | Berry Global, Inc. | 147,115 | 9/30/2023 |
| 9 | Aurora | Financial Graphic Services, Inc. | 132,912 | 8/30/2023 |
| 10 | North Aurora | CHEP USA, Inc. | 124,205 | 4/30/2022 |
| 11 | West Chicago | Uptime Parts | 114,785 | 3/31/2022 |
| 12 | Saint Charles | Honeywell International, Inc. | 111,360 | 11/30/2022 |
| 13 | Batavia | WEDI Corporation | 110,816 | 5/31/2022 |
| 14 | Batavia | PDS Transportation Services, Inc. | 107,800 | 5/31/2023 |
| 15 | West Chicago | Diversi-Pak Solutions | 106,461 | 4/1/2022 |
| 16 | Aurora | iGPS Logistics, LLC | 83,782 | 2/28/2023 |
| 17 | Aurora | The Carlson Group | 83,767 | 4/30/2023 |
| 18 | Batavia | Pella Corporation | 83,250 | 4/30/2023 |
| 19 | Aurora | Hubbell Lighting, Inc. | 82,933 | 3/31/2023 |
| 20 | Aurora | Center North America | 62,662 | 10/31/2022 |
| 21 | Batavia | Focus Logistics | 62,134 | 6/30/2023 |
| 22 | Aurora | Custom Filter | 60,000 | 9/30/2022 |
| 23 | Aurora | Fellowe, Inc. | 58,240 | 8/31/2022 |
| 24 | Aurora | Eby Brown | 55,949 | 6/14/2022 |
| 25 | Aurora | Varvit USA, LLC | 55,161 | 6/30/2022 |



Ridgeline Property Group

- Privately held, National, Industrial Development & Investment Firm
- 125 years of combined real estate experience
- Developed over 130M SF of Industrial Product
- Active in 12 Market across the US
- \$400 Million of Total Consideration under development
- Six (6) Regional Offices
 - Atlanta
 - Washington D.C. / Baltimore
 - Chicago
 - Dallas
 - Houston
 - Northern California

National Development Experience



Recent RPG Customers



Ridgeline Property Group – *Experienced RE Team*



Greg Thurman

Chief Executive Officer
30 Years



Michael K. Gray

President & Chief Operating Officer
25 Years



Mark Erler

Sr. Vice President – National Development
21 Years



Ben Harris

Vice President of Development, Chicago
14 Years



Why Ridgeline?

- Proven Development Partner
- Values Long Term Relationships
- Complete Transparency
- Ownership Mentality
- 100% Industrial Development
- National Coverage with Local Knowledge
- Solution Oriented Approach to Development



VILLAGE OF NORTH AURORA BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
CC: STEVE BOSCO, VILLAGE ADMINISTRATOR
FROM: MIKE TOTH, COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR
SUBJECT: PETITION 21-01: OPUS I-88 CORPORATE PARK
AGENDA: MARCH 15, 2021 COMMITTEE OF THE WHOLE MEETING

DISCUSSION

OPUS Development Company, LLC is proposing a 1,056,811 square foot two-phased, three-building speculative industrial development on the 67.15 acres that comprise the Valley Green Golf Course site and the vacant land located to the west of (and currently owned by) Euclid Beverage on Overland Drive. The developers are labeling the project the 'Opus I-88 Corporate Park.'

The Village Board discussed the item at the February 1, 2021 Committee of the Whole meeting. The Village Board was supportive of the development, but did voice their concerns over potential impacts on the residential properties to the north. The Village Board added three conditions of approval, which addressed the sidewalk gap on Overland Drive, landscape buffering and hours of operation.

The Village Board discussed the petition again on March 1, 2021. At that time, staff solicited feedback from the Village Board on the draft PUD ordinance. The petitioner presented the updated landscape plans and requested the removal of two conditions of approval that addressed on-site operations. The petitioner requested that the conditions be removed as they could create issues when trying to sign a lease with a future tenant. After discussing the landscaping plans, the Village Board requested the modification of the plans to include additional evergreen trees along the northern portion of the property to assist with buffering efforts. The Board seemed comfortable removing the conditions, as requested, as the Zoning Ordinance has provisions addressing noise and odor emissions and the additional landscaping would help reduce potential light emissions.

The petitioner is now seeking concurrence from the Village Board relative to the updated landscape plans. Staff has reviewed the landscape plans and believes the petitioner has adequately addressed the Board's concerns by 'layering' the tree lines to create one contiguous line of evergreen trees to help screen the development to the north. The landscaping included on the plans for Buildings A & B would be installed prior to occupancy of those buildings while the landscaping for Building C would include the existing trees shown on the plan and the installation of several evergreens, which are highlighted in green on the plan. The final landscaping plan for Building C would be included on the final site plan, which is required for future review and consideration by the Plan Commission and Village Board.

The petitioner is also requesting that an amendment to the building code, as it relates to exit access travel distance, be included in the PUD ordinance. Exit access can be described as the minimum distance at any given point in the building to an exit door leading to the exterior of the building. The Village currently enforces the 2009 International Building Code, which requires a maximum exit travel distance for an S-1 Occupancy to 250 feet in a fully sprinklered building. The 2015 International Building Code has added an increase option for S-1 Occupancies to allow a maximum exit access travel distance to 400 feet, provided the following conditions are met:

- (1) The building is limited to one story in height.
- (2) The minimum building height from the finished floor to the bottom of the roof deck is 24 feet.
- (3) The building is equipped throughout with an automatic sprinkler system.

Staff is comfortable with the proposed amendment as the building would be required to meet the three criterion. Additionally, staff will most likely be proposing that the Village move to a later building code series, such as the 2015 series, in the near future.



**VILLAGE OF NORTH AURORA
KANE COUNTY, ILLINOIS**

Ordinance No. _____

**APPROVING A MAP AMENDMENT AND SPECIAL USE AS AN
INDUSTRIAL PLANNED DEVELOPMENT FOR 67 ACRES OF
PROPERTY TO BE KNOWN AS THE OPUS I-88 CORPORATE PARK
IN THE VILLAGE OF NORTH AURORA**

**Adopted by the
Board of Trustees and President
of the Village of North Aurora
this ____ day of _____, 2021**

**Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of North Aurora, Kane County, Illinois,
this ____ day of _____, 2021
by _____.**

Signed _____

ORDINANCE NO. _____

**APPROVING A MAP AMENDMENT AND SPECIAL USE AS AN
INDUSTRIAL PLANNED DEVELOPMENT FOR 67 ACRES OF
PROPERTY TO BE KNOWN AS THE OPUS I-88 CORPORATE PARK
IN THE VILLAGE OF NORTH AURORA**

WHEREAS, a petition for a Special Use as a Planned Development for certain real estate described herein (the “Petition”) has been filed with the Village of North Aurora, an Illinois municipal corporation (“Village”) by Opus Development Company, L.L.C., (“Developer”) with the consent of the owners Just Golf, Inc. and (“JG”) and Summit Enterprises, LLC (“Summit”) (together JG and Summit are the “Owners”) for the real estate describer below; and

WHEREAS, the parcels of land known as the Valley Green Golf Course located at 314 Kingswood Drive and legally described in the document attached hereto and incorporated herein as Exhibit A (“Valley Green Parcels”) and the vacant property located north of Overland Drive and legally described in the document attached hereto and incorporated herein as Exhibit B (“Summit parcels”) (which properties in the aggregate are the “Subject Property”) are currently, zoned R-1 Single Family Residential and O-R-I Office Research and Light Industrial District respectively; and

WHEREAS, the North Aurora Plan Commission (“Plan Commission”) has held public hearings on the Petition for Map Amendment for the Valley Green Property and Petition for a Special Use – Planned Unit Development for both properties as a unified three-building warehousing, storage and distribution development to be known as the Opus I-88 Corporate park and site plan review in accordance with State and local laws, including the notice requirements for the public hearings; and

WHEREAS, the North Aurora Village Board (“Village Board”) has received and reviewed the favorable recommendation of the Plan Commission with certain conditions in keeping with all the factors required to be considered for map amendments and special use/PUDs and has determined that granting the map amendment and special use/PUD requests is warranted and in the best interests of the Village.

NOW, THEREFORE, be it ordained by the President and Trustee of the Village of North Aurora, Kane County, Illinois, as follows:

SECTION 1: MAP AMENDMENT

That the Village of North Aurora Zoning Ordinance (the “Zoning Ordinance”) as amended from time to time, and as set forth in the Zoning District Map as described therein and on file in the office of the Village Clerk, is hereby amended by granting for the Valley Green Parcels the following the zoning classification of O-R-I Office Research and Light Industrial District.

SECTION 2: DEVELOPMENT OF SUBJECT REALTY

Development of the Subject Realty shall be in conformity with all applicable ordinances of the Village as now in effect, including the provisions for O-R-I Office Research and Light Industrial District zoning, except as otherwise provided or specifically varied herein and in accordance with the additional procedures, definitions, uses, and restrictions contained herein.

A. ZONING AND LAND USE REQUIREMENTS

Except to the extent of the express and specific deviations contained in this Ordinance and the attachments hereto, the Subject Property shall be developed in compliance with the setbacks; yards distance requirements, parking spaces, and other terms and conditions of the O-R-I Office Research and Light Industrial District and other applicable zoning, subdivision, building and other provisions of the North Aurora Code as the same exists on the effective date hereof.

