



25 East State Street, North Aurora, IL 60542  
P: 630.897.1457 F: 630.897.0269  
www.northaurora.org

## DECK PACKET

A permit is required to build a backyard deck. To assist you in completing this process we have prepared this information packet.

You will need (2) copies of your plat of survey with the proposed structure drawn to scale, showing location, size, distance to lot line and distance to existing structures.

- Post Holes:** Minimum 10" in diameter and 42" deep, filled with solid concrete. **Please note that if you are going to enclose the deck in the future, you must pour a foundation and footings.** Use post anchors or ½" J bolts.
- Posts:** Typically 4 x 4 or 6 x 6 lumber. Posts shall not be inserted into concrete. Decks over 60" in height require 6 x 6 posts.
- Beams:** Typically 2 x \_\_\_ beams are required with post spacing being related to size of beam, (see table 2 in packet). See beam and post detail in packet for attachment of beams to posts.
- Joists:** Typically 16" on center. **Use joist hangers with joist hangers nails only** where joist meets the header or ledger. A joist may overhang the beam or post by not more than 2 feet.
- Bridging:** The same size lumber as the joists is required when joist spans are greater than 8 feet. Bridging provides lateral support for weight distribution.
- Ledger:** Typically the same size lumber as the joist. This is the piece that is attached to the house. It must be bolted to the house every 24". (See ledger detail).
- Railing:** If your deck is 30" or more above grade, there must be a 36" high railing, 4" maximum between balusters.
- Steps:** If the deck is more than 9" above grade, steps are required. Steps must have equal risers. Steps must land on a concrete pad. No wood or ground contact. A handrail is required with 4 or more steps.

**New pressure-treated wood requires special fasteners.**

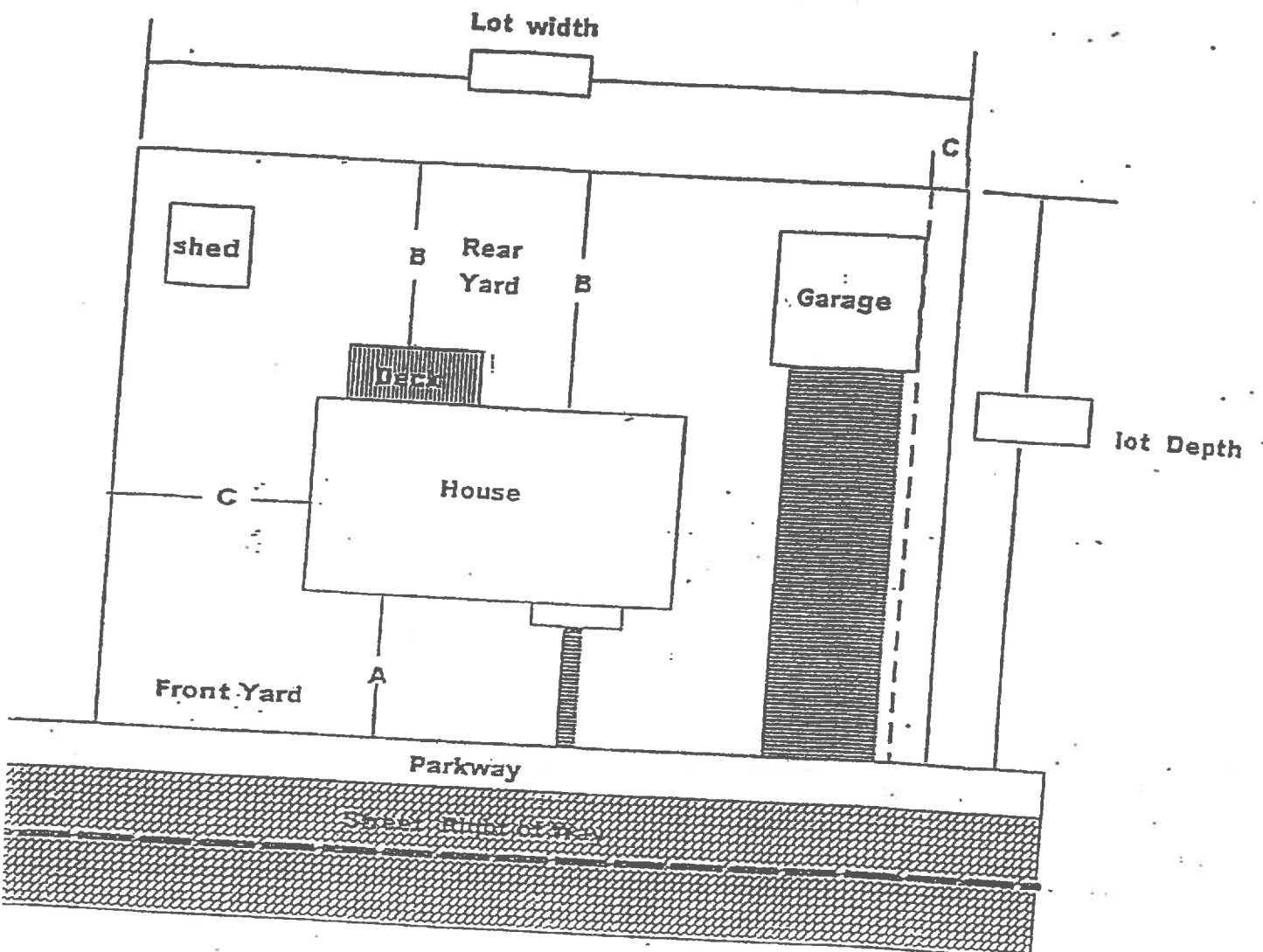
Wood for residential and agricultural uses treated with a non-arsenic based preservative. Based preservative is an alternative to traditional pressure-treated wood, but it requires the use of high-quality, corrosion-resistant nails, screws and other fasteners.