(1) Deviations. The following deviations and exceptions to O-R-I Office Research and Light Industrial zoning, the generally applicable provisions of the North Aurora Zoning Code, and the Subdivision Control Code are hereby approved:

(a) The Developer shall plant and maintain a minimum of 528 trees, being at least one tree per 1,000 square feet of available site area;

(b) The minimum lot width of 150 feet at the minimum horizontal distance between the side lot lines of Lot 2 as measured at the required front yard setback line, is hereby reduced to 70 feet;

(c) The loading spaces for the buildings on Lot 2 and Lot 3 are hereby allowed to be oriented toward the adjacent streets and properties;

(d) The requirement that buildings have frontage on a public road is hereby waived;

(e) The requirement that sanitary sewers to be extended to the property lines of the tract under development, sized to provide sanitary service to the limit of the projected service area, is hereby waived as all surrounding properties are development except one, and sanitary sewer is already available to that undeveloped property; and

(f) All other provisions of this Ordinance that deviate from the O-R-I Office Research and Light Industrial zoning, the generally applicable provisions of the North Aurora Zoning Code, and the Subdivision Control Code are hereby approved to the extent of the deviation identified herein.

(2) Conditions. The following conditions of the special use/PUD are hereby imposed:

(a) Site plan review (non-public hearing) shall be obtained from the Plan Commission and Village Board prior to building permit issuance for Building C;

(b) A separate building permit shall be required for each guardhouse so the Village may work with the petitioner to validate the optimal location of each guardhouse in order to avoid any potential impact on site circulation;

(c) All business activities shall be conducted completely within the confines of the buildings;

(d) A photometric plan shall be submitted and approved by the Village prior to building permit issuance;

(e) Any tree of good quality larger than six inches (6") in diameter when measured twelve (12) inches above the ground, which are not located within fifteen (15) feet of or within a building footprint, within the road footprint or in those areas listed Section 16.12.010.C.3.a of the Subdivision Ordinance, shall be tagged by the petitioner and evaluated by the Village for preservation;

(f) The hedge of trees and shrubs currently located along the north property line of the Valley Green Parcel shall be preserved to the greatest extent possible to maintain natural landscape buffering;

(g) Vehicular access, including construction traffic, shall be limited to Overland Drive with restricted, emergency access only at Willow Way;

(h) All motor vehicles, including trucks, shall be prohibited from parking or idling in any area designated as a truck or car bypass lane;

~~(i) All on-site trucking activities shall be effectively monitored and regulated to minimize any light, sound and odor emissions;~~

(j) Construction traffic and activities shall be conducted at all times so as not to impede access to Village and Fire Protection District emergency services;

(k) All dumpsters located on the Subject Property shall be screened per Section 14.11.A of the Zoning Ordinance;

(l) Any rooftop heating, ventilation, or air conditioning equipment visible from any adjacent property or right of way shall be screened by an

architectural element and located at least six feet (6') from any supporting wall of the building to allow safe access to the roof by the Fire Department;

(m) Site plan approval shall be required by the Plan Commission and Village Board prior to the issuance of a fence permit;

(n) Any dead landscaping shall be removed and replaced in a timely manner with a species of replacement tree or shrub, as the case may be, included on the approved landscaping plan;

~~(o) — A public sidewalk shall be added along Overland Drive, connecting to the sidewalks to the east and west;~~

~~(p) — Additional evergreen trees shall be added to the northern boundary of the Valley Green Parcel to provide additional year round screening; and~~

~~(q) — The petitioner shall limit the hours of operation on site to minimize the impact of the business operations on adjacent properties and cooperate with Village staff to address neighboring property concerns.—~~

B. SITE PLAN, PLAT OF SUBDIVISION, ELEVATIONS, AND LANDSCAPE PLANS

The Preliminary Plan and Landscape Plan for the Subject Realty, and other supporting and explanatory development documents are attached hereto, marked as Exhibits as hereinafter shown, and are incorporated herein. Such Exhibits have been reviewed by the Plan Commission and are hereby approved by the Village Board.

(1) The Preliminary Site Plan for the Subject Realty prepared by _____ dated _____ is attached hereto and incorporated herein as Exhibit C ("Preliminary Site Plan").

(2) The Valley Green Preliminary Plat of Subdivision for the Subject Realty prepared by _____ dated _____ is attached hereto and incorporated herein as Exhibit D, dividing the Subject Property into Lot 1, Lot 2 and Lot 3 ("Preliminary Plat");

(2) The elevations for the Subject Realty prepared by _____ dated _____ is attached hereto and incorporated herein Exhibit E ("Elevations").

(3) The Preliminary Landscaping Plan for the Subject Realty prepared by _____ dated _____ is attached hereto and incorporated herein Exhibit F ("Preliminary Landscape Plan")

C. PRELIMINARY ENGINEERING PLANS

The Preliminary Engineering Site Improvement Plans for the Subject Realty prepared by _____ and dated _____ is attached hereto and incorporated herein as Exhibit G (“Preliminary Engineering Plans”) and is incorporated herein. All engineering plans are subject to final approval by the Village Engineer and the Village Board.

D. DEVELOPMENT PLANS

Exhibits C through G inclusive, are sometimes referred to collectively herein as the “Development Plans”. The Development Plans are approved by the Village in their entirety and any provisions or requirement contained in any ordinance, regulation, directive or procedure of the Village exclusive of this Ordinance or in conflict with any aspect or element of the development shall be deemed varied hereby so as to conform with and permit the development, use, maintenance and operation of the development described herein. In all other respects, and to the extent they do not conflict with the Development Plans or any provision of this Ordinance, the Zoning Ordinance and other ordinances of the Village, as the same exists and the effective date hereof shall apply to, and be complied with, in the development, use, maintenance and operation of the development of the Subject Realty.

E. SANITARY AND WATER MAIN EXTENSIONS

Sanitary sewer and water main extensions shall be constructed in accordance with the approved Preliminary Engineering Plan.

SECTION 3: FINAL PLAT

A. FINAL PLAT APPROVAL

Developer shall be entitled to approval of a final plat of subdivision and final engineering plans for the Subject Realty so long as such final plat, final engineering plans and other submissions substantially conform to Development Plans herein approved. The Community and Economic Development Director has the authority to approve any final plans that are substantial conformance with the Development plans as confirmed by the Village Engineer for technical provisions. The final platting and development of the Subject Realty may be done in Phases.

Developer hereby releases and discharges the Village, its officers, other officials, agents and employees, past, present and future, from any liability, losses, judgments, costs, fees, including reasonable attorney’s fees, and expenses arising out of or in connection with the Village’s good faith failure to approve final plans within the time limits hereafter provided. Without limiting the foregoing release, however, Developer does not relinquish its rights to receive approval of such final plans, including a final plat of subdivision and final engineering plans, and to such extent

Developer retains the right to legal or equitable action against the Village for declaratory judgment, injunctive relief and mandamus with respect thereto.

The Village shall approve or disapprove the final Development Plans as provided in this Ordinance. Changes to the Development Plans shall approved as provided in Section 4 of this Ordinance, and the Developer shall cooperate with the Community and Economic Development Director and Village Engineer in the creation of an Engineer's Estimate Opinion of Probable Cost in keeping with the approved Development Plans.

B. FINAL PLAT REQUIREMENTS

The final plat and final engineering plans shall be prepared and submitted in accordance with the Village's Subdivision Regulations, except as specifically amended or otherwise provided herein.

C. SITE PLAN APPROVAL ON LOT 3

The site plan for Building C on Lot 3 shall be prepared and submitted for approval the Plan Commission for its recommendation, and then to the Village Board for final approval when the Developer applies for site plan approval for Building C on Lot 3.

SECTION 4: CHANGES TO THE PLANNED UNIT DEVELOPMENT

The Subject Realty shall be developed in compliance with this Ordinance. Technical and minor changes may be approved by the Community and Economic Development Director with the advice and recommendation of the Village Engineer and/or Fire Chief of the North Aurora and Countryside Fire Protection District as appropriate. Technical changes shall include any change to the engineering plans and specifications, and any change to the building plans, which is determined by the Community and Economic Development Director, or Building Inspector, as the case may be (i) in substantial compliance with the Preliminary Development Plans as approved by the Village Board; (ii) in compliance with the Village ordinances, except as specifically varied herein; and (iii) in compliance with good engineering practice. Such technical and minor changes may be approved by the Community and Economic Development Director, or Building Inspector, as the case may be without Board approval. Any other changes that are not of a technical or minor nature must be approved in accordance with the procedures and provisions set forth in Chapter 5 of the North Aurora Zoning Ordinance.

SECTION 5: ON-SITE EASEMENTS AND IMPROVEMENTS

A. GRANT OF EASEMENTS

At the time of recordation of the final plat for the Subject Realty, Developer shall grant to the Village, at no cost to the Village, on-site easements necessary for the provision of public

improvements, including but not limited to easements for sanitary sewer, water main, electric utility, storm sewer, storm water detention and retention, and drainage facilities of sufficient capacity and elevation to provide free flowing and unobstructed outfall of storm water from areas tributary to the Subject Realty, as depicted on the Development Plans or as required by the Village Ordinance. Except for such time to effectuate the reconnection of any public utility system, there shall be no disruption or discontinuation of the operation of any public utility system, or storm or surface water drainage system by virtue of establishing new easements and vacation of any of existing easements.

B. ABROGATION OF UNUSED EASEMENTS

Subject to the requirements of this Section and at the time of recordation of the final plat for the Subject Realty, the Village shall vacate or fully cooperate with Developer in causing the vacation of any easements currently located upon portions of the Subject Realty that are no longer of use or required by the Village, if any (“Vacated Easements”). During the development of the Subject Realty, if Developer determines that any other existing utility easements and/or lines require relocation to facilitate development of the Subject Realty in accordance with the applicable approved plans, the Village shall fully cooperate with the Developer in causing the vacation and relocation of such additional existing easements. If any easement granted to the Village as a part of the development of the Subject Realty is subsequently determined to be in error or located in a manner inconsistent with the intended development of the Subject Realty as reflected on any of the approved plans or in this Ordinance, the Village shall fully cooperate with Developer in vacating and relocating such easement and utility facilities located therein, which costs shall be borne by the Developer having responsibility therefor. Notwithstanding the foregoing, and as a condition precedent to any vacation of any easement, the responsible Developer shall pay for the cost of design and relocation of any such easement and the public utilities located therein.

SECTION 6: GUARANTY FOR PUBLIC IMPROVEMENTS

After approval of the final plat and prior to signature by the President, Developer shall present a corporate surety bond or letter of credit to guarantee completion of water distribution lines, sanitary sewer lines, storm water sewer lines, detention and retention facilities, and other applicable subdivision improvements identified in the Development Plans to be dedicated to the Village or other governmental body (“Public Improvements”) for the development so platted as required by this Ordinance (guaranteeing completion and payment of the Public Improvements), herein sometimes collectively referred to as the “Guarantee for Completion”, naming the Village as beneficiary or obligee, as required and in keeping with the Village Code requirements.

SECTION 7: BUILDING CODE AND SUBDIVISION CONTROL ORDINANCE

Developer shall comply in all respects with the generally applicable provisions of Village of North Aurora Subdivision provisions, Building Code provisions, and other provisions of the

North Aurora Municipal pertaining to the development and construction, except as amended by the provisions of this Ordinance, including the following:

A. Per Section 1017 of the 2015 International Building Code, the developer shall have the ability to increase the exit access travel distance to 400 feet provided the following conditions are met:

- (1) The building is limited to one story in height.
- (2) The minimum building height from the finished floor to the bottom of the roof deck is 24 feet.
- (3) The building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1

SECTION 8: MAINTENANCE OF COMMON FACILITIES

Developer shall either establish covenants and an owners' association or some other mechanism designed, at a minimum, to provide for the maintenance of the following improvements after completion and approval by the Village: stormwater detention and retention basins, stormwater sewer lines directly serving such basins, and surface drainage facilities; the landscaping located on the perimeter and common areas, including trees; any entry monuments; and any sidewalks ("Common Facilities"). The Village shall establish a back-up special service area for the purpose of maintaining the Common Facilities in the event the owners' association and/or the property owners fail to do so. The covenant or other mechanism for providing for the maintenance of the Common Facilities benefitting a particular Lot shall be established and submitted to the Community Development and Economic Development Director for confirmation of compliance with this provision before the first occupancy permit for that Lot shall be approved. The cost to maintain such common facilities by way of the back-up special service area shall be determined by the cost of contracted services approved by the Village pursuant to a public bidding process.

SECTION 9: COMPLIANCE WITH STATE STATUTES

In the event that any one or more provisions of this Ordinance do not comply with any one or more provisions of the Illinois Compiled, the Village and Developer, and all of their respective successors and assigns, agree to cooperate to comply with said provisions which shall include, but not limited to, the passage of resolutions and ordinances to accomplish such compliance.

SECTION 10: CONFLICT IN REGULATIONS AND ORDINANCES

The provisions of this Ordinance shall supersede the provisions of any ordinance, code, or regulation of the Village which may be in conflict with the provisions of this Ordinance. However, all ordinances which are not inconsistent with or contrary to this Ordinance shall be applicable to the Subject Realty.

SECTION 11: INCORPORATION OF EXHIBITS

All exhibits attached to this Ordinance are hereby incorporated herein and made a part of the substance hereof.

SECTION 23: EFFECTIVE DATE

This Ordinance shall become effective from and after its passage and approval in accordance with law.

Presented to the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2021, A.D.

Passed by the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2021, A.D.

Mark Carroll _____

Laura Curtis _____

Mark Guethle _____

Michael Lowery _____

Carolyn Bird Salazar _____

Tao Martinez _____

Approved and signed by me as President of the Board of Trustees of the Village of North Aurora, Kane County, Illinois this ____ day of _____, 2021, A.D.

Mark Gaffino, Village President

ATTEST:

Jessi Watkins, Village Clerk

Exhibit A
Valley Green Golf Course

PARCEL 1:

THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE WEST LINE OF SAID QUARTER, 175.02 FEET; THENCE EASTERLY ALONG A LINE THAT FORMS AN ANGLE OF 85 DEGREES, 40 MINUTES, 0 SECONDS TO THE LEFT WITH THE WEST LINE OF SAID SOUTHWEST 1/4

100.29 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH PARALLEL WITH SAID WEST LINE 200 FEET; THENCE WEST AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 100 FEET TO THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG SAID WEST LINE TO A POINT 20 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTHWEST 1/4; THENCE EASTERLY ALONG A LINE FORMING AN ANGLE OF 90 DEGREES, 32 MINUTES, 0 SECONDS TO THE LEFT WITH A PROLONGATION OF THE LAST DESCRIBED COURSE 2263.02 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF

349.26 FEET, A DISTANCE OF 383.68 FEET TO THE WEST LINE OF THE RIGHT OF WAY OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD COMPANY; THENCE NORTH ALONG SAID WEST LINE 745.27 FEET TO A POINT 390.15 FEET SOUTH OF THE NORTH LINE OF SAID SOUTHWEST 1/4; THENCE WESTERLY IN A DIRECT LINE 2465.49 FEET TO THE POINT OF BEGINNING; IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE SOUTH ALONG THE WEST LINE OF SAID QUARTER SECTION 1325.80 FEET TO THE SOUTHWEST CORNER OF THE NORTH 1/2 OF SAID SOUTHWEST 1/4 FOR THE POINT OF BEGINNING; THENCE NORTH ALONG THE WEST LINE OF SAID QUARTER SECTION 20 FEET; THENCE EASTERLY ALONG A LINE FORMING AN ANGLE OF 89 DEGREES 28 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE 2,263.02 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 349.26 FEET, A DISTANCE OF 383.68 FEET TO THE WEST LINE OF THE RIGHT OF WAY OF THE CHICAGO, BURLINGTON AND QUINCY RAILROAD COMPANY; THENCE SOUTH ALONG SAID WEST RIGHT OF WAY LINE 190.35 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF SAID SOUTHWEST 1/4; THENCE WEST ALONG SAID SOUTH LINE, BEING A LINE FORMING AN ANGLE OF 89 DEGREES 49 MINUTES TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 2573.67 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF AURORA, KANE COUNTY, ILLINOIS.

Exhibit B
Summit Enterprises

PARCEL 1:

THAT PART OF LOT 2 IN TOLLWAY PARK OF COMMERCE LYING WESTERLY OF THE WESTERLY LINE OF LOT 1 OF TOLLWAY PARK OF COMMERCE RESUBDIVISION NUMBER 3, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF LOT 1 IN TOLLWAY PARK OF COMMERCE RESUBDIVISION NO. 1 LYING EASTERLY AND NORTHEASTERLY OF THE EASTERLY LINE OF LOT 1, IN TOLLWAY PARK OF COMMERCE RESUBDIVISION NUMBER 2, IN THE VILLAGE OF NORTH AURORA, KANE COUNTY, ILLINOIS.

Exhibit C
Preliminary Site Plan

PROJECT INFORMATION

Site Area 67.15 Acres
Total Building Area 1,056,811 SF
FAR 0.36
Detention Provided 6.7 Acres
Future 2.6 Acres
Total 9.3 Acres

BUILDING A - PHASE 1

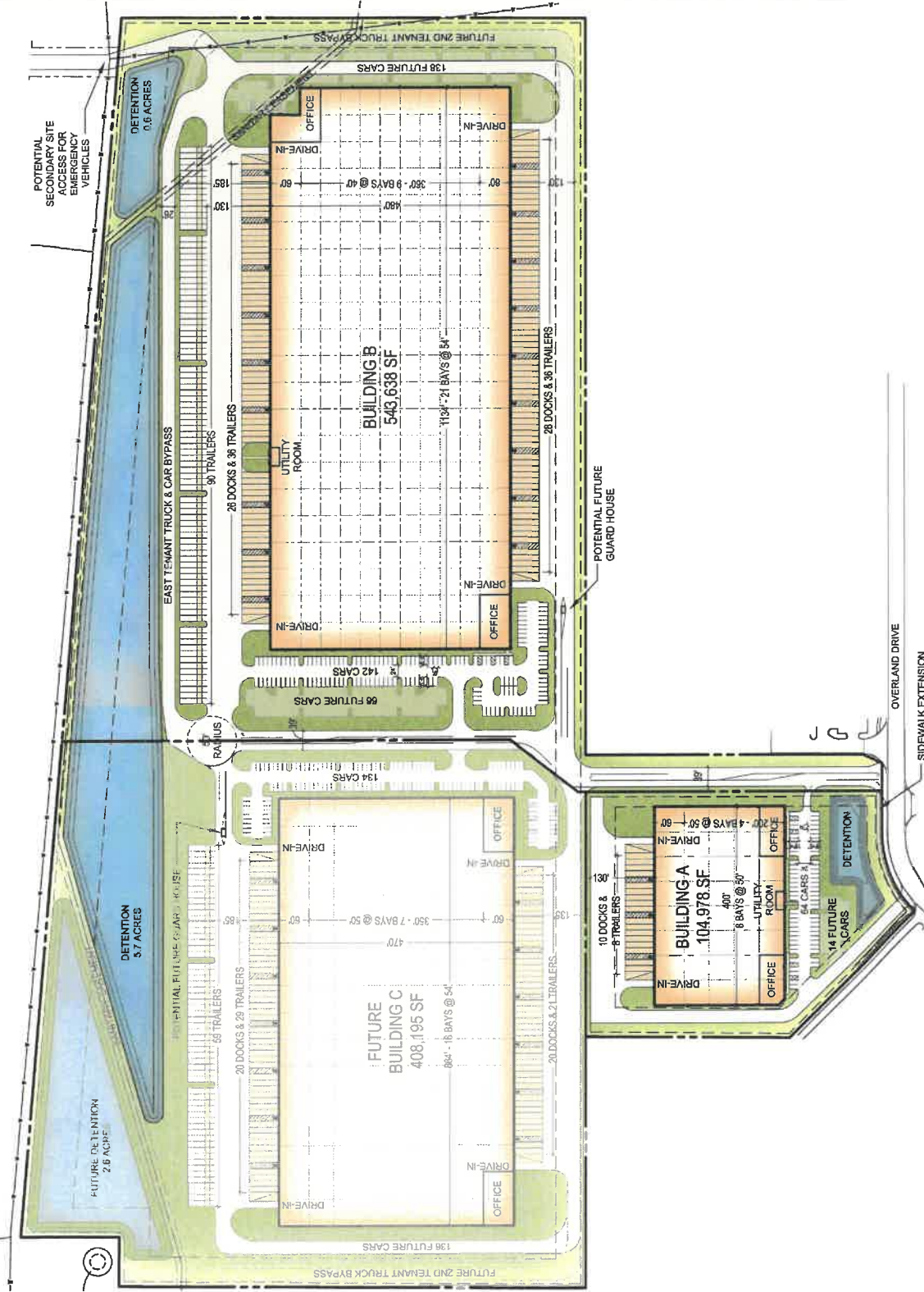
Building A Site 6.59 Acres
Building A Area 104,978 SF
Docks 10
Trailers 8
Drive-In Doors 2
Parking Provided 64
Future 14
Total 78