Ordinary fasteners corrode, making them unsuitable for use with the wood. The manufacturer of AC2 brand wood, Buffalo, N.Y. based Osmose, recommends hot-dipped galvanized, stainless steel or other fasteners, not aluminum.

The main ingredient in the AC2 preservative system is copper, which is coupled with a quaternary compound co-biocide to enhance performance against copper-tolerant fungi and insects.

**BEFORE YOU DIG CALL JULIE AT 811**

# PLAT OF SURVEY



- A= Front Yard Setback
  - B= Rear Yard Setback
  - C= Side yard Setback
- Proposed Distance  
 From lot line

*In the boxes next to the setback A, B, or C indicate the distance you will be from the lot line with your improvement. This document is to be used only if a certified plat can be located.*

### Table 1 Floor Joist Span

### Table 2 Floor Joist Span

Table 1

Floor Joist	12" oc	16" oc
2 x 6	9'6"	8'7"
2 x 8	11'7"	10'6"
2 x 10	14'9"	13'0"
2 x 12	17'5"	15'1"

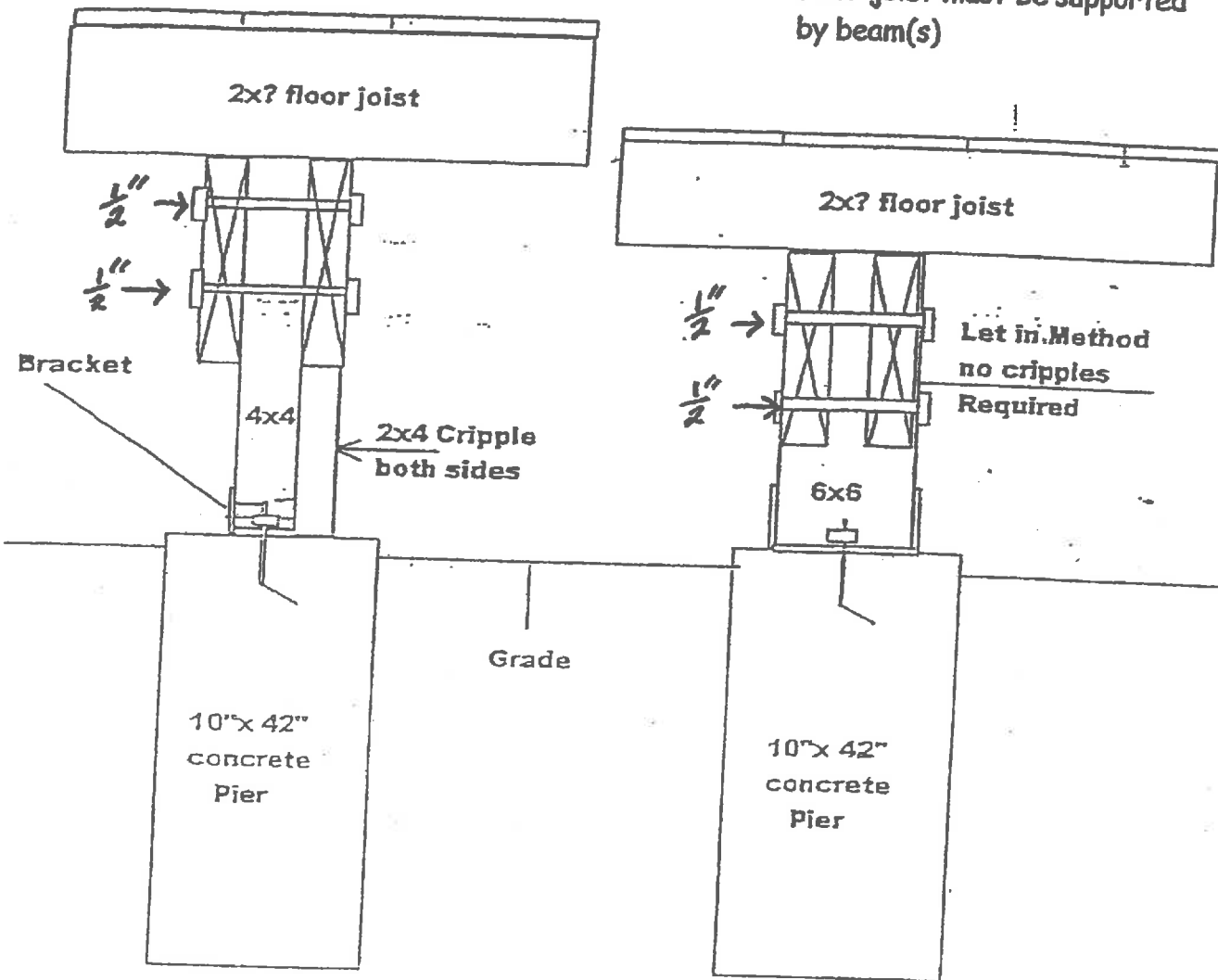
Floor joist must be supported by beam (s)

Table 2

Beam Size	Maximum/span
2-2" x 6"	6'
2-2" x 8"	8'
2-2" x 10"	10'
2-2" x 12"	12'
2-2" x 14"	14'

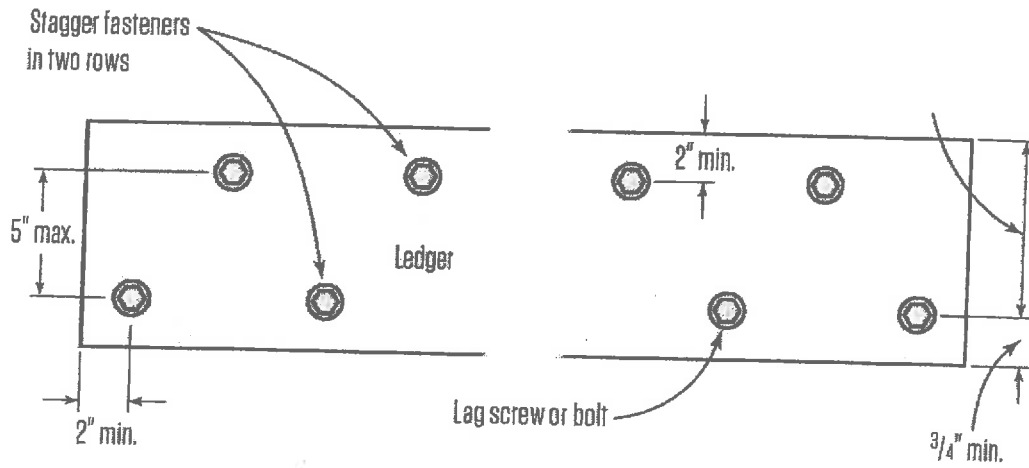
# Beam and Post Detail 4x4 vs 6x6 let in or cripples