BUILDING B - PHASE 1

Building B Site 33.77 Acres
Building B Area 543,638 SF
Docks 54
Trailers 72
Dock Wall Across Dock 90
Total 162
Drive-In Doors 4
Parking Provided 142
Future 204
Total 346

BUILDING C - PHASE 2

Building C Site 28.79 Acres
Building C Area 408,195 SF
Docks 40
Trailers 50
Dock Wall Across Dock 59
Total 109
Drive-In Doors 4
Parking Provided 134
Future 136
Total 270



Concept Site Plan
02.23.2021

North Aurora Golf Course
North Aurora, IL

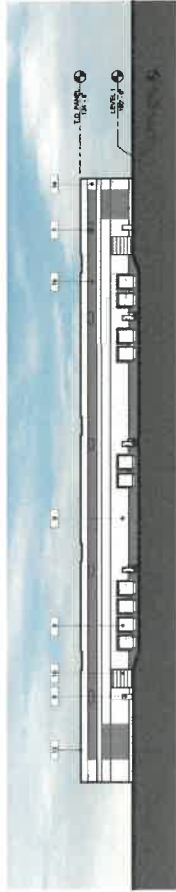
Exhibit D

Valley Green Preliminary Plat of Subdivision

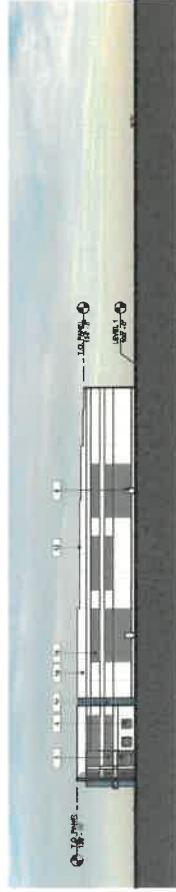
Exhibit E
Elevations



1 SOUTH ELEVATION



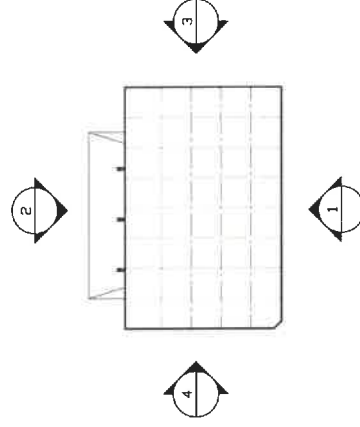
2 NORTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION

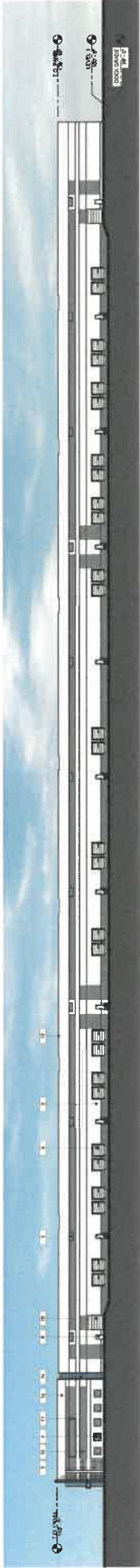


5 KEY PLAN
NOT TO SCALE

| ELEVATION KEYNOTE LEGEND | |
|--------------------------|-----------------------------------|
| Key | |
| 1a | PRECAST PANEL - PAINT A |
| 1b | PRECAST PANEL - PAINT B |
| 1c | PRECAST PANEL - PAINT C |
| 2 | PREFINISHED MTL. CANOPY |
| 3 | CLEAR ANODIZED ALUM. STOREFRONT |
| 4 | CLEAR ANODIZED ALUM. WINDOW |
| 5 | CLERESTORY WINDOW |
| 6 | HOLLOW METAL DOOR |
| 7 | 4" REVEAL |
| 8 | 9'x10' DOCK DOOR |
| 9 | FUTURE DOCK DOOR KNOCK-OUT |
| 10 | 12'x14' DRIVE-IN DOOR |
| 11 | POTENTIAL BUILDING SIGNAGE |
| 12 | COPING CAP - PREFINISHED TO MATCH |

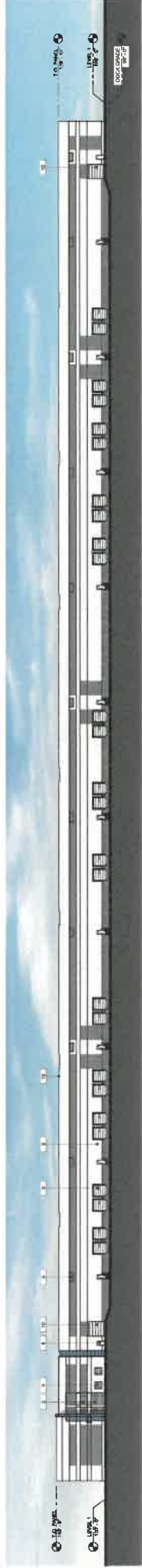
| | |
|--|--------------------------------|
| | PAINT A - SW 6525 RARIFIED AIR |
| | PAINT B - SW 7075 WEB GREY |
| | PAINT C - SW 6530 REVEL BLUE |

North Aurora Golf Course
North Aurora, IL



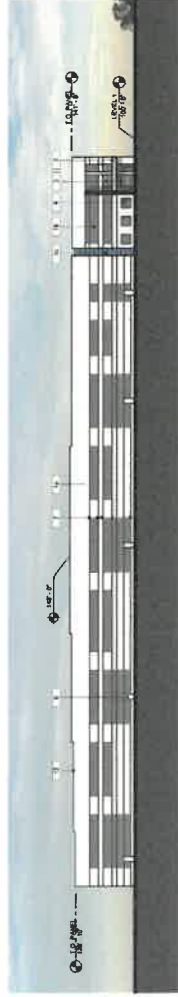
1 SOUTH ELEVATION

1" = 80'



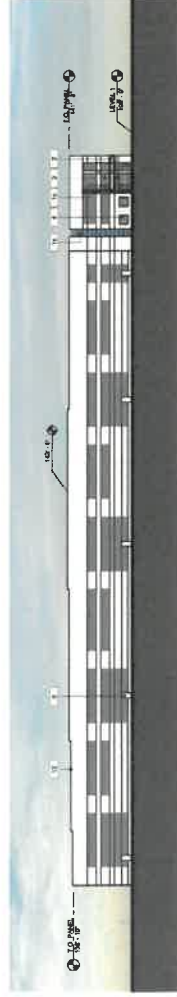
2 NORTH ELEVATION

1" = 80'



3 WEST ELEVATION

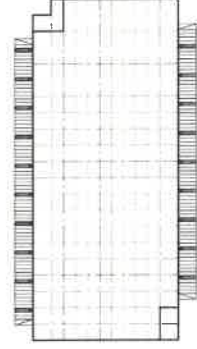
1" = 80'



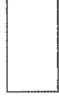
4 EAST ELEVATION

1" = 80'

| ELEVATION KEYNOTE LEGEND | |
|--------------------------|-----------------------------------|
| Key | |
| 1a | PRECAST PANEL - PAINT A |
| 1b | PRECAST PANEL - PAINT B |
| 1c | PRECAST PANEL - PAINT C |
| 2 | PREFINISHED MTL. CANOPY |
| 3 | CLEAR ANODIZED ALUM. STOREFRONT |
| 4 | CLEAR ANODIZED ALUM. WINDOW |
| 5 | CLERESTORY WINDOW |
| 6 | HOLLOW METAL DOOR |
| 7 | 4" REVEAL |
| 8 | 9'x10' DOCK DOOR |
| 9 | FUTURE DOCK DOOR KNOCK-OUT |
| 10 | 12'x14' DRIVE-IN DOOR |
| 11 | POTENTIAL BUILDING SIGNAGE |
| 12 | COPING CAP - PREFINISHED TO MATCH |



5 KEY PLAN
NOT TO SCALE



PAINT A - SW 6525 RARIFIED AIR



PAINT B - SW 7075 WEB GREY



PAINT C - SW 6530 REVEL BLUE

North Aurora Golf Course
North Aurora, IL

Building B - Exterior Elevations
10.30.2020

Exhibit F

Preliminary Landscape Plan

CAUTION: IF THIS SHEET IS NOT TO BE USED, IT IS THE CLIENT'S RESPONSIBILITY TO NOTIFY THE ARCHITECT IMMEDIATELY.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|----------------|
| 1 | 04/01/21 | Initial Design |
| 2 | 04/01/21 | Revised Design |
| 3 | 04/01/21 | Final Design |
| 4 | 04/01/21 | As-Built |

NORTH AURORA INDUSTRIAL
NORTH AURORA, ILLINOIS

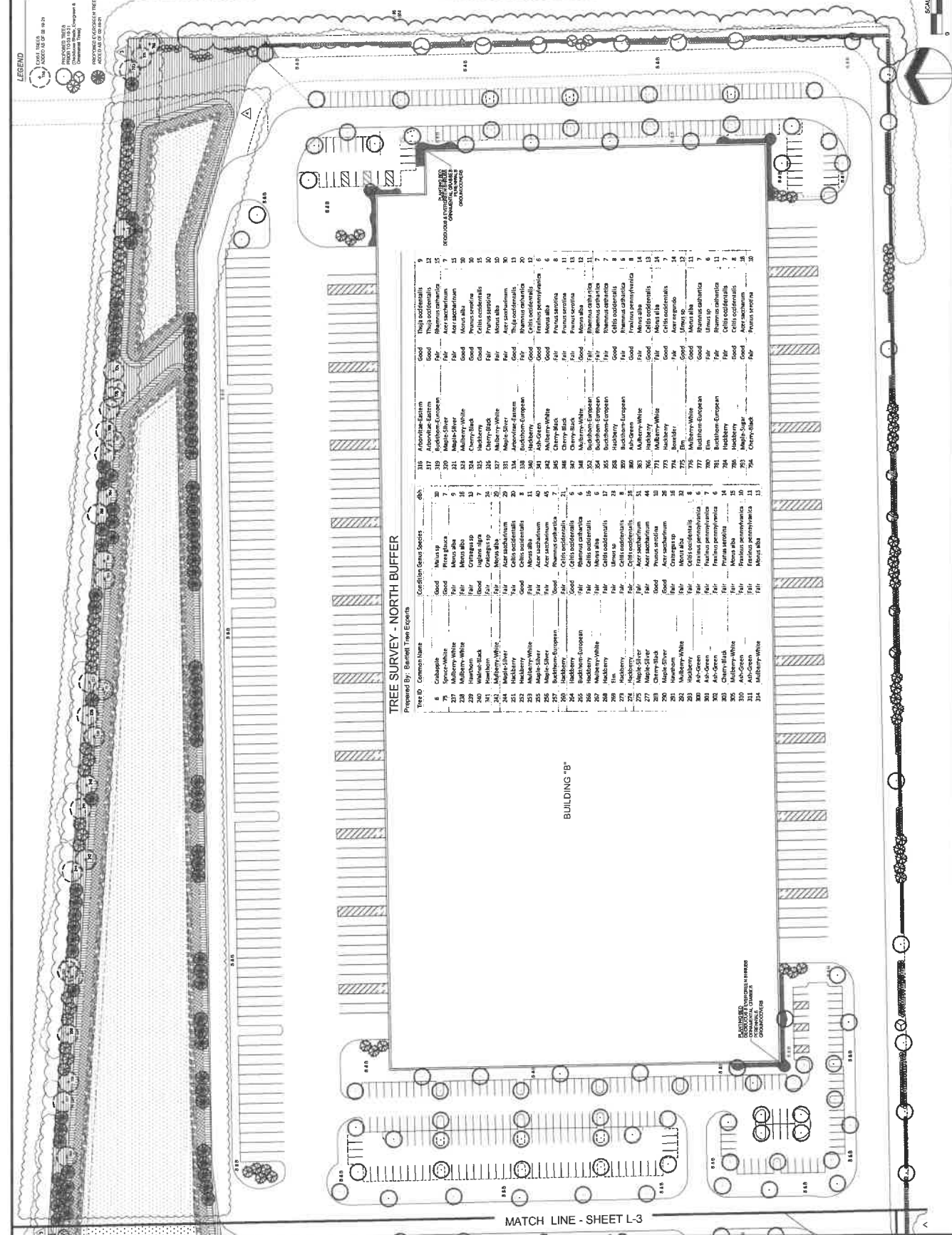
IRG **Irving Group, Inc.**
Landscape Architecture
Park & Recreation Design
Site & Community Planning
www.irvinggroup.com

1001/2221

PRELIMINARY LANDSCAPE PLAN

PROJECT NO.: 101-2221
DATE: 10/14/20
SCALE: 1"=50'
PLANNER: JMR
DRAWN BY: JMR
CHECKED: JMR

SHEET L-2



MATCH LINE - SHEET L-3

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| REVISIONS | |
|-----------------|------------|
| 1. 11/19/2020 | 11/19/2020 |
| 2. 11/19/2020 | 11/19/2020 |
| 3. 11/19/2020 | 11/19/2020 |
| 4. 11/19/2020 | 11/19/2020 |
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| 99. 11/19/2020 | 11/19/2020 |
| 100. 11/19/2020 | 11/19/2020 |

NORTH AURORA INDUSTRIAL
NORTH AURORA, ILLINOIS

IRG YearRyan Group, Inc.
11111 W. 111th Street
Suite 100
Morton, IL 61550
Phone: 815.737.8711
www.yrgr.com

PRELIMINARY LANDSCAPE PLAN

PROJECT NO.: 1720-9241A
DATE: 10-14-20
SCALE: 1"=50'
PLANNER: JMS
DRAWN BY: JMS
CHECKED BY: JMS

SHEET L-3

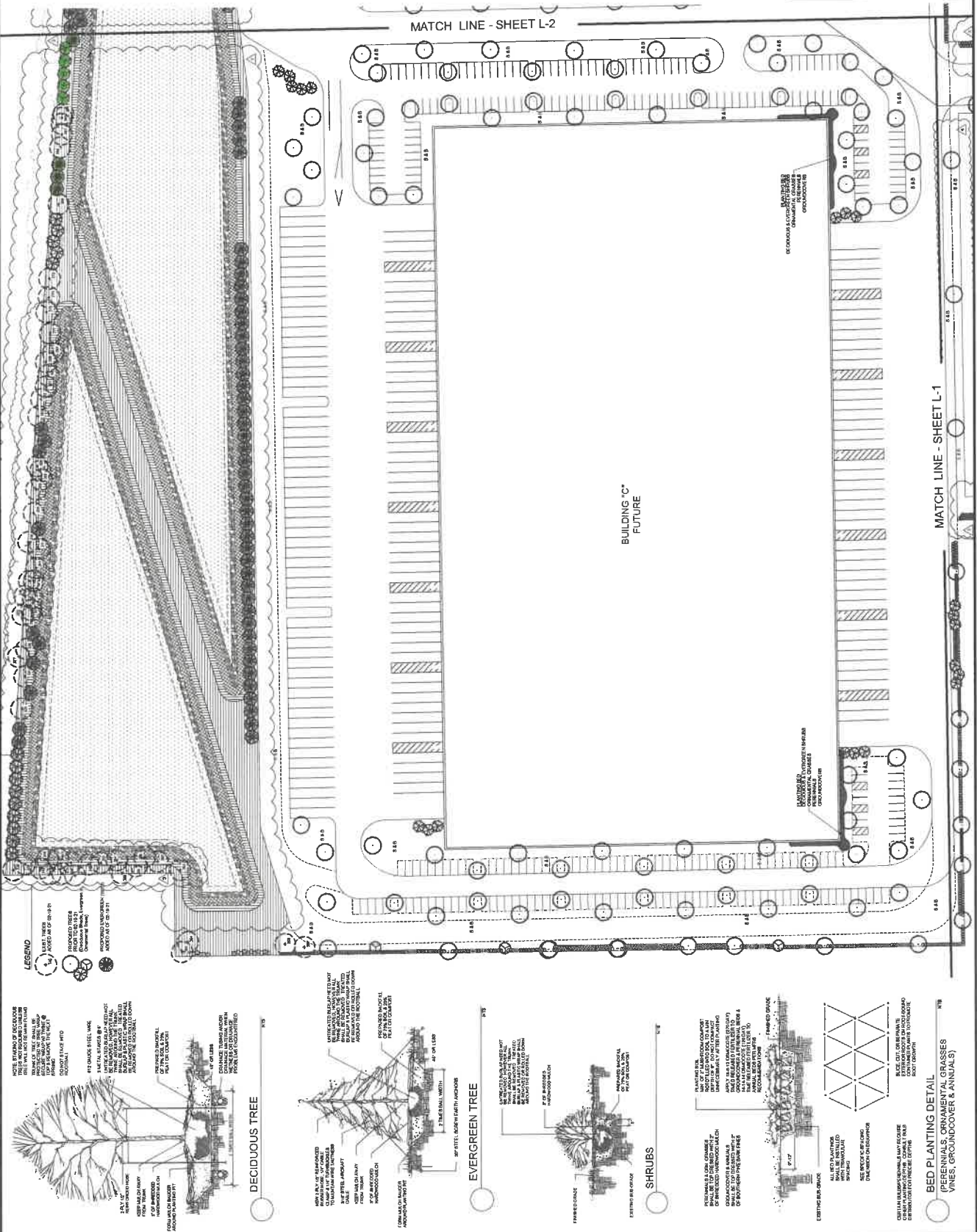


Exhibit G

Preliminary Engineering Plans

F248C

1" = 60'