floor joist must be supported  
by beam(s)

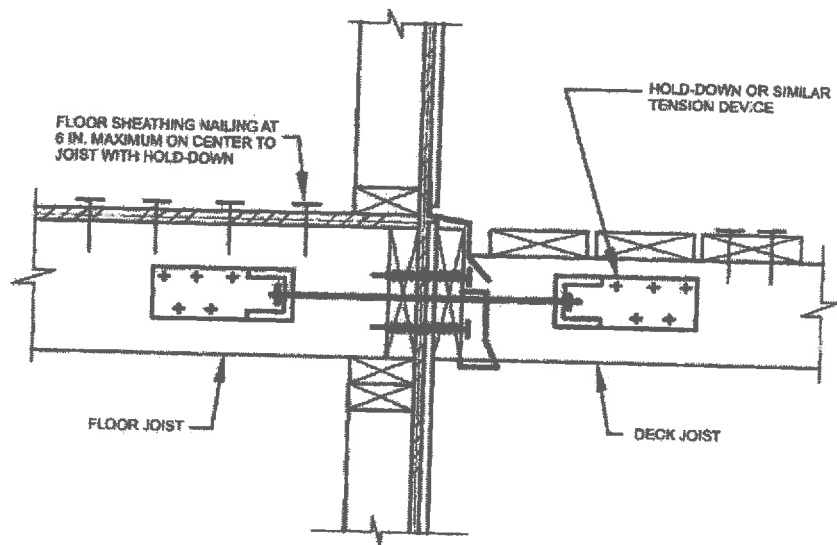


# FRONT VIEW

## Placement of Lag Screws and Bolts in Ledgers



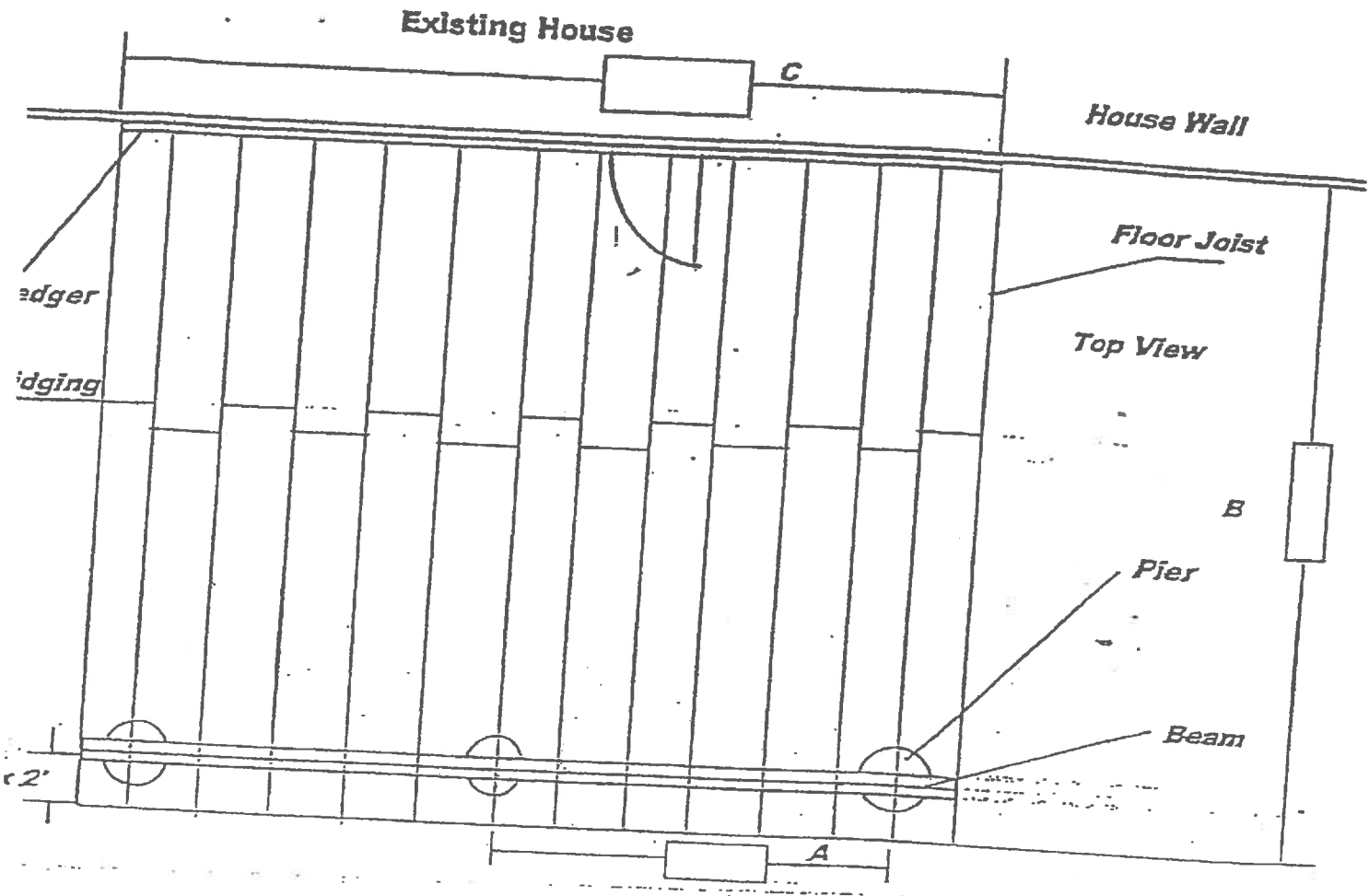
## Ledger connection to house



For SI: 1 inch = 25.4 mm.