C3



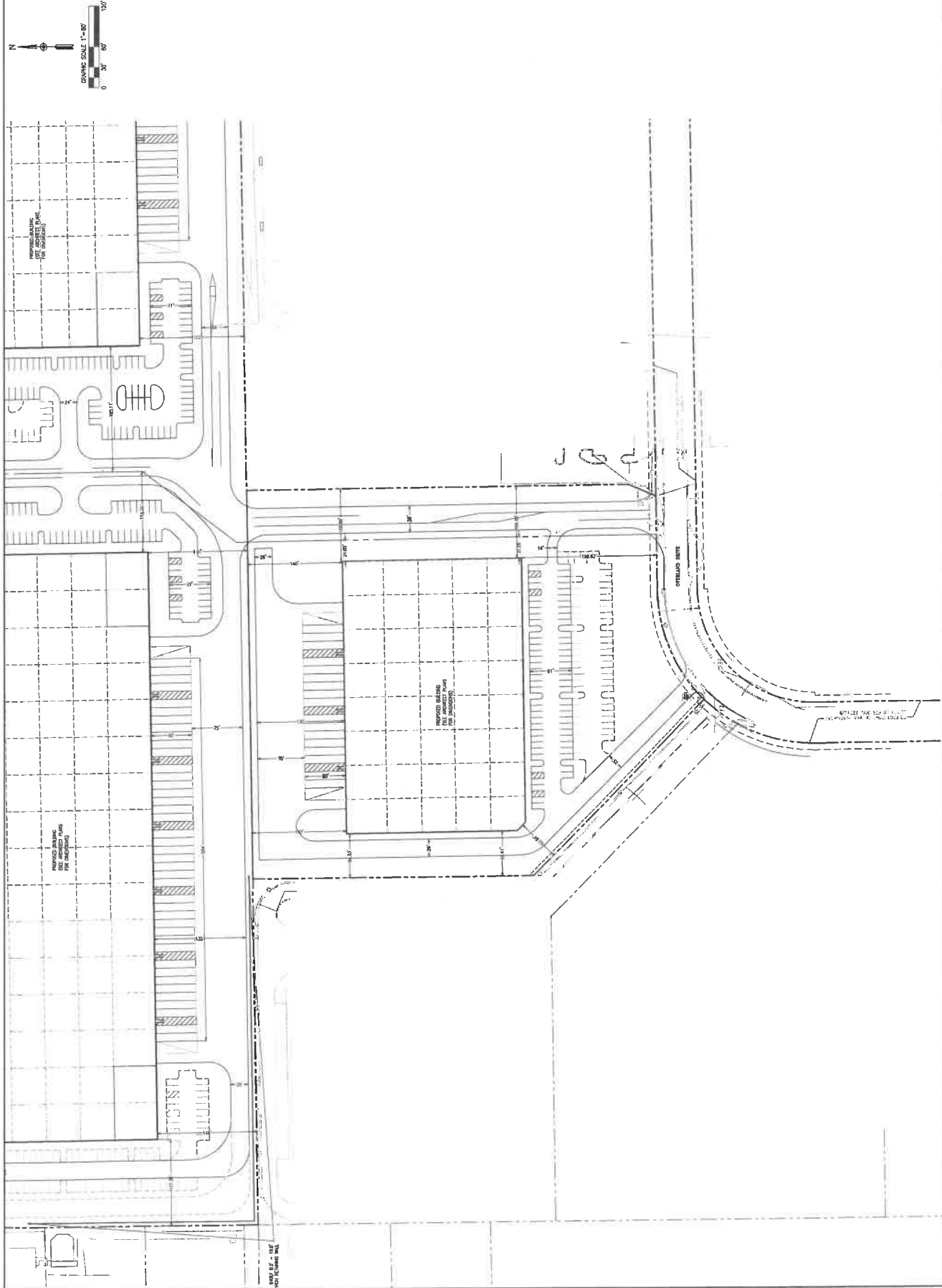
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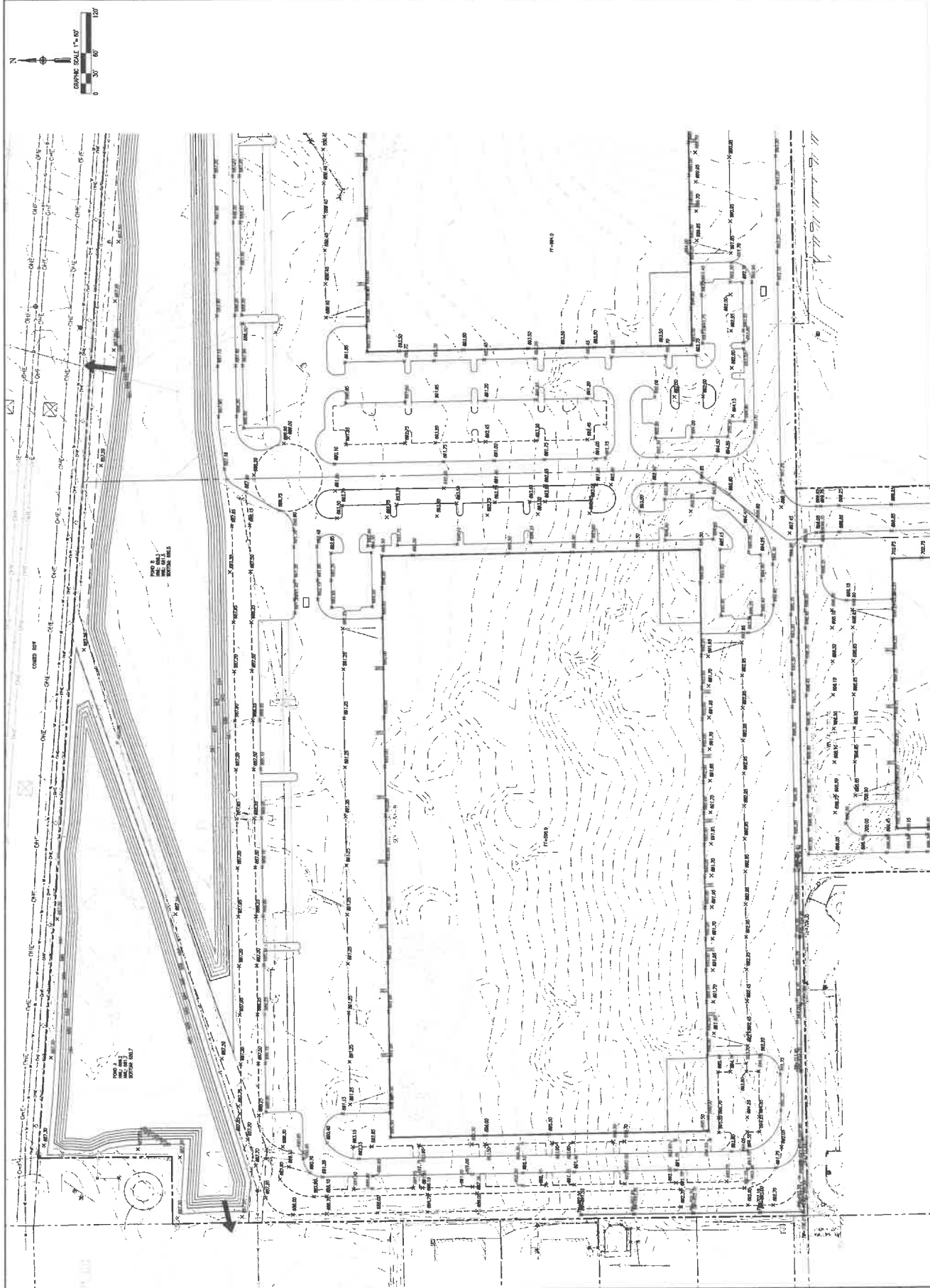
1333 Bluebird Rd., Suite 200, Downers Grove, IL 60515
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PRELIMINARY GEOMETRIC PLAN 3
NORTH AURORA GOLF COURSE REDEVELOPMENT
OPUS DESIGN BUILD
NORTH AURORA, ILLINOIS

| No. | Description |
|-----|-------------------|
| 1 | ISSUE FROM REVIEW |
| 2 | QUOTED REVISIONS |

| Date | |
|---------|--|
| 11/5/20 | |
| 1/18/21 | |



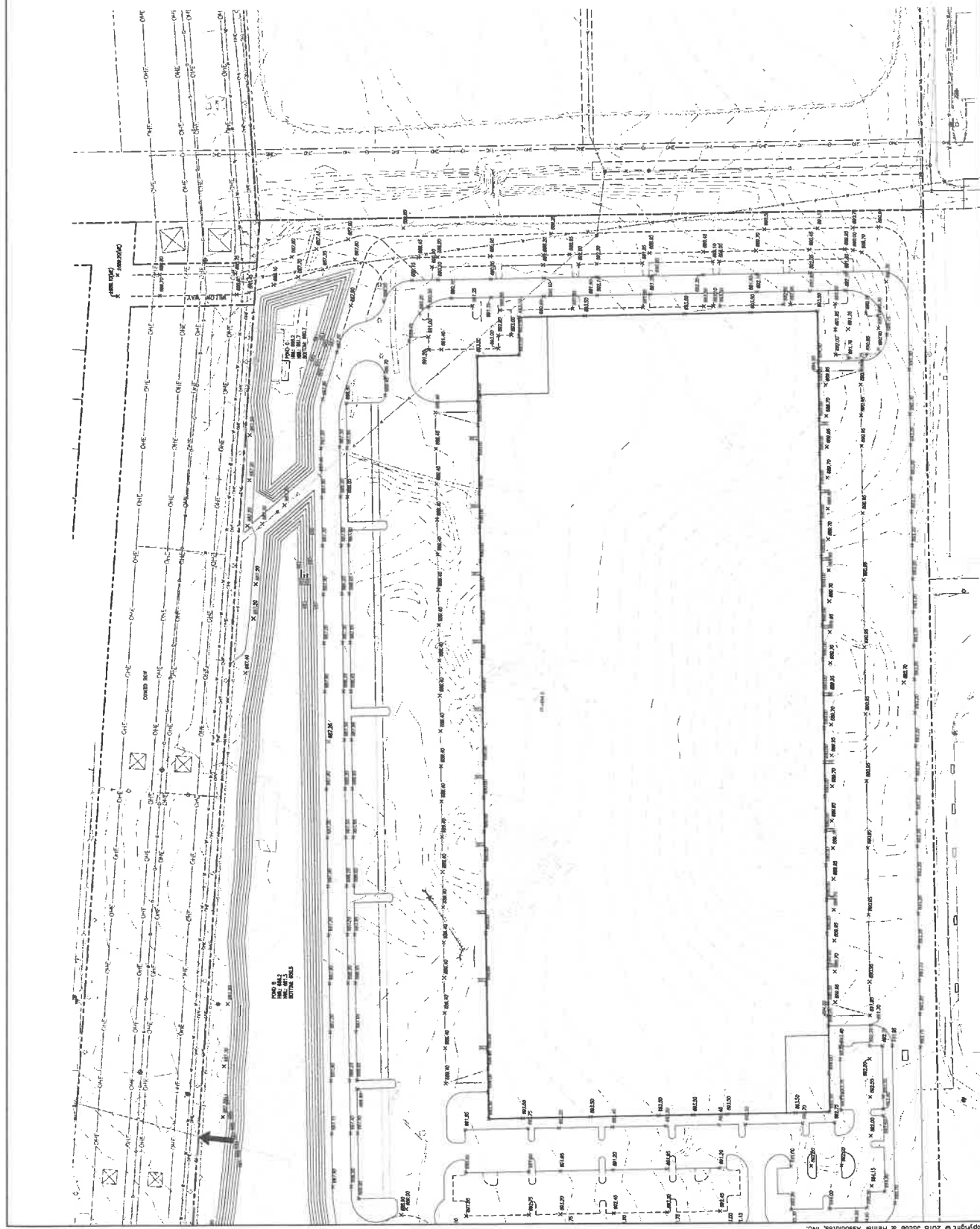
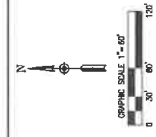




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PRELIMINARY GRADING PLAN 2
NORTH AURORA GOLF COURSE REDEVELOPMENT
OPUS DESIGN BUILD
NORTH AURORA, ILLINOIS

| NO. | DESCRIPTION | DATE |
|-----|------------------|----------|
| 2 | CLIENT REVISIONS | |
| 1 | ISSUE FOR REVIEW | 11/18/20 |



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1" = 60'

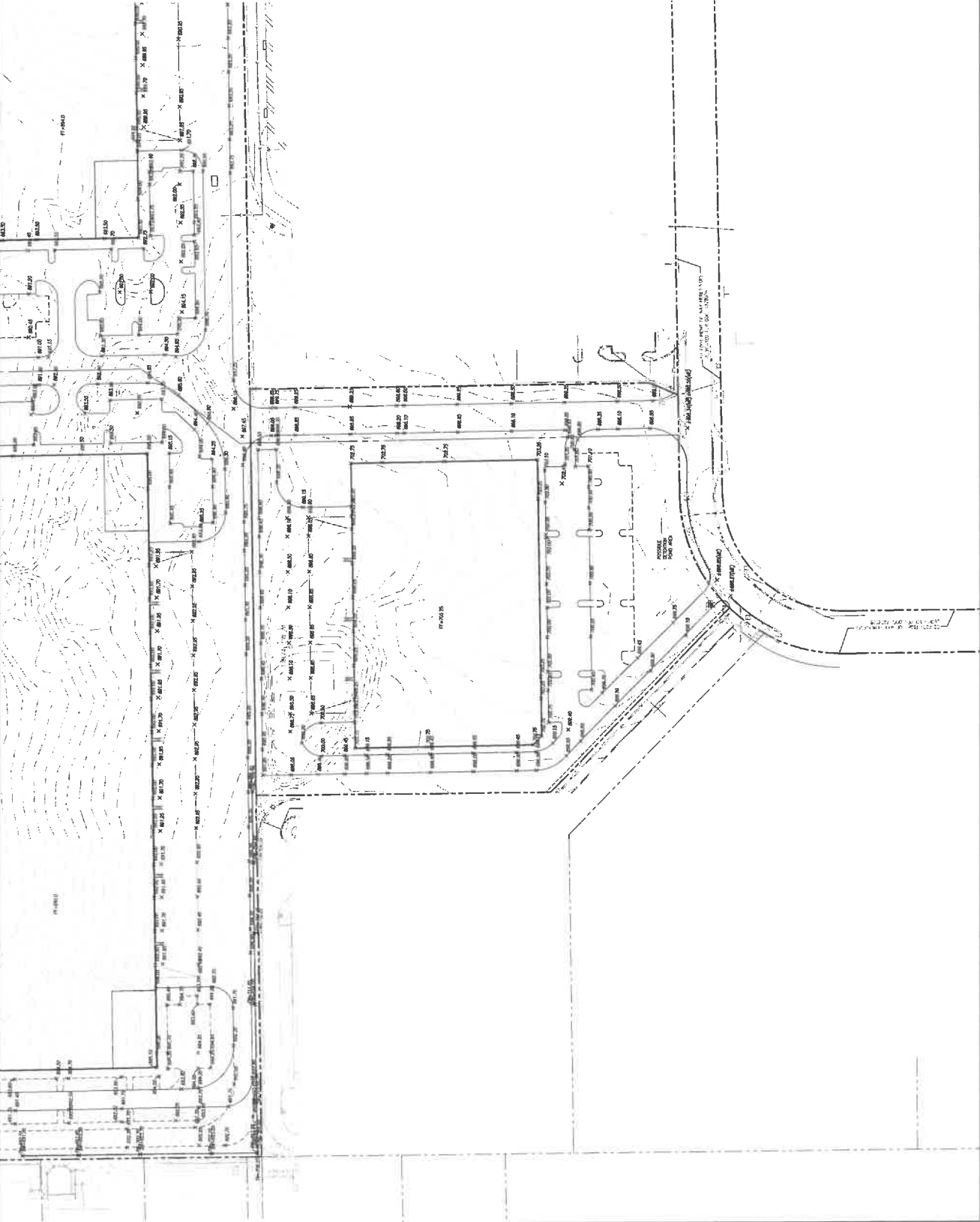
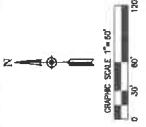
C6



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PRELIMINARY GRADING PLAN 3
NORTH AURORA GOLF COURSE REDEVELOPMENT
OPUS DESIGN BUILD
NORTH AURORA, ILLINOIS

| NO. | DESCRIPTION | DATE |
|-----|------------------|----------|
| 2 | CLIENT REVISIONS | 11/16/20 |
| 1 | ISSUE FOR REVIEW | 11/5/20 |





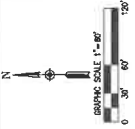
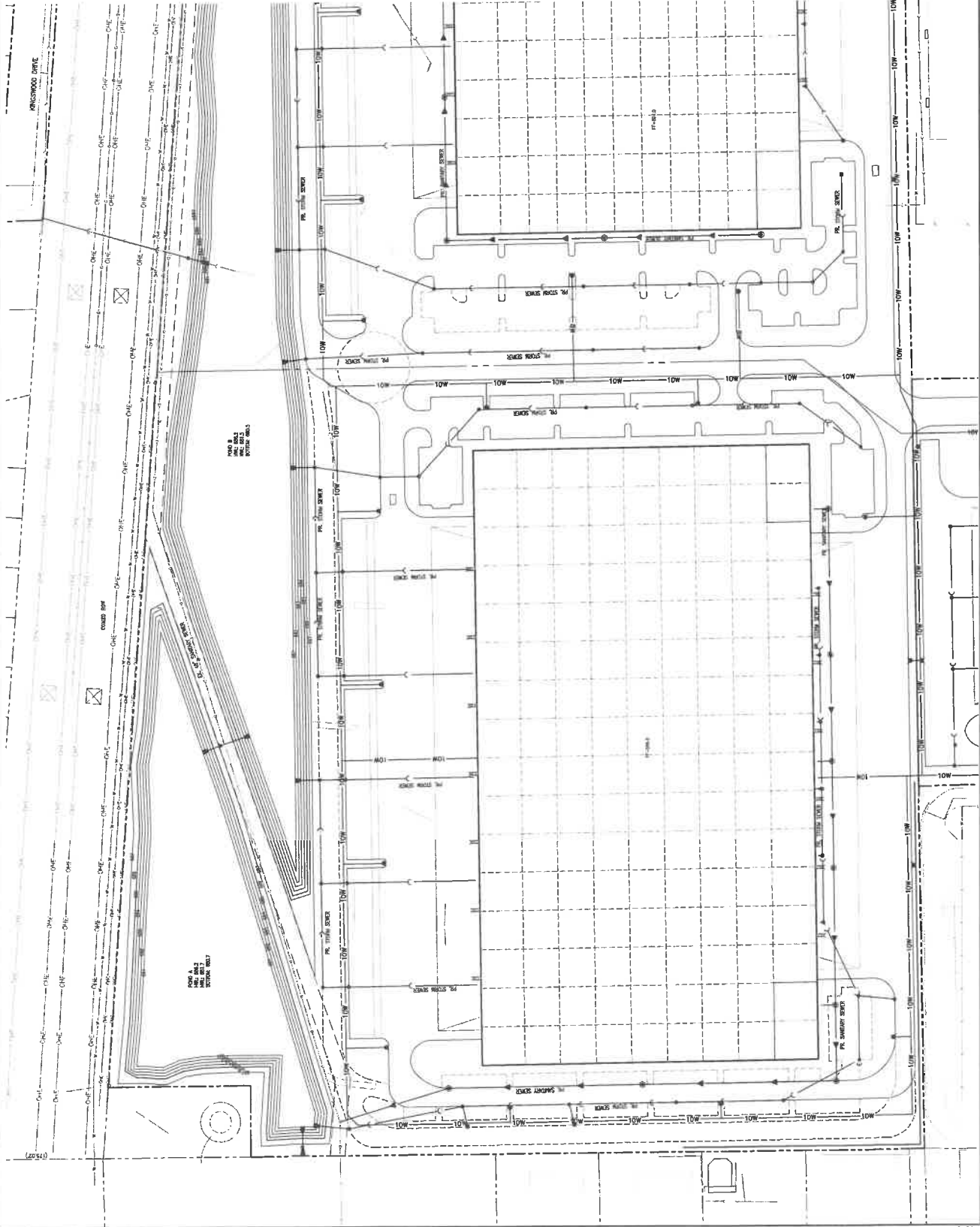
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PRELIMINARY UTILITY PLAN 1
NORTH AURORA GOLF COURSE REDEVELOPMENT
OPUS DESIGN BUILD
NORTH AURORA, ILLINOIS