Required on at least two locations per deck per R502.2.2.3

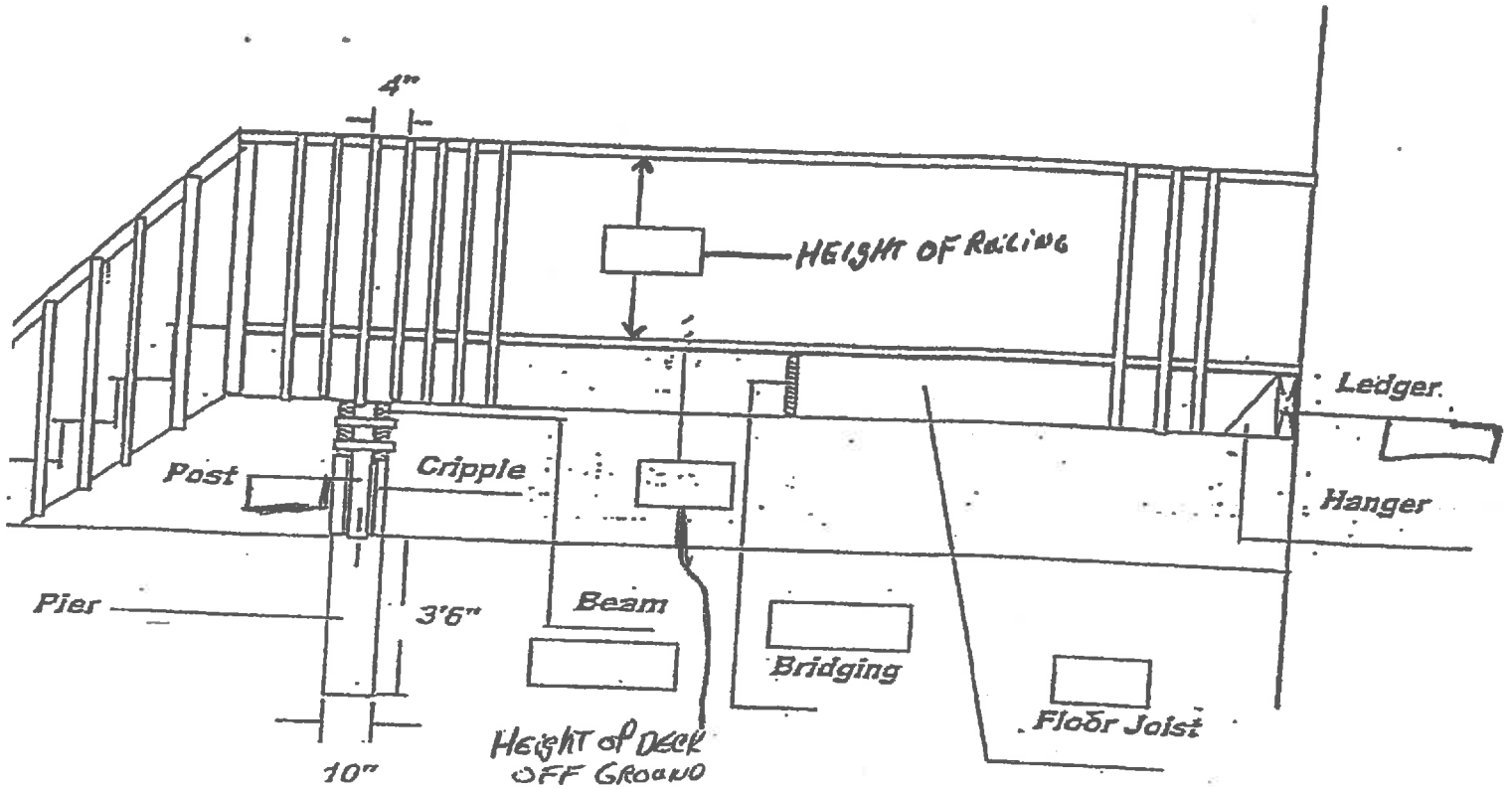
# TOP VIEW



This drawing represents the top view of your deck. Many times due to spans, your deck may require more than one beam and row of piers, or more bridging. If this is the case, the Additional items must be drawn in. This drawing shows us the location of the beam piers, the presence of bridging and relationship of the deck to the home.

See the attached sheets for Floor Joist and Beam Span.

# SIDE VIEW



The above drawing illustrates the side view of the deck. You will need to fill in each box with a dimension or N/A.

Refer to the attached sheets for the various spans for the floor Joist and Beams,

See attached Beam and Post detail for reference.

Definitions have been included for your convenience.

**I have read complete deck packet and understand that deviation of illustration may be cause to take rough framing down to correct it**

Home owner \_\_\_\_\_ Date \_\_\_\_\_





VILLAGE OF  
**NORTH  
 AURORA**  
 Crossroads on the Fox

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### APPLICATION FOR DECK PERMIT

Date: \_\_\_\_\_

Contractor/Applicant: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
 (If other than homeowner)

Contractor's Address: \_\_\_\_\_

Job Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Project Cost: \_\_\_\_\_

Applicant must submit with this application **2 copies** of the current plat of survey showing all existing improvements and the location of the proposed work drawn to scale.

I hereby certify that the owner of record authorized the proposed work. I have been authorized to act on his / her behalf as the agent responsible for this permit. I agree to conform to all of the laws and Ordinances of the Village of North Aurora.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

**FOR OFFICE USE**

Approved: \_\_\_\_\_ Rejected: \_\_\_\_\_

Fee: \_\_\_\_\_ Date: \_\_\_\_\_