2. CLUT REVISIONS
1. ISSUE FOR REVIEW
11/9/20

DATE

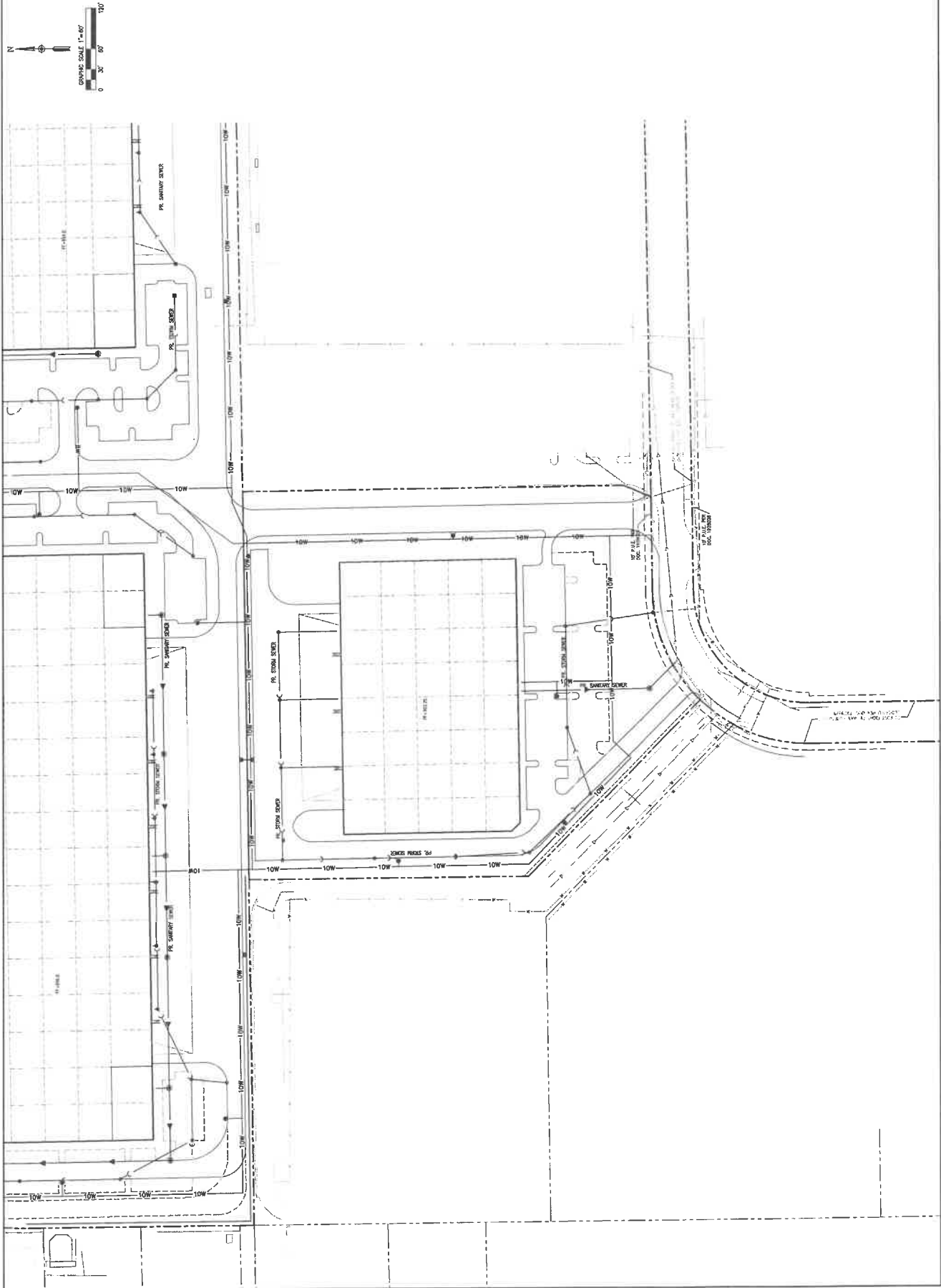




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PRELIMINARY UTILITY PLAN 3
NORTH AURORA GOLF COURSE REDEVELOPMENT
OPUS DESIGN BUILD
NORTH AURORA, ILLINOIS

| Rev. | Description | Date |
|------|------------------|---------|
| 2 | CLIENT REVISIONS | 11/9/20 |
| 1 | ISSUE FOR REVIEW | 11/9/20 |





Memorandum

To: Village President and Village Board of Trustees

Cc: Steve Bosco, Village Administrator

Mike Toth, Community & Economic Development Director

From: David Hansen, Administrative/GIS Analyst

Date: March 15, 2021

Re: Outdoor Dining

Introduction

At the February 1, 2021 Village Board meeting, the Village Board asked staff to bring a discussion regarding outdoor dining back to the Committee of the Whole. Previously, in the fall of 2020 staff was working on options for an outdoor dining program to assist businesses while indoor dining was not allowed under the Restore Illinois Plan. The plan would have reimbursed expenses to dining establishments for eligible equipment and materials to establish a safe outdoor eating environment during the winter months. While staff was working on the program there was concern that the program may only benefit a small number of dine-in establishments that were willing to have outdoor dining in the winter. Other concerns included businesses not following state or Village safety protocols, but requesting reimbursement and duplicative funding with assistance programs being designed by Kane County. The Village Board ultimately decided to refund liquor license fees for the 2020-21 fiscal year and waive liquor license fees for the 2021-22 fiscal year for restaurants, taverns and brew pubs/breweries.

Below is a summary of programs and initiatives that are either currently in place or were put in place during the fall of 2020 to help dining establishments. Currently, all regions of the State's Restore Illinois Plan are in Phase 4, mitigation which allows indoor dining.

Mayoral Executive Orders

The Village has issued four executive orders since the COVID-19 pandemic began. The following summary shows how the executive orders assist dining establishments:

- *Executive Order 2020-03-20: Liquor Sales and Delivery* - allows establishments with packaged liquor or consumption-on-premises liquor licenses to sell remotely and deliver to homes. This was originally covered via the Mayor's executive order, but is now in effect as part of Illinois Public Act 101-0631 as approved by the State of Illinois General Assembly on June 2, 2020. It is set to expire June 2, 2021.
- *Executive Order 2020-05-22: Allowing Outside Dining* - allows businesses with existing outdoor areas for the consumption of food and drink wanting to expand their current outdoor seating area and establishments seeking to temporarily add outdoor seating areas. This is in effect until Gubernatorial Executive Orders restricting capacity at bars and restaurants are terminated or cease, allowing for 100% capacity indoors or when this Executive Order is repealed by the Village President of North Aurora.
- *Executive Order 2020-06-03: Extension of Liquor Sales and Delivery* - allows establishments with packaged liquor or consumption-on-premises liquor licenses to sell remotely and deliver to homes. This extends Executive Order 2020-03-20 and also allows mixed drink delivery and curbside pickup in accordance to the Governor's initiative. This is now in effect as part of Illinois Public Act 101-0631 as approved by the State of Illinois General Assembly on June 2, 2020. It is set to expire June 2, 2021.
- *Executive Order 2020-06-15: Extends Outside Dining Hours to Hours of Liquor Licenses* - allows establishments to dine outside and sell liquor in accordance with the S-O liquor licenses terms. This replaces the language in Executive Order 2020-05-22 that mentions closing outside dining areas at 10:00 p.m. The Executive Order is in effect until it is repealed by the Village President of North Aurora.

Fee Waivers and Rebates

At the November 16, 2020 Village Board meeting, the Board waived all liquor license fees for the Classes of A, B, C, J and T Liquor Licenses and supplemental liquor licenses fees for the 2021 Registration Period from March 1, 2021 – February, 28

2022, totaling approximately \$36,000. At the same meeting, the Village Board waived all annual fees for both existing and incoming business registrations from January 1 – December 31, 2021, totaling approximately \$17,500.

At the December 7, 2020 Village Board meeting the Board rebated all liquor licenses fees for the Classes of A, B, C, and T Liquor Licenses and their supplemental licenses for the 2020 Registration period of March 1, 2020 – February, 28 2021 for all qualifying businesses that are still open and operating, totaling approximately \$36,000. These funds were expended through the Village's General Fund.

Kane County Coronavirus Relief Fund Grant Program

On November 20, 2020 Kane County issued its second round of Coronavirus Relief Fund Grants for Businesses located in Kane County. Applicants that met the criteria were eligible up to a \$25,000 grant. Applicants could seek reimbursement for eligible expenses under this program that incurred between March 1, 2020 and December 30, 2020, and were not reimbursed under another source of financial assistance. Some eligible expenses included the purchase of personal protective equipment (PPE), the cost of cleaning/disinfecting a business, and cost of physical modifications to the place of business in order to comply with social distancing requirements.

Consideration

Staff is looking for feedback from the Village Board regarding the current assistance provided to local dining establishments and any potential assistance in the future.

Village of North Aurora Memorandum



To: President and Village Board of Trustees

From: Bill Hannah, Finance Director

Date: March 11, 2021

CC: Steven Bosco, Village Administrator

RE: FY 2021-22 Draft Budget

The FY 2021-22 Draft Budget has been compiled and will be emailed separately to the Board for discussion at the Committee of the Whole meeting. An overview presentation of the Budget will be presented by staff time for questions and discussions.

The Draft FY 2021-22 Budget will also be on the Committee of the Whole agenda for the April 5th meeting for follow-up questions and discussion. The official Public Hearing will be on April 19th, with final approval of the Draft Budget scheduled for the May 3rd Village Board meeting.